

APCJC EXTERIOR REMODELING

1013 N. Hartwell Ave. Waukesha, WI 53186



PROJECT TEAM:

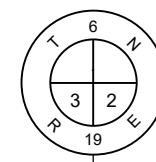
OWNER:	ARCHITECT:
APCJC	SHA, LLC
1013 N. Hartwell Ave.	311 E. Chicago, Suite 310
Waukesha, WI 53186	Milwaukee, WI 53202
TEL: 414-520-2257	TEL: (414) 276-1760
email: vazuesz8423@sbcglobal.net	email: dbaum@sha-a2k.com
ATTN:	ATTN: Mr. David Baum

GENERAL NOTES:

1. THE GENERAL CONTRACTOR IS RESPONSIBLE TO VISIT THE SITE AND BECOME FAMILIAR WITH THE SITE CONDITIONS.
2. THE GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS PRIOR TO BEGINNING ANY WORK. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. DO NOT SCALE DRAWINGS.
3. REFER TO THE SOILS REPORT FOR SUBSURFACE CONDITIONS, BEARING CAPACITIES, ETC. NOTIFY THE ARCHITECT, ENGINEER AND OWNER OF ANY DISCREPANCY BETWEEN THIS REPORT AND THE PLANS, SPECIFICATIONS OR SITE CONDITIONS.
4. ALL WORK AND MATERIALS SHALL CONFORM TO THE LATEST BUILDING CODES, ORDINANCES AND REGULATIONS OF THE CITY OR COUNTY WITH JURISDICTION.
5. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS, LICENSES, INSPECTIONS AND TESTING AS REQUIRED BY THE CONTRACT DOCUMENTS OR ANY GOVERNMENT AGENCY.
6. THE GENERAL CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, UTILITIES, OTHER SERVICES AND RELATED TASKS NECESSARY FOR PROPER EXECUTION OF THE CONSTRUCTION REQUIRED BY THE CONTRACT DOCUMENTS.
7. THE GENERAL CONTRACTOR IS TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOBSITE CONDITIONS. COMPLY WITH SAFETY REGULATIONS AND RESTRICTIONS AS REQUIRED FOR WORKER AND PEDESTRIAN PROTECTION DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. PROVIDE PROTECTION AS REQUIRED TO PREVENT ANY DAMAGE TO EXISTING CONSTRUCTION WITHIN AND ADJACENT TO THE JOBSITE. WHERE DAMAGE OCCURS, REPAIR OR REPLACE DAMAGED AREA AND/OR MATERIAL AS REQUIRED TO THE OWNER'S APPROVAL AT NO ADDITIONAL COST. THESE REQUIREMENTS SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL HOURS.
8. THE GENERAL CONTRACTOR SHALL BRING ANY REVISION OR ADDITIONAL WORK REQUIRED BY FIELD CONDITIONS OR LOCAL GOVERNING AUTHORITIES TO THE ATTENTION OF THE ARCHITECT AND OWNER BEFORE PROCEEDING.
9. THE GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY THE SIZE AND LOCATION OF ALL UTILITY LINES AND STUBS TO THE BUILDING(S). BRING ALL UTILITY LINES (WATER, SEWER, GAS, STORM DRAIN, TELEPHONE AND ELECTRICAL, ETC.) INTO THE BUILDING AS INDICATED ON THE CONSTRUCTION DOCUMENTS. BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT, OWNER & CIVIL ENGINEER.
10. NO BUILDING OR PORTION OF A BUILDING SHALL BE OCCUPIED OR USED FOR STORAGE PRIOR TO THE ISSUANCE OF THE TEMPORARY CERTIFICATE OF OCCUPANCY. APPROVAL FOR OCCUPANCY IS ONLY GRANTED AFTER ACCEPTANCE BY GOVERNING AGENCIES.
11. THE REMOVAL OF ALL HAZARDOUS CONTAINING MATERIALS IS THE SOLE RESPONSIBILITY OF THE OWNER. SHOULD ANY MATERIALS BE ENCOUNTERED DURING ANY PHASE OF CONSTRUCTION, OR SUSPECTED TO BE HAZARDOUS, THE CONTRACTOR SHALL STOP WORK IMMEDIATELY AND NOTIFY OWNER.

SHEET INDEX:

1 of 1	SITE SURVEY
A2.1	RENDERINGS
A2.2	ELEVATIONS



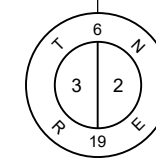
NORTHWEST CORNER OF SECTION 2, T6N, R19E
COMPUTED CORNER, ACTUAL CORNER FALLS IN THE FOX RIVER

1491.49'

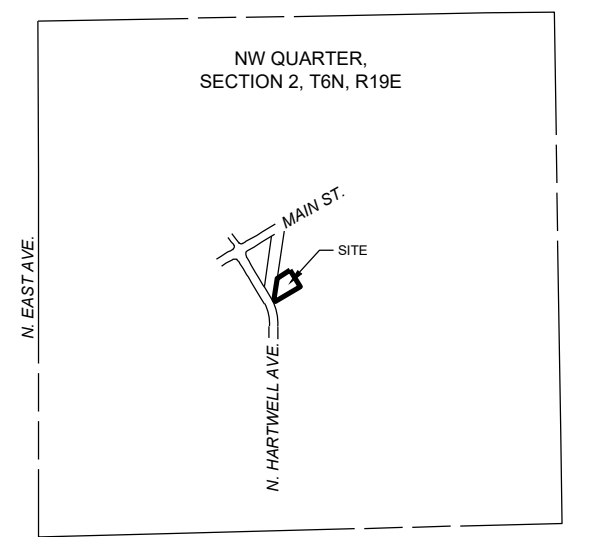
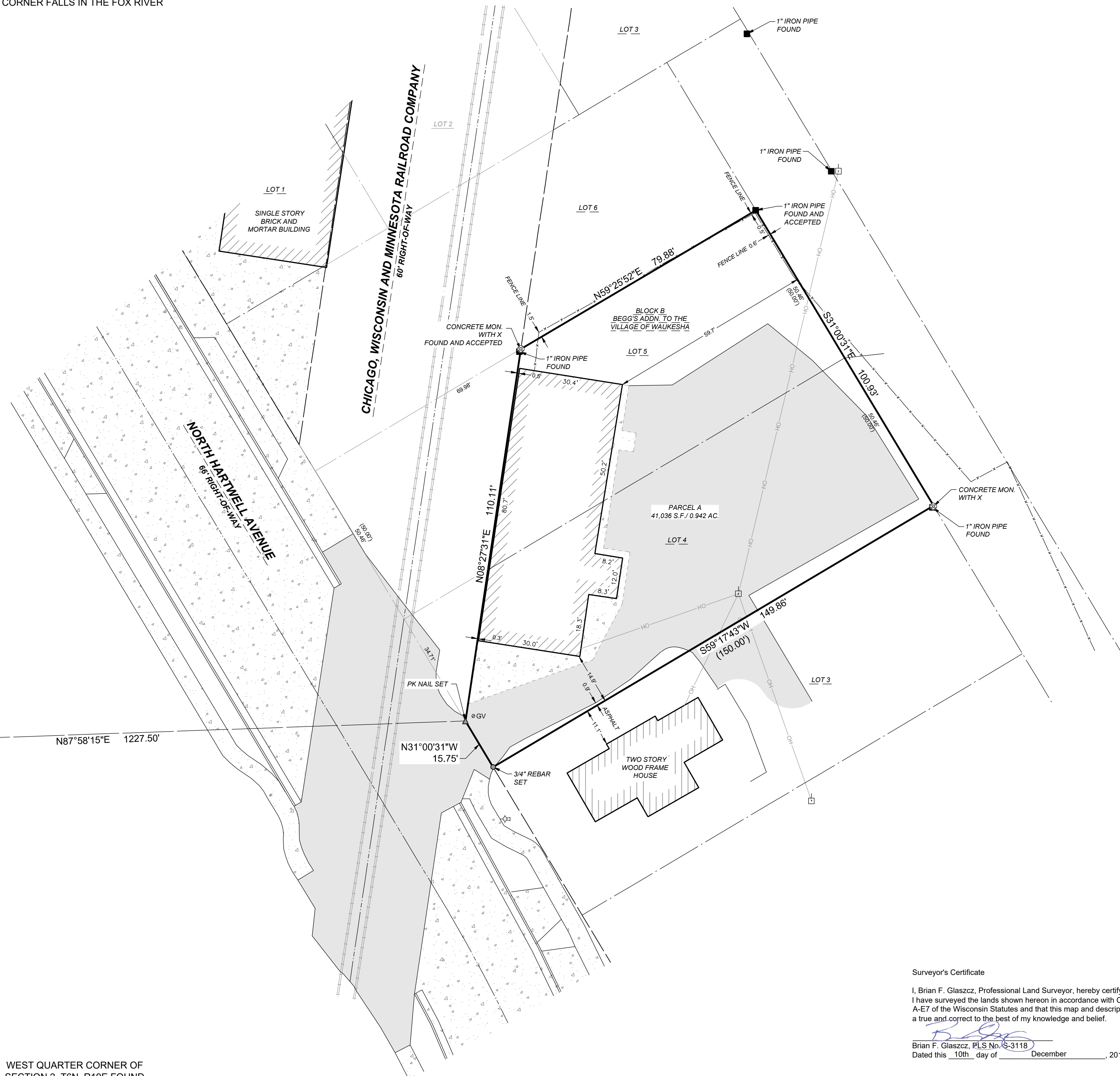
2687.86'

WEST QUARTER LINE OF THE NORTHWEST QUARTER OF SECTION 2, T6N, R19E

1196.37'



WEST QUARTER CORNER OF SECTION 2, T6N, R19E FOUND CONCRETE MONUMENT WITH BRASS CAP



LOCATION MAP
(1" = 1000' Feet)

Legal Description:

(Based on Title Commitment issued by Knight Barry Title, Inc., File #: 1077877 with a commitment date of October 25th, 2019.)

Parcel A:
Lots 4 and 5, Block B, Begg's Addition to the village of (now city) of Waukesha, being a part of the N.W. 1/4 of Sec. 2, T.6N., R. 19E., in the City of Waukesha, County of Waukesha, State of Wisconsin. Excepting therefrom that part thereof conveyed to the Chicago, Wisconsin and Minnesota Railroad Company and all that part presently used and laid out as a railroad right of way.

Tax Parcel Number: WAKC 1302-053
Property Address: 1013 North Hartwell Avenue, Waukesha, WI 53186

Notes:

- Field work performed by Ayres Associates on November 18th, 2019.
- Bearings are referenced to the West quarter line of the Northwest Quarter of Section 2, T6N, R19E. State Plane Coordinates of 1927, South Zone, measured as N00°05'00"W. All distances are given in ground distances.
- Before excavation, appropriate utility companies should be contacted. For exact location of underground utilities, contact Diggers Hotline at 1.800.242.8511.

LEGEND

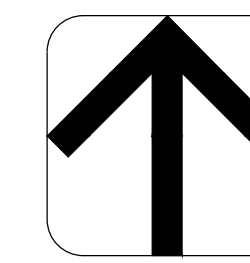
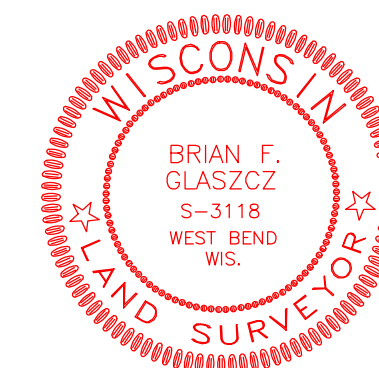
	SANITARY MANHOLE		FIBER OPTICS MANHOLE
	STORMWATER/SANITARY MANHOLE		ELECTRIC MANHOLE
	INLET		GENERAL MANHOLE
	CATCH BASIN		UTILITY POLE
	WATER VALVE		ELECTRIC PEDESTAL
	GAS VALVE		TELEPHONE PED
	FIRE HYDRANT		CABLE TV PED
	FLAG POLE		ELECTRIC METER/ GAS METER
	GUY WIRE		ELECTRIC PULLBOX
	BOLLARD		LIGHT POLE
	(100.00') RECORDED AS		SIGN
			RAIL SIGNAL

	PROPERTY LINE
	R/W LINE
	R/W CENTERLINE
	BUILDING
	CHAINLINK FENCE
	UNDERGROUND ELECTRIC
	UNDERGROUND SANITARY
	UNDERGROUND GAS
	UNDERGROUND STORM SEWER
	WATERMAIN
	LANDSCAPED AREA
	CONCRETE
	ASPHALT
	FOUND MONUMENT (TYPE/SIZE NOTED)
	SET MONUMENT (TYPE/SIZE NOTED)
	PK NAIL

Surveyor's Certificate

I, Brian F. Glaszcz, Professional Land Surveyor, hereby certify that I have surveyed the lands shown hereon in accordance with Chapter A-67 of the Wisconsin Statutes and that this map and description is a true and correct to the best of my knowledge and belief.

Brian F. Glaszcz, P.L.S. No. S-3118
Dated this 10th day of December, 2019



NORTH



SURVEY BY	NS	BOOK NO					
DR BY	BFG	PROJ NO	76-0144.00				
CHK BY	NV	DATE	11/25/2019	NO	DATE	REVISION	

1013 N. HARTWELL AVENUE
SCHROEDER & HOLT ARCHITECTS
WAUKESHA, WI



N17 W24222 Riverwood Drive
Waukesha, WI 53188
(262) 523-4488
AyresAssociates.com

PLAT OF SURVEY

SHEET NO
1



EXISTING EXTERIOR



NEW EXTERIOR



EXISTING EXTERIOR

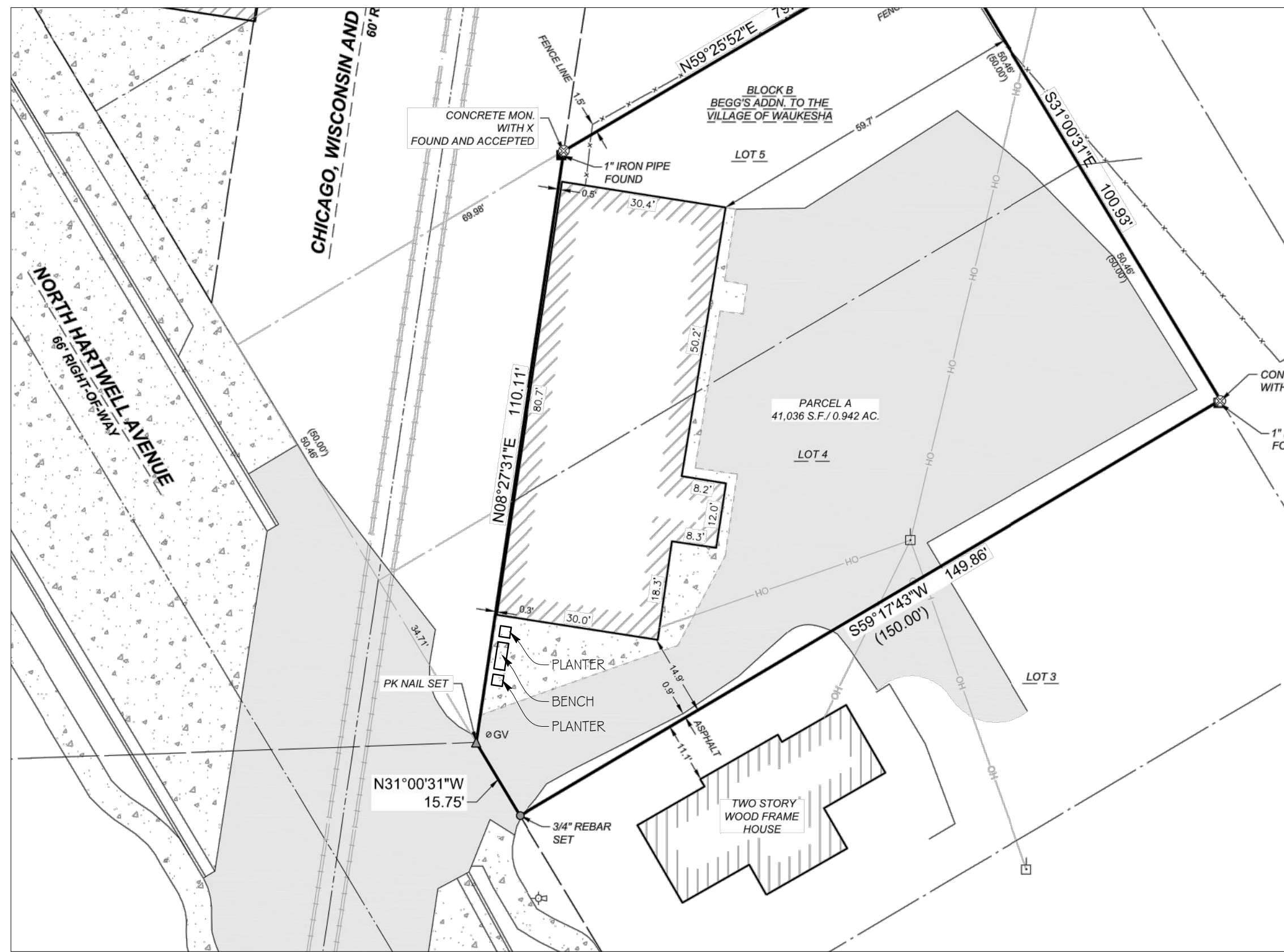


NEW EXTERIOR



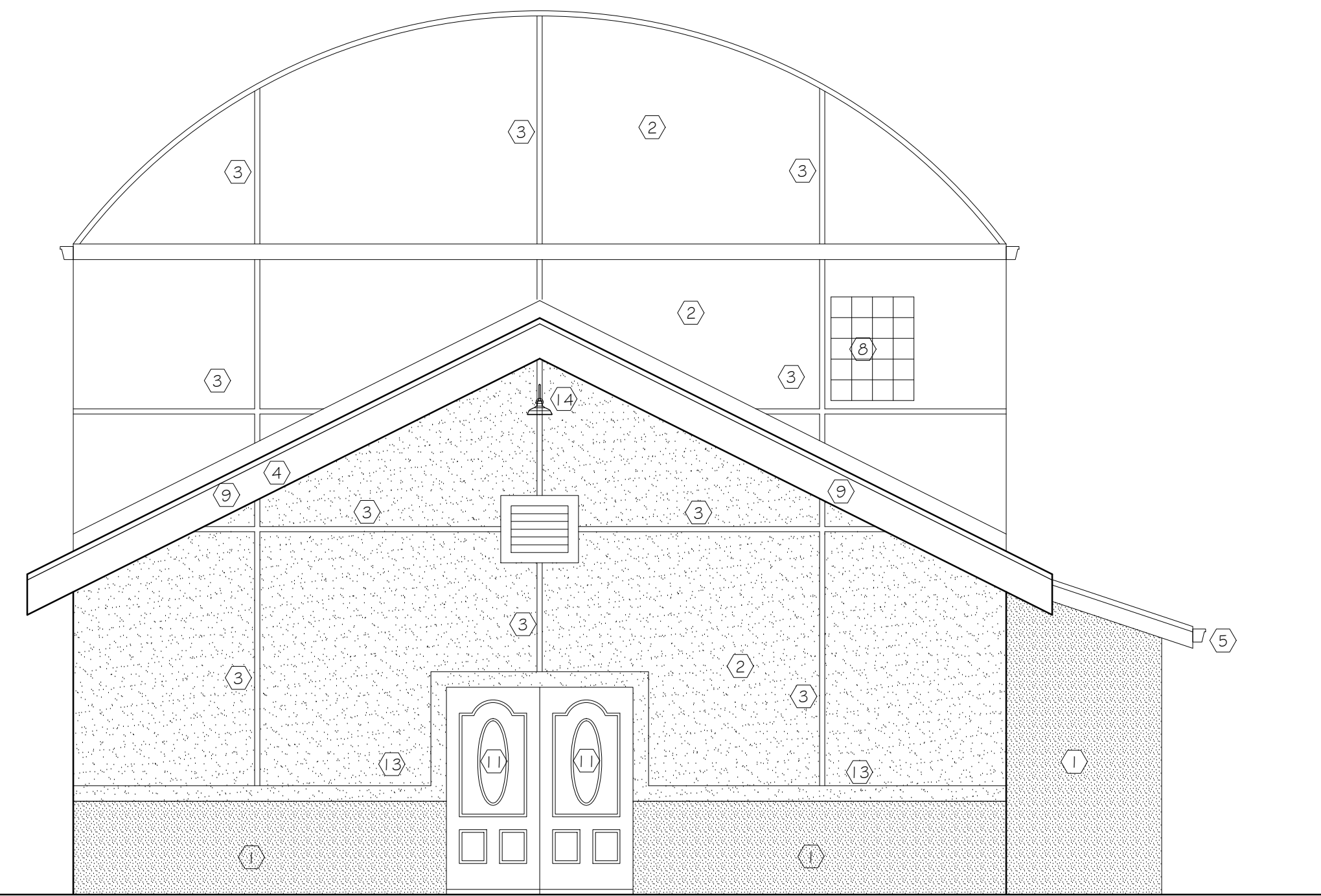
Exterior Renovation

Project Info



1 PARTIAL SITE PLAN

SCALE: NTS

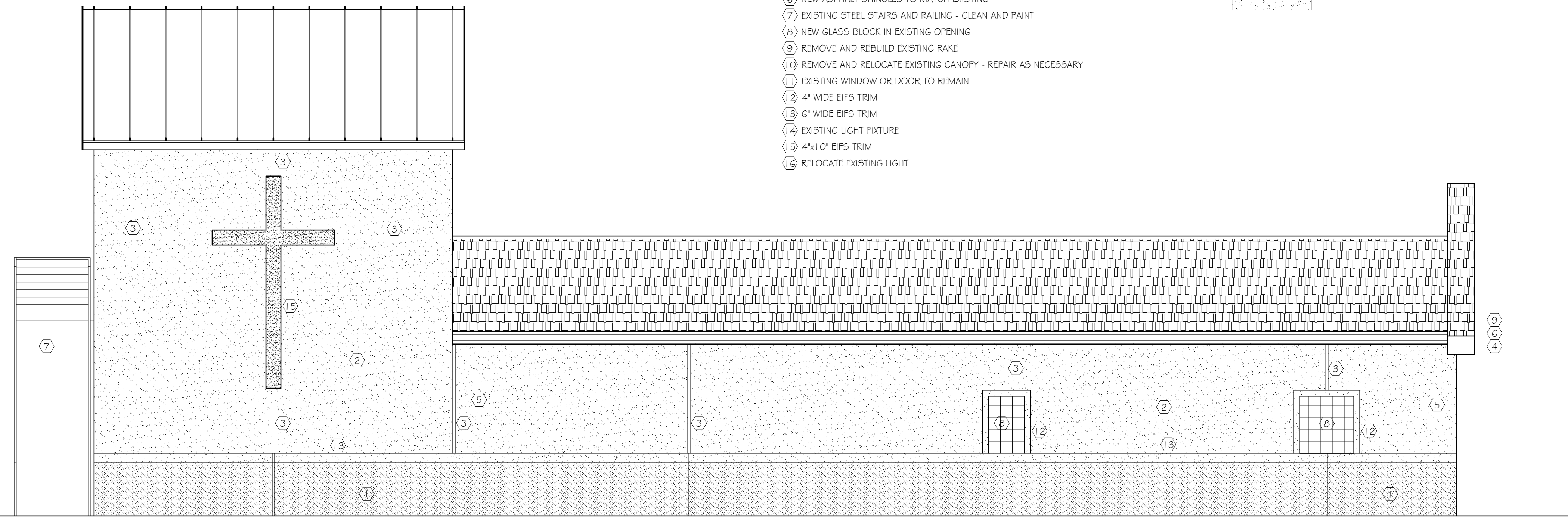
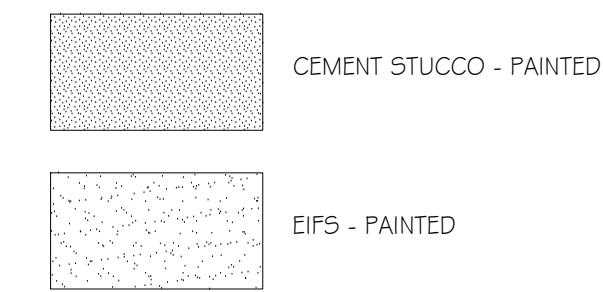


2 SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

ELEVATION CODED NOTES:

- ① CEMENT STUCCO - PAINTED
- ② 2" EIFS OVER EXISTING WALL
- ③ 2" x 1/2" REVEAL
- ④ PRE-FINISHED STEEL FASCIA AND SOFFIT
- ⑤ PRE-FINISHED GUTTER AND DOWNSPOUT
- ⑥ NEW ASPHALT SHINGLES TO MATCH EXISTING
- ⑦ EXISTING STEEL STAIRS AND RAILING - CLEAN AND PAINT
- ⑧ NEW GLASS BLOCK IN EXISTING OPENING
- ⑨ REMOVE AND REBUILD EXISTING RAKE
- ⑩ REMOVE AND RELOCATE EXISTING CANOPY - REPAIR AS NECESSARY
- ⑪ EXISTING WINDOW OR DOOR TO REMAIN
- ⑫ 4" WIDE EIFS TRIM
- ⑬ 6" WIDE EIFS TRIM
- ⑭ EXISTING LIGHT FIXTURE
- ⑮ 4"x1'0" EIFS TRIM
- ⑯ RELOCATE EXISTING LIGHT



3 WEST ELEVATION

SCALE: 1/4" = 1'-0"

Exterior Remodeling

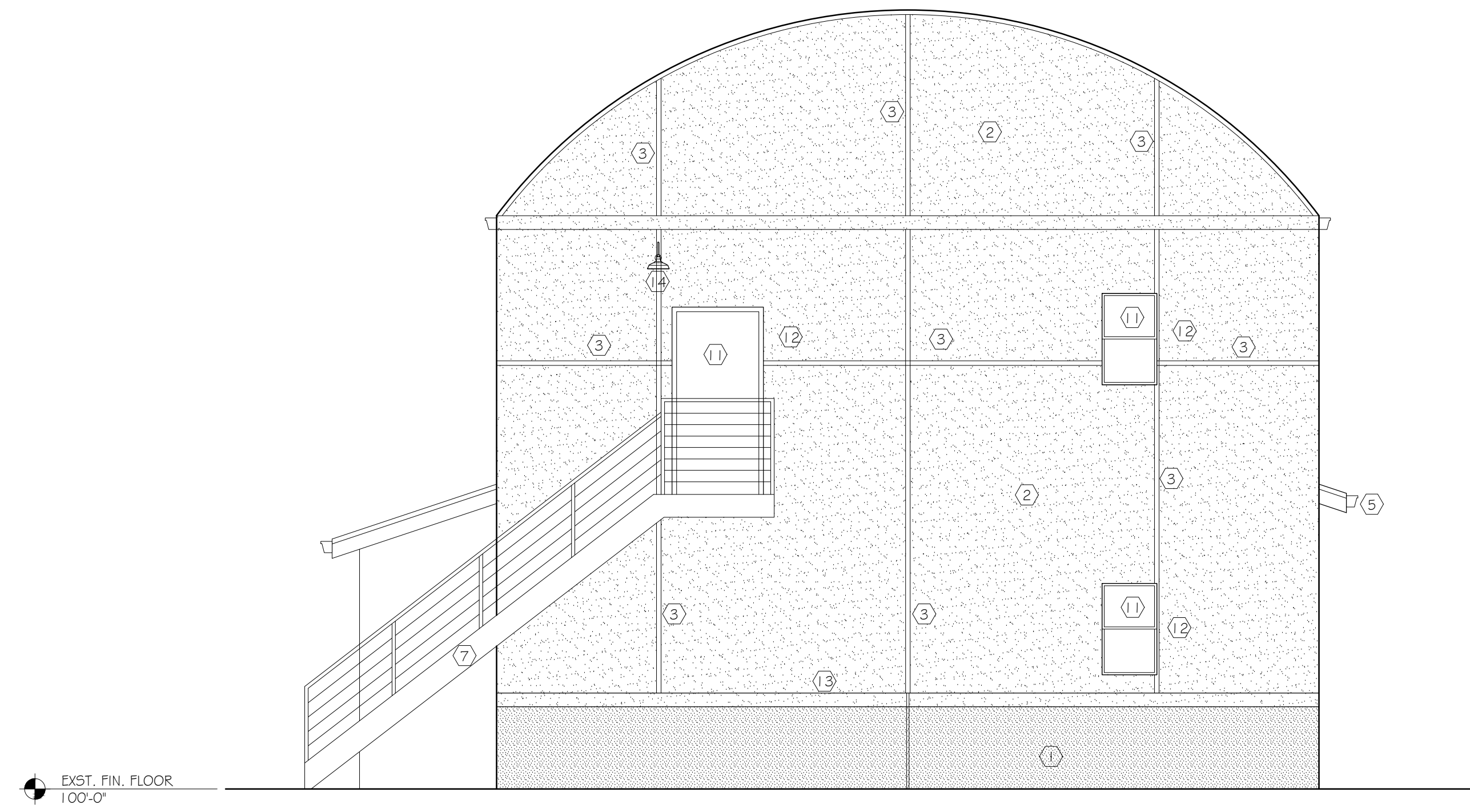
APCJC Inc
1013 N. Hartwell Ave.
Waukesha, WI

NO.	DATE	DESCRIPTION
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PROJECT #: 4409

DATE: January 2nd, 2020

elevations

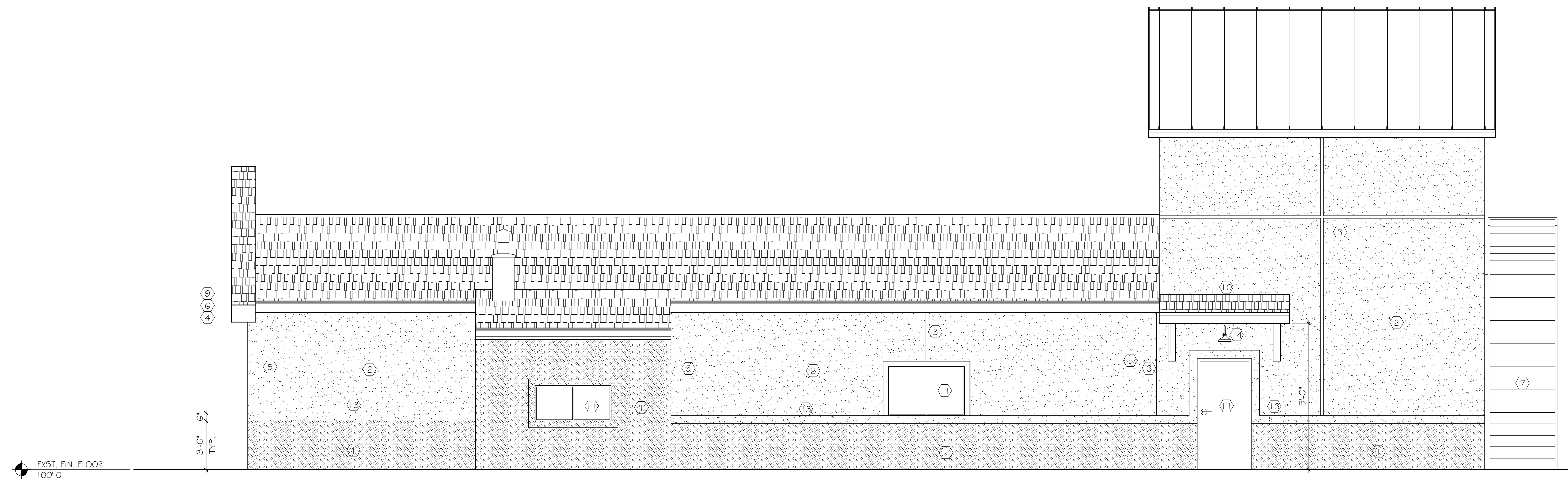
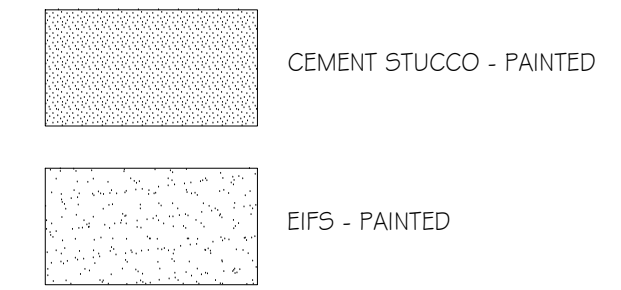


4 NORTH ELEVATION

SCALE: 1/4" = 1'-0"

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5 EAST ELEVATION

SCALE: 1/4" = 1'-0"

Exterior Remodeling

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Waukesha, WI

NO.	DATE	DESCRIPTION
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elevations