



CITY OF WAUKESHA
PLAN COMMISSION

Application for Review

RECEIVED
SEP 9 2014

CITY PLAN COMMISSION
Date Submitted

Name of Project: Oberlin Filter Headquarters
Address (if no address, location): 827 Silvernail Road (former address 809 + 831)

Silvernail Road

Applicant information:
Name: PAUL GRZESZCZAK, AIA
Company Name: Briohn Design Group, LLC
Address: 3885 N. Brookfield Rd, Suite 200
Brookfield WI 53045
Phone: 262-790-0500

Owner information:
Name: Nelson Williams
Company Name: Briohn Ventures 24, LLC
Address: 3885 N. Brookfield Rd, Suite 200
Brookfield, WI 53045
Phone: 262-790-0500

IMPORTANT: A digital copy must be submitted with this application (CAD and/or PDF) along with 7 full-size (one of which must be in COLOR) and 8 reduced copies unless waived by the department.

TYPE OF REVIEW	FEE
<input type="checkbox"/> Rezoning: Attach COPY of rezoning petition along with fee. Original must be submitted to City Clerk.	\$350
<input checked="" type="checkbox"/> Certified Survey Map	\$150 + \$50/lot \$200 ⁰⁰ TOTAL
<input type="checkbox"/> Plat Review - Plat Reviews are held until next meeting. 9 copies must be submitted. You must also submit 4 b the County and 2 to State.	<input type="checkbox"/> prelim.: \$500 + \$10/lot <input type="checkbox"/> final: \$300 + \$10/lot
<input type="checkbox"/> ** Site Plan & Arch. Review - Architectural changes do not need preliminary review.	<input type="checkbox"/> prelim.: \$300 + \$15/1000 sq.ft. or res. unit <input type="checkbox"/> final: \$200 + \$10/1000 sq.ft. or res. unit
<input type="checkbox"/> ** Conditional Use with Site Plan (Check appropriate box)	<input type="checkbox"/> prelim.: \$300 + \$15/1000 sq.ft. or res. unit <input type="checkbox"/> final: \$200 + \$10/1000 sq.ft. or res. unit
<input type="checkbox"/> Conditional Use (No Site Plan)	\$200
<input type="checkbox"/> ** Airport Hangar Review	\$300
<input type="checkbox"/> Home Industry (Attach info sheet.)	\$100
<input type="checkbox"/> House Move	\$150
<input type="checkbox"/> Street Vacation	\$150
<input type="checkbox"/> Other (specify): _____	\$100
<input type="checkbox"/> ** PUD Review	\$400 added to S.P.A.R. fee
<input type="checkbox"/> PUD Amendment	\$100
<input type="checkbox"/> Annexations and/or Attachments - Original must be submitted to City Clerk	No Fee
<input type="checkbox"/> Resubmittal	\$150

** Please attach to this form a Review Checklist if it involves an architectural and/or site plan review.

DEADLINE FOR THE SUBMITTAL IS THE TUESDAY THE WEEK BEFORE THE MEETING BY 4:00 P.M.

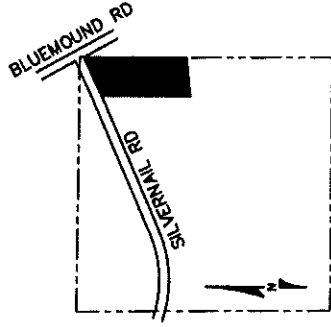
INTERNAL USE ONLY		
Amount Due: <u>\$100</u>	Check #: <u>8554</u>	Amount Paid: <u>\$200</u>
		Rec'd By: <u>ma</u>

Rev. 04/2006

201 DELAFIELD STREET, WAUKESHA, WISCONSIN 53188-3633
TELEPHONE: PLANNING 262/524-3750 BUILDING 262/524-3530 FACSIMILE 262/524-3751
www.ci.waukesha.wi.us

CERTIFIED SURVEY MAP NO.

ALL THAT PART OF THE NORTHWEST 1/4 OF SECTION 27, TOWN 7 NORTH, RANGE 19 EAST, IN THE CITY OF WAUKESHA, WAUKESHA COUNTY, WISCONSIN



VICINITY MAP

NW 1/4 OF SEC.
27-7-19

1" = 2000'

CCJ
engineering
civil design and consulting
9205 W. Center Street
Suite 214
Milwaukee, WI 53222
P.H. (414) 443-1312
www.cj-engineering.com

○ INDICATES IRON PIPE FOUND
● INDICATES 1 INCH DIA. IRON PIPE, 18 INCHES IN LENGTH, WEIGHING 1.13 LBS PER LINEAL FOOT, SET.
● ALL DIMENSIONS SHOWN ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT.
● ALL BEARINGS SHOWN ARE REFERENCED TO NORTH LINE OF THE NW 1/4 OF SECTION 27, T7N, R19E, WISCONSIN STATE PLANE COORDINATE SYSTEM GRID, SOUTH ZONE, AND ALL BEARINGS ARE REFERENCED TO GRID NORTH.

NORTH LINE OF THE NORTHWEST 1/4 SEC. 27-7-19
S 89°55'33" E 2660.43'

NW CORNER
NW 1/4
SEC 27-7-19
CONC MON
W/BRASS CAP FND

NE CORNER
NW 1/4
SEC 27-7-19
CONC. MON.
W/BRASS CAP
FND

SILVERMILE ROAD
VARIABLE R.O.W.

N 65°03'30" E 452.66'
12' UTILITY EASEMENT
PER DOC. NO. 200805 & 200807



UNPLATTED
LANDS

UNPLATTED
LANDS

UNPLATTED
LANDS

N 00°07'00" W 933.60'

LOT 1
413,474 SQ. FT.
9.492 ACRES

S 00°07'00" E 1079.08'

EAST LINE OF THE NW 1/4 SEC. 27-7-19 S 00°07'00" E 2646.64'

S 83°43'00" W 413.50'

SE CORNER
NW 1/4
SEC 27-7-19
CONC. MON.
W/BRASS CAP FND


GRAPHIC SCALE



1 INCH = 160 FT.

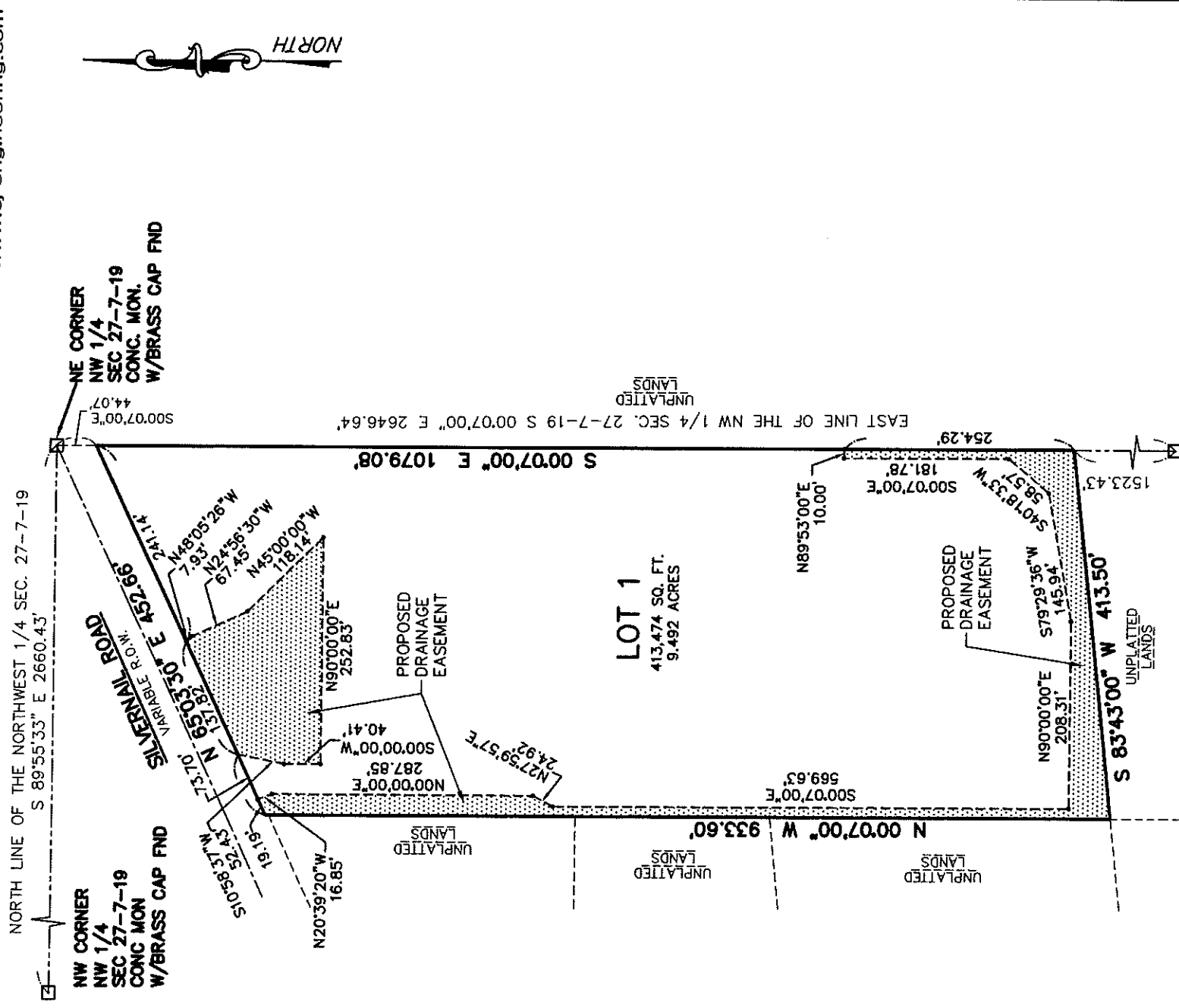
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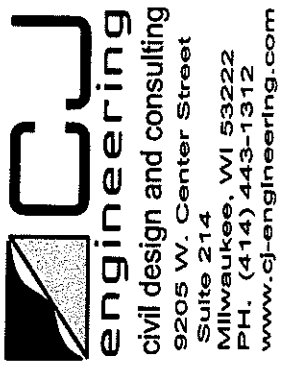
PROPOSED EASEMENTS



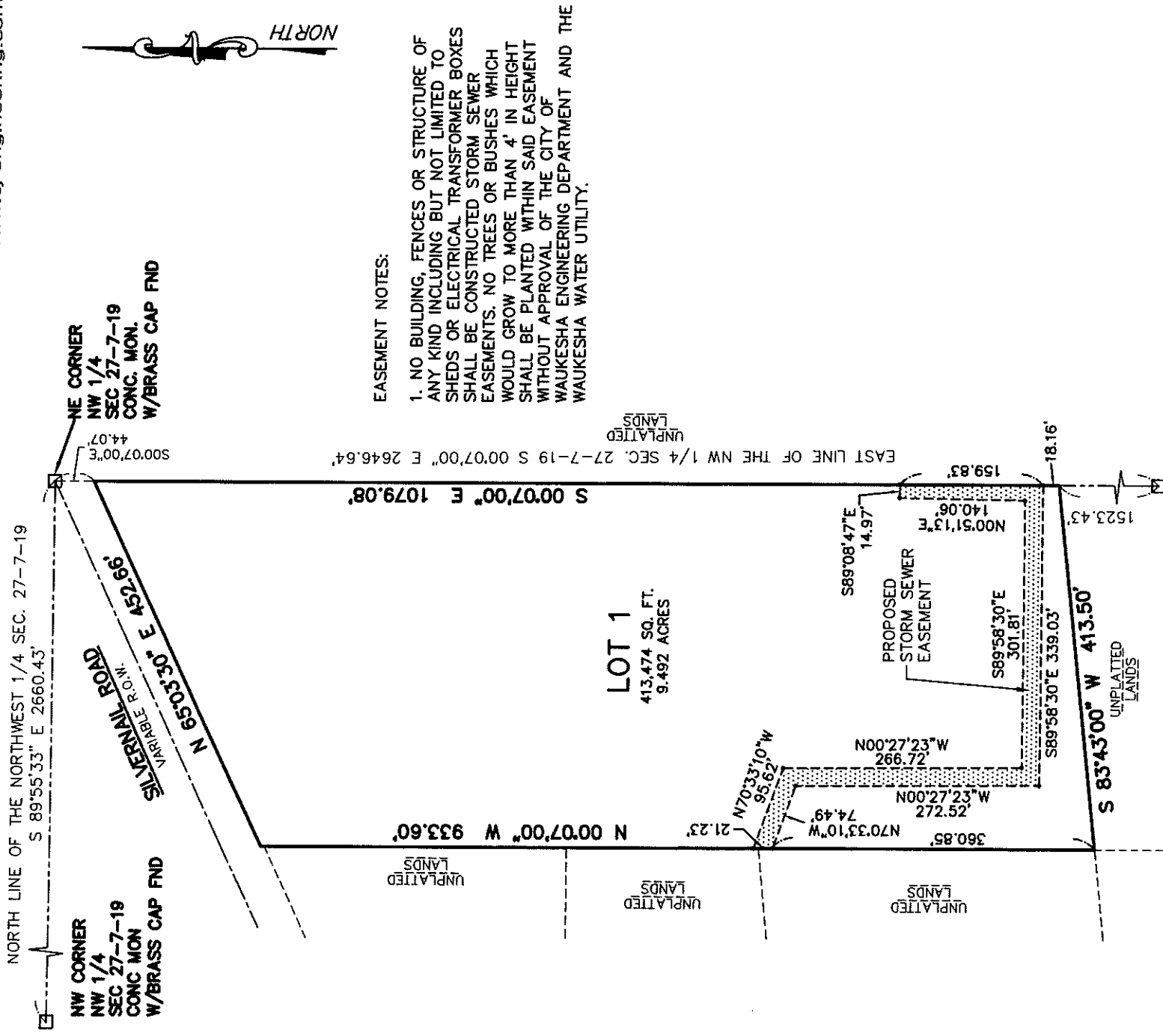
1 INCH = 160 FT.

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PROPOSED EASEMENTS

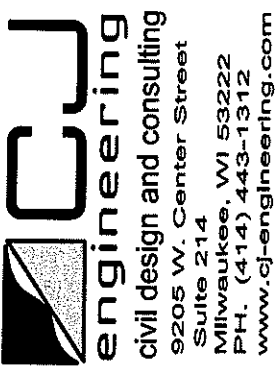


EASEMENT NOTES:

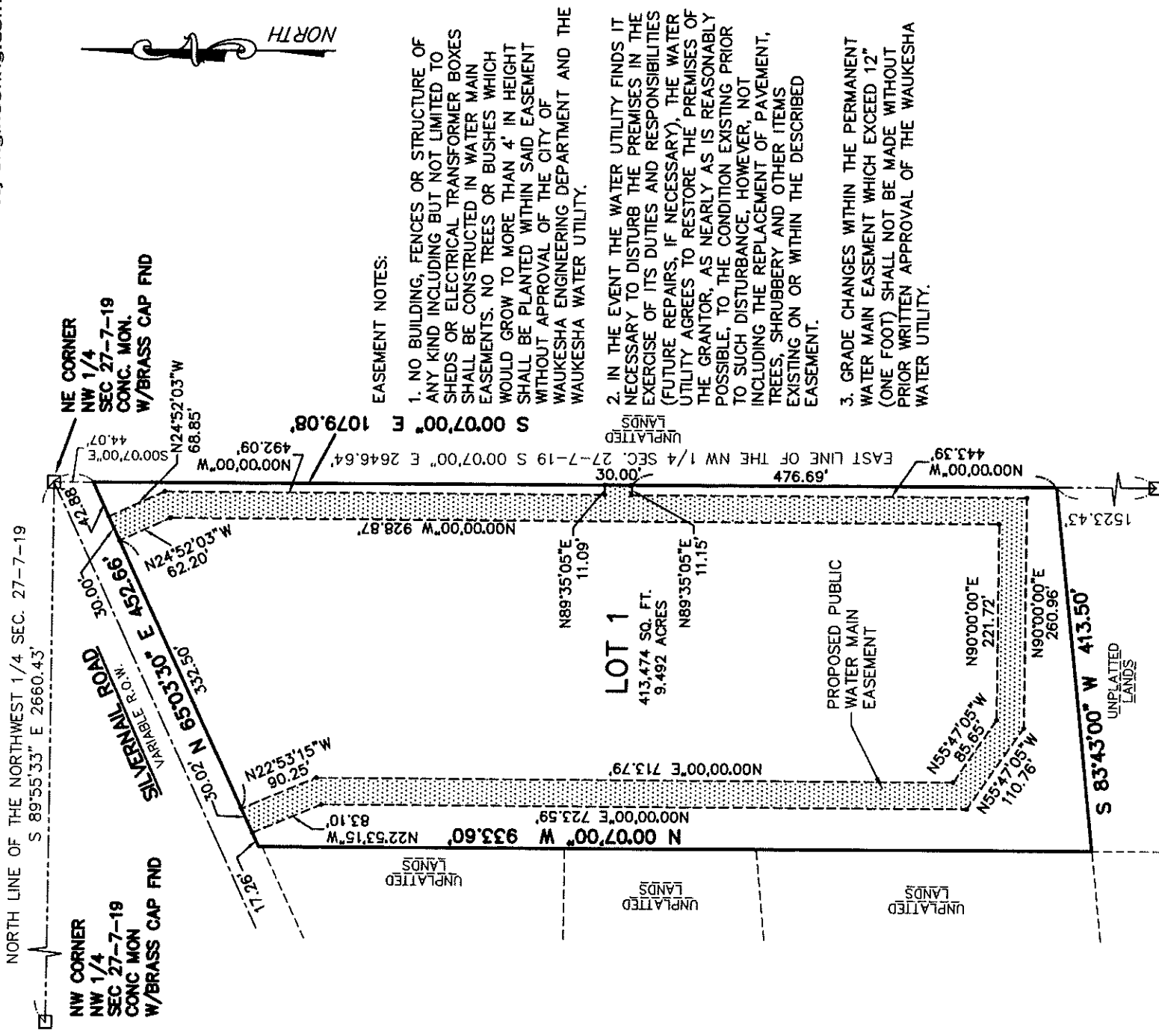
1. NO BUILDING, FENCES OR STRUCTURE OF ANY KIND INCLUDING BUT NOT LIMITED TO SHEDS OR ELECTRICAL TRANSFORMER BOXES SHALL BE CONSTRUCTED STORM SEWER EASEMENTS. NO TREES OR BUSHES WHICH WOULD GROW TO MORE THAN 4' IN HEIGHT SHALL BE PLANTED WITHIN SAID EASEMENT WITHOUT APPROVAL OF THE CITY OF WAUKESHA ENGINEERING DEPARTMENT AND THE WAUKESHA WATER UTILITY.

CERTIFIED SURVEY MAP NO.

ALL THAT PART OF THE NORTHWEST 1/4 OF SECTION 27, TOWN 7 NORTH, RANGE 19 EAST, IN THE CITY OF WAUKESHA, WAUKESHA COUNTY, WISCONSIN



PROPOSED EASEMENTS



EASEMENT NOTES:

1. NO BUILDING, FENCES OR STRUCTURE OF ANY KIND INCLUDING BUT NOT LIMITED TO SHEDS OR ELECTRICAL TRANSFORMER BOXES SHALL BE CONSTRUCTED IN WATER MAIN EASEMENTS. NO TREES OR BUSHES WHICH WOULD GROW TO MORE THAN 4' IN HEIGHT SHALL BE PLANTED WITHIN SAID EASEMENT WITHOUT APPROVAL OF THE CITY OF WAUKESHA ENGINEERING DEPARTMENT AND THE WAUKESHA WATER UTILITY.
2. IN THE EVENT THE WATER UTILITY FINDS IT NECESSARY TO DISTURB THE PREMISES IN THE EXERCISE OF ITS DUTIES AND RESPONSIBILITIES (FUTURE REPAIRS, IF NECESSARY), THE WATER UTILITY AGREES TO RESTORE THE PREMISES OF THE GRANTOR, AS NEARLY AS IS REASONABLY POSSIBLE, TO THE CONDITION EXISTING PRIOR TO SUCH DISTURBANCE. HOWEVER, NOT INCLUDING THE REPLACEMENT OF PAVEMENT, TREES, SHRUBBERY AND OTHER ITEMS EXISTING ON OR WITHIN THE DESCRIBED EASEMENT.
3. GRADE CHANGES WITHIN THE PERMANENT WATER MAIN EASEMENT WHICH EXCEED 12" (ONE FOOT) SHALL NOT BE MADE WITHOUT PRIOR WRITTEN APPROVAL OF THE WAUKESHA WATER UTILITY.



CERTIFIED SURVEY MAP NO. _____

ALL THAT PART OF THE NORTHWEST 1/4 OF SECTION 27, TOWN 7 NORTH, RANGE 19 EAST, IN THE CITY OF WAUKESHA, WAUKESHA COUNTY, WISCONSIN

SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN) SS
RACINE COUNTY)

I, CHRISTOPHER JACKSON, A REGISTERED LAND SURVEYOR, HEREBY CERTIFY:

THAT I HAVE SURVEYED AND MAPPED ALL THAT PART OF THE NORTHWEST 1/4 OF SECTION 27, TOWN 7 NORTH, RANGE 19 EAST, IN THE CITY OF WAUKESHA, WAUKESHA COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF THE NORTHWEST 1/4 OF SECTION 27; THENCE S 00°07'00" E ALONG THE EAST LINE OF THE NORTHWEST 1/4 OF SECTION 27, 44.07 FEET TO THE SOUTH RIGHT-OF-WAY OF SILVERNAIL ROAD AND THE POINT OF BEGINNING; THENCE CONTINUING S 00°07'00" E, ALONG SAID EAST LINE 1079.08 FEET; THENCE S 83°43'00" W, 413.50 FEET; THENCE N 00°07'00" W, 933.60 FEET TO THE SOUTH RIGHT-OF-WAY OF SILVERNAIL ROAD; THENCE N 65°03'30" E, ALONG SAID SOUTH RIGHT-OF-WAY 452.66 FEET TO THE POINT OF BEGINNING.

CONTAINING 413,474 SQUARE FEET OR 9.495 ACRES MORE OR LESS

THAT I HAVE MADE SUCH SURVEY AND MAP BY THE DIRECTION OF BRIOHN VENTURES 24, LLC, OWNERS OF SAID LAND.

THAT SUCH MAP IS A CORRECT REPRESENTATION OF ALL EXTERIOR BOUNDARIES OF THE LAND SURVEYED THEREOF MADE.

THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236 OF THE STATUTES OF THE STATE OF WISCONSIN AND THE REGULATIONS OF THE CITY OF WAUKESHA IN SURVEYING AND MAPPING THE SAME.

DATED THIS _____ DAY OF _____, 2014.

CHRISTOPHER A. JACKSON
REGISTERED LAND SURVEYOR, S-2851
STATE OF WISCONSIN

CERTIFIED SURVEY MAP NO.

ALL THAT PART OF THE NORTHWEST 1/4 OF SECTION 27, TOWN 7 NORTH, RANGE 19 EAST, IN THE CITY OF WAUKESHA, WAUKESHA COUNTY, WISCONSIN

CORPORATE OWNER'S CERTIFICATE

BRIOHN VENTURES 24, A LIMITED LIABILITY CORPORATION ORGANIZED UNDER THE LAWS OF THE STATE OF WISCONSIN AS OWNER, DOES HEREBY CERTIFY THAT SAID COMPANY CAUSED THE LAND DESCRIBED ON THIS MAP TO BE SURVEYED AND MAPPED AS REPRESENTED ON THIS MAP.

IN WITNESS WHEREOF, BRIOHN VENTURES 24, LLC, HAS CAUSED THESE PRESENTS TO BE SIGNED BY THIS _____ DAY OF _____, 2014. AND ITS CORPORATE SEAL TO BE AFFIXED

STATE OF WISCONSIN)
WAUKESHA COUNTY) SS

NELSON WILLIAMS, MANAGING MEMBER

PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____, 2014,
THE ABOVE NELSON WILLIAMS, TO ME KNOWN TO BE THE MANAGING MEMBER OF BRIOHN VENTURES 24, LLC
AND THE PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

NOTARY PUBLIC, STATE OF WISCONSIN
MY COMMISSION EXPIRES _____, 2014

PLANNING COMMISSION APPROVAL

APPROVED BY THE PLANNING COMMISSION OF THE CITY OF WAUKESHA ON THIS _____ DAY OF _____, 2014.

SHAWN N. REILLY, CHAIRMAN

JENNIFER ANDREWS, SECRETARY

COMMON COUNCIL APPROVAL

APPROVED BY THE COMMON COUNCIL OF THE CITY OF WAUKESHA ON THIS _____ DAY OF _____, 2014.

SHAWN N. REILLY, MAYOR
CITY OF WAUKESHA

THOMAS E. NEILL, CITY CLERK/TREASURER
CITY OF WAUKESHA