



CITY OF WAUKESHA  
DEPARTMENT OF COMMUNITY DEVELOPMENT  
City Hall, 201 Delafield Street, Waukesha, WI 53188  
(262) 524-3750

## CONDITIONAL USE PERMIT APPLICATION

This application must accompany a Plan Commission Application along with the required fee.  
The Plan Commission may not make a decision on this request if the property owner is not present at the meeting.

DATE: 12/18/24

☒ NEW APPLICATION

☐ AMENDMENT TO EXISTING CONDITIONAL USE PERMIT

Please describe your proposed use below in as much detail as possible. Be sure to include potential future growth, to avoid needing to come back for further approvals in the future. Some portions of the questionnaire below will not apply to all Conditional Use Permit applications. If there are relevant details which are not covered below, please attach a written narrative to explain them.

NAME OF PROJECT OR BUSINESS: Elegant Hair LLC

LOCATION OF USE: 1501 Delafield St, Waukesha, WI 53188

TYPE OF USE: Hair Salon

Is this a NEW use or is this use being relocated from somewhere else? Relocated

If you are relocating a use, where are you relocating it from? Solo Salon Suites (rented a suite)

Do you operate a use in other locations? (Circle one) YES NO

If yes, please explain: \_\_\_\_\_

Will the use be occupying an existing building or will you be building a new building? EXISTING NEW

Hours and days of operation: 11am - 7pm, Tuesday - Saturday

Number of Employees: 0

Number of on-site parking stalls available: 4

Length of permit requested (6 month, 1 year, 2 year, permanent): Permanent

Current zoning: Residential

Is a License required to operate this use? (Circle one) YES NO If yes, please attach a copy.

Name of licensing authority: Department of Safety and Professional Services

Will any hazardous materials be used? NO

The following information must be attached to process the permit:

- ☒ A site map showing the location of the proposed site.
- ☒ A site plan showing the location of building(s), parking, landscaping, etc.
- ☒ A floor plan of the building showing how it will be used for the proposed use.
- ☒ If an existing building, a photo of the building.
- ☐ If new, complete development plans must be submitted per the development guidelines.
- ☒ If facade changes are proposed, plans must be submitted showing changes.
- ☒ A business plan if there is one; otherwise answer the questions on the back.

Please attach a copy of your Business Plan if you have one.

If you do not have written Business Plan or choose not to share it, please answer the following questions:

1. What business will you be in? Cosmetology
2. Explain your business' daily operations. Giving customers a shampoo, cutting their hair and selling hair products
3. How will business be managed on a daily basis? The owner will be onsite, following state regulations and continuing education
4. What are your products or services? Cutting hair, selling hair products, styling hair for wedding
5. Will your employees need additional parking? N/A
6. Are employees required to have any certification(s)? N/A
7. Who is the owner of the building or premises where your business will be conducted? Thomas and Nichelle Everson
8. If you are not owner of the building or premises where your business will be conducted, do you have a lease agreement with the owner? \_\_\_\_\_
9. Are there any insurance requirements for your business? Yes
10. Will you have property insurance? Yes
11. Are there any noise considerations/concerns with your business operations? NO

Please Note: If approved, this permit will be issued to the applicant only and will not be transferrable. This application will become null and void if required fees and materials are not submitted at time of application. Any physical changes made to the building may require the installation of additional fire protection systems. Please contact the Fire Marshal for further discussion.

## Garage/Hair Salon Remodel Conditional Use Permit Application

1501 Delafield St

We have talked to contractors about remodeling our attached garage into a hair salon. Alderman Eric Payne came to our house in April, 2024. He supported our idea and said he would speak in favor of our application.

We are planning to remodel our existing, attached garage into a hair salon for my wife's business. She currently rents a salon suite from Sola Salon Suites in New Berlin. It's a beautiful space and her clients love the privacy of a suite as well as her decor. The rent at her suite averages to \$1240/month. We have taken out a loan to remodel the garage. We are signing a contract with a general contractor for \$96,000. We will pay \$750/month until the loan is paid off.

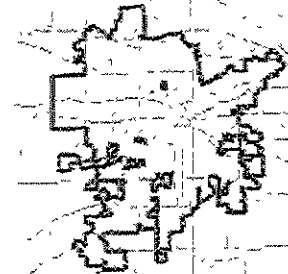
Relocating the business should have minimal impact to our neighborhood. We live on a busy section of Delafield St, between Moreland Rd and Northview Rd. Our house is on the east side of Delafield St. The lot is .7 acres. Our house and garage are almost completely hidden from the street due to a row of arborvitaes on the property line. The southern property border has shrubs that separate our driveway from the neighbors. The northern property line is about 75 feet away from our garage and the view from that neighbor's house is also blocked by arborvitaes. And we have woods behind our house, so there aren't any houses behind ours.

There will only be 1-2 customer vehicles parked at our house at any given moment. The house to the south of us is already owned by a company with employees who park in their driveway. It's a group home and usually has 2-3 employee vehicles parked. Their house is closer to the road and is more visible than ours. Our house is set back from the road and the 1-2 customer vehicles would not cause any obstructions or disturbances.



# City of Waukesha Property Map

Denotes 4 parking spaces



## Legend

- Address Labels
- Parcels
- Taxkey Labels
- City Limits
- Railroads
- Water Bodies
- Landmarks
  - Cemetery
  - County
  - Municipal
  - Hospital
  - Parks
  - School
  - State/Federal

1: 289



0.0 0 0.00 0.0 Miles

Print Date 12/20/2024  
City of Waukesha GIS

This map is a user generated static output from an Internet mapping site and is for reference only. The data found on this site is considered to be correct, but should not be used for engineering or survey applications without verifying the information from officially recorded sources.

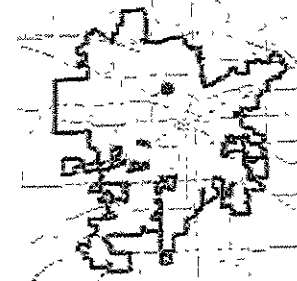
Notes:





# City of Waukesha Property Map

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Notes:

**State of Wisconsin**

DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES

COMMITTED TO EQUAL OPPORTUNITY IN EMPLOYMENT  
AND LICENSING

**COSMETOLOGIST**

NO. 83883 - 82

Expires: 03/31/2025

**MICHELLE L EVERSON**  
1501 DELAFIELD ST,  
WAUKESHA, WISCONSIN 53188  
UNITED STATES

The person whose name appears on this document has complied with the provisions of the Wisconsin Statutes and holds the credential specified on the front of this card. To verify the current status of this credential, use "Lookup a License" at [dps.wi.gov](https://dps.wi.gov).

The named person has complied with Wisconsin Statutes and holds the credential specified. Signature: Michelle L. Everson

Ch 440.11, Wis Statutes, requires you to notify the Department of a name or address change within 30 days. Please submit corrected information via the web at [dps.wi.gov](https://dps.wi.gov) or by mail to DOPS at PO Box 8935, Madison WI 53708-8935.

## Facade Changes Conditional Use Permit Application

1501 Delafield St

The blueprints for our garage/hair salon remodel are included. All facade changes are reflected in the plans.

The current cinder block exterior will be covered with LP siding. It will match the current siding on the house as shown in the picture. One picture shows the garage with the cinder blocks. The second picture shows the LP siding that connects to the garage.

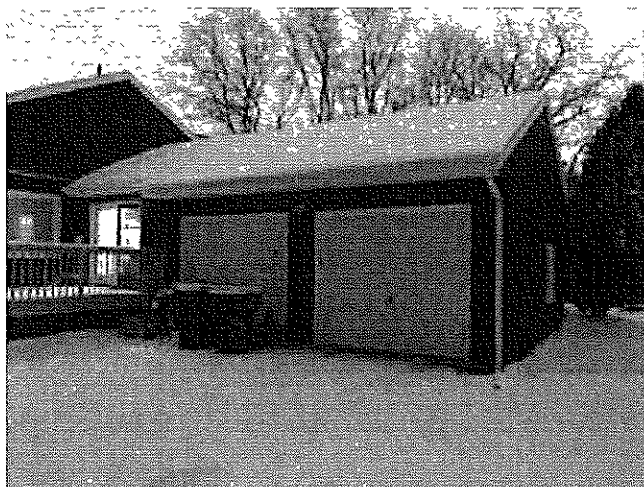
Both garage doors will be removed and covered with siding. There will be a new entry door and new windows installed.



LP Siding to match the siding on the house



Siding on the house



LP siding will be added.

Garage, the doors will be removed and



