

PROPOSED REMODEL OF:

# LES PAUL BAND SHELL

CUTLER PARK  
WAUKESHA, WI 53186

## CLIENT

CITY OF WAUKESHA  
PARKS, RECREATION & FORESTRY DEPARTMENT  
1900 AVIATION DRIVE  
WAUKESHA, WI 53188  
P: 262.524.3737  
CI.WAUKESHA.WI.US

## ARCHITECT

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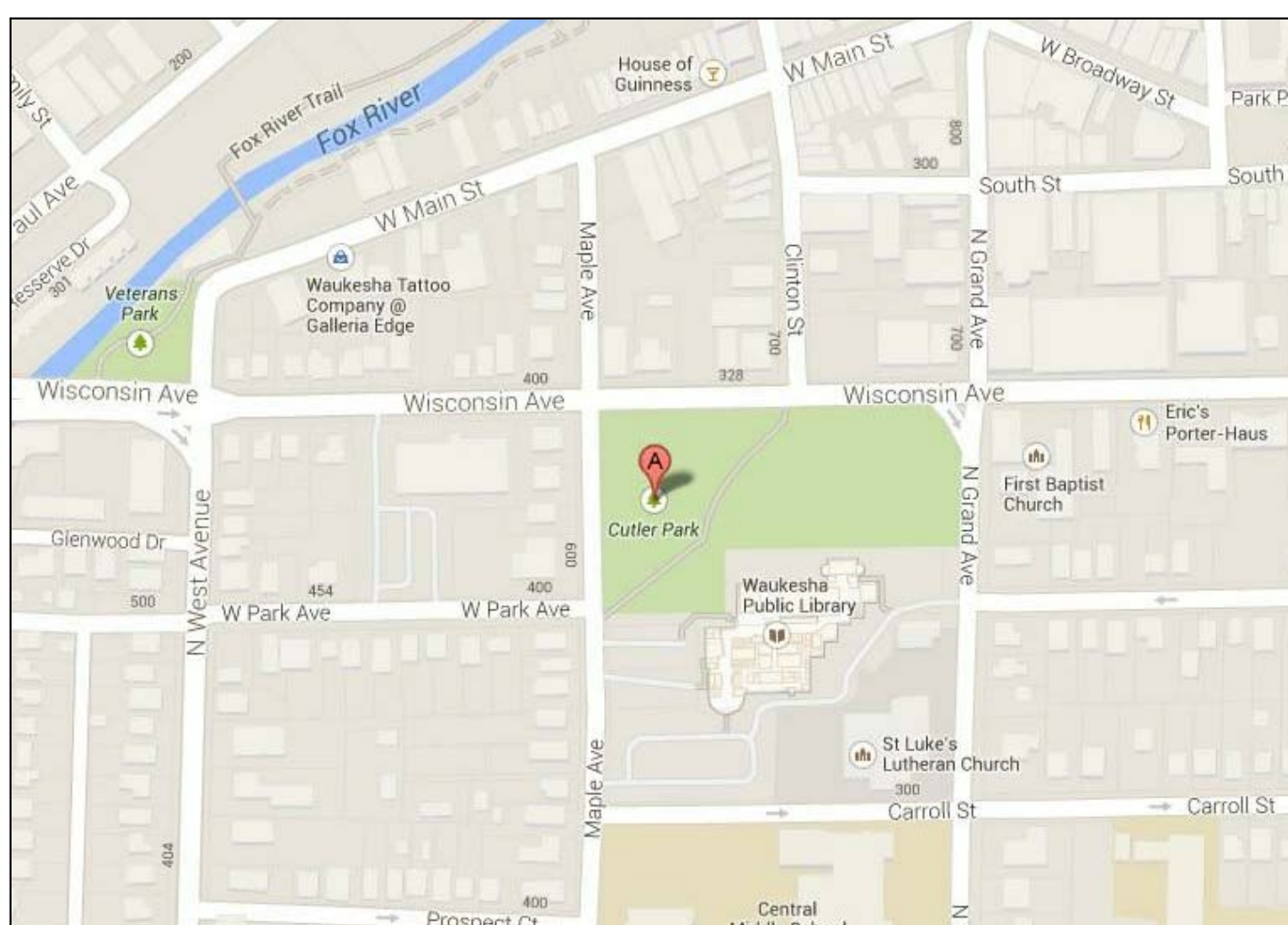
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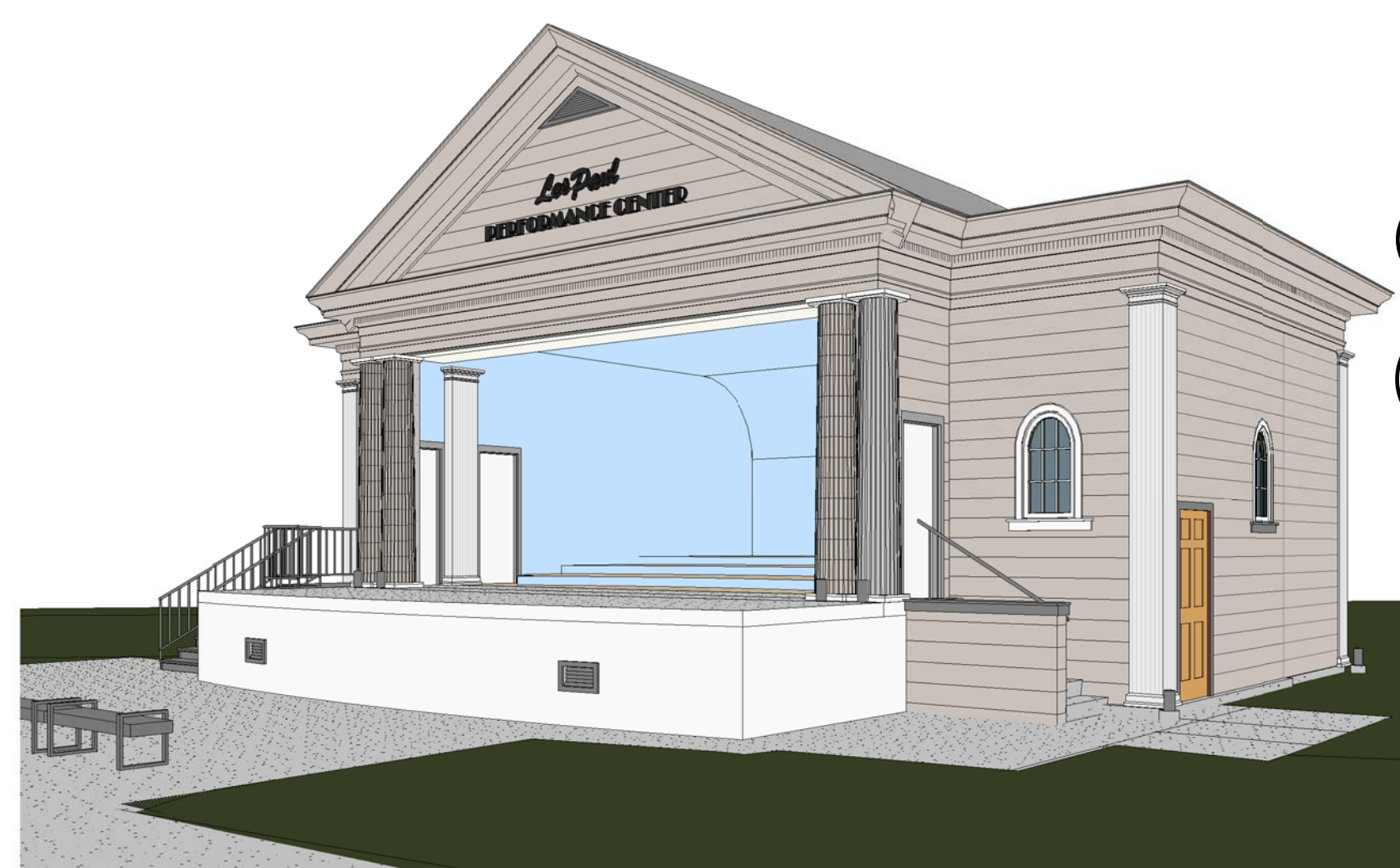
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08/22/14	1	REVISION 1
10/15/14	2	REVISION 2
11/20/14	3	REVISION 3



1 PROJECT LOCATION  
N.T.S.

CODE ANALYSIS IBC 2009	
PROPERTY ADDRESS:	CUTLER PARK WAUKESHA, WI 53186
OCCUPANCY CLASSIFICATION:	U
CLASS OF CONSTRUCTION:	VB
ALTERATION LEVEL:	2
FIRE PROTECTION:	N/A
EXISTING BUILDING INFORMATION	
NUMBER OF STORIES:	1 STORY
PROJECT BUILDING AREAS:	
EXISTING EXISTING GROSS:	1,455 SF
PROPOSED ADDITION:	146 SF
TOTAL:	1,601 SF
MAXIMUM OCCUPANT LOAD:	40 PERSONS
EGRESS WIDTH:	
REQUIRED:	12"
PROVIDED:	64"
THE FOCUS OF THIS PROJECT IS TO IMPROVE ACCESS TO INDIVIDUALS WITH DISABILITIES.	



SHEET INDEX	
T1.00	TITLE SHEET
C1.01	EXISTING SITE PLAN
A0.01	DEMOLITION PLAN 1
A1.01	FLOOR 1 PLAN
A4.01	EXTERIOR ELEVATIONS
A5.01	BUILDING SECTION
A5.02	BUILDING SECTION
Grand total: 7	

ALTERNATE BID ITEMS	
EXISTING OVERHEAD METAL COILING DOOR TO REMAIN. PREP, PRIME, AND PAINT EXISTING DOOR. FURNISH AND INSTALL FLEXIBLE BOTTOM SEAL AND WEATHER STRIPPING PACKAGE. FURNISH AND INSTALL A NEW MOTOR AND DRIVE ASSEMBLY.	

## GENERAL NOTES

- ALL CONSTRUCTION WORK SHALL BE DONE IN STRICT COMPLIANCE W/ THE ADA AND THE LATEST EDITION OF THE STANDARD BUILDING CODE AS AMENDED BY THE APPLICABLE STATE, AND ALL OTHER CODES AND BUILDING REQUIREMENTS WHICH APPLY, AS WELL AS, MEET ALL APPLICABLE STANDARDS. IN INSTANCES WHERE SEVERAL DIFFERENT STANDARDS ARE APPLICABLE, THE STRICTEST STANDARD SHALL APPLY UNLESS PROHIBITED BY APPLICABLE CODES.
- GENERAL CONTRACTOR TO SUPPLY ALL SUBCONTRACTORS WITH A FULL SET OF CONSTRUCTION DOCUMENTS. ALL ADDITIONAL DRAWINGS AND SPECIFICATIONS REQUIRED FOR PERMITS TO BE SUPPLIED BY CONTRACTOR AND SUBCONTRACTORS.
- GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO STARTING WORK. THE GENERAL CONTRACTOR IS TO VERIFY EXISTENCE OF ASBESTOS-CONTAINING MATERIAL (ACM) AND IS RESPONSIBLE FOR REMOVAL OF SUBSTANCE. GENERAL CONTRACTOR REPRESENTS THAT CONTRACTOR AND ITS EMPLOYEES ARE QUALIFIED IN ASBESTOS REMOVAL WITH FULL KNOWLEDGE OF, AND COMPLIANCE WITH, ALL APPLICABLE FEDERAL, STATE, AND LOCAL RULES, REGULATIONS, AND GUIDELINES GOVERNING ASBESTOS REMOVAL. CONTRACTOR MUST FURNISH ALL PERMITS, LABOR, MATERIAL, SERVICES, INSURANCE, TOOLS, EQUIPMENT, AND NOTIFICATIONS IN ACCORDANCE WITH EPA, OSHA, STATE, AND ALL OTHER APPLICABLE AGENCIES TO COMPLETE REMOVAL OF ACM.
- BIDDING CONTRACTORS AND SUBCONTRACTORS SHALL CAREFULLY EXAMINE THE SITE AND THE APPLICABLE CONSTRUCTION DOCUMENTS. DISCREPANCIES IN THE EXISTING FIELD CONDITIONS SHALL BE CALLED TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE SUBMISSION OF THE BID. FAILURE TO DO SO ON THE PART OF THE CONTRACTOR DOES NOT RELIEVE SAID CONTRACTOR OF THE RESPONSIBILITY TO PROVIDE A CORRECT AND FINISHED PRODUCT.

- THE GENERAL CONTRACTOR SHALL OBTAIN AND PAY FOR ALL CONSTRUCTION RELATED FEES, INCLUDING BUT NOT LIMITED TO BUILDING PERMIT FEES, ENVIRONMENTAL IMPACT FEES, ETC. THE SELECTED QUALIFIED BIDDER WILL BE REQUIRED TO PROVIDE A COMPLETE LINE-ITEM LIST OF ALL FEES INCLUDED IN HIS BID AND SUBSTANTIATE HOW HE ARRIVED AT THOSE AMOUNTS.
- GENERAL CONTRACTOR SHALL PAY FOR ALL UTILITIES, (INCLUDING TELEPHONE, FAX, AND MODEM LINES) USED DURING THE CONSTRUCTION PERIOD UNTIL SUCH TIME THAT THE OWNER TAKES OCCUPANCY.
- GENERAL CONTRACTOR SHALL PROVIDE AND PAY FOR A DUMPSTER AND TEMPORARY TOILET FACILITIES (IF TOILET FACILITIES ARE NOT ALREADY ON SITE) FOR SUBCONTRACTOR'S USE.
- GENERAL CONTRACTOR SHALL KEEP THE AREA OF WORK FREE OF GARBAGE AND DEBRIS ON A DAILY BASIS.
- GENERAL CONTRACTOR'S EMPLOYEES AND SUBCONTRACTORS SHALL PICK UP AND DISPOSE OF DEBRIS ON A DAILY BASIS, INCLUDING ALL ACCESS AREAS.
- OWNER SHALL NOT BE RESPONSIBLE FOR TOOLS OR MATERIALS STOLEN OR DAMAGED ON SITE.
- UPON THE COMPLETION OF WORK, GENERAL CONTRACTOR SHALL THOROUGHLY CLEAN THE PREMISES AND WASH THE INSIDE & OUTSIDE OF ALL WINDOWS SO THAT THE SPACE IS READY FOR OCCUPANCY BY OWNER. THIS INCLUDES VACUUMING, SWEEPING, DUSTING, AND PICKING UP ALL THE TRASH AND DEBRIS LEFT FROM CONSTRUCTION.
- GENERAL CONTRACTOR SHALL WARRANT ALL PARTS, LABOR, EQUIPMENT AND MATERIAL PROVIDED UNDER THIS CONTRACT FOR A MINIMUM PERIOD OF ONE (1) YEAR, OR AS REQUIRED BY LAW, WHICHEVER IS GREATER.
- NO SUBSTITUTIONS ARE ALLOWED FOR PRODUCTS WITH A SPECIFIC MANUFACTURER AND MODEL NUMBER UNLESS APPROVED BY OWNER AND ARCHITECT.
- SUBMIT ANY SHOP DRAWINGS FOR REVIEW BY GENERAL CONTRACTOR FIRST THEN ARCHITECT SECOND.
- GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES SUCH AS: SANITARY AND STORM SEWER, WATER, NATURAL GAS AND ELECTRICAL LINES. CONTRACTOR SHALL VERIFY EXISTING ELECTRICAL SERVICE AND SHALL PROVIDE ADDITIONAL SERVICE AS REQUIRED.

- MATERIALS SPECIFIED BY THEIR BRAND NAMES ARE TO ESTABLISH STANDARDS OF QUALITY AND PERFORMANCE. REQUESTS FOR SUBSTITUTION SHALL BE SUBMITTED FOR APPROVAL TO OWNER AND ARCHITECT.
- ALL WORK LISTED, SHOWN OR IMPLIED ON THE CONSTRUCTION DOCUMENTS SHALL BE SUPPLIED AND INSTALLED BY THE GENERAL CONTRACTOR EXCEPT WHERE OTHERWISE NOTED. THE GENERAL CONTRACTOR SHALL CLOSELY COORDINATE HIS WORK WITH THAT OF OTHER CONTRACTORS OR VENDORS TO ASSURE THAT ALL SCHEDULES ARE MET AND THAT ALL WORK IS DONE IN CONFORMANCE TO MANUFACTURER REQUIREMENTS.
- DETAILS ARE INTENDED TO SHOW THE INTENT OF THE DESIGN. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT THE FIELD DIMENSIONS OR CONDITIONS AND SUCH MODIFICATIONS SHALL BE INCLUDED AS A PART OF THE WORK OF THE CONTRACTOR.
- ALL WOOD TRIM OR OTHER PRE FINISHED ITEMS SHALL BE TRIMMED TO FIT AND RAW EXPOSED SURFACES SHALL BE STAINED AND FINISHED TO MATCH.
- ALL DIMENSIONS ARE TO THE FACE OF FINISHED MATERIAL OR CENTER LINE OF THE OBJECT AS SPECIFICALLY NOTED.
- ALL WOOD BLOCKING AND BACKING MATERIALS SHALL BE FIRE RETARDANT TREATED WHEN REQUIRED BY CODE.
- ALL FINISH MATERIALS SHALL BE CLASS A FLAME SPREAD RATED IN PUBLIC AREAS.
- GENERAL CONTRACTOR ACCEPTS DELIVERIES OF ALL ITEMS NOTED ON PLANS, WHETHER OR NOT IN CONTRACT, AND IS RESPONSIBLE FOR THE LOSS/DAMAGE OF THESE ITEMS. ADDITIONALLY, GENERAL CONTRACTOR IS TO RECEIVE, UNPACK, INSPECT AND VERIFY QUANTITY, AND CONDITION OF FOIC ITEMS. CONTRACTOR IS TO NOTIFY OWNER OF ANY DISCREPANCIES IN QUANTITY, AND MATERIAL DAMAGE. FAILURE TO DO SO PLACES RESPONSIBILITY FOR ALL ITEMS ON THE GENERAL CONTRACTOR.
- UPON COMPLETION OF WORK, GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE RETURN OF ALL MASTER KEY ORIGINALS OR SHALL PAY EXPENSES REQUIRED TO RE-KEY BUILDING.
- ALL FINISH MATERIALS TO BE PER FINISH SCHEDULE.
- GIVE ALL SURPLUS PAINT MATERIALS TO OWNER/TENANT/FRANCHISEE. DO NOT POUR PAINT DOWN DRAIN, CATCH BASINS, OR IN LANDSCAPING.

- ALL GYPSUM WALL BOARD TO BE MIN. OF 5/8" THICK AND SHALL BE SCREWED TO FRAMING MATERIAL. ALL GWB SURFACES TO BE PAINTED SHALL BE TAPED AND SANDED TO A LEVEL 5 FINISH PER ASTM C-840 AND FREE OF ANY DEFECTS PRIOR TO PAINT APPLICATION. ALL GWB SURFACES THAT SHALL BE CONCEALED BEHIND PANELS OR ABOVE THE CEILING SHALL BE LEVEL 2 PER ASTM C-840.
- APPLICATION OF MATERIALS BY A SUBCONTRACTOR TO EXISTING SURFACES OR PROVIDED UNDER THIS CONTRACT, SHALL IMPLY ACCEPTANCE AND SUITABILITY OF EXISTING CONDITIONS. SUCH SUBCONTRACTOR SHALL BE HELD RESPONSIBLE FOR DAMAGE AND IRREGULARITIES TO HIS WORK PRODUCT AS A RESULT OF PREVIOUS CONDITIONS.
- INSTALL INSULATION IN WALLS U.N.O. ALL THERMAL INSULATION SHALL COMPLY WITH STANDARD BUILDING CODE. AS A MINIMUM, VAPOR BARRIERS SHALL HAVE A FLAME-SPREAD RATING NOT TO EXCEED 25 AND A SMOKE DEVELOPMENT NOT TO EXCEED 450 OR BETTER AS REQUIRE BY CODE. OCCUPANCY AND CONSTRUCTION TYPE. ONE PERM VAPOR BARRIERS SHALL BE INSTALLED ON THE WARM SIDE IN ALL WALLS AND CEILINGS AS REQUIRED.
- PROVIDE DRAFT/FIRE STOPS AS REQUIRED BY GOVERNING CODES AND OFFICIALS.
- GENERAL CONTRACTOR TO PROVIDE MECHANICAL AND ELECTRICAL AS-BUILTS, ALL WARRANTIES, AND OPERATING MANUALS, TO LANDLORD, TENANT/FRANCHISEE WITHIN TWO (2) WEEKS OF COMPLETION OF WORK.
- PLUMBING, ELECTRICAL, AND HVAC SUB CONTRACTORS SHALL BE CITY AND STATE LICENSED. THE ABOVE SUBCONTRACTORS SHALL OBTAIN THEIR OWN PERMITS.
- PROVIDE SMOKE DETECTORS, FIRE SPRINKLER SYSTEMS, AND FIRE EXTINGUISHERS PER LOCAL FIRE MARSHAL'S AND CODE REQUIREMENTS.
- PROVIDE AND INSTALL ALL REQUIRED CEILING MOUNTED EXIT SIGNS ABOVE ALL REQUIRED EXITS.
- ALL FURNITURE, FIXTURES, EQUIPMENT ARE TO BE PROVIDED BY THE TENANT/FRANCHISEE UNLESS NOTED.
- PROVIDE ALL "HANDICAP" RELATED SIGNAGE AS REQUIRED PER APPLICABLE CODES AND LAWS.

PROJECT NUMBER	13-092
START DATE	07/19/2013
DRAWN BY	ASM
CHECKED BY	ELM
SCALE	12" = 1'-0"

TITLE SHEET

T1.00



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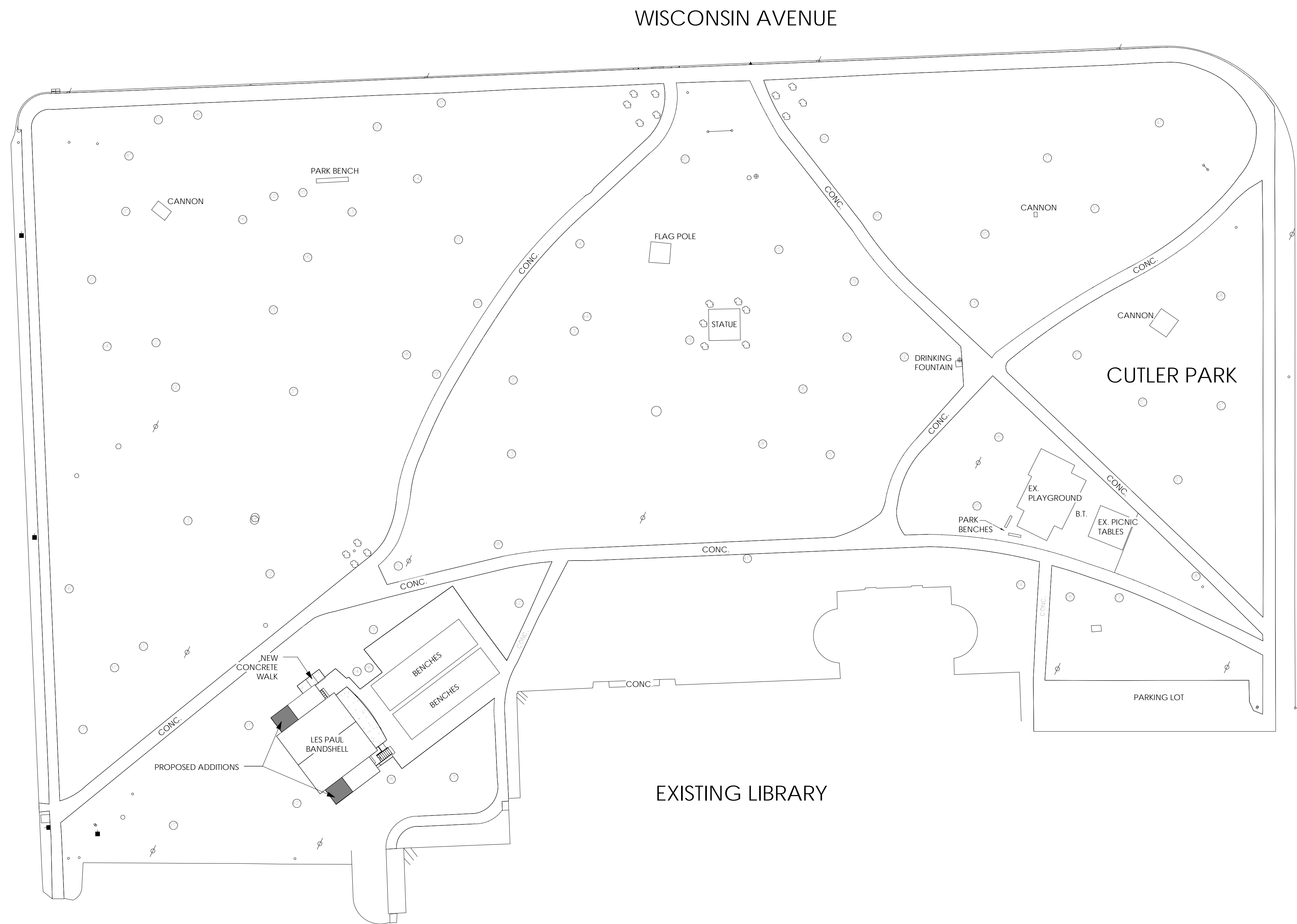
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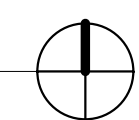
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 START DATE 07/19/2013  
 DRAWN BY ASM  
 CHECKED BY ELM  
 SCALE 1" = 30'-0"

EXISTING SITE PLAN

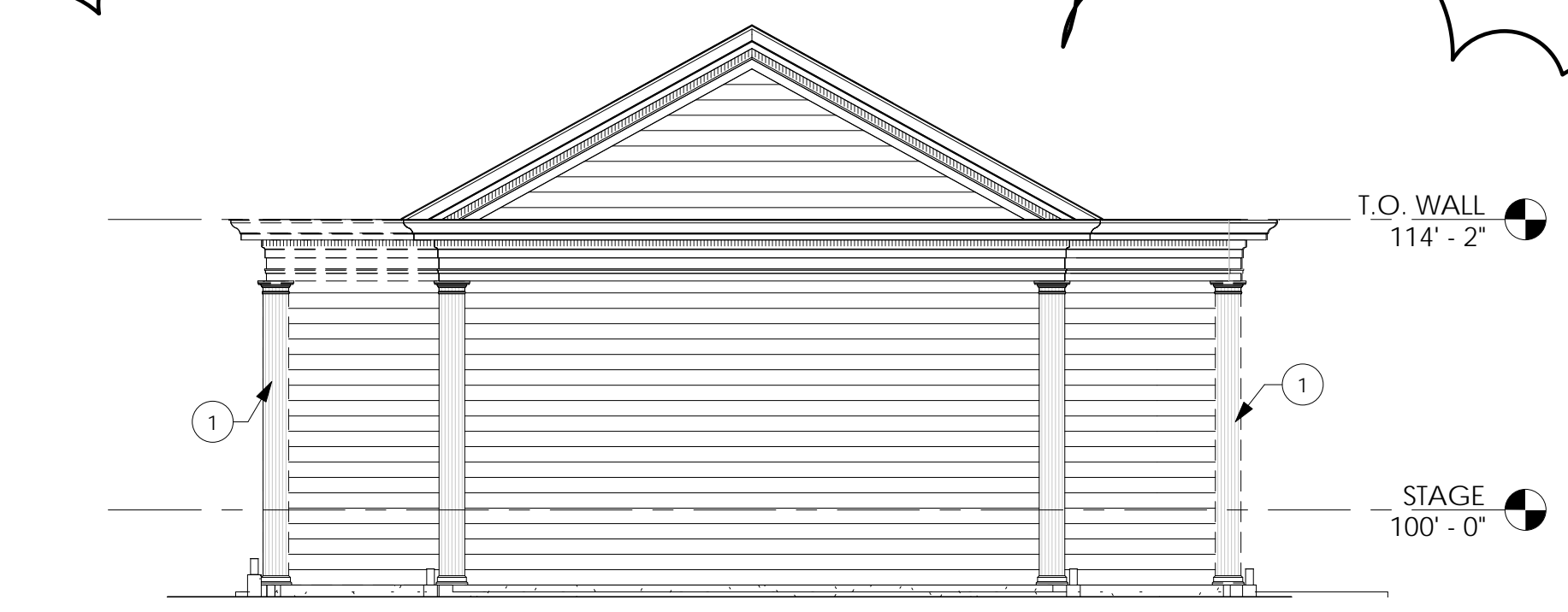
**C1.01**



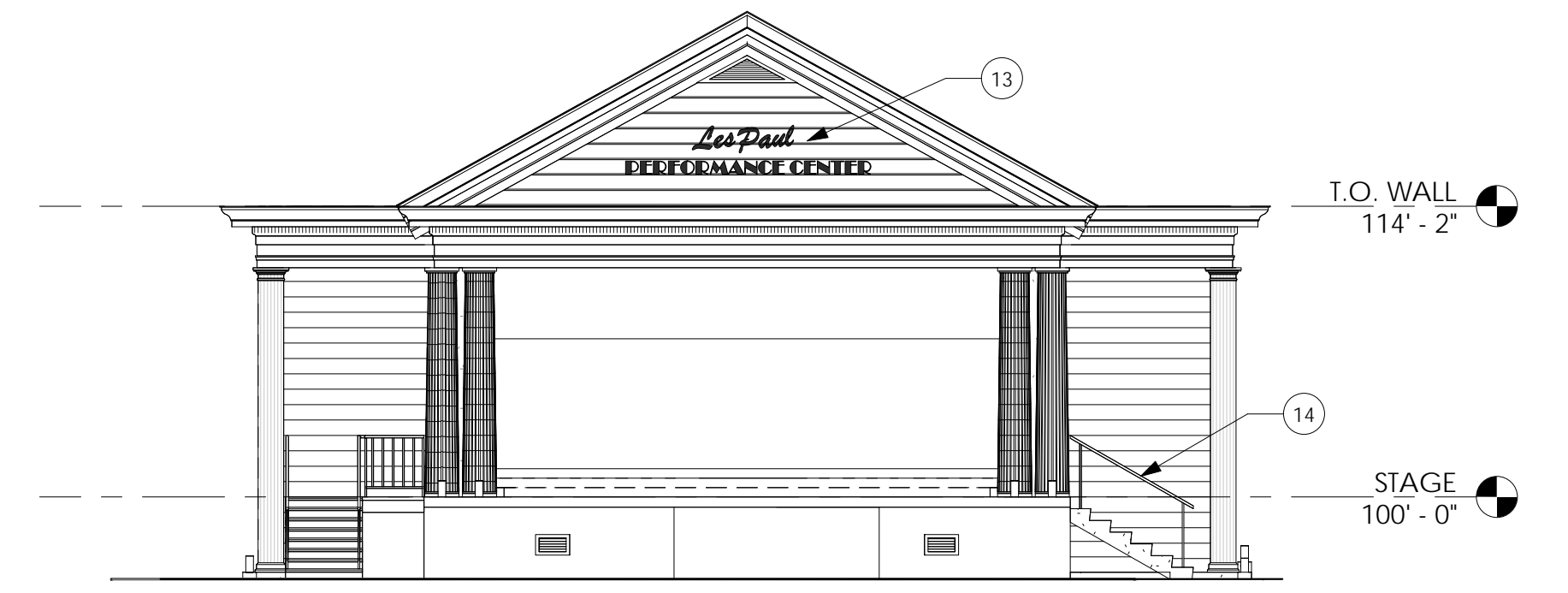
1 SITE PLAN  
 1" = 30'-0"



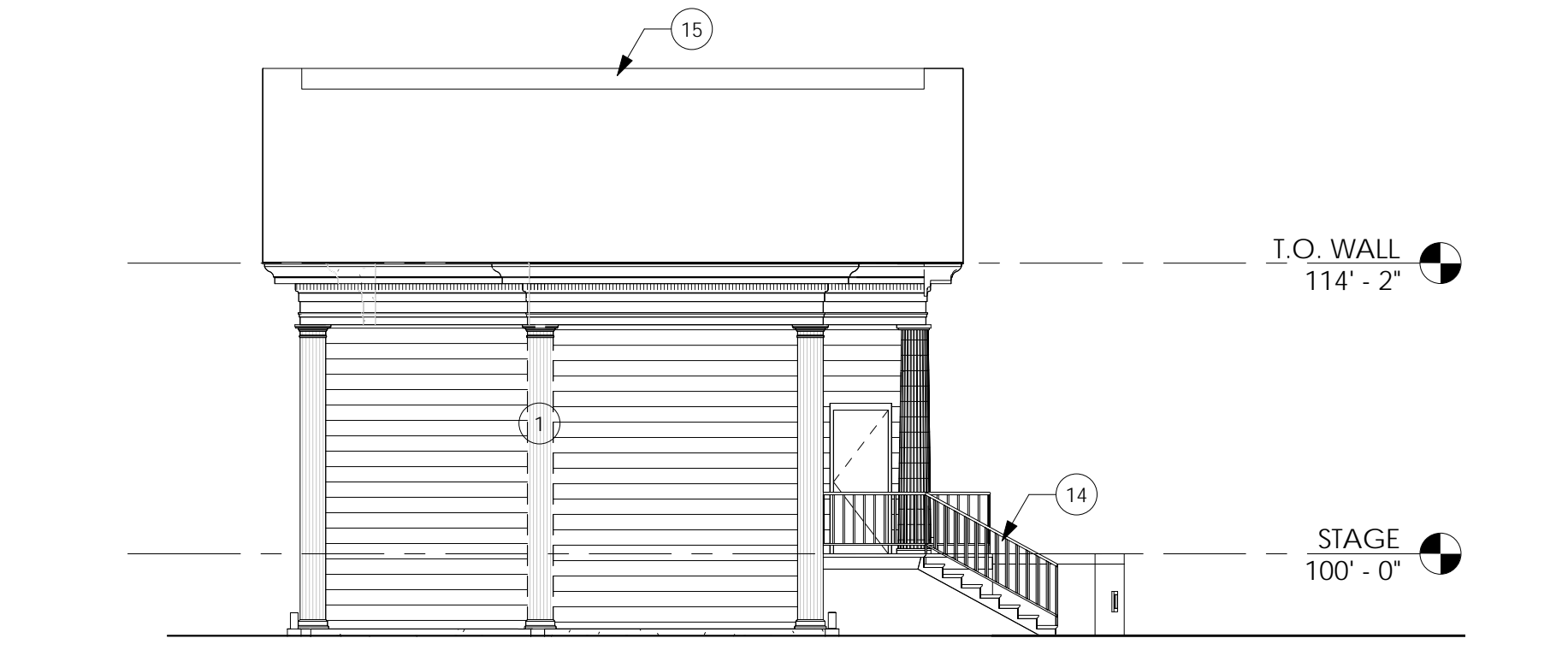




5 SOUTH ELEVATION - DEMOLITION  
1/8" = 1'-0"



4 NORTH ELEVATION - DEMOLITION  
1/8" = 1'-0"

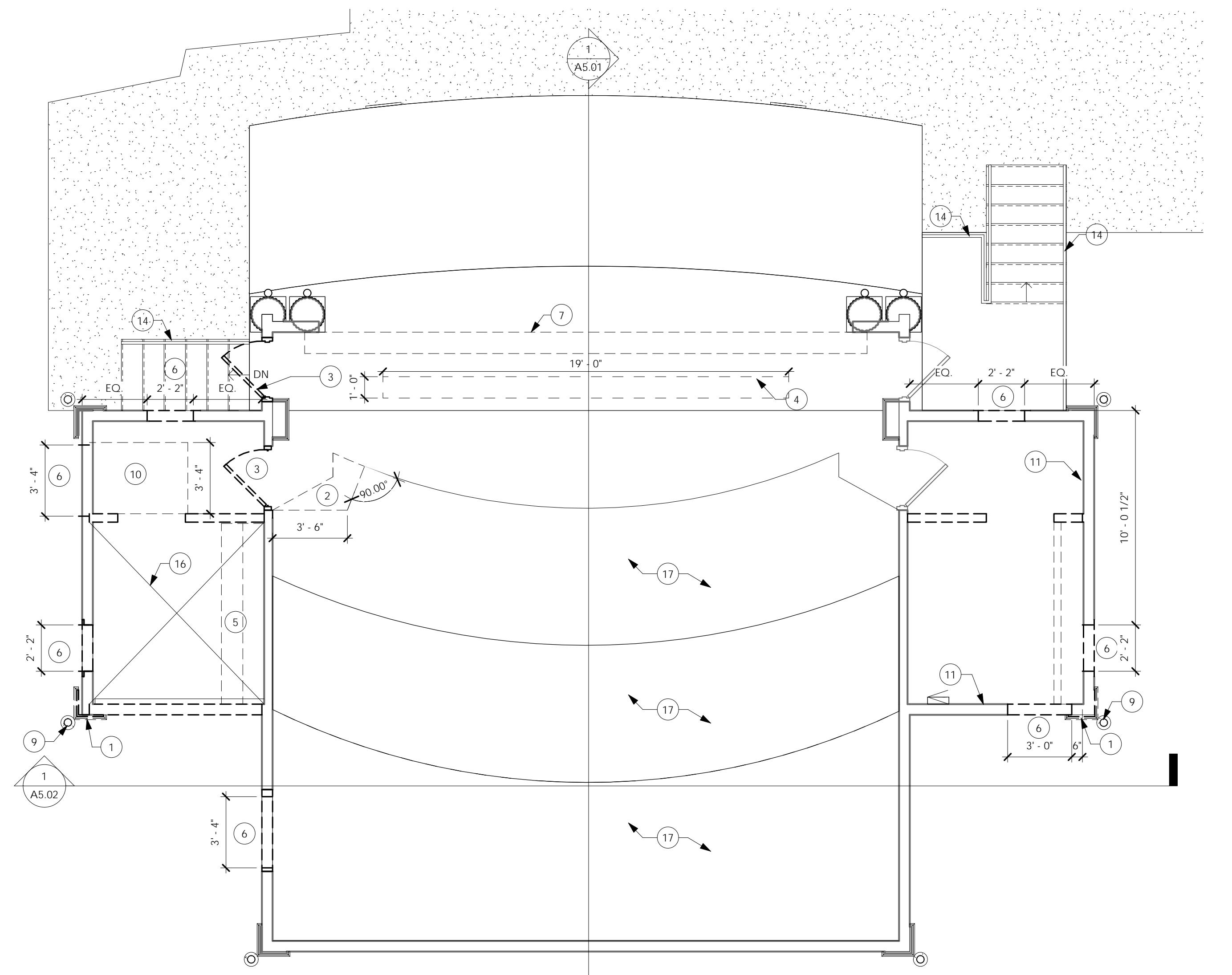


3 EAST ELEVATION - DEMOLITION  
1/8" = 1'-0"



2 WEST ELEVATION - DEMOLITION  
1/8" = 1'-0"

DEMOLITION KEYNOTES	
1	REMOVE EXISTING DECORATIVE WOOD COLUMNS & TRIM. SAVE FOR REINSTALLATION.
2	REMOVE PORTION OF EXISTING RISER AS SHOWN.
3	REMOVE EXISTING DOOR. SAVE FOR REINSTALLATION.
4	REMOVE PORTION OF CEILING AS REQUIRED TO ACCOMMODATE NEW RETRACTABLE SCREEN.
5	REMOVE EXISTING SHELING.
6	REMOVE PORTION OF WALL AS REQUIRED FOR NEW WINDOW/DOOR. SEE ELEVATION/SCHEDULE.
7	REMOVE EXISTING OVERHEAD COILING DOOR. SEE ALL BID ITEMS.
8	NOT USED.
9	REMOVE EXISTING LIGHT AND CONC. PAD. RETAIN LIGHT FOR REINSTALLATION.
10	REMOVE FLOOR THIS AREA.
11	REMOVE EXISTING PARTICLE BOARD.
12	REMOVE EXISTING GWB CEILING.
13	REMOVE EXISTING SIGNAGE. SAVE FOR REINSTALLATION.
14	REMOVE EXISTING RAILING. SAVE FOR REINSTALLATION.
15	REMOVE SHINGLES AT RIDGE. SAVE FOR REINSTALLATION.
16	REMOVE CEILING.
17	REMOVE EXISTING SURFACE-MOUNTED FLUORESCENT FIXTURES.



1 DEMO PLAN 1  
1/4" = 1'-0"



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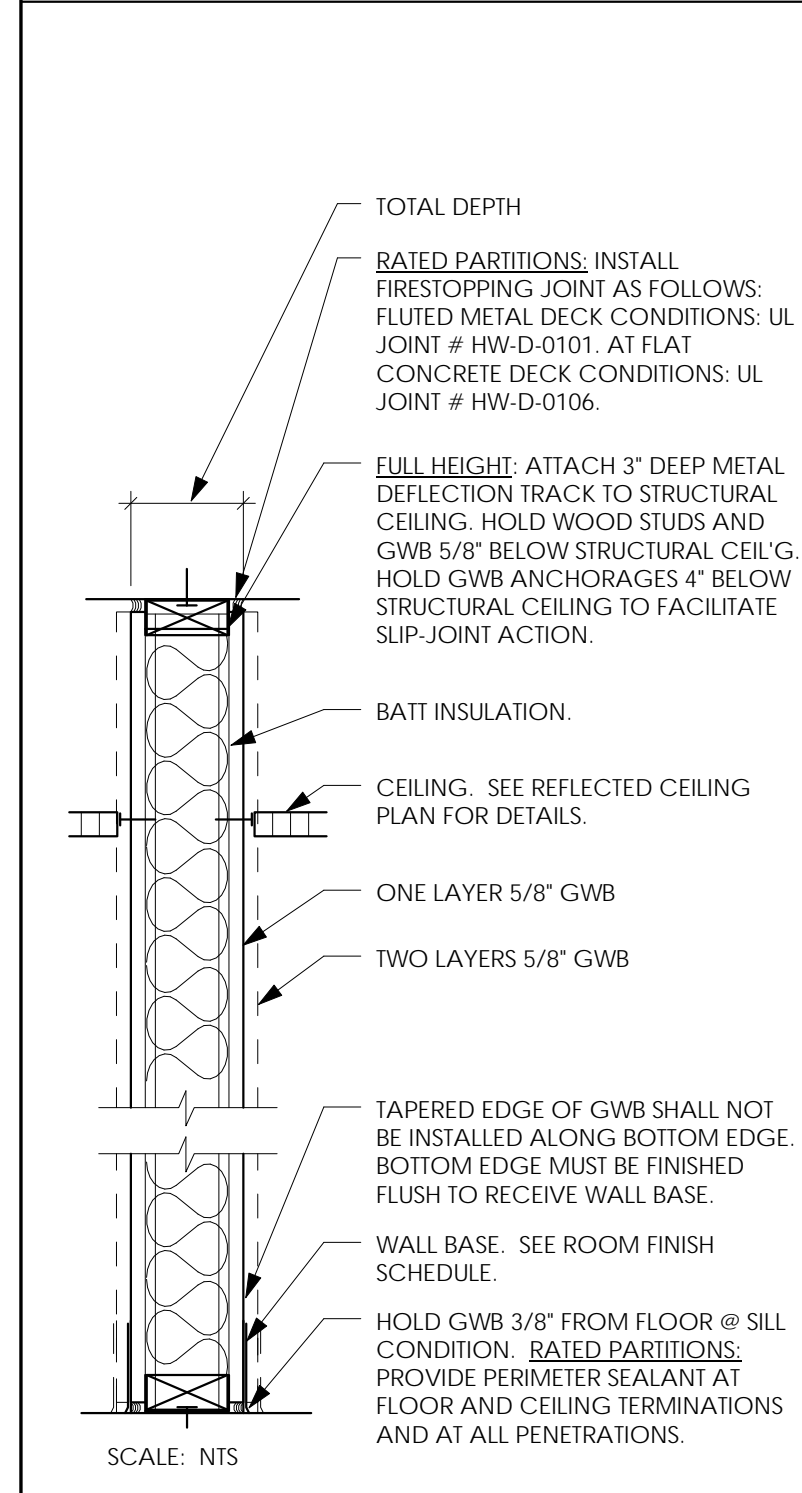
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SCALE As indicated

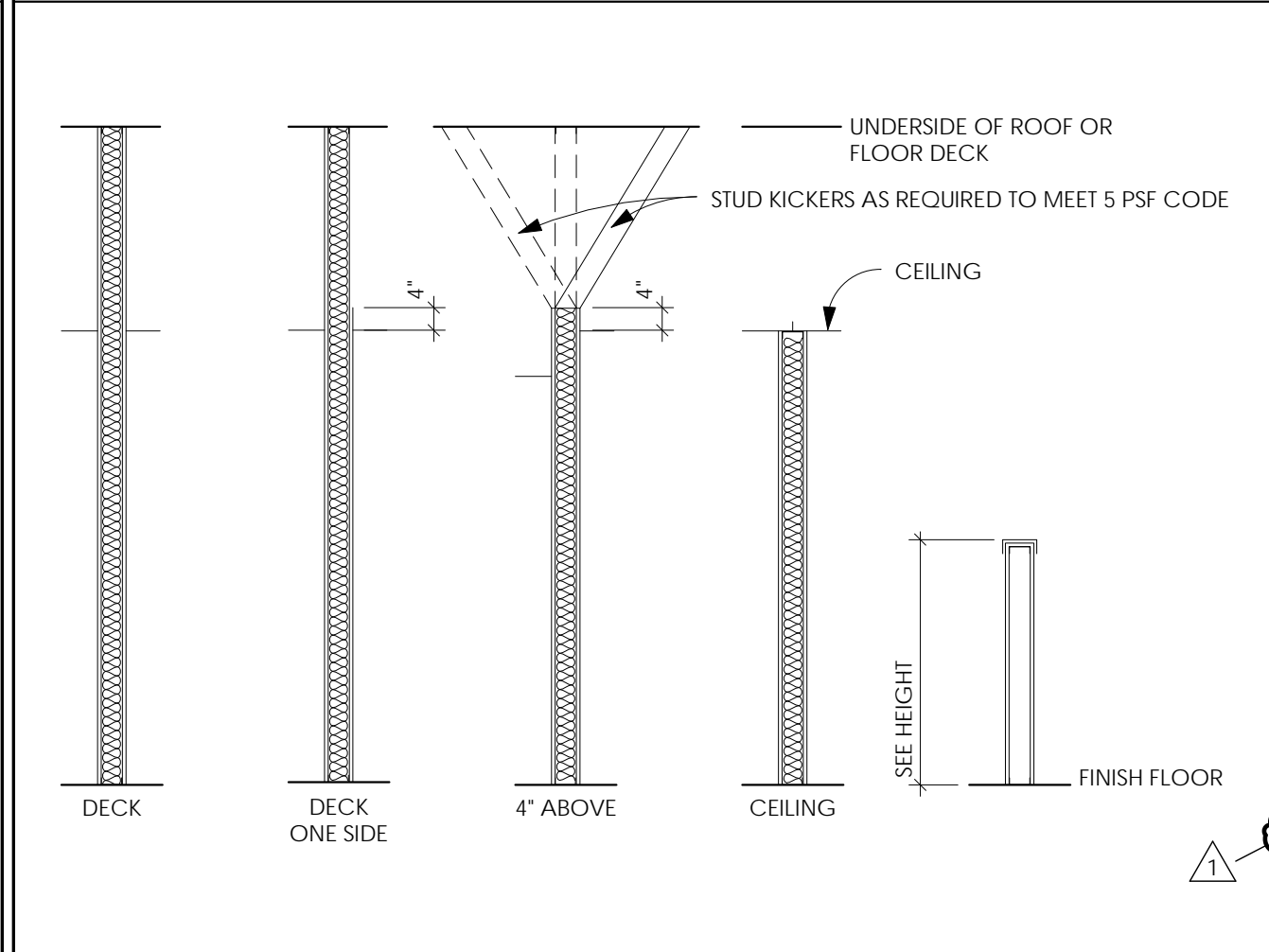
DEMOLITION PLAN 1

**A0.01**

SECTION AT WOOD STUD PARTITION



PARTITION KEY



WOOD STUD PARTITION NOTES

1. PROVIDE TYPE-X GYPSUM BOARD AT ALL FIRE RATED PARTITIONS.
2. INSTALLATION OF ALL TYPES OF GYPSUM BOARD SHALL CONFORM TO REQUIREMENTS FOR FIRE RATINGS AND ACOUSTICAL RATINGS.
3. TYPICAL FLOOR PLAN DIMENSIONS OF PARTITIONS ARE TO THE FACE OF OUTERMOST LAYER OF GYPSUM BOARD UNLESS NOTED TO CENTERLINE OF PARTITION.
4. INSTALL SOLID WOOD BLOCKING FOR THE ATTACHMENT OF ALL WALL HUNG ITEMS OR EQUIPMENT DESCRIBED IN THE DOCUMENTS, WHETHER CONTRACTOR FURNISHED OR OWNER FURNISHED.
5. COORDINATE WITH OWNER THE LOCATION OF BLOCKING FOR OWNER SUPPLIED ITEMS.
6. INTERIOR WALLS AND PARTITIONS THAT EXCEED 6 FEET IN HEIGHT, INCLUDING THEIR FINISH MATERIALS, SHALL HAVE ADEQUATE STRENGTH TO RESIST THE LOADS TO WHICH THEY ARE SUBJECTED BUT NOT LESS THAN A HORIZONTAL LOAD OF 5 PSF.
7. UNLESS OTHERWISE INDICATED, PARTITIONS SHALL EXTEND TO UNDERSIDE OF ROOF OR FLOOR DECK ABOVE.
8. WHERE A CLEAR DIMENSION OR OPENING IS REQUIRED OR NOTED, MEASURE DIMENSION TO FACE OF PARTITION FINISH.
9. WHERE PARTITIONS AND/OR FURRING MEET, MAINTAIN SURFACES FLUSH AND PLUMB.

WOOD STUD PARTITION TYPES									
MARK	DEPTH	SPACING	DEPTH	LAYERS	SIDES	CAVITY	TOTAL DEPTH	HEIGHT	REMARKS
W4	3 1/2"	16" O.C.	5/8"	1	BOTH	--	0' - 4 1/4"	STRUCTURE	EXTERIOR FACE: SEE BASE BID AND ALT. BID

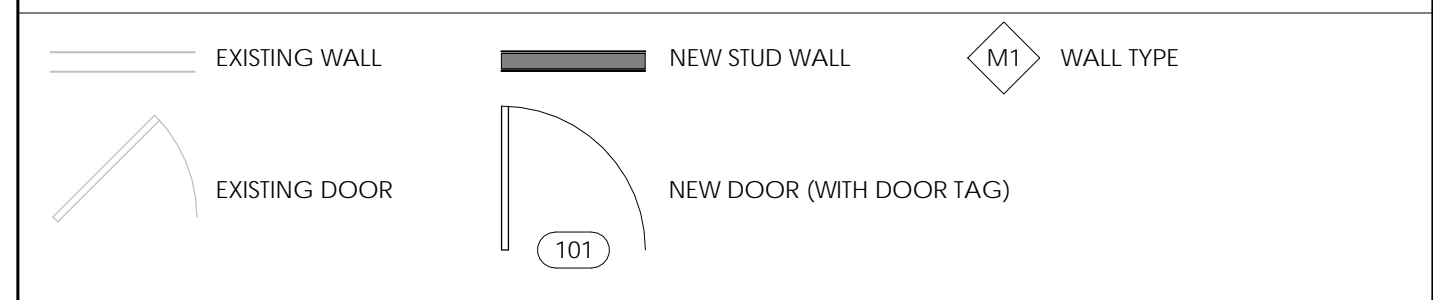
DOOR SCHEDULE									
MARK	ROOM NAME	HEIGHT	WIDTH	TYPE	MATERIAL	FINISH	HARDWARE	FRAME	REMARKS
101	STAGE	6' - 8"	2' - 8"	4	STEEL	PT-2	1	1 WD	PT-2
101A	STAGE	7' - 0"	3' - 0"	2	WD	PT-2	2	2 WD	PT-2
101B	STAGE	11' - 2"	25' - 0"	3	STEEL	--	3	--	AEE ALT. BID NOTED ON T1.00
102	VERTICAL LIFT ROOM	7' - 0"	3' - 0"	1	WD	PT-2	4	2 WD	PT-2
107	STORAGE	7' - 0"	3' - 6"	2	WD	PT-2	5	2 WD	PT-2

ROOM NO.	NAME	FLOOR		BASE		WALL				CEILING		REMARKS	
		FINISH	APPROX. AREA	FINISH	APPROX. PERIMETER	ALL	NORTH	SOUTH	EAST	WEST	MATERIAL		HEIGHT
101	STAGE	PT-3	1156 SF	--	144' - 3 7/16"	PT-1	--	--	--	--	PT-1	VARIES	
102	VERTICAL LIFT ROOM	SV-1	44 SF	VB-1	27' - 0 1/2"	PT-1	--	--	--	--	PT-2	8' - 0"	
103	STORAGE	SV-1	123 SF	VB-1	46' - 8 7/8"	PT-1	--	--	--	--	PT-2	8' - 0"	
104	CHANGING ROOM	SV-1	109 SF	VB-1	42' - 11 3/4"	PT-1	--	--	--	--	PT-2	8' - 0"	
105	STORAGE	SV-1	61 SF	VB-1	31' - 3 1/4"	PT-1	--	--	--	--	PT-2	8' - 0"	

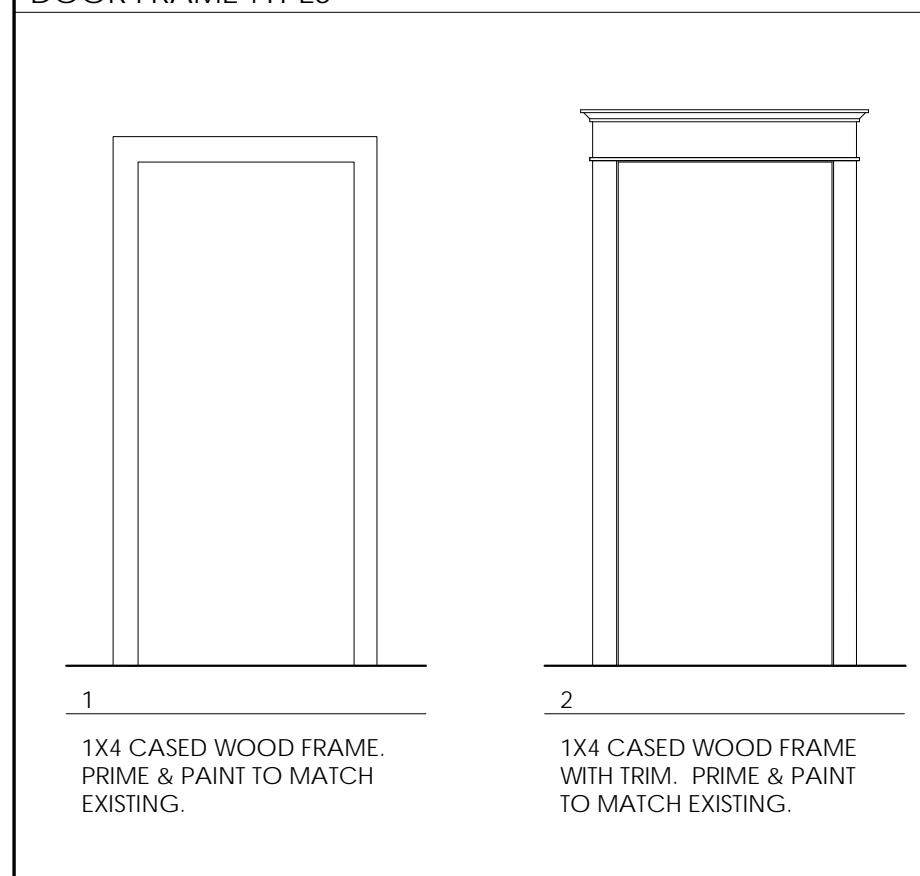
KEYNOTES

1. REPLACE DETERIORATED TRIM.
2. REPLACE SIDE ENTRY DOORS.
3. FURNISH AND INSTALL NEW BOTTOM SEAL AT OVERHEAD ROLLING DOOR. WEATHERSTRIP PERIMETER OF OVERHEAD DOOR.
4. FURNISH AND INSTALL POWER VENT THROUGH ROOF.
5. SEAL ANY OPEN AREAS WHERE ANIMALS CAN ENTER THE BUILDING.
6. REMOVE AND REBUILD EXISTING WOOD STAIRS.
7. REPLACE EXTERIOR ACCENT LIGHTING.
8. FURNISH & INSTALL NEW ACCENT LIGHTING TO ILLUMINATE 'LES PAUL' SIGNATURE AT FRONT GABLE.
9. REPLACE SURFACE-MOUNTED FLUORESCENT LIGHT FIXTURES WITH RECESSED LED FIXTURES FOR GENERAL LIGHTING.
10. FURNISH & INSTALL LED SPOT LIGHTING FOR INDIVIDUAL/SWALL GROUP PERFORMERS. COORDINATE TYPE & LOCATION W/ LIGHTING DESIGNER.
11. FURNISH & INSTALL NEW MANUALLY OPERATED RETRACTABLE SCREEN BEHIND COILING DOOR.
12. F&I TAMPER-PROOF COVERS AT OUTLETS.
13. NEW OVERHEAD COILING DOOR TO MATCH EXISTING. SEE ALT. BID NOTES.
14. FURNISH & INSTALL ELECTRICAL RECEPTACLES MID-STAGE IN RISERS. COORDINATE TYPE & LOCATION W/ OWNER AND SOUND ENGINEER.
15. FURNISH & INSTALL NEW MOVEABLE RISER AND MUSIC STAND FOR CONDUCTOR.
16. PREP, PRIME, AND PAINT INTERIOR WALLS EXPOSED TO EXTERIOR.
17. PREP, PRIME, AND PAINT EXISTING FLOOR.
18. FURNISH & INSTALL NEW SHELVING AND CABINETS IN SIDE STORAGE ROOMS.
19. FURNISH & INSTALL NEW LIGHTING IN SIDE STORAGE ROOMS.
20. NEW 4" CONC. SIDEWALK W/ 6" X 6" W1.4 X W1.4 W/M REINFORCING OVER 4" COMPACTED FILL. PITCH SIDEWALK AWAY FROM BUILDING AT 1/4" PER FOOT.
21. RAISE FLOOR IN THIS AREA TO MATCH FLOOR HEIGHT IN STORAGE 107.
22. REINSTALL SHELVING REMOVED DURING DEMOLITION.
23. SAND BLAST AND STAIN EXISTING CONCRETE STAGE.
24. 8" CMU WALL. MATCH STAGE HGT.
25. NEW 8" DIAMETER CONC. LIGHT PEDESTAL.
26. PRE-FINISHED METAL GUARD RAIL AT 3'-0" A.F.F.
27. PRE, PRIME, & PAINT EXISTING RAILING. REINSTALL.
28. 24" X 36" FLUSH-MOUNTED ACCESS PANEL.

PLAN LEGEND



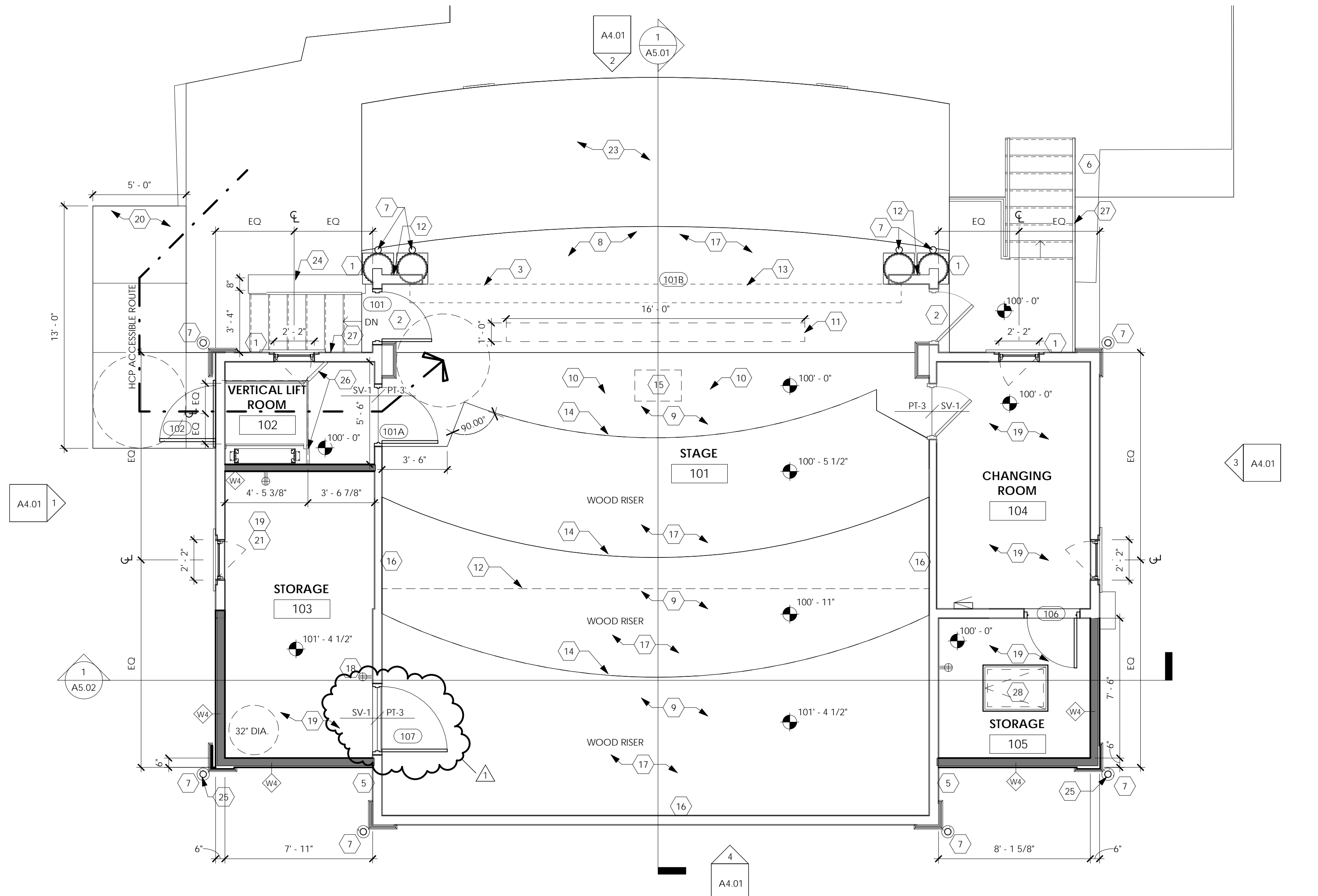
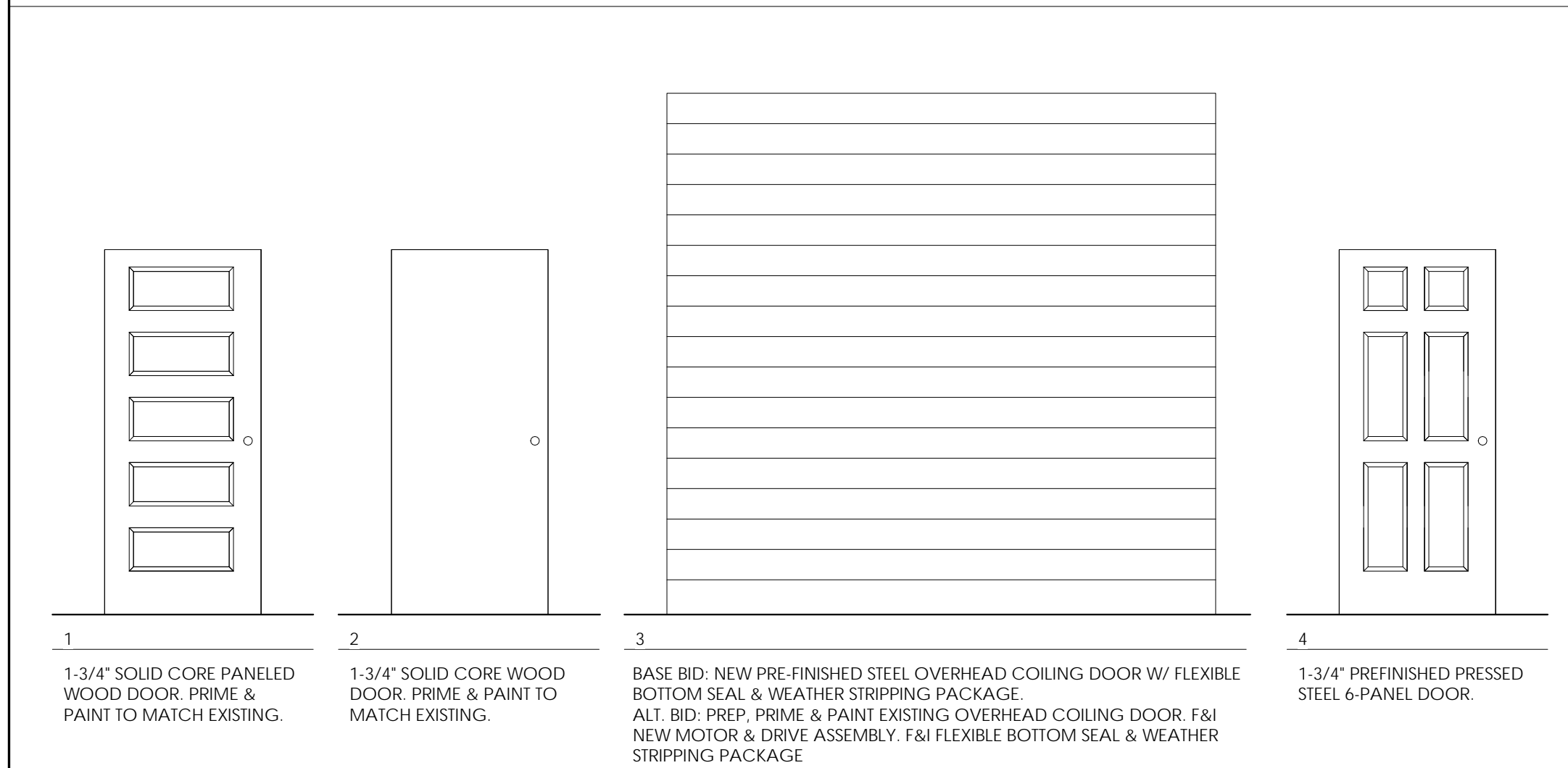
DOOR FRAME TYPES



DOOR HARDWARE GROUPS		
<b>HARDWARE GROUP 1</b> 3 HINGES 1 DEADBOLT LOCK W/ THUMB TURN 1 CLOSER/HOLD OPEN 1 PASSAGE SET 1 WEATHERSTRIPPING PACKAGE	<b>HARDWARE GROUP 2</b> 3 HINGES 1 PASSAGE SET 1 8"X34" KICK PLATE, EACH SIDE	<b>HARDWARE GROUP 3</b> HARDWARE BY OVERHEAD DOOR SUPPLIER. PROVIDE WEATHER STRIPPING PACKAGE.
<b>HARDWARE GROUP 5</b> 3 HINGES 1 PASSAGE SET 1 DEADBOLT LOCK W/ THUMB TURN 1 WEATHER STRIPPING PACKAGE 1 1/2" HIGH ALUM. THRESHOLD	<b>HARDWARE GROUP 6</b> 3 HINGES 1 STORE ROOM FUNCTION LOCK SET	

FINISH KEY					
MARK	MATERIAL	MANUFACTURER	PRODUCT SPEC.	DIMENSION	REMARKS
EP-1	EXTERIOR PAINT	--	SEMI-GLOSS OIL-BASED PAINT	--	SEE ALT BID ITEMS, SHEET T1.00
PT-1	PAINT	--	SEMI-GLOSS LATEX	--	MATCH EXISTING WALL COLOR
PT-2	PAINT	--	TO MATCH EXISTING	--	MATCH EXISTING TRIM COLOR
PT-3	PAINT	--	COLOR BY OWNER	--	NON-SLIP GRIT
VB-1	VINYL BASE	--	COORDINATE COLOR WITH OWNER	4" HIGH	--
SV-1	SHEET VINYL	--	COORDINATE COLOR WITH OWNER	--	--

DOOR TYPES



1 FLOOR PLAN 1  
1/4" = 1'-0"



ARCHITECTS  
700 W VIRGINIA STREET, SUITE 604  
MILWAUKEE, WI 53204  
P. 414.277.8000  
MADISENMAHER.COM

PROPOSED REMODEL OF:  
**LES PAUL BAND SHELL**

CUTLER PARK  
WAUKESHA, WI 53186

CLIENT  
CITY OF WAUKESHA  
PARKS, RECREATION & FORESTRY DEPARTMENT  
1900 AVIATION DRIVE  
WAUKESHA, WI 53188

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DATE	REV	ISSUE
05/14/14	#	SD- CLIENT REVIEW
05/29/14	#	SD PROGRESS SET
06/02/14	#	SD PROGRESS SET
06/13/14	#	SD PROGRESS SET
08/22/14	1	REVISION 1
10/15/14	2	REVISION 2
11/20/14	3	REVISION 3

PROJECT NUMBER	13-092
START DATE	07/19/2013
DRAWN BY	NJM/ASM
CHECKED BY	ELM
SCALE	As indicated

FLOOR 1 PLAN  
**A1.01**

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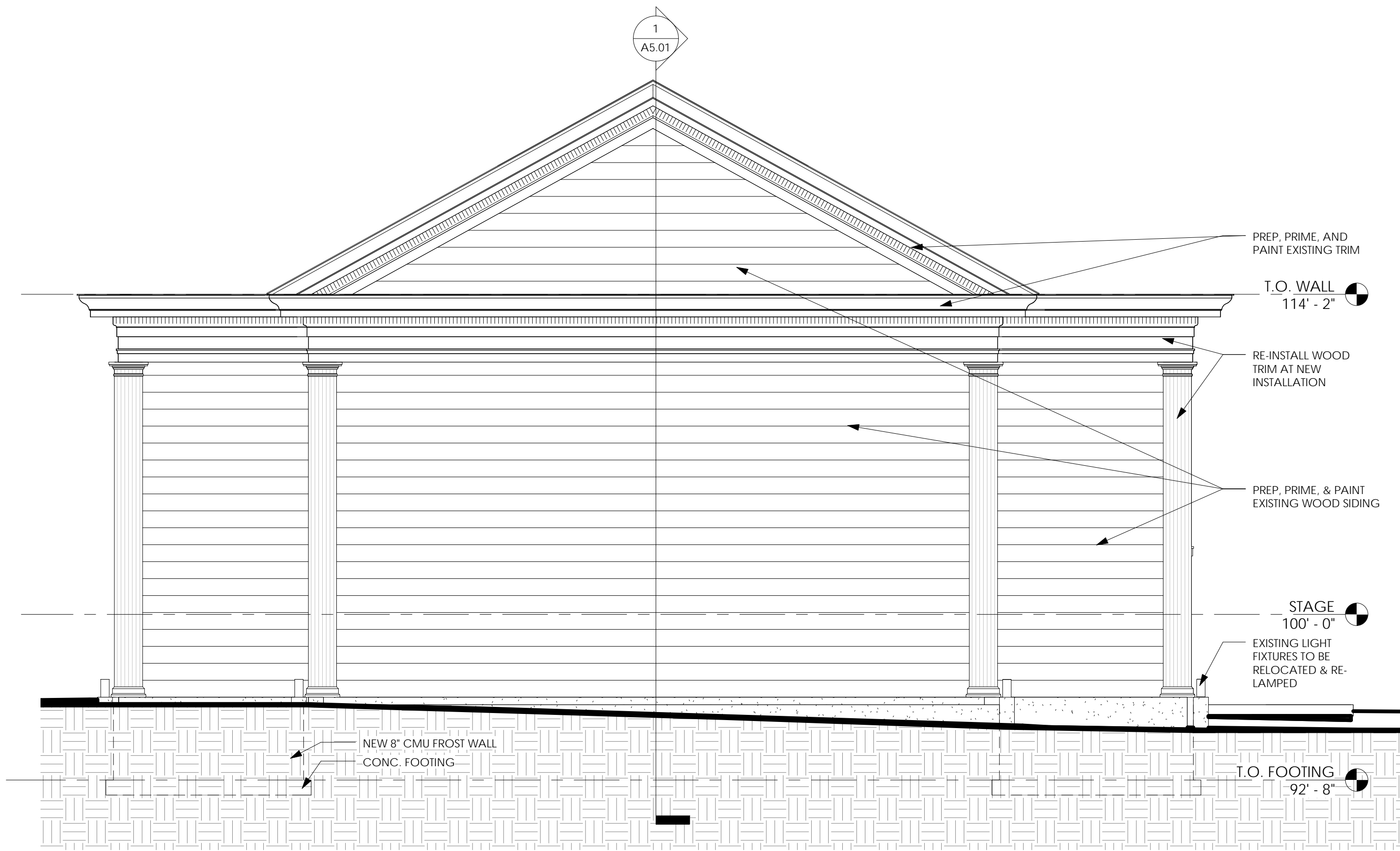
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SCALE	1/4" = 1'-0"

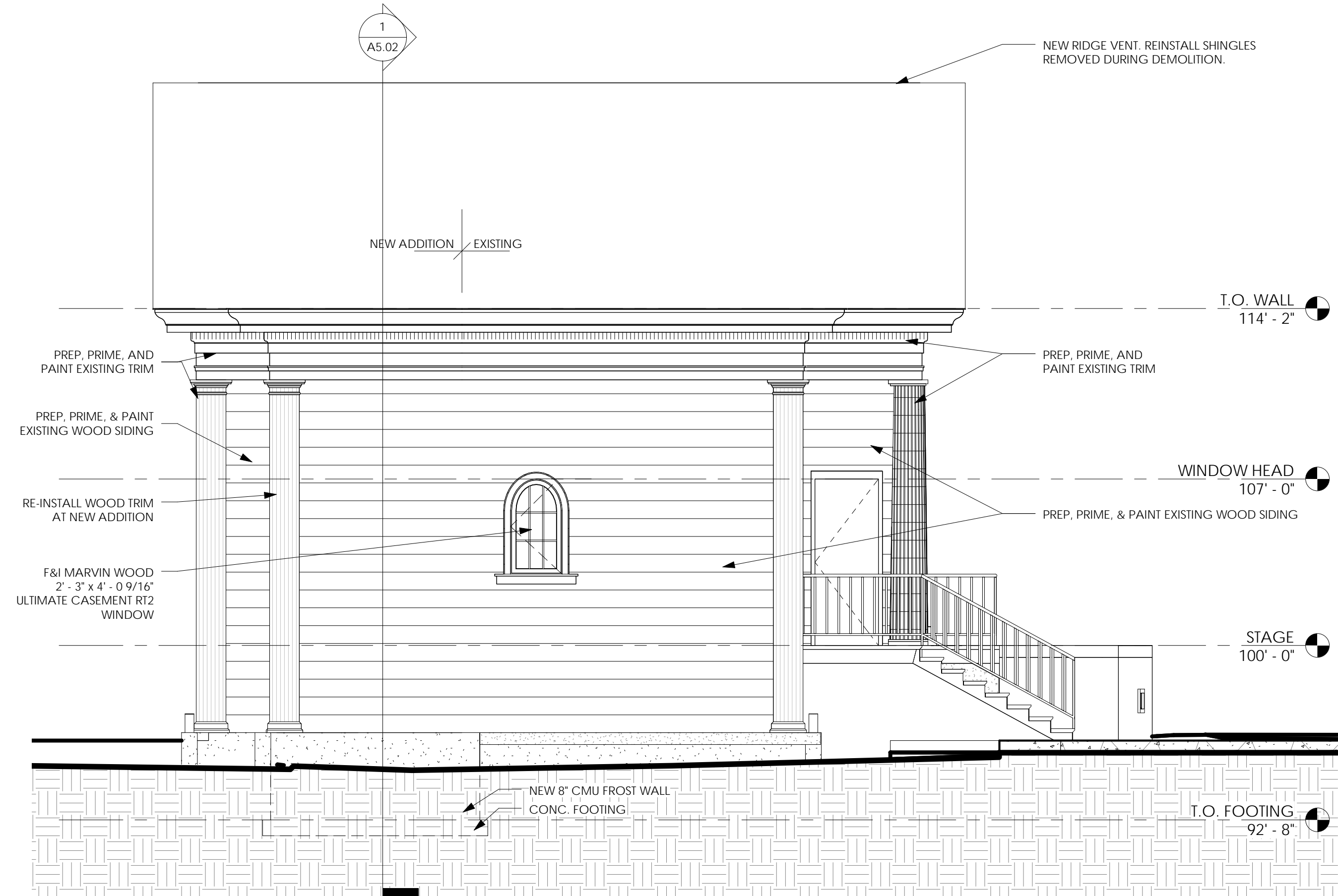
EXTERIOR ELEVATIONS

A4.01

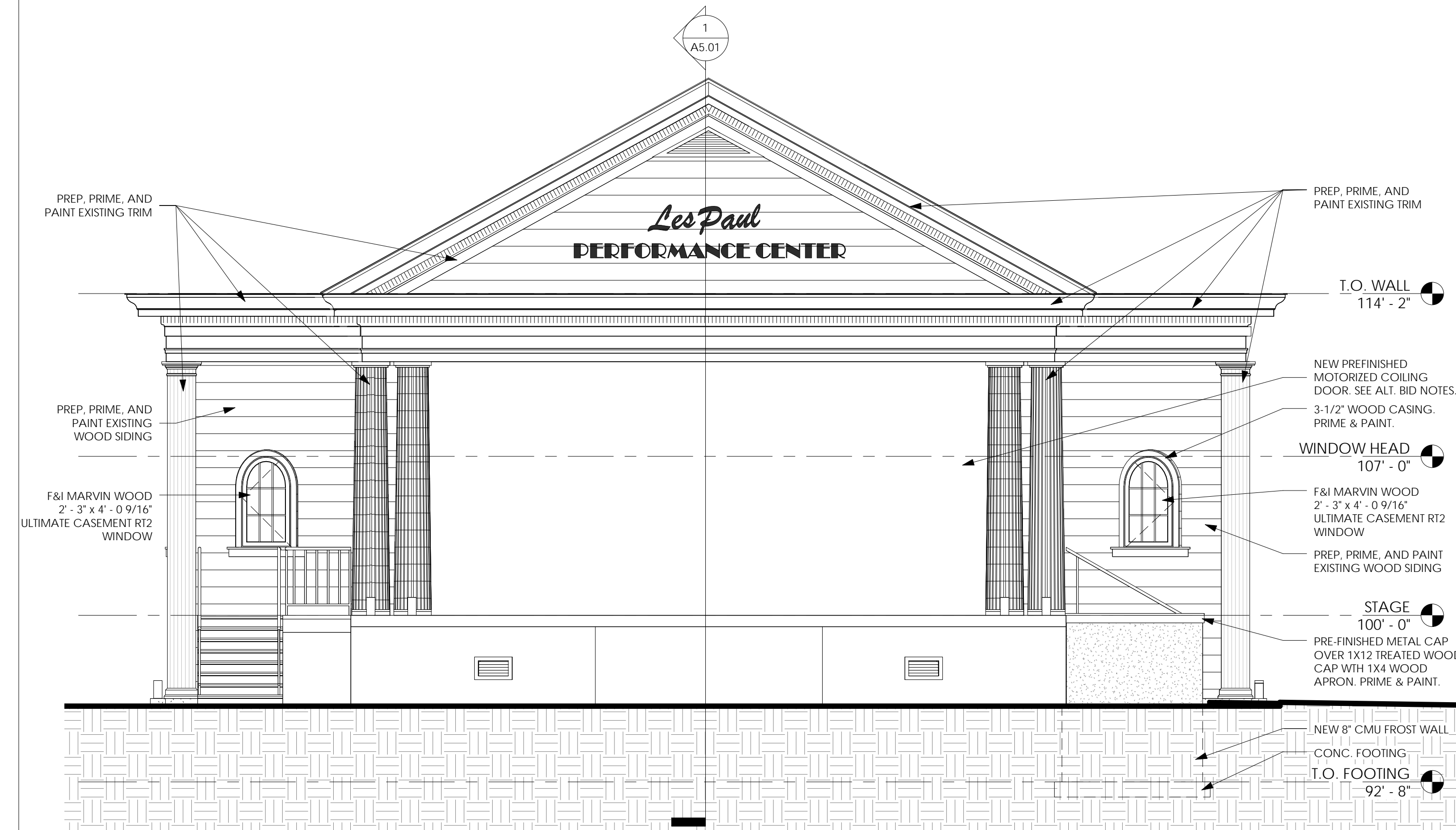
CONSTRUCTION NOTE  
EXISTING WOOD SIDING AND TRIM TO REMAIN (EXCEPT AT ADDITIONS). PREP, PRIME, AND PAINT EXISTING SIDING AND TRIM ALONG WITH NEW SIDING AT ADDITIONS. COLOR SELECTION BY OWNER.



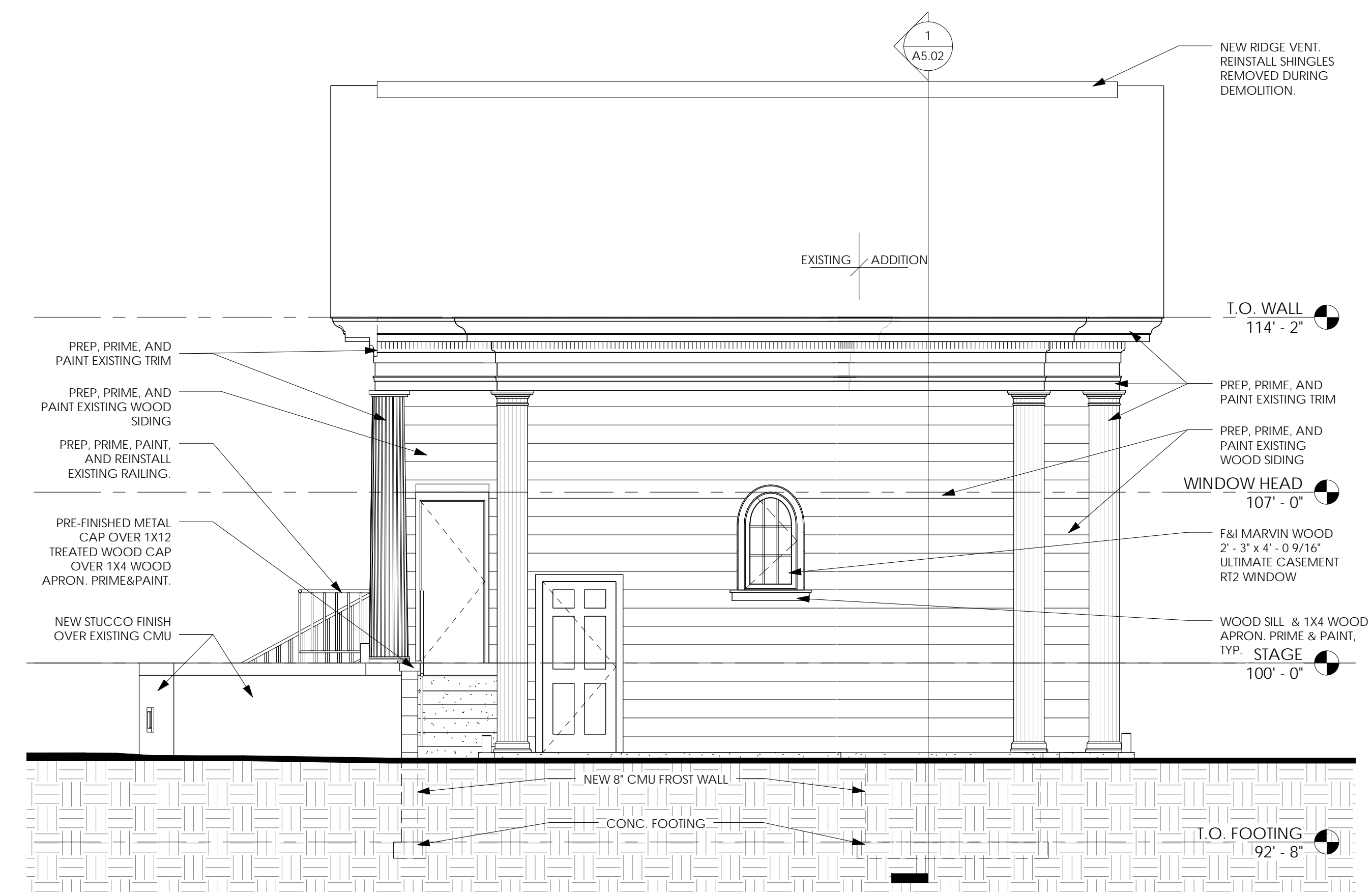
4 SOUTH ELEVATION  
1/4" = 1'-0"



3 EAST ELEVATION  
1/4" = 1'-0"



2 NORTH ELEVATION  
1/4" = 1'-0"



1 WEST ELEVATION  
1/4" = 1'-0"



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SCALE	1/2" = 1'-0"

BUILDING SECTION

**A5.01**

1  
A5.02

FURNISH AND INSTALL NEW RIDGE VENT. RE-INSTALL SHINGLES REMOVED DURING DEMOLITION.

MANUALLY OPERATED PROJECTION SCREEN. VERIFY MOUNTING REQUIREMENTS W/ MANUFACTURER.

BASE BID: FURNISH AND INSTALL NEW PRE-FINISHED METAL COILING OVERHEAD DOOR WITH FLEXIBLE BOTTOM SEAL AND WEATHER STRIPPING PACKAGE.

ALTERNATE BID: PREP, PRIME, AND PAINT EXISTING METAL COILING DOOR. FURNISH AND INSTALL NEW MOTOR AND DRIVE SYSTEM. FURNISH AND INSTALL FLEXIBLE BOTTOM SEAL AND WEATHER STRIPPING PACKAGE.

PREP, PRIME, AND PAINT EXISTING TRIM.

PREP, PRIME, PAINT, AND REINSTALL EXISTING HAND RAIL

FURNISH AND INSTALL TROWELED-ON STUCCO OVER EXISTING CMU. COLOR AND TEXTURE BY OWNER.

T.O. WALL  
114' - 2"

TOP RISER  
101' - 4 1/2"

STAGE  
100' - 0"

T.O. FOOTING  
92' - 8"

① BUILDING SECTION 1  
1/2" = 1'-0"

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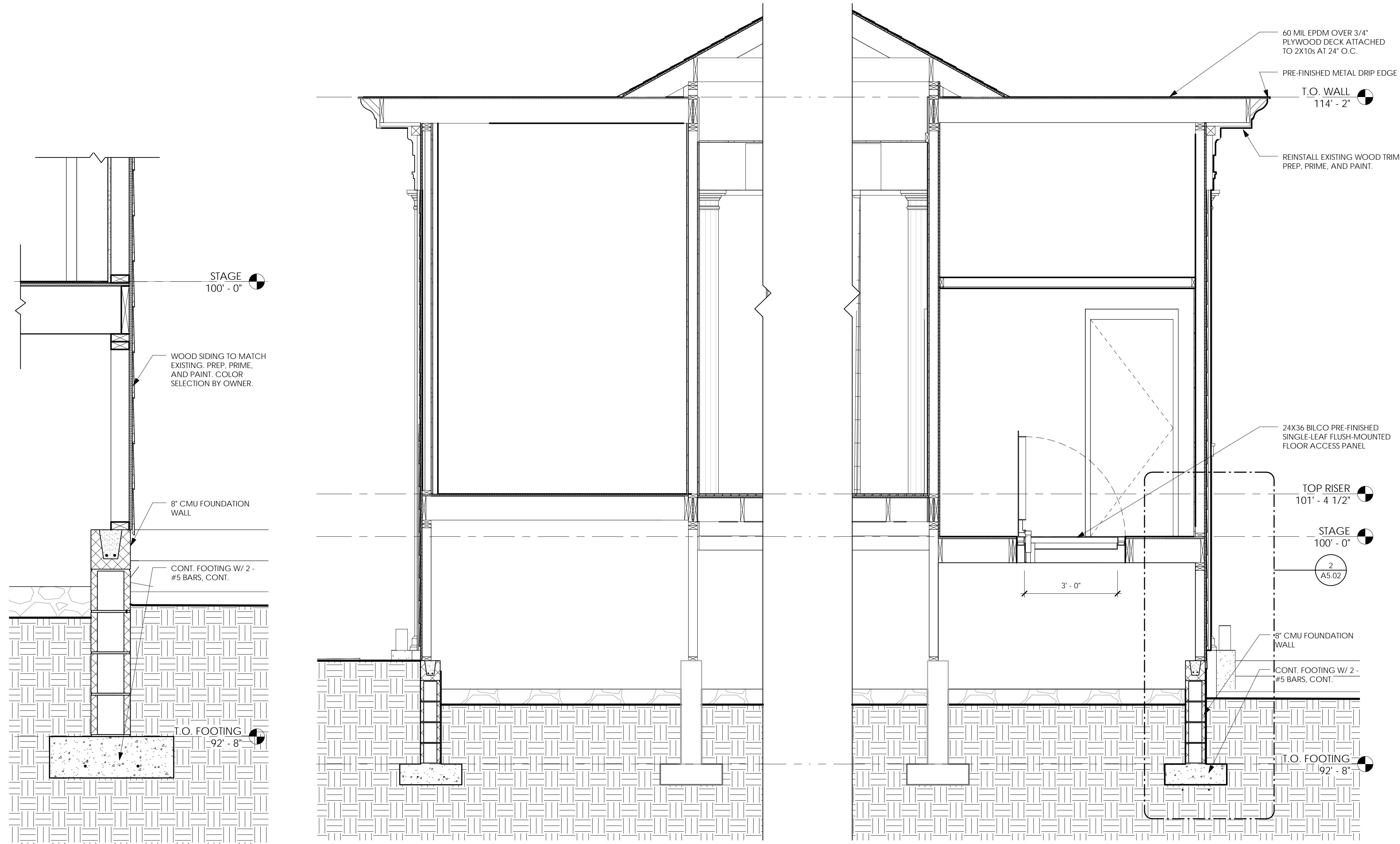
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BUILDING SECTION

**A5.02**



② DETAIL AT EXTERIOR WALL - BASE BID  
1" = 1'-0"

① BUILDING SECTION 2  
1/2" = 1'-0"