

TOFTE'S TABLE - INTERIOR ALTERATION

331 RIVERFRONT STREET | WAUKESHA, WI 53186

THRIVE ARCHITECTS
 Architect
 259 South Street, Suite A
 Waukesha, WI 53186
 p: 833-380-6180
 e: jdb@thrive-architects.com

STER CONSTRUCTION INC.
 Contractor
 N8 W22195 Johnson Drive
 Waukesha, WI 53186
 p: 262-574-0306
 e: ptorweihe@stierconstruct.com

Project Info. — 21100
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Sheet Title
TITLE AND CODE SHEET

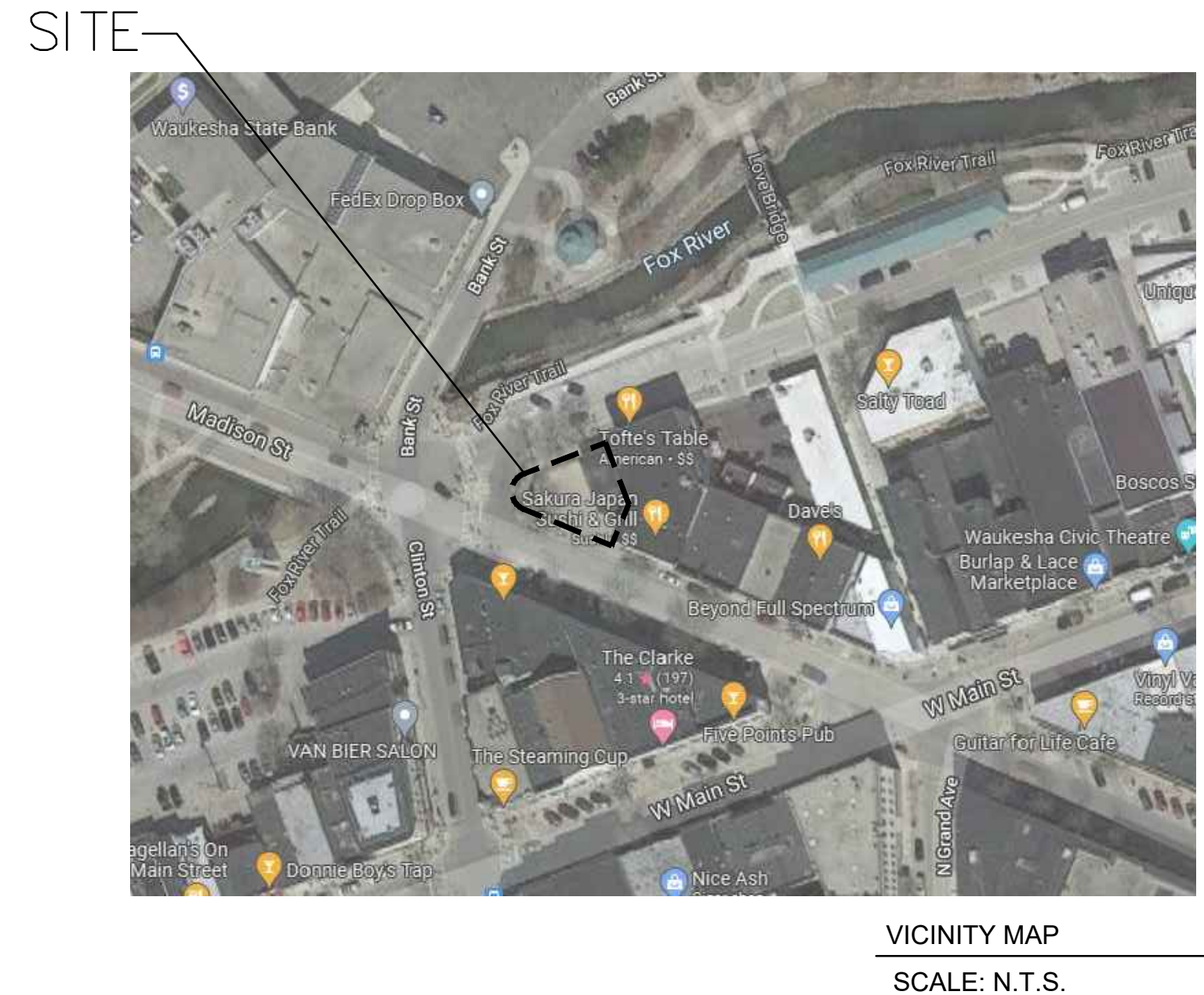
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T1.0	TITLE AND CODE SHEET
ARCHITECTURAL	
SP1.0	SITE PLAN
D1.0	DEMOLITION PLAN
A1.0	FLOOR PLAN
A2.0	EXTERIOR ELEVATIONS
A9.0	CONCEPTUAL RENDERINGS
PLUMBING, MECHANICAL AND ELECTRICAL PLANS TO BE A DEFERRED REVIEW AND SUBMITTAL BY DESIGN-BUILD CONTRACTOR	
PROJECT NOTES	
ELECTRICAL NOTES: 1) ALL WORK TO BE BY DESIGN-BUILD ELECTRICAL CONTRACTOR.	
HVAC NOTES: 1) ALL WORK TO BE BY DESIGN-BUILD HVAC CONTRACTOR.	
PLUMBING NOTES: 1) ALL WORK TO BE BY DESIGN-BUILD PLUMBING CONTRACTOR.	

BUILDING CODE SUMMARY	
BASED ON THE	WISCONSIN COMMERCIAL BUILDING CODE (2015 INTERNATIONAL BUILDING CODE w/ WI AMENDMENTS) 2015 INTERNATIONAL EXISTING BUILDING CODE 2009 ANSI A117.1 ACCESSIBILITY CODE
ALL OTHER CODES AND ORDINANCES AS REFERENCED BY THE ABOVE CODES	
AREA OF ALTERATION	TOTAL AREA OF ALTERATION: 1,307 SF
FIRE ALARM:	---
OCCUPANCY	A-2 RESTAURANT
OCCUPANCY SEPARATION	---
CONSTRUCTION TYPE	---
SPRINKLER SYSTEM	---
NUMBER OF FLOOR LEVELS	1 STORY
ALTERATION LEVEL	LEVEL 2
FLAME SPREAD & SMOKE INDEX	---
CODE EXCEPTION	BOTTLED WATER PROVIDED IN LIEU OF DRINKING FOUNTAIN

PROJECT CONTACT INFO	
OWNER: LUCKY LAND LLC P.O. BOX 648 WAUKESHA, WI 53187	ARCHITECT: THRIVE ARCHITECTS 259 SOUTH STREET, SUITE A WAUKESHA, WI 53186 P: 833-380-6180 ATTN: JEREMY BARTLETT, ARCHITECT OF RECORD
CONTRACTOR: STER CONSTRUCTION INC. N8W22195 JOHNSON DRIVE WAUKESHA, WI 53186 P: 262-574-0306	

GENERAL NOTES	
1. CONSTRUCTION IS TO BE IN COMPLIANCE WITH ALL GOVERNING CODES, ORDINANCES & STANDARDS. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, & SUPERVISING ALL SAFETY PRECAUTIONS & PROGRAMS IN CONNECTION WITH THE PERFORMANCE OF THIS PROJECT.	
2. ARCHITECT/DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY COST, SCHEDULE OR CONSTRUCTION ISSUES ARISING DUE TO GC/OWNERS FAILURE TO DISTRIBUTE ALL DOCS, SUBCONTRACTORS & SUPPLIERS SHOULD ENDEAVOR TO REVIEW A COMPLETE SET OF DOCS BEFORE BIDDING, FABRICATING & INSTALL.	
3. GC, SUBCONTRACTORS, MATERIAL SUPPLIERS, OWNER, ETC. MUST NOTIFY ARCHITECT OF ANY ERRORS, OMISSIONS, OR DEFECTS IN THE CONSTRUCTION DOCUMENTS PRIOR TO BIDDING, FABRICATING OR INSTALLING WORK.	
4. SITE DIMENSIONS ARE TO BE FIELD VERIFIED AND ADJUSTED ACCORDINGLY. THE ARCHITECT/DESIGNER SHALL BE NOTIFIED OF ANY VARIANCES BEFORE CONTRACTOR BEGINS OR PROCEEDS WORK.	
5. MECH, ELEC, PLUMB & FIRE PROTECTION ARE TO BE DESIGN BUILT, COMPLYING WITH ALL GOVERNING CODES, ORDINANCES & STANDARDS, WHICH WILL BE THE FULL RESPONSIBILITY OF THE CONTRACTOR; THE ARCHITECT ASSUMES NO LIABILITY.	
6. ALL MECH, ELEC, PLUMB & FIRE PROTECTION SYSTEMS/EQUIP. SHALL BE MAINTAINED ACCORDING TO MANUFACTURER'S STANDARDS. BLDG. OWNER SHALL ASSUME FULL RESPONSIBILITY FOR MAINTANANCE/OPERATION UPON OCCUPANCY.	
7. THE INSTALLATION AND EXECUTION OF ALL MATERIALS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S STANDARDS AND SPECIFICATIONS. ALL MEANS & METHODS OF CONSTRUCTION TO BE THE SOLE RESPONSIBILITY OF THE GC.	
8. PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED IN OCCUPANCIES AND LOCATIONS AS REQUIRED BY THE INTERNATIONAL FIRE CODE. INSTALLATION LOCATIONS SHALL HAVE A MAXIMUM TRAVEL DISTANCE OF 75' TO ANY EXTINGUISHER. EXTINGUISHERS SHALL BE LOCATED IN CONSPICUOUS LOCATIONS WHERE THEY WILL BE READILY ACCESSIBLE AND IMMEDIATELY AVAILABLE FOR USE, TYPICALLY ALONG PATHS OF TRAVEL. EXTINGUISHERS SHALL NOT BE OBSTRUCTED FROM VIEW; IF VISUAL OBSTRUCTION CAN NOT BE AVOIDED ANOTHER MEANS SHALL BE PROVIDED TO INDICATE THE EXTINGUISHER LOCATIONS. EXTINGUISHERS NOT EXCEEDING 40" SHALL BE INSTALLED SO THAT ITS TOP IS NOT MORE THAN 5'-0" ABOVE THE FLOOR, EXTINGUISHERS EXCEEDING 40" SHALL BE INSTALLED SO THAT ITS TOP IS NOT MORE THAN 3'-6" ABOVE THE FLOOR. THE CLEARANCE BETWEEN THE FLOOR AND BOTTOM OF HAND HELD UNITS SHALL NOT BE LESS THAN 4". VERIFY EXTINGUISHER LOCATIONS W/ LOCAL FIRE DEPT. & OWNER PRIOR TO INSTALLATION.	
9. ALL CONCRETE FLAT WORK MUST BE WET CURED PER ACI REQUIREMENTS AND/OR CURED USING A CURING COMPOUND. REFER TO STRUCTURAL NOTES FOR CURING COMPOUND SPECS. CONTRACTOR IS RESPONSIBLE FOR APPLYING CURING COMPOUNDS PER THE MANUFACTURER'S REQUIREMENTS.	

TYPICAL ABBREVIATIONS									
ABV: Above	B/O: By Others	DW: Dishwasher	FTC: Footing	LB: Pound	NO, #: Number	REFR: Ref	TEMP: Tempered		
ACOUS: Acoustical	BC: Bottom Of	DV: Division	FND: Foundation	LAM: Laminated(d)	O: Non-Operable Window	REG: Register	TK: Tight Knot		
ADDL: Additional	BR: Bedroom	DR: Door	FRM: Fram(d), (ng)	LAV: Lavatory	RE: Reinforced	RE: Reinforced	T&G: Tongue and Groove		
ADH: Adhesive		DH: Double Hung	FBO: Furnished by Others	LH: Left Hand	REGD: Required	T/O: Top of			
ADJ: Adjustable	CAB: Cabinet	DS: Downspout	FUR: Furred	L: Length	OBS: Obscure	TOC: Top of Concrete			
AFF: Above Finish Floor	CALC: Calculation	DT: Drain Tile		GA: Gage, Gauge	OC: On Center	TOW: Top of Wall			
AGG: Aggregate	CD: Cabinet Door	DW: Drawing		GL: Gallon	OP: Operable	TB: Towel Bar			
AHL: Authority Having Jurisdiction	CIP: Cast-in-place	D: Nail Size		GL: Glass, Glazing	OR: Oriented Strand Board	T: Tread			
A/C: Air Conditioning	CL: Centerline	EW: Each Way		GI: Galvanized Iron	OSB: Oriented Strand Board	TS: Tubular Steel			
ALT: Alternate	CO: Clean Out	E: East		GLBK: Glass Block	OSD: Outside Diameter	TYP: Typical			
ALUM: Aluminum	CONTR: Contract (or)	EL: Elevation		GT: Groat	PMT: Paint(ed)	UL: Underwriters Laboratory			
ANCH: Anchor, Anchorage	COORD: Coordinate	ELEV: Elevation		GRD: Grade, Grading	PRT: Partition	UNF: Unfinished			
AB: Anchor Bolt	CRPT: Carpet	EQ: Equipment		GW: Gypsum Wall Board	PVM: Pavement	UNO: Unless Noted Otherwise			
ANOD: Anodized	CIP: Cast-in-place	EXC: Excavate		HWD: Hardware	PERF: Perforated	VB: Vapor Barrier			
APK: Approximate	CLK: Caulking	EXH: Exhaust		HTG: Heating, Ventilation-Air Conditioning	PLAS: Plaster	VAR: Varnish			
APT: Apartment	CAS: Casement	EXT: Existing		HT: Height	PLM: Plastic Laminated	VER: Verify in Field			
ARCH: Architect	CB: Catch Basin	EXT: Exterior		HC: Hollow Core	PLY: Plywood	VEN: Veneer			
(architectural)	CE: Ceiling	FOC: Face of Concrete		HOR: Horizontal	PCC: Precast Concrete	VER: Vertical			
ASPH: Asphalt	CT: Ceramic Tile	FOF: Face of Finish		HTZ: Heating, Ventilation-Air Conditioning	PPF: Pounds Per Cubic Foot	VG: Vertical Grain			
AUTO: Automatic	CIR: Circle	FOM: Face of Masonry		HT: Height	PFL: Pounds Per Linear Foot	VIN: Vinyl Sheet			
AVE: Avenue	CLR: Clear	FOS: Face of Studs		HC: Hollow Core	PSF: Pounds Per Square Foot	W: Wall			
AWN: Awning	COL: Column	CONC: Concrete		HIB: Hose Bib	PPS: Pounds Per Square Inch	WC: Water Closet			
	CMU: Concrete Masonry Unit	FIB: Fiberglass		IN: Inch	PFB: Prefabricated	WH: Water Header			
BSMT: Basement	CONSTR: CONSTRUCTION	FCB: Fiber Cement Board		INCL: Include	PRF: Prefinished	WP: Water Proofing			
BM: Beam	CONT: Continuous	FGL: Fiberglass		ID: Inside Diameter	PT: Pressure Treated	WR: Weather Resistant			
BSL: Beveled	CJT: Control Joint	FME: Finished Floor Elevation		INS: Insulate	PL: Property Line	WRB: Weather Resistive Barrier			
BITUM: Bituminous	CORR: Corrugated	FA: Fire Alarm		INT: Interior	PH: Toilet Paper Hanger	WWF: Welded Wire Fabric			
BLK: Block	CUB: Cubic Foot	FE: Fire Extinguisher		INV: Invert	QTY: Quantity	WWM: Welded Wire Mesh			
BLKG: Blocking	CUY: Cubic Yard	FPL: Fireplace		JNT: Joint	QT: Quarry Tile	W: West			
BLW: Below	DPL: Dampproofing	FLS: Flashing		JST: Joint	RAD: Radius	W/W: Without			
BLVD: Boulevard	DET: Detail	FLR: Fluorescent		KD: Kiln Dried	REF: Reference	W/ With			
BTW: Between	DIM: Dimension	FT: Foot, Feet		KIT: Kitchen	RFL: Reflect(ed),(ive),(or)	W/ Wood			
BD: Board					TEL: Telephone	W/O: Without			
BDT: Bottom						W/ With			
BLDG: Building						W/ Wood			
BUR: Built Up Roofing						X: Operable Window Section			



VICINITY MAP
SCALE: N.T.S.

1
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AMP	JDB

Revisions		
No.	Date	Description
	01.24.22	PC Submittal

Sheet No. **T1.0**

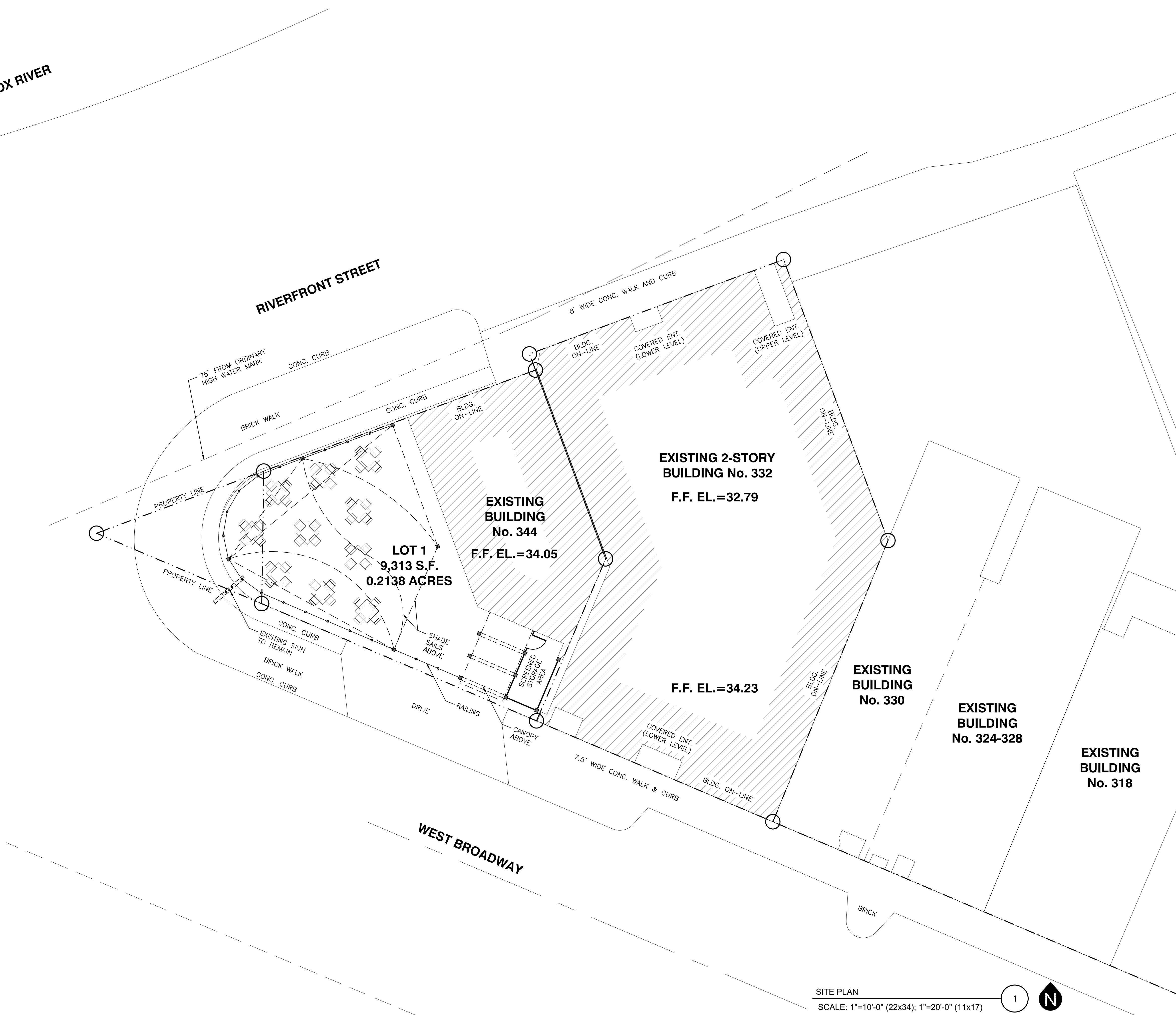
NOT FOR CONSTRUCTION

BANK STREET

FOX RIVER

RIVERFRONT STREET

WEST BROADWAY



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SITE PLAN

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01	01.24.22	PC Submittal

Sheet No.
SP1.0

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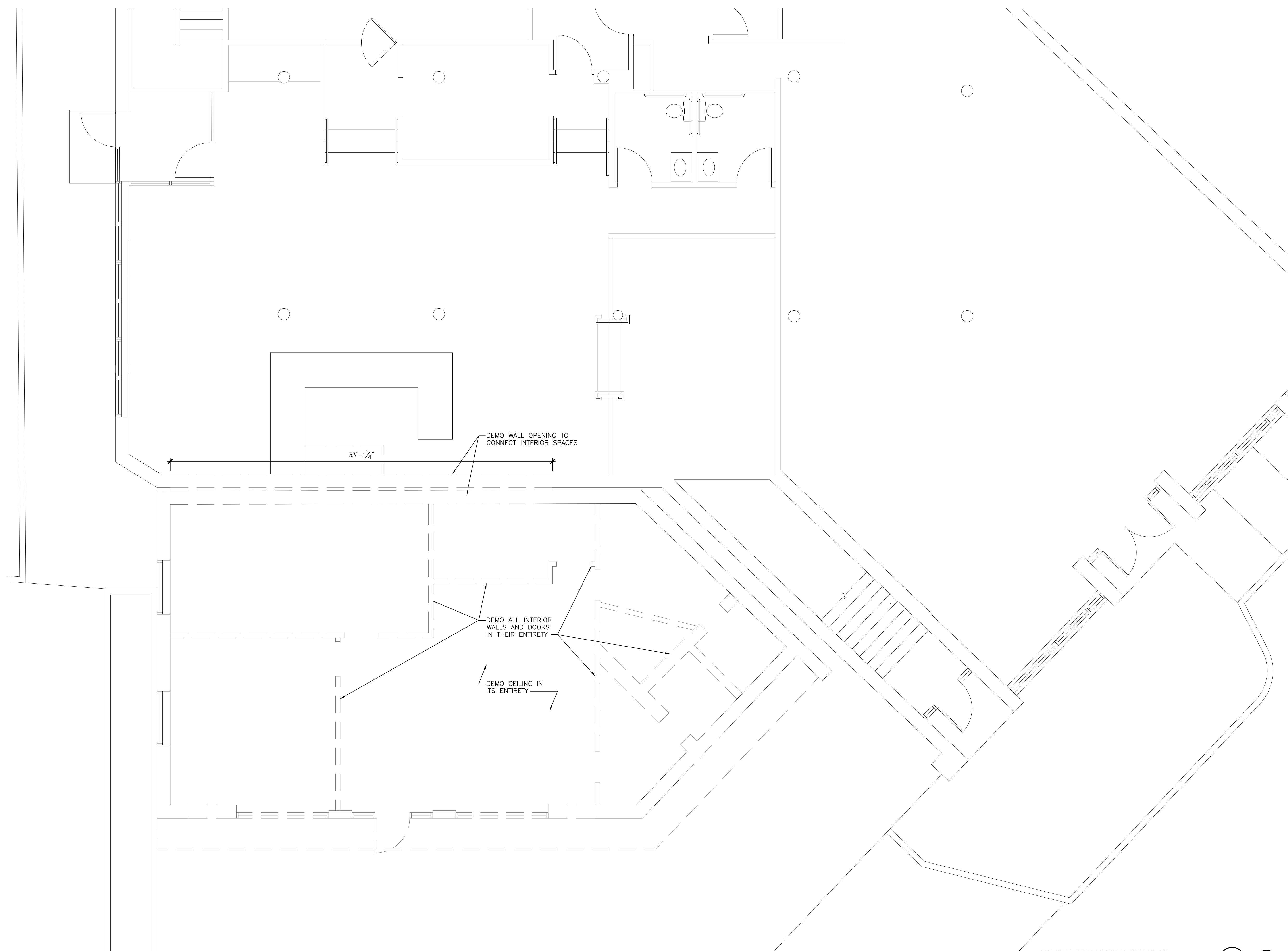
DEMOLITION PLAN

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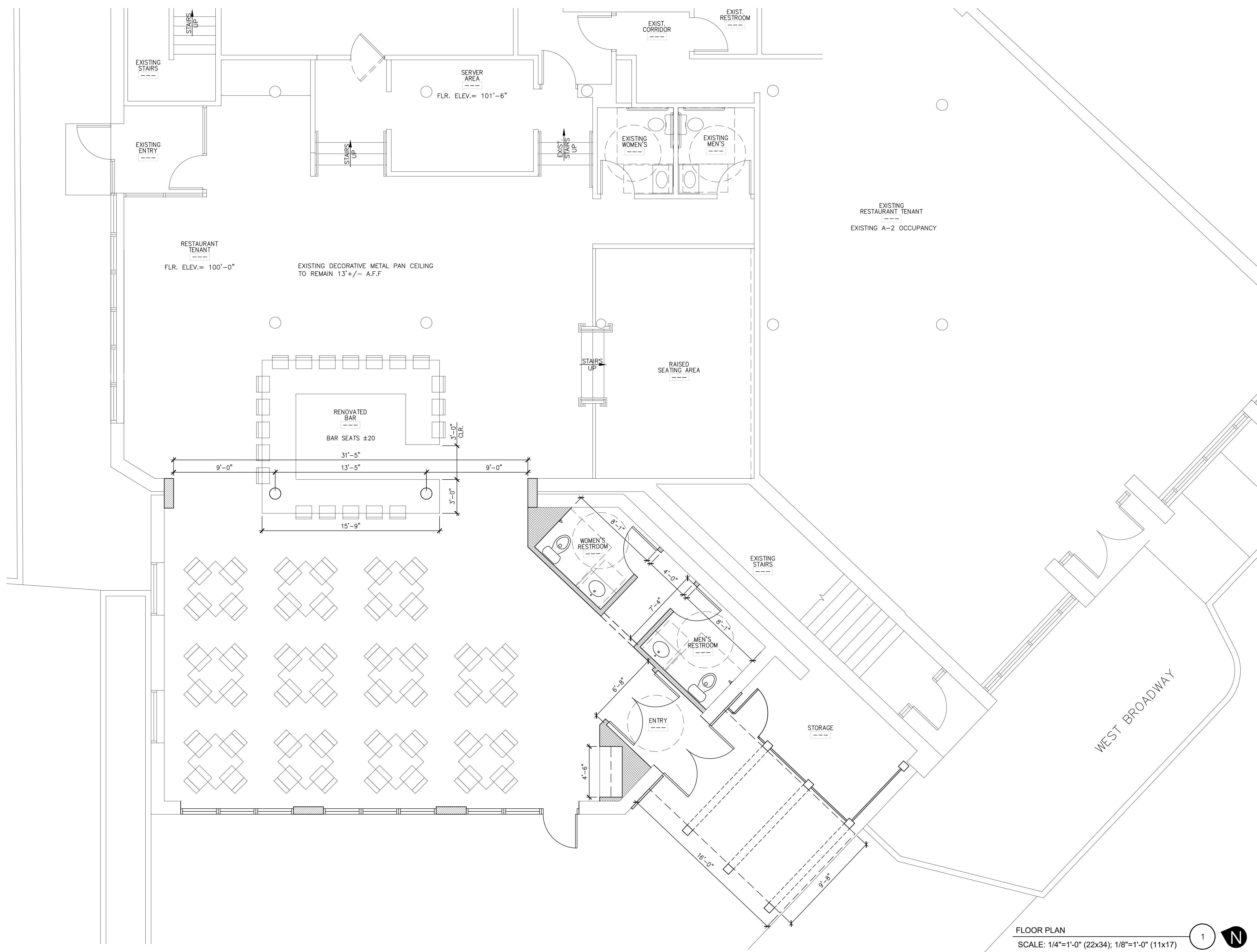


FLOOR PLAN

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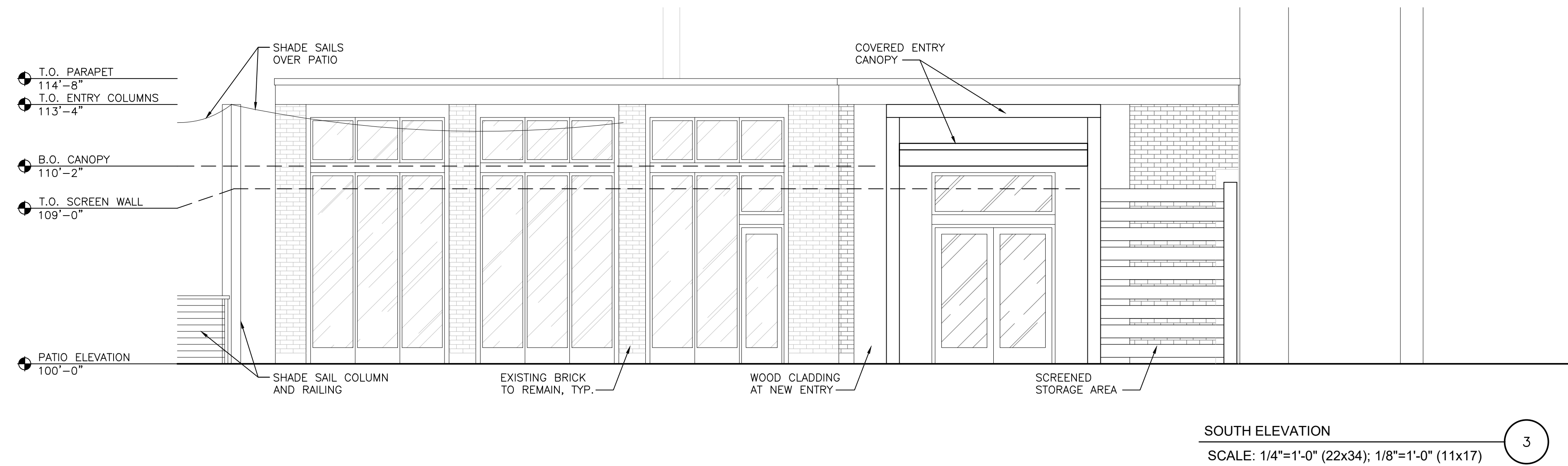
EXTERIOR ELEVATIONS

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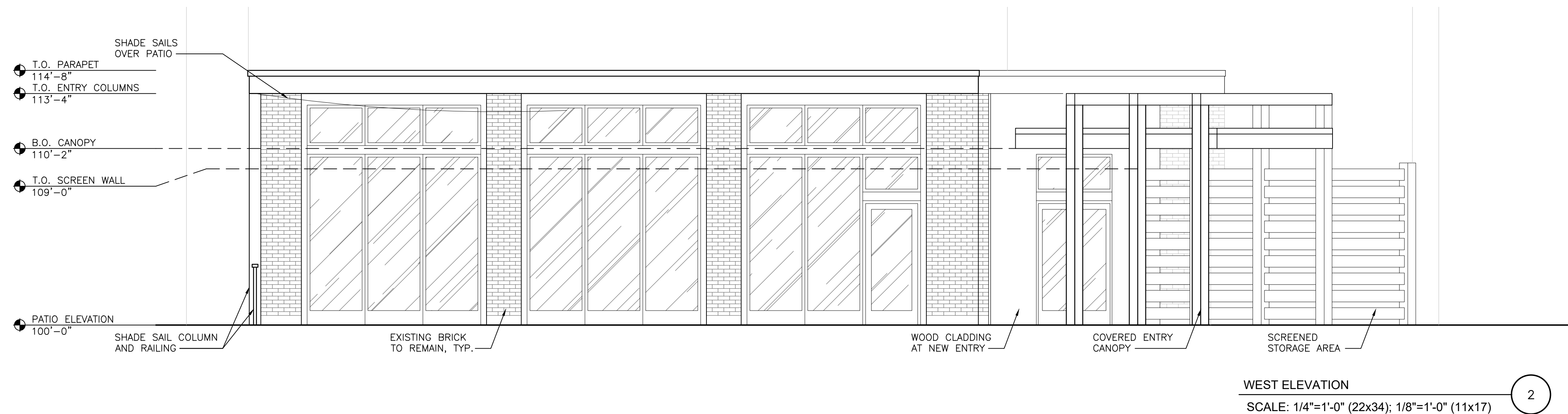
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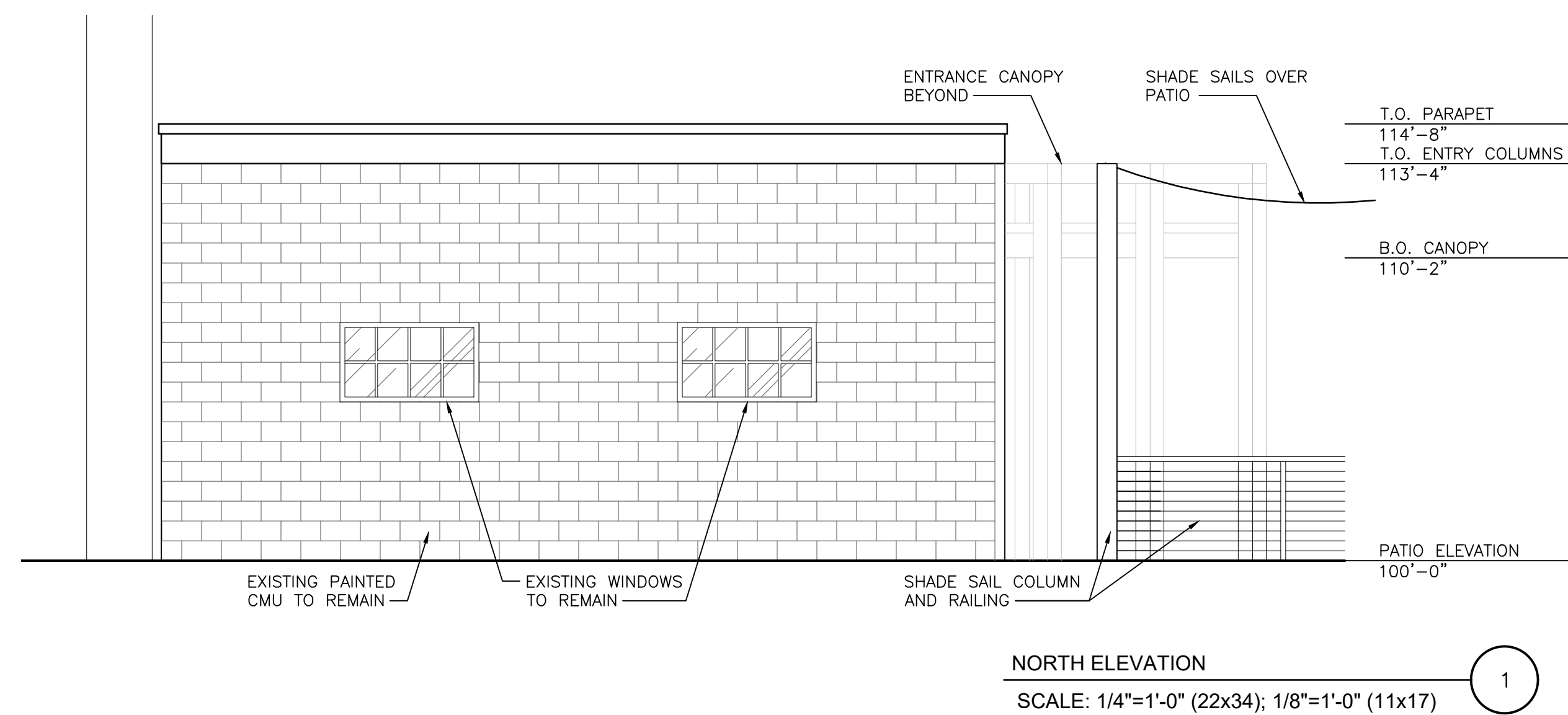
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SOUTH ELEVATION
 SCALE: 1/4"=1'-0" (22x34); 1/8"=1'-0" (11x17) 3



WEST ELEVATION
 SCALE: 1/4"=1'-0" (22x34); 1/8"=1'-0" (11x17) 2



NORTH ELEVATION
 SCALE: 1/4"=1'-0" (22x34); 1/8"=1'-0" (11x17) 1



VIEW ALONG W. BROADWAY
SCALE: NOT TO SCALE

3



AERIAL PERSPECTIVE
SCALE: NOT TO SCALE

2



CORNER OF RIVERFRONT ST. & W. BROADWAY
SCALE: NOT TO SCALE

1

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**CONCEPTUAL
RENDERINGS**

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