

TOFTE'S TABLE - INTERIOR ALTERATION

331 RIVERFRONT STREET | WAUKESHA, WI 53186

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Project Info. — 21100
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 INTERIOR ALTERATION
 331 Riverfront Street
 Waukesha, WI 53186

Sheet Title
TITLE AND CODE SHEET

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ARCHITECTURAL	
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D1.0	DEMOLITION PLAN
A1.0	FLOOR PLAN
A2.0	EXTERIOR ELEVATIONS
A9.0	CONCEPTUAL RENDERINGS
PLUMBING, MECHANICAL AND ELECTRICAL PLANS TO BE A DEFERRED REVIEW AND SUBMITTAL BY DESIGN-BUILD CONTRACTOR	
PROJECT NOTES	

ELECTRICAL NOTES:
 1) ALL WORK TO BE BY DESIGN-BUILD ELECTRICAL CONTRACTOR.

HVAC NOTES:
 1) ALL WORK TO BE BY DESIGN-BUILD HVAC CONTRACTOR.

PLUMBING NOTES:
 1) ALL WORK TO BE BY DESIGN-BUILD PLUMBING CONTRACTOR.

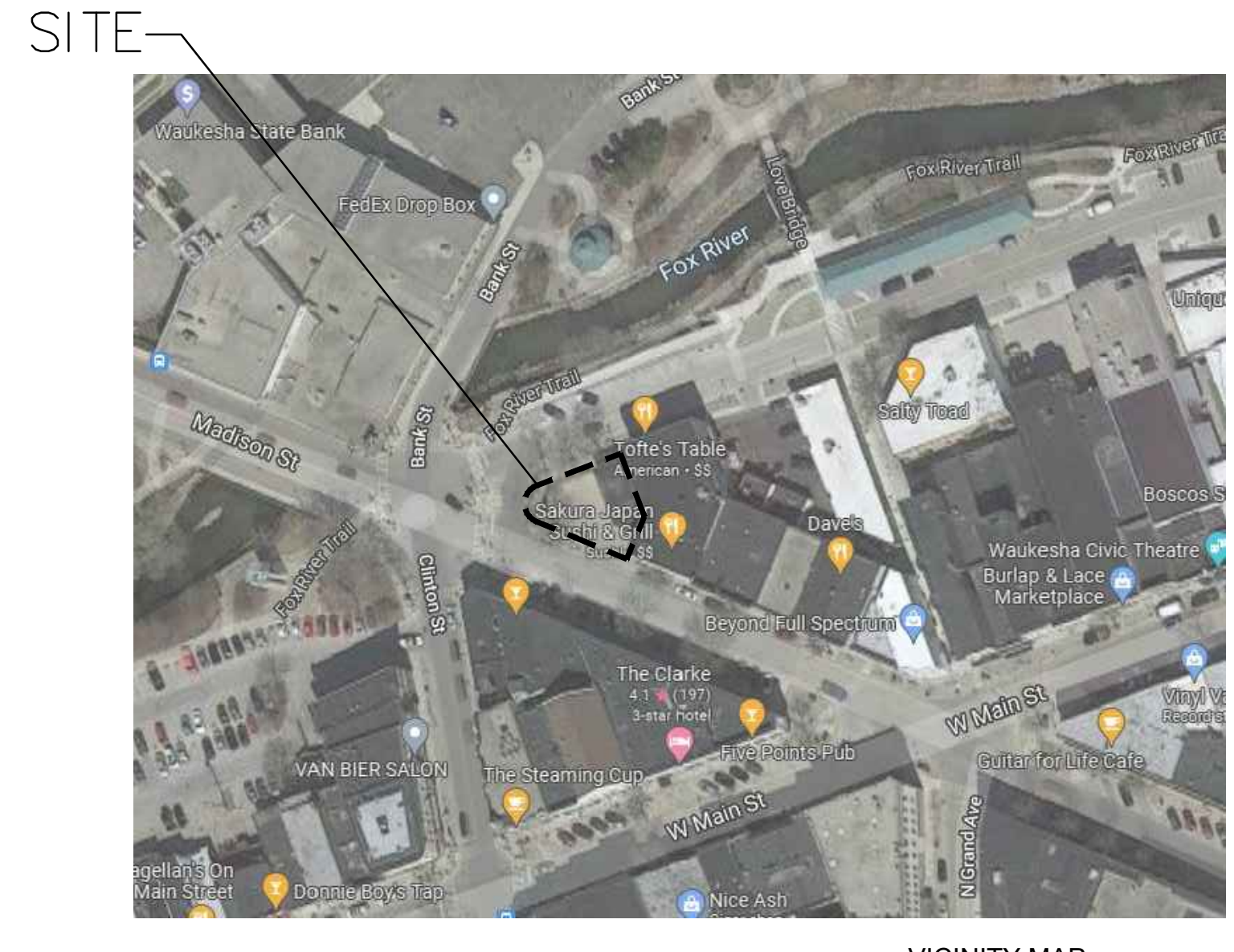
BUILDING CODE SUMMARY	
BASED ON THE	WISCONSIN COMMERCIAL BUILDING CODE (2015 INTERNATIONAL BUILDING CODE w/ WI AMENDMENTS) 2015 INTERNATIONAL EXISTING BUILDING CODE 2009 ANSI A117.1 ACCESSIBILITY CODE
ALL OTHER CODES AND ORDINANCES AS REFERENCED BY THE ABOVE CODES	
AREA OF ALTERATION	TOTAL AREA OF ALTERATION: 1,307 SF
FIRE ALARM:	---
OCCUPANCY	A-2 RESTAURANT
OCCUPANCY SEPARATION	---
CONSTRUCTION TYPE	---
SPRINKLER SYSTEM	---
NUMBER OF FLOOR LEVELS	1 STORY
ALTERATION LEVEL	LEVEL 2
FLAME SPREAD & SMOKE INDEX	---
CODE EXCEPTION	BOTTLED WATER PROVIDED IN LIEU OF DRINKING FOUNTAIN

GENERAL NOTES

- CONSTRUCTION IS TO BE IN COMPLIANCE WITH ALL GOVERNING CODES, ORDINANCES & STANDARDS. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, & SUPERVISING ALL SAFETY PRECAUTIONS & PROGRAMS IN CONNECTION WITH THE PERFORMANCE OF THIS PROJECT.
- ARCHITECT/DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY COST, SCHEDULE OR CONSTRUCTION ISSUES ARISING DUE TO GC/OWNERS FAILURE TO DISTRIBUTE ALL DOCS, SUBCONTRACTORS & SUPPLIERS SHOULD ENDEAVOR TO REVIEW A COMPLETE SET OF DOCS BEFORE BIDDING, FABRICATING & INSTALL.
- GC, SUBCONTRACTORS, MATERIAL SUPPLIERS, OWNER, ETC. MUST NOTIFY ARCHITECT OF ANY ERRORS, OMISSIONS, OR DEFECTS IN THE CONSTRUCTION DOCUMENTS PRIOR TO BIDDING, FABRICATING OR INSTALLING WORK.
- SITE DIMENSIONS ARE TO BE FIELD VERIFIED AND ADJUSTED ACCORDINGLY. THE ARCHITECT/DESIGNER SHALL BE NOTIFIED OF ANY VARIANCES BEFORE CONTRACTOR BEGINS OR PROCEEDS WORK.
- MECH, ELEC, PLUMB & FIRE PROTECTION ARE TO BE DESIGN BUILT, COMPLYING WITH ALL GOVERNING CODES, ORDINANCES & STANDARDS, WHICH WILL BE THE FULL RESPONSIBILITY OF THE CONTRACTOR; THE ARCHITECT ASSUMES NO LIABILITY.
- ALL MECH, ELEC, PLUMB & FIRE PROTECTION SYSTEMS/EQUIP. SHALL BE MAINTAINED ACCORDING TO MANUFACTURER'S STANDARDS. BLDG. OWNER SHALL ASSUME FULL RESPONSIBILITY FOR MAINTANANCE/OPERATION UPON OCCUPANCY.
- THE INSTALLATION AND EXECUTION OF ALL MATERIALS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S STANDARDS AND SPECIFICATIONS. ALL MEANS & METHODS OF CONSTRUCTION TO BE THE SOLE RESPONSIBILITY OF THE GC.
- PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED IN OCCUPANCIES AND LOCATIONS AS REQUIRED BY THE INTERNATIONAL FIRE CODE. INSTALLATION LOCATIONS SHALL HAVE A MAXIMUM TRAVEL DISTANCE OF 75' TO ANY EXTINGUISHER. EXTINGUISHERS SHALL BE LOCATED IN CONSPICUOUS LOCATIONS WHERE THEY WILL BE READILY ACCESSIBLE AND IMMEDIATELY AVAILABLE FOR USE, TYPICALLY ALONG PATHS OF TRAVEL. EXTINGUISHERS SHALL NOT BE OBSTRUCTED FROM VIEW; IF VISUAL OBSTRUCTION CAN NOT BE AVOIDED ANOTHER MEANS SHALL BE PROVIDED TO INDICATE THE EXTINGUISHER LOCATIONS. EXTINGUISHERS NOT EXCEEDING 40" SHALL BE INSTALLED SO THAT ITS TOP IS NOT MORE THAN 5'-0" ABOVE THE FLOOR, EXTINGUISHERS EXCEEDING 40" SHALL BE INSTALLED SO THAT ITS TOP IS NOT MORE THAN 3'-6" ABOVE THE FLOOR. THE CLEARANCE BETWEEN THE FLOOR AND BOTTOM OF HAND HELD UNITS SHALL NOT BE LESS THAN 4". VERIFY EXTINGUISHER LOCATIONS W/ LOCAL FIRE DEPT. & OWNER PRIOR TO INSTALLATION.
- ALL CONCRETE FLAT WORK MUST BE WET CURED PER ACI REQUIREMENTS AND/OR CURED USING A CURING COMPOUND. REFER TO STRUCTURAL NOTES FOR CURING COMPOUND SPECS. CONTRACTOR IS RESPONSIBLE FOR APPLYING CURING COMPOUNDS PER THE MANUFACTURER'S REQUIREMENTS.

PROJECT CONTACT INFO	
OWNER: LUCKY LAND LLC P.O. BOX 648 WAUKESHA, WI 53187	ARCHITECT: THRIVE ARCHITECTS 259 SOUTH STREET, SUITE A WAUKESHA, WI 53186 P: 833-380-6180 ATTN: JEREMY BARTLETT, ARCHITECT OF RECORD
CONTRACTOR: STIER CONSTRUCTION INC. N8W22195 JOHNSON DRIVE WAUKESHA, WI 53186 P: 262-574-0306	

TYPICAL ABBREVIATIONS									
ABV: Above	B/O: By Others	DW: Dishwasher	FTC: Footing	LB: Pound	NO, #: Number	REFR: Ref	TEMP: Tempered		
ACOUS: Acoustical	BC: Bottom Of	DW: Door	FND: Foundation	LAM: Laminated(d)	O: Non-Operable Window	REG: Register	TK: Tight Knot		
ADDL: Additional	BR: Bedroom	DR: Door	FRM: Fram(d), (mg)	LAV: Lavatory	RE: Reinforced	RE: Reinforced	T&G: Tongue and Groove		
ADH: Adhesive		DH: Double Hung	FBO: Furnished by Others	LH: Left Hand	REQD: Required	T/O: Top of	TCC: Top of Concrete		
ADJ: Adjustable	CAB: Cabinet	DS: Downspout	FUR: Furred	L: Length	OBS: Obscure	TOC: Top of Wall	TOW: Top of Wall		
AFF: Above Finish Floor	CALC: Calculation			LT: Light	OC: On Center	R: Riser	TB: Towel Bar		
AGG: Aggregate	CC: Cabinet Door			LF: Lineal Feet	OP: Opening	RD: Rod	T: Tread		
AHL: Authority Having Jurisdiction	CIP: Cast-in-Place (Concrete)			LL: Live Load	OSB: Oriented Strand Board	R&S: Rod and Shelf	TS: Tubulor Steel		
A/C: Air Conditioning	CL: Centerline			LVL: Laminated Veneer Lumber	RFS: Roofing	RM: Room	TYP: Typical		
ALT: Alternate	CO: Clean Out	EW: Each Way		LVR: Louver	RO: Rough Opening		UL: Underwriters Laboratory		
ALUM: Aluminum	CONTR: Contract (or)	E: East		MFR: Manufacturer	SCH: Schedule	UNF: Unfinished	UNO: Unless Noted Otherwise		
ANCH: Anchor, Anchorage	COORD: Coordinate (or)	EL: Elevation		MFO: Masonry Opening	SCN: Screen				
AB: Anchor Bolt	CRPT: Carpet	ELEV: Elevation		MAS: Masonry	SECT: Section				
ANOD: Anodized	CIP: Cast-in-place	EQ: Equipment		MCH: Mechanic(al)	SGD: Sliding Glass Door				
APX: Approximate	CLK: Caulking	EXC: Excavate		MC: Medicine Cabinet	SH: Sheathing				
APT: Apartment	CAS: Casement	EXH: Exhaust		MED: Medium	SH: Shelf, Shelving				
ARCH: Architect (architectural)	CB: Catch Basin	EXT: Existing		MDF: Medium Density Fiberboard	SM: Similar				
ASPH: Asphalt	CLG: Ceiling	EXT: Exterior		MDB: Membrane	SKL: Skylight				
AUTO: Automatic	CT: Ceramic Tile	FCC: Face of Concrete		MDF: Medium Density Overlay	SLD: Slab				
AVE: Avenue	COR: Circle	HT: Height		MDB: Membrane	SLD: Slab				
AVR: Average	CLR: Clear	HCC: Hollow Core		MTL: Metal	SLD: Slab				
AWN: Awning	COL: Column	HIZ: Heating, Ventilation-Air Conditioning		MWK: Millwork	SPEC: Specification				
BSMT: Basement	CONC: Concrete	HT: Height		MIR: Mirror	SQ: Square				
BM: Beam	CONSTR: CONSTRUCTION	HCC: Hollow Core		MIR: Mirror	STD: Standard				
BSK: Beveled	CONT: Continuous	HCC: Hollow Core		MIS: Miscellaneous	STV: Stove				
BTUM: Bituminous	CJT: Control Joint	HCC: Hollow Core		MIS: Miscellaneous	STR: Structural				
BLK: Block	CCR: Corrugated	HCC: Hollow Core		MIS: Miscellaneous	SW: Shear Wall				
BLKG: Blocking	CUB: Cubic Foot	HCC: Hollow Core		MIS: Miscellaneous	SS: Stainless Steel				
BLW: Below	CUT: Cubic Yard	HCC: Hollow Core		MIS: Miscellaneous	SYS: System				
BLVD: Boulevard	DIAM: Diameter	HCC: Hollow Core		MIS: Miscellaneous					
BETW: Between	DP: Dampproofing	HCC: Hollow Core		MIS: Miscellaneous					
BD: Board	DET: Detail	HCC: Hollow Core		MIS: Miscellaneous					
BOT: Bottom	DIAM: Diameter	HCC: Hollow Core		MIS: Miscellaneous					
BLDG: Building	FLR: Floor	HCC: Hollow Core		MIS: Miscellaneous					
BUR: Built Up Roofing	FLOR: Fluorescent	HCC: Hollow Core		MIS: Miscellaneous					
	DIM: Dimension	HCC: Hollow Core		MIS: Miscellaneous					



VICINITY MAP
SCALE: N.T.S.



Drawn by	Checked by
AMP	JDB

Revisions		
No.	Date	Description
01.24.22		PC Submittal

Sheet No. **T1.0**

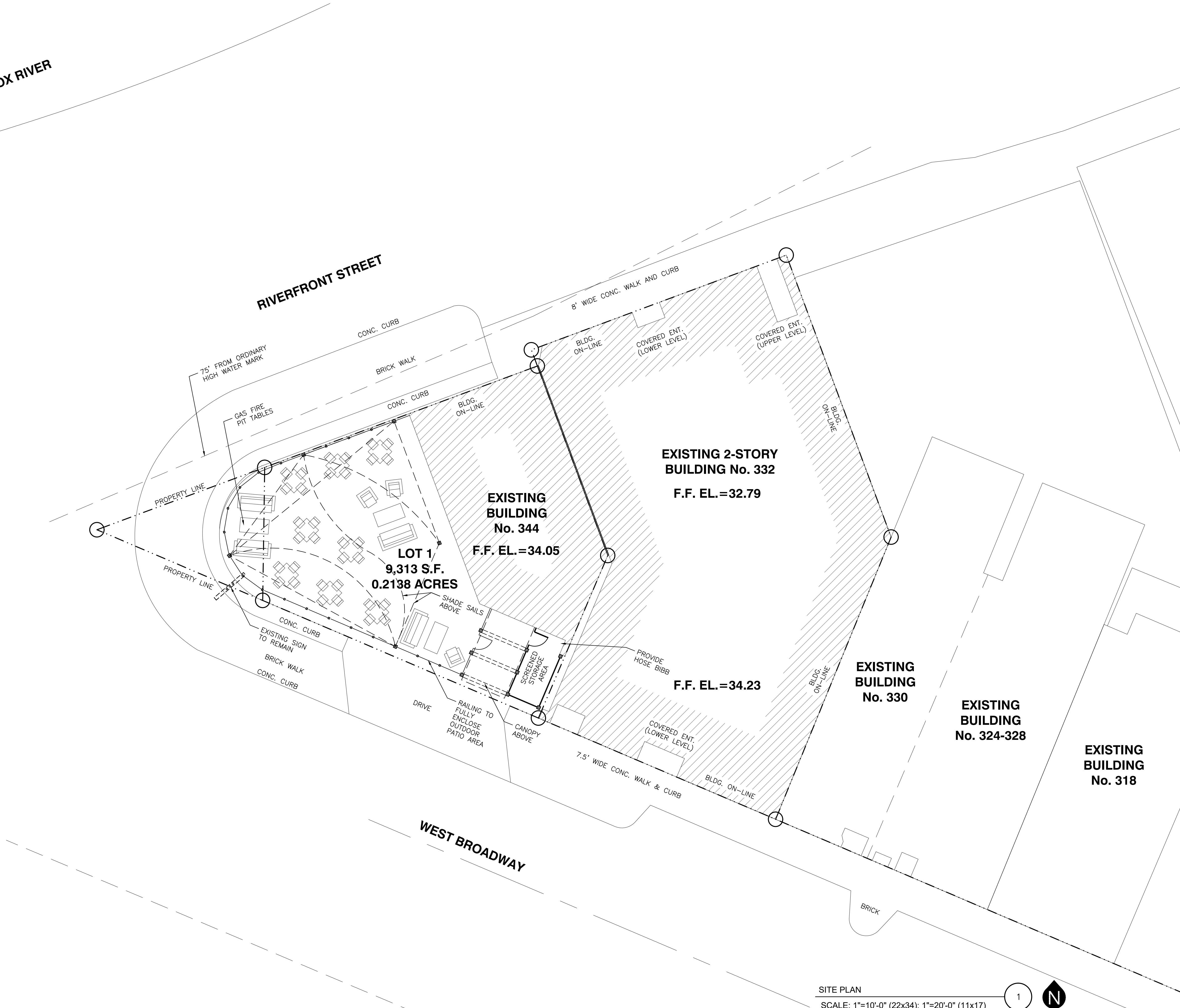
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BANK STREET

FOX RIVER

RIVERFRONT STREET

WEST BROADWAY



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Sheet Title

SITE PLAN

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Sheet No.

SP1.0

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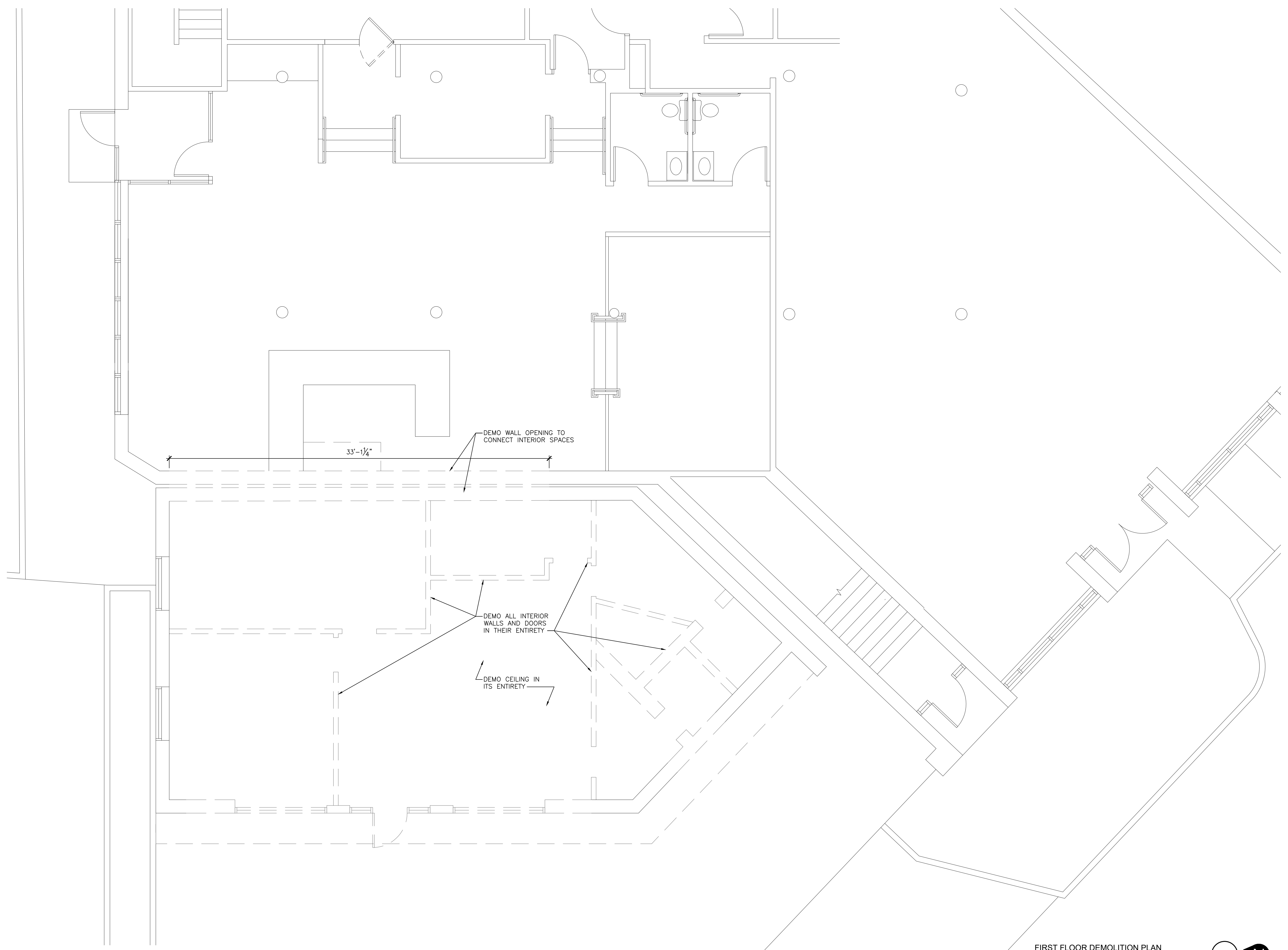
DEMOLITION PLAN

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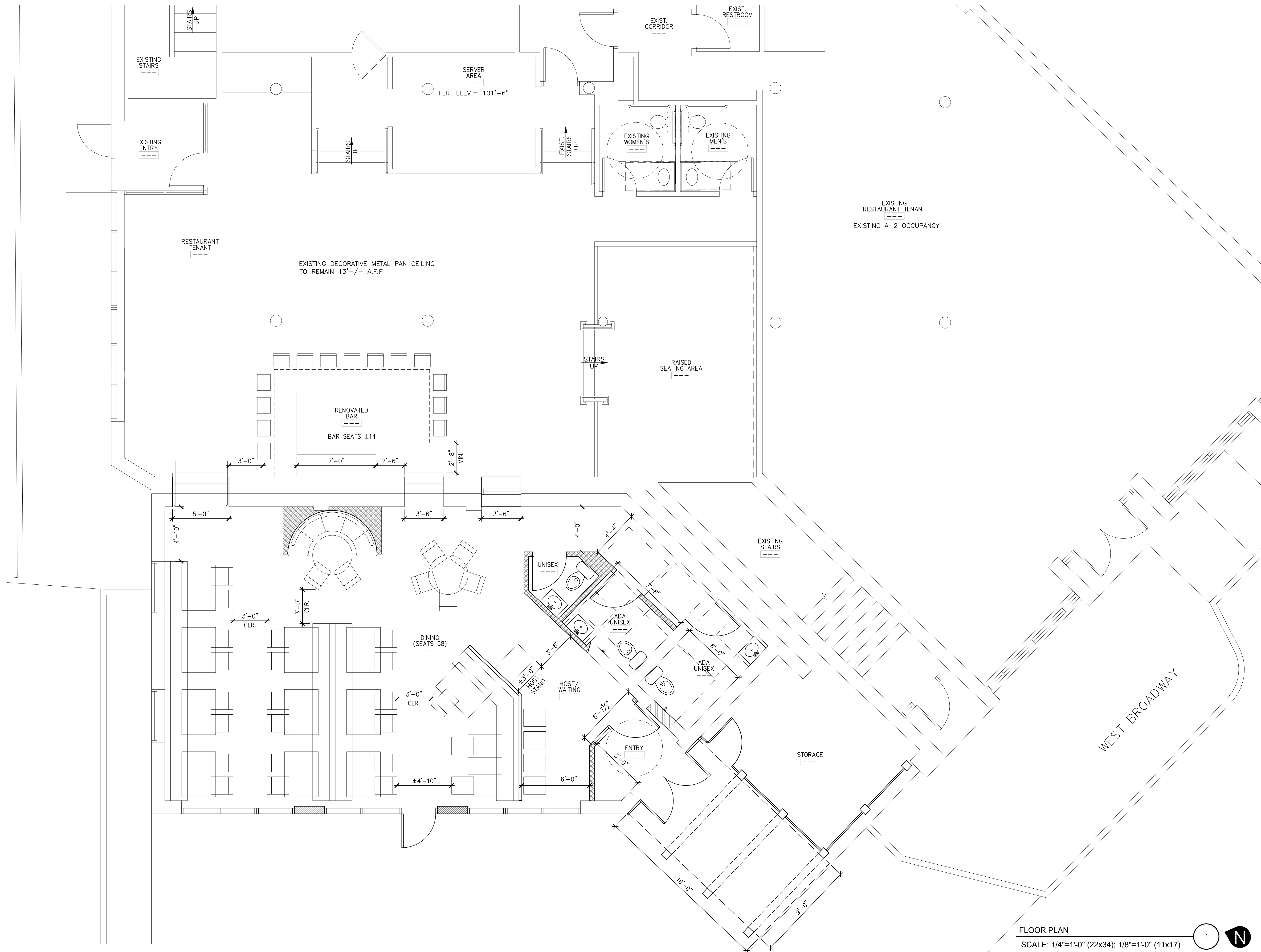


FLOOR PLAN

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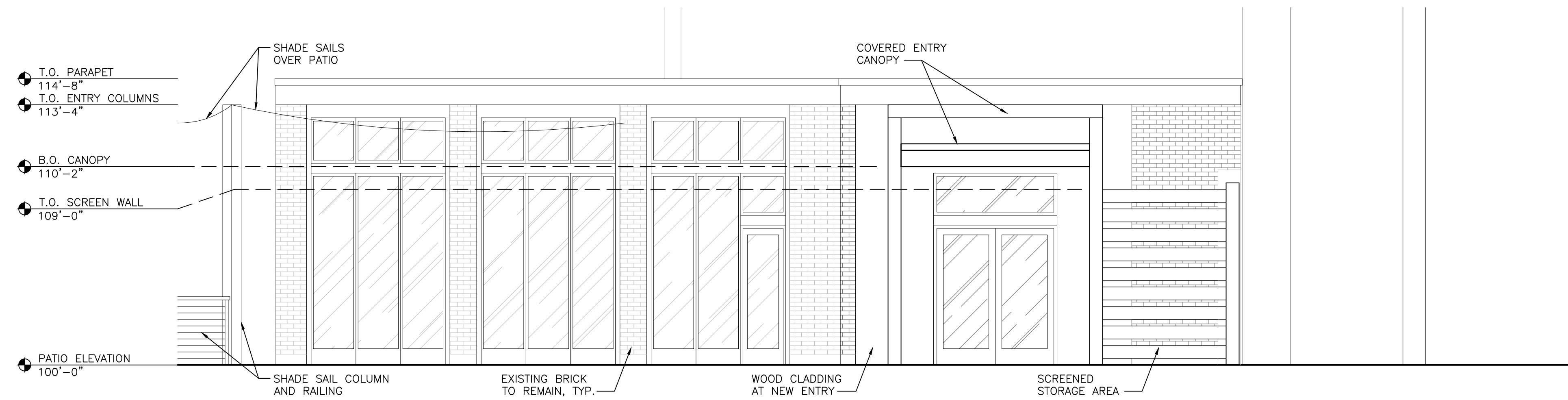
EXTERIOR ELEVATIONS

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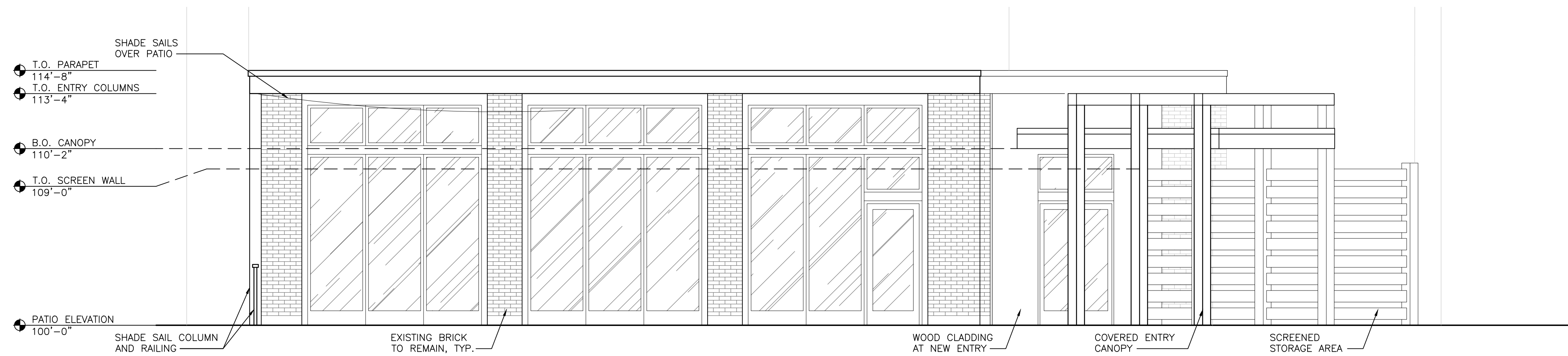
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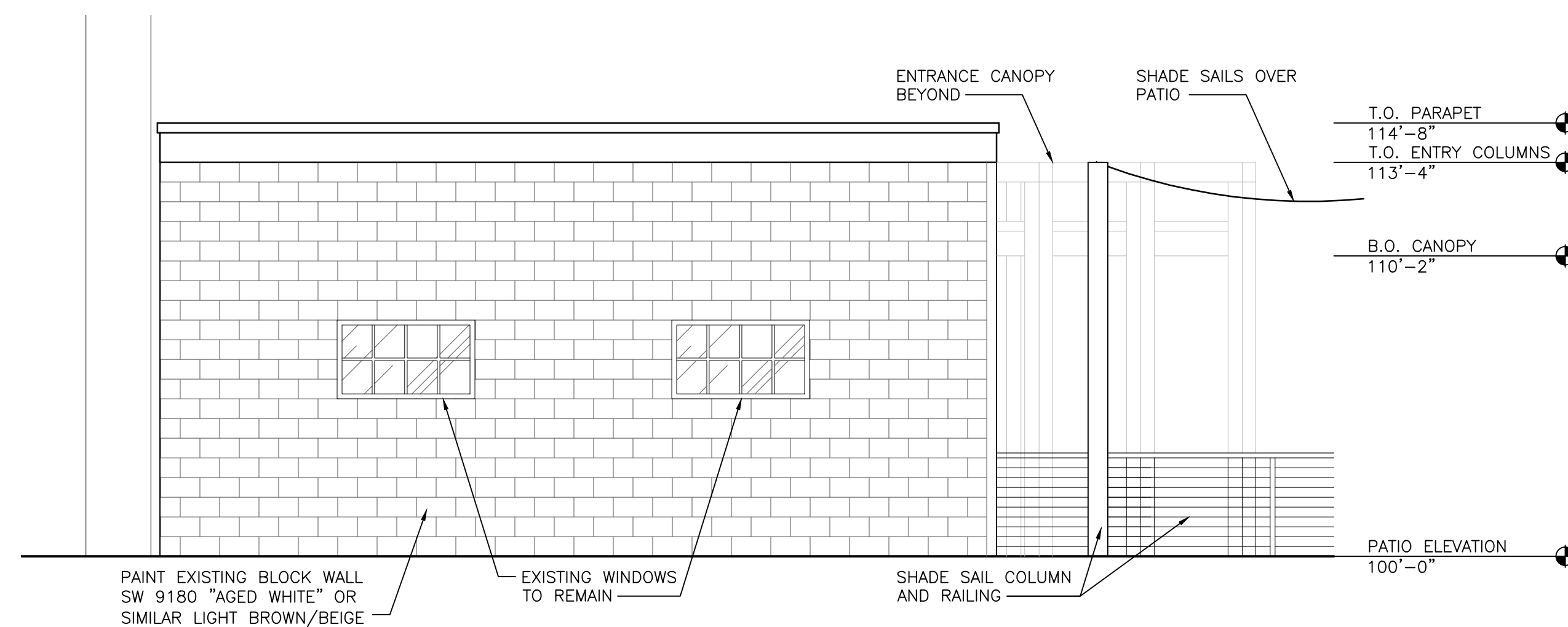
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SOUTH ELEVATION
 SCALE: 1/4"=1'-0" (22x34); 1/8"=1'-0" (11x17) 3



WEST ELEVATION
 SCALE: 1/4"=1'-0" (22x34); 1/8"=1'-0" (11x17) 2



NORTH ELEVATION
 SCALE: 1/4"=1'-0" (22x34); 1/8"=1'-0" (11x17) 1



AERIAL PERSPECTIVE
SCALE: NOT TO SCALE

4



VIEW ALONG RIVERFRONT ST.
SCALE: NOT TO SCALE

3



CORNER OF RIVERFRONT ST. & W. BROADWAY
SCALE: NOT TO SCALE

2



VIEW ALONG W. BROADWAY
SCALE: NOT TO SCALE

1

CONCEPTUAL RENDERINGS

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