

OWNER: Waukesha Airport Holdings LLC

PROJECT DESCRIPTION: Private Aircraft Hangar

PROJECT ADDRESS: 2781 Aviation Dr, Waukesha, WI 53188

DATE: 4.30.25



FINAL SITE PLAN AND ARCHITECTURAL REVIEW PLAN SUBMITTAL

PROJECT DESCRIPTION

GENERAL PROJECT SCOPE

Leased property from Waukesha County Airport developed for a private aircraft hangar. The hangar has a peak of 42', a hangar door on the east side, and includes pre-manufactured/pre-finished vertical metal finishes. The proposed project includes a service road extension from aviation drive to a private parking area on the west side of the hangar, utility extensions, oil and water separator and a concrete apron for connection to the taxiway.

STORM WATER

Stormwater management for the site is managed by a series of regional ponds located on the airport property. This project will direct runoff to these ponds.

INCLUDED DOCUMENTS

DRAWINGS

ELEVATIONS AND ARCHITECTURAL PLANS - WAH LLC PRIVATE AIRCRAFT HANGAR - 2781 AVIATION DR - 04.30.25

EXISTING CONDITIONS - WAH LLC PRIVATE AIRCRAFT HANGAR - 2781 AVIATION DR - 04.30.25

SITE PLAN - WAH LLC PRIVATE AIRCRAFT HANGAR - 2781 AVIATION DR - 04.30.25

SITE PLAN DETAILS - WAH LLC PRIVATE AIRCRAFT HANGAR - 2781 AVIATION DR - 04.30.25

UTILITY PLAN - WAH LLC PRIVATE AIRCRAFT HANGAR - 2781 AVIATION DR - 04.30.25

LANDSCAPE PLAN - WAH LLC PRIVATE AIRCRAFT HANGAR - 2781 AVIATION DR - 04.30.25

GRADING PLAN - WAH LLC PRIVATE AIRCRAFT HANGAR - 2781 AVIATION DR - 04.30.25

EROSION CONTROL PLAN - WAH LLC PRIVATE AIRCRAFT HANGAR - 2781 AVIATION DR - 04.30.25

EROSION CONTROL AND UTILITY DETAILS - WAH LLC PRIVATE AIRCRAFT HANGAR - 2781 AVIATION DR - 04.30.25

EROSION CONTROL AND UTILITY CONSTRUCTION NOTES - WAH LLC PRIVATE AIRCRAFT HANGAR - 2781 AVIATION DR - 04.30.25

CHECKLISTS

APPLICATION FOR DEVELOPMENT REVIEW AND CHECKLIST - WAH LLC PRIVATE AIRCRAFT HANGAR - 2781 AVIATION DR - 04.30.25

LANDSCAPE CHECKLIST - WAH LLC PRIVATE HANGAR - 2781 AVIATION DR - 4.30.25

SITE GRADING AND DRAINAGE PLAN CHECKLIST - WAH LLC PRIVATE HANGAR - 2781 AVIATION DR - 4.30.25

SEWER PLAN CHECKLIST - WAH LLC PRIVATE HANGAR - 2781 AVIATION DR - 4.30.25

Daniel Ayala, D.Arch, AIA, NCARB

Architect

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City of Waukesha

Application for Development Review

Last Revision
Date:
January 2025

City of Waukesha Community Development Department - 201 Delafield Street, Waukesha, WI 53188 262-524-3750
City of Waukesha Department of Public Works Engineering Division—201 Delafield Street, Waukesha, WI 53188 262-524-3600
www.waukesha-wi.gov

APPLICANT INFORMATION

Applicant Name: Daniel Ayala (Architect)
Applicant Company Name: Oliver Construction
Address: 1770 Executive Dr.
City, State: Oconomowoc, WI Zip: 53066
Phone: 262-567-6677
E-Mail: daniela@oliverconstruction.com

ARCHITECT/ENGINEER/SURVEYOR INFORMATION

Name: Kevin Parish (Civil Engineer)
Company Name: Parish Survey and Engineering
Address: 122 Wisconsin St.
City, State: West Bend, WI Zip: 53095
Phone: 262-346-7800
E-Mail: kparish@parishse.com

PROPERTY OWNER INFORMATION

Applicant Name: Mike White
Applicant Company Name: Waukesha Airport Holdings, LLC
Address: 440 Cardinal Ln.
City, State: Hartland, WI Zip: 53029
Phone: 53029
E-Mail: mike@whiteaviation.com

PROJECT & PROPERTY INFORMATION

Project Name: Private Aircraft Hangar
Property Address: 2781 Aviation Dr., Waukesha, WI 53188
Tax Key Number(s): WAKC0970999
Zoning: A-1 Airport
Total Acreage: 1.125 ac Existing Building Square Footage: na
Proposed Building/Addition Square Footage: 22,267 sqft
Current Use of Property: Aviation


PROJECT SUMMARY (Please provide a brief project description.)

Leased property from Waukesha County Airport developed for a private aircraft hangar. The hangar has a peak of 42', a hangar door on the east side, and includes vertical metal finishes. The proposed project includes a service road extension from Aviation drive to a private parking area on the west side of the hangar, utility extensions, oil and water separator and a concrete apron for connection to the taxiway.

All submittals require a complete scaled set of digital plans (Adobe PDF) and shall include a project location map showing a 1/2 mile radius, a COLOR landscape plan, COLOR building elevation plans, and exterior lighting photometric maps and cut sheets. A pre-application meeting is required prior to submittal of any applications for Subdivisions, Planned Unit Developments, and Site and Architectural Plan Review. **The deadline for all applications requiring Plan Commission Reviews is Monday at 4:00 P.M, 30 days prior to the meeting date. The Plan Commission meets the Fourth Wednesday of each month.**

APPLICATION ACKNOWLEDGEMENT AND SIGNATURES

I hereby certify that I have reviewed the City of Waukesha Development Handbook, City Ordinances, Submittal Requirements and Checklists and have provided one PDF of all required information. Any missing or incomplete information may result in a delay of the review of your application. By signing this I also authorize The City of Waukesha or its agents to enter upon the property for the purpose of reviewing this application.

Applicant Signature  4/30/25
Applicant Name (Please Print) Daniel Ayala (Architect)
Date: 4.30.2025

For Internal Use Only:

Amount Due (total from page 2): _____ Amount Paid: _____ Check #: _____
Trakit ID(s) _____ Date Paid: _____

Naming Conventions for Plan Commission Files/Submissions

Digital files submitted for Plan Commission will need to be labeled with one of the naming conventions below. For example, if the applicant is submitting a plan for landscaping on a project, ***please label the PDF as Landscape Plan followed by the business name, address and date (month and year)*** Files that do not have names or only include PDF numbers will be returned to the applicant to rename.

Community Development

Elevations and Architectural Plans– **Project Name, address**

Site Plans

Landscape Plans

Plan Commission Application

Renderings

Certified Survey Map– CSM

Lighting and Photometrics

Signs

PUD

Easements

Rezoning

Preliminary Plat

Final Plat

Engineering & Other Departments

Site Engineering and grading

Stormwater Management Plan

Traffic Study

Erosion Control

Wetland Delineation

Utility Plans

Flood Plain

Maintenance Agreements

Development Review Checklist

Example: **Site Plans– City of Waukesha City Hall Project, 201 Delafield Street, July 12, 2023**

THIRD PARTY ENGINEERING REVIEW DEPOSIT

Deposits for third party Engineering Review must be included at the time of application.

Please follow the schedule below:

Engineering Review Deposit Schedule	
<i>Project Type</i>	<i>Deposit Amount</i>
1 or 2 Family Residential CSM	\$750
All Other CSMs	\$2,500
Preliminary SPAR	\$5,000
Final SPAR	\$5,000
Preliminary Plat	\$7,500
Final Plat	\$7,500

The deposit is a separate payment from the required application fees. Two payments will be required with the application. **The Engineering Review Deposit must be in the form of a check made out to the City of Waukesha.**

City of Waukesha Application for Development Review

TYPE OF APPLICATION & FEES (CHECK ALL THAT APPLY) Please note that each application type has different submittal requirements. Detailed submittal checklists can be found in Appendix A of the Development Handbook.

FEES

☐ Plan Commission Consultation/Conceptual Review **\$390**

☐ Traffic Impact Analysis

☐ Commercial, Industrial, Institutional, and Other Non-Residential **\$480**

☐ Residential Subdivision or Multi-Family **\$480**

☐ Resubmittal (3rd and all subsequent submittals) **\$480**

ONE OF THE THREE FOLLOWING ITEMS IS REQUIRED FOR SITE PLAN & ARCHITECTURAL REVIEWS (*):

* ☐ **Preliminary Site Plan & Architectural Review**

Engineering Review Deposit \$5,000 + _____

☐ Level 1: Buildings/additions less than 10,000 sq.ft. or sites less than 1 acre **\$2,240**

☐ Level 2: Buildings/additions between 10,001-50,000 sq.ft. or sites between 1.01 and 10 acres **\$2,460**

☐ Level 3: Buildings/additions between 50,001-100,000 sq.ft. or sites between 10.01 and 25 acres **\$2,680**

☐ Level 4: Buildings/additions over 100,001 sq.ft. or sites greater than 25.01 acres **\$2,900**

☐ Resubmittal Fees (after 2 permitted reviews) **\$750**

* ☒ **Final Site Plan & Architectural Review**

Engineering Review Deposit \$5,000 + _____

☐ Level 1: Buildings/additions less than 10,000 sq.ft. or sites less than 1 acre **\$1,360**

☒ Level 2: Buildings/additions between 10,001-50,000 sq.ft. or sites between 1.01 and 10 acres **\$1,480**

☐ Level 3: Buildings/additions between 50,001-100,000 sq.ft. or sites between 10.01 and 25 acres **\$1,700**

☐ Level 4: Buildings/additions over 100,001 sq.ft. or sites greater than 25.01 acres **\$2,020**

☐ Resubmittal Fees (3rd and all subsequent submittals) **\$750**

* ☐ **Minor Site Plan & Architectural Review (total site disturbance UNDER 3,000 total square feet)**

☐ Projects that do not require site development plans **\$420**

☐ Resubmittal Fees (3rd and all subsequent submittals) **\$420**

☐ Certified Survey Map (CSM)

Engineering Review Deposit \$750 or \$2,500 (see schedule) + _____

☐ 1-3 Lots **\$690**

☐ 4 lots or more **\$750**

☐ Resubmittal (3rd and all subsequent submittals) **\$180**

☐ Extra-territorial CSM **\$450**

☐ Preliminary Subdivision Plat

Engineering Review Deposit \$7,500 + _____

☐ Up to 12 lots **\$1,335**

☐ 13 to 32 lots **\$1,530**

☐ 36 lots or more **\$1,750**

☐ Resubmittal (3rd and all subsequent submittals) **\$695**

☐ Final Subdivision Plat (Final Site Plan Review is also required.)

Engineering Review Deposit \$7,500 + _____

☐ Up to 12 lots **\$750**

☐ 13 to 32 lots **\$995**

☐ 36 lots or more **\$1,215**

☐ Resubmittal (3rd and all subsequent submittals) **\$695**

☐ Extra-territorial Plat **\$930**

☐ Rezoning and/or Land Use Plan Amendment

☐ Rezoning **\$745**

☐ Land Use Plan Amendment: **\$705**

☐ Conditional Use Permit

☐ Conditional Use Permit with no site plan changes **\$530**

☐ Conditional Use Permit with site plan changes **\$570** plus applicable preliminary and final site plan fees above

☐ Planned Unit Development or Developer's Agreement (Site Plan Review is also required)

☐ New Planned Unit Development or Developer's Agreement **\$2,000**

☐ Planned Unit Development or Developer's Agreement Amendment **\$960**

☐ Annexation **NO CHARGE**

☐ House/Building Move **\$150**

☐ Street or Alley Vacations **\$465**

TOTAL APPLICATION FEES:

Engineering Review Deposit Total = _____

Application Fee Total =

\$1,480.00

City of Waukesha

Development Review Submittal Requirements

PLAN COMMISSION CONSULTATION SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

A Plan Commission Consultation may be submitted for review and comment for the owner/developer to ascertain the feasibility of a proposed project. A consultation is not required but may be submitted in advance of an actual submittal for a preliminary plat, CSM, Planned Unit Development, rezoning, conditional use or site plan. The Plan Commission will only provide feedback, no approvals will be given. Prior to applying for a Plan Commission Consultation you must discuss your project with the Planning Division to determine if a Plan Commission Consultation is recommended.

Review Time: Approximately 30 days

Reviewing Departments: Community Development Planning Division, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission (optional)

In addition to this application and corresponding application fee you will also need:

- ☐ One (1) digital (PDF) copy of the plans you want conceptual review of
- ☐ Attachment A: Development Review Checklist. You should also review all other corresponding checklists that relate to the project that you are seeking conceptual review of and include as much information as possible.
- ☐ Cover letter outlining project details.

TRAFFIC IMPACT ANALYSIS SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

A Traffic Impact Analysis is required for projects that meet certain criteria. Please refer to the Developer's Handbook Section 4.4 to determine if your project requires a Traffic Impact Analysis

Review Time: Approximately 30 days

Reviewing Departments: Public Works Engineering Division

Reviewing Boards: None, however the Plan Commission may require a copy as part of site plan review process.

In addition to this application and corresponding application fee you will also need:

- ☐ One (1) digital (PDF) copy of the Traffic Impact Analysis

PRELIMINARY SITE PLAN & ARCHITECTURAL REVIEW SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

Preliminary site and architectural plans are required for any new residential development with 4 or more units and all non-residential developments. Preliminary site plan approval is also required for additions or modifications to existing developments and projects where a stormwater management plan is needed. Preliminary approval is required unless it is determined by City staff in the Pre-Application meeting that the project only needs Final Site and Architectural Review.

Review Time: Approximately 30 days (45 if Common Council review is needed)

Reviewing Departments: Community Development Planning Division, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission. Common Council and Board of Public Works review may be required for certain projects.

In addition to this application and corresponding application fee you will also need:

- ☐ One (1) digital (PDF) that includes of items listed below
 - ☐ Cover letter outlining project details.
 - ☐ Color architectural elevations of all sides of the building and color perspective renderings
 - ☐ Conceptual Landscape Plan
 - ☐ Attachment A: Development Review Checklist
 - ☐ Site Plan (see Attachment B: Engineering Plan Checklist)
 - ☐ Grading Plan (see Attachment C: Site Grading and Drainage Plan Checklist)
 - ☐ Stormwater Management Plan (see Attachment D: Stormwater Management Plan Checklist)
 - ☐ Utility Plans (see Attachment H: Sewer Plan Review Checklist)
 - ☐ Any other attachments as applicable.

FINAL SITE PLAN & ARCHITECTURAL REVIEW PLAN SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

Final site and architectural plans are submitted only after the Plan Commission has approved Preliminary Site Plans for any new residential development with 4 or more units and all non-residential developments, including modifications to existing developments. Some projects may bypass Preliminary approval but only if it is determined by City staff in the Pre-Application meeting.

Review Time: Approximately 30 days (45 if Common Council review is needed)

Reviewing Departments: Community Development Planning Division, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission. Common Council and Board of Public Works review may be required for certain projects.

In addition to this application and corresponding application fee you will also need:

- ☒ One (1) digital (PDF) that includes of items listed below
 - ☒ Cover letter outlining project details.
 - ☒ Color architectural elevations of all sides of the building and color perspective renderings
 - ☒ Landscape Plan (see Attachment I: Landscape Plan Checklist)
 - ☒ Attachment A: Development Review Checklist
 - ☒ Site Plan (see Attachment B: Engineering Plan Checklist)
 - ☒ Grading Plan (see Attachment C: Site Grading and Drainage Plan Checklist)
 - ☒ Stormwater Management Plan (see Attachment D: Stormwater Management Plan Checklist)
 - ☒ Utility Plans (see Attachment H: Sewer Plan Review Checklist)

MINOR SITE PLAN & ARCHITECTURAL REVIEW SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

Minor Site and Architectural review is intended for projects that may not need the extensive submittal requirements for Preliminary and Final Site Plan approval. Projects that qualify for Minor Site Plan submittal may include landscape, façade and building changes or minor site modifications that don't result in the addition of impervious surface.

Review Time: Approximately 30 days (45 if Common Council review is needed)

Reviewing Departments: Community Development Planning Division, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission. Common Council and Board of Public Works review may be required for certain projects.

In addition to this application and corresponding application fee you will also need:

- ☐ One (1) digital (PDF) that includes of items listed below
 - ☐ Cover letter outlining project details.
 - ☐ Architectural elevations of all sides of the building being modified
- ☐ In addition, depending on the type of project, you may also need the following items:
 - ☐ Site Plan (see Attachment B: Engineering Plan Checklist)
 - ☐ Landscape Plan (see Attachment I: Landscape Plan Checklist)

CERTIFIED SURVEY MAP SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

A Certified Survey Map may be used to divide up to eight (8) lots in Commercial, Industrial, and Mixed Use zoning districts and up to four (4) lots in all other zoning districts.

Review Time: Approximately 45-60 days. An extension letter will be required if the approval process will take more than 90 days.

Reviewing Departments: Community Development Planning Division, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission. Common Council and Board of Public Works review may be required for certain projects.

In addition to this application and corresponding application fee you will also need:

- ☐ One (1) digital (PDF) that includes of items listed below
 - ☐ Attachment E: Certified Survey Map Checklist
 - ☐ Attachment A: Development Review Checklist and other attachments as applicable.

**Please note If any exterior architectural, landscape, or site plan changes are required you must also go through Site Plan Review and meet all of those submittal requirements.*

PRELIMINARY PLAT SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

A Preliminary Plat shall be used to subdivide land in the City. The applicant is responsible for submitting the Preliminary Plat to Waukesha County and the State of Wisconsin for review.

Review Time: Approximately 45-60 days. An extension letter will be required if the approval process will take more than 90 days.

Reviewing Departments: Community Development Planning Division, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission. Common Council and Board of Public Works review may be required for certain projects.

In addition to this application and corresponding application fee you will also need:

- ☐ One (1) digital (PDF) that includes of items listed below
 - ☐ Attachment F: Preliminary Plat Checklist
 - ☐ Cover letter outlining project details.
 - ☐ Attachment A: Development Review Checklist and other attachments as applicable
 - ☐ Stormwater Management Plan (see Attachment D: Stormwater Management Plan Checklist)

FINAL PLAT SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

A Final plat shall be used to subdivide land in the City. The applicant is responsible for submitting the Final Plat to Waukesha County and the State of Wisconsin for review.

Review Time: Approximately 45-60 days. An extension letter will be required if the approval process will take more than 90 days.

Reviewing Departments: Community Development Planning Division, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission. Common Council and Board of Public Works review may be required for certain projects.

In addition to this application and corresponding application fee you will also need:

- ☐ One (1) digital (PDF) that includes of items listed below
 - ☐ Attachment G: Final Plat Checklist
 - ☐ Cover letter outlining project details.
 - ☐ Attachment A: Development Review Checklist and other attachments as applicable.
 - ☐ Stormwater Management Plan (see Attachment D: Stormwater Management Plan Checklist)

REZONING & COMPREHENSIVE PLAN AMENDMENT SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

This review is for any requests to rezone land or amend the City's Comprehensive Master Plan. For rezonings all property owners within 300 feet of the property will be notified of your request.

Review Time: 45-60 Days

Reviewing Departments: Community Development Planning & Building Inspection Divisions, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission, Common Council

Additional Information: Rezonings must be done in accordance with the Comprehensive Plan. Please consult with Planning staff to determine if a Comprehensive Plan Amendment is also required prior to submitting a rezoning application.

In addition to this application and corresponding application fee you will also need:

- ☐ One (1) digital (PDF) that includes of items listed below
 - ☐ Cover letter outlining project details and rationale for rezoning
 - ☐ Rezoning Form including legal description and notarized owner(s) signatures (rezoning applications only)
 - ☐ Conceptual Plan (if applicable)

**Please note this application fee only covers the rezoning and/or Comprehensive Plan Amendment. If you are proposing site plan changes or are subdividing land you will also need to meet the applicable submittal requirements for those proposals.*

CONDITIONAL USE PERMIT SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

Any use listed as a Conditional Use in Chapter 22 (Zoning Code) requires a Public Hearing in front of the Plan Commission prior to building or occupancy permits being issued. All property owners within 300 feet of the property will be notified of your request.

Review Time: 30-45 days

Reviewing Departments: Community Development Planning & Building Inspection Divisions, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission

In addition to this application and corresponding application fee you will also need:

- ☐ One (1) digital (PDF) that includes of items listed below
 - ☐ Conditional Use Permit Application

**Please note If any exterior architectural, landscape, or site plan changes are required you must also go through Site Plan Review and meet all of those submittal requirements.*

PLANNED UNIT DEVELOPMENT OR DEVELOPER'S AGREEMENT SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

The PUD Overlay District is intended to permit development that will, over a period of time, be enhanced by coordinated area site planning, diversified location of structures, diversified building heights and types, and/or mixing of compatible uses. The PUD Overlay District under this Chapter will allow for flexibility of overall development design with benefits from such design flexibility intended to be derived by both the developer and the community, while at the same time maintaining insofar as possible the standards or use requirements set forth in the underlying basic zoning district.

Developer's Agreements are used for any project that require public infrastructure improvements (sewer, storm sewer, sidewalks, etc) and other off-site improvements such as median openings, traffic signals, street widening, etc..

Review Time: 45-60 days

Reviewing Departments: Community Development Planning & Building Inspection Divisions, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission, Common Council. Some projects will also require Board of Public Works review.

In addition to this application and corresponding application fee you will also need:

- ☐ One (1) digital (PDF) that includes of items listed below
 - ☐ Cover letter/statement that outlining project details and all of the required information set forth in the Zoning Ordinance Section 22.52 (4)(a)
 - ☐ Rezoning Form including legal description and notarized owner(s) signatures (rezoning applications only)
 - ☐ General Development Plan
 - ☐ Proposed Supplemental Design Elements (required for all PUDs under the minimum required acreage)

**Please note in addition to the PUD submittal requirements your project will also need additional application fees and submittal materials based on the project type. This may include Preliminary and Final Plats, Preliminary and Final Site and Architectural Plans, Certified Survey Maps, Traffic Impact Analysis. Staff will inform you of any additional submittal requirements at the Pre-Application meeting, which is required prior to submitting your application.*

ANNEXATION SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

Requests for annexation as permitted under Section 66.0217 Wisconsin Statutes.

Review Time: 45-60 days

Reviewing Departments: Community Development Planning & Building Inspection Divisions, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission, Common Council

In addition to this application and corresponding application fee you will also need:

- ☐ One (1) digital (PDF) that includes of items listed below
 - ☐ Copy of your State of Wisconsin Request for Annexation Review Application
 - ☐ Signed City of Waukesha Direct Annexation Petition
 - ☐ Map of property of property to be annexed.
 - ☐ A boundary description (legal description of property to be annexed)
 - ☐ Any additional information on the annexation.

HOUSE/BUILDING MOVE SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

Any application to move a home or building from one location to another in the City requires review by staff and the Plan Commission.

Review Time: 30-45 days

Reviewing Departments: Community Development Planning & Building Inspection Divisions, Public Works Engineering Division, Fire Department, Water Utility, Police Department, Any affected Public Utilities

Reviewing Boards: Plan Commission

In addition to this application and corresponding application fee you will also need:

- ☐ One (1) digital (PDF) that includes of items listed below
 - ☐ Address of existing structure and address of final destination for structure
 - ☐ Site Plan showing location of house/building at the new location
 - ☐ Proposed route for moving structure. Should also include any overhead wires, mailboxes, or other obstructions that will need to be temporarily relocated to allow for the house/building to get to the new site.

STREET VACATIONS

Street Vacations must be reviewed and approved by the Plan Commission.

Review Time: 45-60 days

Reviewing Departments: Community Development Planning & Building Inspection Divisions, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission, Common Council

In addition to this application and corresponding application fee you will also need:

- ☐ One (1) digital (PDF) that includes a map and legal description of the areas to be vacated.



City of Waukesha
 Department of Public Works
 201 Delafield Street
 Waukesha, WI 53188
 Waukesha-wi.gov

Landscape Plan Checklist

Attachment H
 (Rev 04/24)

Project Name: Waukesha Airport Holdings, LLC - Private Aircraft Hangar
 Engineering & Design Firm: Oliver Construction Co. and Parish Survey and Engineering

☐ Contact Community Development Department for Requirements

Listed below are general design considerations only:

YES	NO	N/A	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Show easements
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location and footprint of any and all buildings
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Dimensions of development site along property line
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Existing and proposed streets
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Pedestrian and vehicular access points
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location and dimensions of parking lots, etc.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Location and dimensions of all existing or planned easements
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location and dimensions of snow removal and storage areas
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Location and dimensions of outdoor lighting fixtures
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Interior parkway provided
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Parkway provided
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Buffer strip provided
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Dumpster enclosure details
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Parking lot landscaping
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Utility/mechanical equipment screened
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Service area screened
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Location of freestanding signs
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Walls and fences shown
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location of utilities
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Existing and proposed contours and grades, including berm elevations
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location, name and size of proposed plant materials
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Specifications of all types of all proposed ground cover, e.g., seed, sod, etc.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Location, species, and size of existing trees
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Clear identification of trees to be removed
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Square footage of parking lot area
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Tree protection plan



City of Waukesha
 Department of Public Works
 201 Delafield Street
 Waukesha, WI 53188
 Waukesha-wi.gov

Sewer Plan Review Checklist

Attachment G
 (Rev 04/24)

Project Name: Waukesha Airport Holdings, LLC - Private Aircraft Hangar

Engineering & Design Firm: Oliver Construction Co. and Parish Survey and Engineering

Sanitary System

YES	NO	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Minimum 4" sanitary sewer lateral from the main to the property line, PVC SDR 26 or 35 conforming to ASTM standards D 3034 with rubber gasket joints
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Sanitary sewer laterals shall have a green #12 locator wire installed along the entire length. Locator wire shall be brought to the surface at the edge of the building and enclosed in a curb box with "sewer" on the cover.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Grease interceptor required for all food service developments (or developments with the potential to become food service) and industrial/manufacturing facilities.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Sampling manhole required for all industrial/manufacturing facilities.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Industrial facilities must complete an industrial discharge permit application.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Outside drop manhole connection required where drop is greater than 24 inches.
Sanitary Plan View			
YES	NO	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Ghost existing utilities and lateral locations in screened format. Label the pipe size of existing utilities.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Label the proposed sewer and laterals with length, size, and material type
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Material and size of the existing sanitary sewer being connected to.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Label the stub-outs with length, size, slope, and invert elevations (if not profiled).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Dimensions showing offset from right-of-way to the sewer and separation distance between other utilities.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Show type and size of encasement where needed
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Show flow directions of all proposed mains.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Length of each sewer lateral and height of any lateral risers. Label proposed invert elevations at right-of-way lines.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Distance from downstream manhole to each upstream sewer lateral.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Proposed manholes and cleanouts labeled with a design plan number. Existing manholes labeled with numbers obtained from City records.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Rim and invert elevations at each manhole, based on NAVD 1988 datum (for private sewer if not profiled)
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Show and label all easements

Sanitary Profile View			
YES	NO	N/A	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Stationing.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Existing and proposed surface profiles and elevations over the sewer.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	All utility crossings. Label elevations if known.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Pipe material / class, size, length, and percent grade to two (2) decimal places.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Material and size of the existing sanitary sewer being connected to.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Length, type, and size of encasement as needed.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Proposed manholes. Indicate type and diameter.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Label station, rim, and invert elevations, based on NAVD 1988 datum, and design plan number for each manhole and cleanout. Existing manholes to be labeled with numbers obtained from City records.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Limits of gravel and/or slurry backfill.
Sanitary for Subdivisions/Large Developments			
<i>(Complete copies of City specifications for sanitary sewer are available upon request.)</i>			
YES	NO	N/A	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Each parcel should have a separate sanitary sewer lateral.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Sanitary sewer – 8 ft. horizontal separation from water main per DNR requirements. 8" diameter minimum size, PVC SDR 26 for depths up to 25 ft.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Sanitary sewer manhole at every change of direction and a maximum distance of 400 ft.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A chimney seal shall be required on all manholes.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Provide copies of all approved WDNR/WDOC submittals, including sewer sizing calculation worksheet and the area served.

Storm System

Storm Plan View			
YES	NO	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Ghost existing utilities and lateral locations in screened format. Pipe size of existing utilities labeled.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Proposed sewer and laterals with length, size, and material type clearly labeled.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Material and size of the existing storm sewer being connected to.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Stub-outs labeled with length, size, slope, and invert elevations (if not profiled).
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Dimensions showing offset from right-of-way to the sewer and separation distance between other utilities.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Type and size of encasement where needed
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Length of any sewer lateral. Label proposed invert elevations at right-of-way lines.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Proposed inlets, manholes, and other drainage structures.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Proposed drainage structures labeled with a design plan number. Existing drainage structures labeled with numbers obtained from City records.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Details of outfall or ditch inlet protection requirements such as rip-rap, end sections or headwalls as needed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Details of detention facilities, outfall, overflow and control structures as needed.

Storm Profile View			
YES	NO	N/A	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Stationing.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Existing and proposed surface profiles and elevations over the sewer.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	All utility crossings. Label elevations if known.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Pipe material / class, size, length, and percent grade to two (2) decimal places.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Material and size of the existing storm sewer being connected to
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Length, type, and size of encasement as needed.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Proposed inlets, manholes, and other drainage structures. Label type and size.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Label station, rim, and invert elevations, based on NAVD 1988 datum, at each manhole, catch basin, inlet, and detention control structure.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Proposed drainage structures labeled with a design plan number. Existing drainage structures to be labeled with numbers obtained from City records.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Cross-section of open channels and detention facilities, including outfall, overflow, and control structures.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Limits of gravel and/or slurry backfill.

General System

YES	NO	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Show all easements, public or private.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	No structures allowed within a public easement.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Plantings or signs within public easements, if permitted by City, shall be at least 5 feet from the utilities.
General for Subdivisions/Large Developments			
YES	NO	N/A	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Provide plans sealed by Registered Professional Engineer
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Show benchmark, north arrow and scale.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Show existing/proposed sewer and water utilities.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	All sewer to be installed by the developer under the terms of a Development Agreement.
Utility Plans			
YES	NO	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location of all utilities: storm and sanitary sewers, water mains, fire hydrants, electrical, natural gas, and communication (cable television, telephone, etc.) lines
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Exterior lighting for parking and other outdoor areas, outdoor signs, and building exteriors.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Location of waste and trash collection and indicate plans for snow removal.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location and footprint of any and all buildings
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location and names of existing and proposed streets
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location and size of existing and proposed storm sewer, sanitary sewer, and water utility systems shown
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Electric, gas, telephone, and cable lines shown
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	All new utilities are underground
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Exterior lighting detail provided
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location of all utility and private fire hydrants
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Sampling manhole shown (if applicable)
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Grease interceptor shown (if applicable)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location and size of existing and proposed water meters



City of Waukesha
 Department of Public Works
 201 Delafield Street
 Waukesha, WI 53188
 Waukesha-wi.gov

Reviewing Departments & Contact Information

Attachment J
 (Rev 04/24)

<i>Department</i>	<i>Contact Person</i>	<i>Areas of Review</i>
Community Development – Planning	Maria Pandazi, City Planner ➤ (262)-524-3530	Planning requirements
Community Development	Jennifer Andrews, Development Director ➤ (262)-524-3750	General information
Fire Department	Brian Charlesworth, Fire Marshal ➤ (262)-524-3651	Fire safety and protection
Waukesha Water Utility	Chris Walter, P.E., Technical Services Manager ➤ (262)-409-4460	Water requirements
Community Development – Building Inspections	Kristin Stone, Chief Building Inspector ➤ (262)-524-3530	Building requirements
Parks Department	Aaron Lehnert, City Forester ➤ (262)-349-1931	Tree protection and landscaping
Public Works Engineering	Brandon Schwenn, P.E., City Engineer ➤ (262)-524-3600	City Engineering
Transit	Brian Engelking, Transit Manager ➤ (262)-524-3636	Public transportation



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Site, Grading and Drainage Plan Conditional Use Permit Checklist

Attachment B
(Rev 04/24)

Project Name: Waukesha Airport Holdings, LLC - Private Aircraft Hangar

Engineering & Design Firm: Oliver Construction Co. and Parish Survey and Engineering

General Requirements

YES	NO	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Applicant's name
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Name and location of development
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Scale and north arrow
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Date of original and revisions noted
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	License number and professional seal
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Digital Drawings in AutoCAD format of the site layout & building plan layout
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Pay impact fees

Building Plans

YES	NO	N/A	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Contact Community Development Department

Site Plans

YES	NO	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Dimensions of development site
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location, footprint, and outside dimensions
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Existing and proposed pedestrian access points
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Existing and proposed vehicular access points
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Parking lots, driveways shown
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Front, side and rear yard setbacks shown and labeled
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location, identification and dimensions of all existing or planned easements
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Identification of all land to be dedicated
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location, elevation, and dimensions of walls and fences
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location of outdoor lighting with lighting design plan and calculations
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Sign complies with City Code Book
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location of existing and proposed signs

Site Access

YES	NO	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Legal description or certified survey of property
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Development compatible with its zoning district
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Sidewalks to be shown
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Site entrance drive dimensions
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Individual development vehicular entrances at least 125 feet apart
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Adjacent development share driveway where possible
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	At least one vehicular and pedestrian access point to each adjoining site granted by cross easements
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Cross access to be provided with minimum paved width of 24 feet
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Design detail for all new public streets

Parking/Traffic

YES	NO	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	5-foot wide (min) paved walkway to building entrance
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	7-foot parking separation from front of building
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Minimum parking spaces provided
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Service truck parking in designated service areas
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Parking spaces and layout dimensioned
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Lot paved with HMA or concrete
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Handicap parking provided
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Minimum required stacking distance
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Concrete curb and gutter around parking lot

Grading and Drainage Plans

YES	NO	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Show existing tree lines and any obstructions (fences, structures, power poles, etc.) within the project limits.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	All proposed lot lines and lot numbers or addresses
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Lot line dimensions
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Outline of buildable areas for each lot
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Typical setbacks of buildable area to front, side and back lot lines
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	All existing buildings, structures and foundations
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	All existing drainage channels and watercourses
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Emergency overflow routes
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Drainage clarified by flow arrows, high points, sags, ridges, and valley gutters
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Proposed retaining wall locations with top and bottom of wall elevations at key locations
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	100-year flood plain limit (both pre-and post-project)
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	100-year storm water surface elevation
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Wetlands. Wetland limits labeled with bearings and distances and dimensioned to lot lines. Bearings and distances may be shown in tabulated format.

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	All environmental corridors, & or environmentally sensitive areas as required by DNR
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	All existing and proposed easements.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Existing topography of the site and all areas within 50 feet of the site shown at a one-foot contour interval using Survey documentation references- Horizontal: North American Datum of 1983/2011; Vertical: North American Vertical Datum of 1988 (12). Existing contours shown as thin, dashed screened or grey lines with a readily discernable heavier line used for the 5-foot contour intervals.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Proposed grading shown at a contour interval of 1 foot using Survey documentation references- Horizontal: North American Datum of 1983/2011; Vertical: North American Vertical Datum of 1988 (12). Proposed contour lines shown as solid medium lines, with a discernible heavier line use for the 5-foot contour intervals.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	The yard grade and first floor elevation of proposed building and any existing buildings located within 150 feet of the parcel boundary.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Proposed road(s), curb and gutter, all storm sewer grates and storm sewer manholes (or cross-culverts for open ditches). Show any off-road storm inlets and discharge locations with surface entry elevations.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Spot grades as necessary to ensure proper drainage and compliant ADA slopes and routing where applicable.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	At front setback line show a typical house shell on each lot and the proposed yard grade to the nearest tenth of a foot (assumed to be 0.7' below the top of block) for each building. Show proposed finished elevations to the nearest tenth of a foot at all lot corners and alongside lot lines adjacent to the front and back corners of the typical house. Show proposed finished elevations to the nearest tenth of a foot at high and low points along any side or back lot lines, and at high and low points if roads to demonstrate proposed drainage.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	The grading plan for any house that will require special design due to topography, clearly show separate grades for the garage and yard grade if extra steps are needed. Separate spot finish elevations shown for rear or side exposure or walkout.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate minimum finished floor elevations adjacent to floodplains, ponds, creeks/channels, etc.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Proposed storm inlets shown on each grading plan. Each plan also includes specific details on all applicable retention/detention basins, ponds, overflows, etc. Separate sheets or notes as required.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Locations of existing and proposed streets, drives, alleys, easements, right-of-way, parking as required, vehicular and pedestrian access points, and sidewalks
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Outline of any development stages
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Location and details on any required emergency access roads
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Soil characteristics
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Existing and proposed topography shown for the site and or adjacent properties
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Floodplain, shore land, environmental and wetlands shown
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location and dimensions of on-site storm water drainage facilities
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location and footprint of all existing buildings
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Locations and species of existing trees
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Berm detail
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Lot grades and swales shown
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Drainage calculations provided

Erosion Control

YES	NO	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location Map
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Soils Survey Map
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Existing Land Use Mapping
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Predeveloped Site Conditions
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"> Existing contours
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"> Property lines
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"> Existing flow paths and direction
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"> Outlet locations
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"> Drainage basin divides and subdivides
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"> Existing drainage structures on and adjacent to the site
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"> Nearby watercourses
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"> Lakes, streams, wetlands, channels, ditches, etc.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"> Limits of the 100-year floodplain
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Practice location/layout/cross sections
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Construction Details
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Name of receiving waters
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Site description/Nature of construction activity
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Sequence of construction
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Estimate of site area and disturbance area
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Pre- and post-developed runoff coefficients
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Description of proposed controls, including
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"> Interim and permanent stabilization practices
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"> Practices to divert flow from exposed soils
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<ul style="list-style-type: none"> Practices to store flows or trap sediment
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"> Any other practices proposed to meet ordinance
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Existing topography of the site and all areas within 50 feet of the site shown at a one foot contour interval Survey documentation references- Horizontal: North American Datum of 1983/2011; Vertical: North American Vertical Datum of 1988 (12). Existing contours shown as thin, dashed screened or grey lines with a readily discernable heavier line used for the 5-foot contour intervals.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Proposed grading shown at a contour interval of 1 foot using City of Waukesha datum using Survey documentation references- Horizontal: North American Datum of 1983/2011; Vertical: North American Vertical Datum of 1988 (12). Proposed contour lines shown as solid medium lines, with a discernible heavier line use for the 5-foot contour intervals.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	List the total disturbed acreage including offsite areas.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide tree survey in accordance with City Erosion Control Ordinance
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Proposed limits of disturbance including proposed tree cutting areas.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Location and dimensions of all temporary topsoil and dirt stockpiles.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Location and dimensions of all appropriate best management practices (BMP).
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Phasing of BMP's with the construction activities listed / described.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Schedule of anticipated starting and completion date of each land disturbing and land developing activity, including the installation of the BMP measures that are needed.


<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location of all channels, pipes, basins or other conveyances proposed to carry runoff to the nearest adequate outlet, including applicable design assumptions and computations.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Areas to be sodded or seeded and mulched or otherwise stabilized with vegetation, describing the type of final vegetative cover.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Areas of permanent erosion control (other than vegetation).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Boundaries of the construction site
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Drainage patterns/slopes after grading activities
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Areas of land disturbance
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Locations of structural and nonstructural controls
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Drainage basin delineations and outfall locations

Optional Submittals as Determined by Review Authority

YES	NO	N/A	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Traffic impact analysis
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Environmental impact statement
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Soil and Site Evaluation Report per DNR Technical Standard 1002
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Plot of effect of exterior illumination on site and adjacent properties
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Description of any unusual characteristics
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Street perspectives showing view corridors
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Historic site
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Economic feasibility study
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Contaminated Waste Site

I hereby certify that I have reviewed the City ordinances and provided one (1) full-sized set of all required information along with all the required reduced copies of plans.

Applicant's Signature:

 4/30/25

PROJECT TEAM

OWNER:
WAH, LLC
440 CARDINAL LN.
HARTLAND, WI 53029
PHONE: (262) 367-6210
CONTACT: MIKE WHITE

CIVIL ENGINEER
PARISH SURVEY AND ENGINEERING
122 WISCONSIN ST.
WEST BEND, WI 53095
PHONE: (262) 346-7800
CONTACT: KEVIN PARISH

ARCHITECT:
OLIVER CONSTRUCTION CO.
1770 EXECUTIVE DRIVE
OCONOMOWOC, WI 53066
PHONE: (262) 567-6677
CONTACT: DANIEL AYALA

ELECTRICAL ENGINEER:
DESIGN BUILD - TBD

STRUCTURAL ENGINEER:
OLIVER CONSTRUCTION CO.
1770 EXECUTIVE DRIVE
OCONOMOWOC, WI 53066
PHONE: (262) 567-6677
CONTACT: TODD WEBER, PE

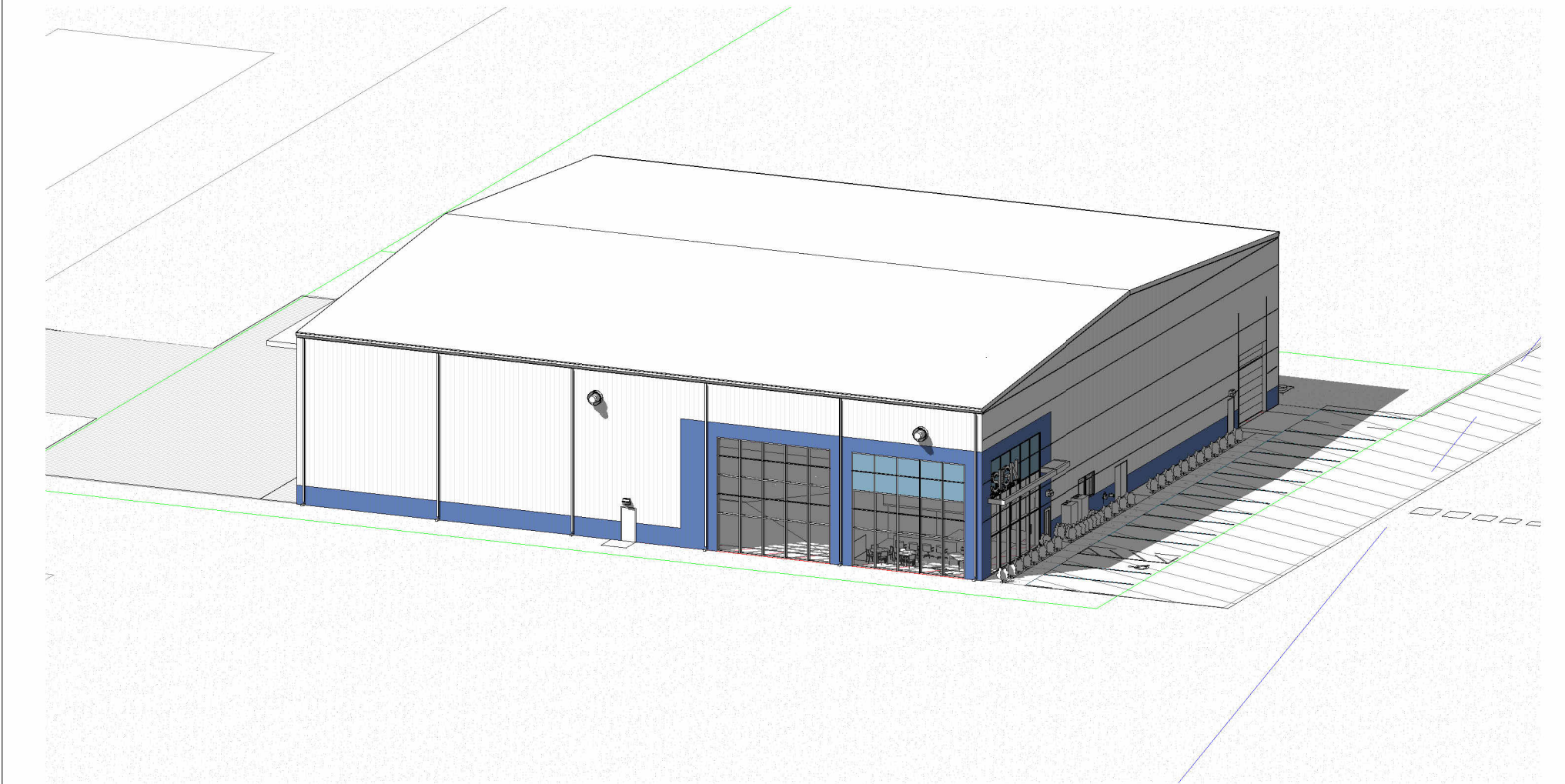
MECHANICAL ENGINEER:
DESIGN BUILD - TBD

GENERAL CONTRACTOR:
OLIVER CONSTRUCTION CO.
1770 EXECUTIVE DRIVE
OCONOMOWOC, WI 53066
PHONE: (262) 567-6677
CONTACT: KEITH FARLEY

PLUMBING ENGINEER:
DESIGN BUILD - TBD

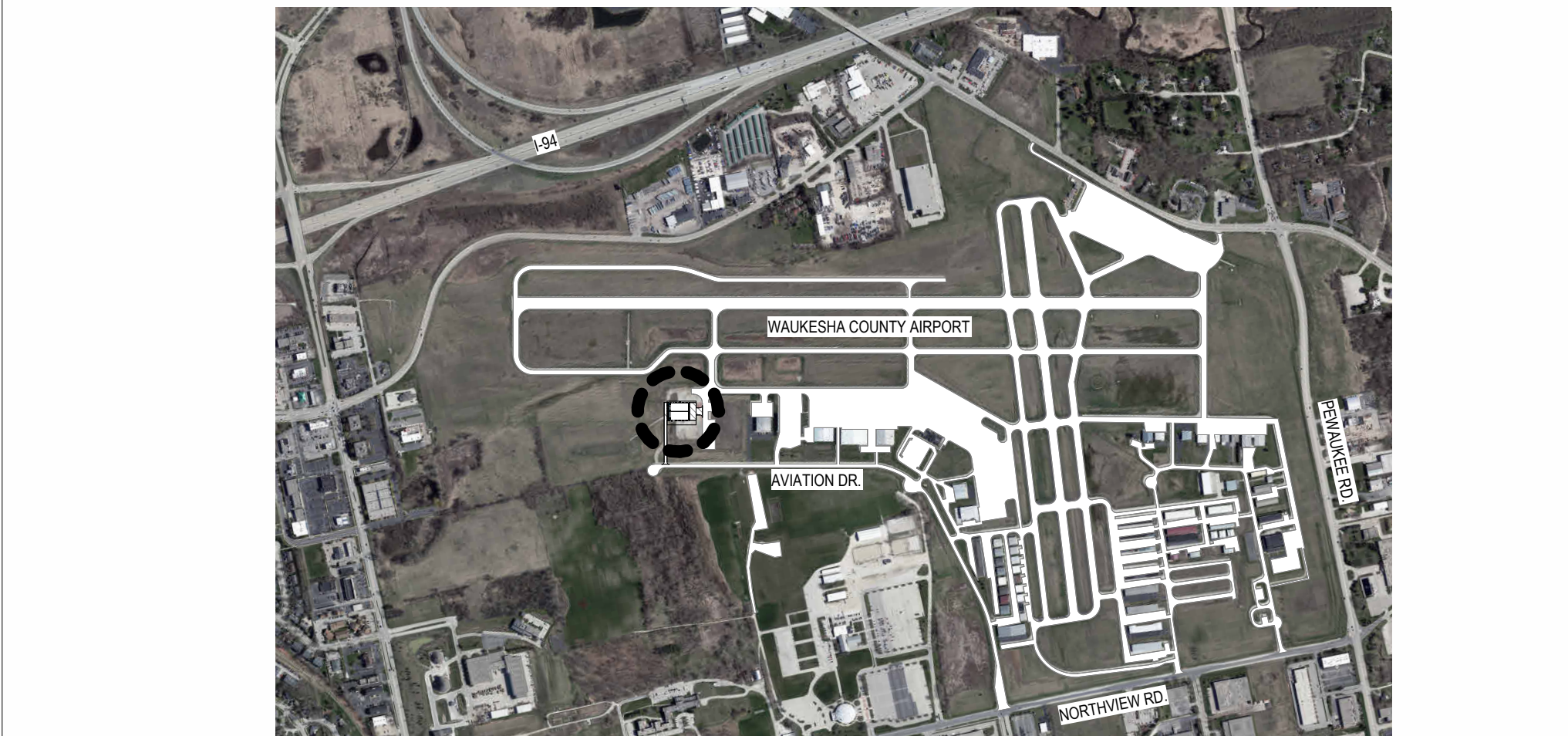
PRIVATE AIRCRAFT HANGAR

PROJECT CONCEPT



A 3D architectural rendering of a proposed hangar building. The structure is a long, rectangular building with a white corrugated metal roof and blue vertical siding. It features large glass doors and windows. The building is situated on a flat, light-colored ground surface, with a green line indicating a boundary or path. The background shows a simple horizon line.


VICINITY MAP



An aerial photograph showing the project location. The map includes labels for 'WALKESHA COUNTY AIRPORT', 'AVIATION DR', 'NORTHVIEW RD', and 'BENKES RD'. A black circle with a white dot in the center marks the specific site location. The map shows surrounding roads, buildings, and green spaces.

VICINITY MAP

NO SCALE



A circular logo featuring a stylized aircraft or wing design.

GENERAL

GENERAL

SHEET NO.	SHEET NAME	CURRENT REVISION	
		NUMBER	ISSUE DATE
G000	TITLE SHEET		
G001	LIFE SAFETY		

CIVIL

CIVIL

SHEET NO.	SHEET NAME	CURRENT REVISION	
		NUMBER	ISSUE DATE
C1.01	EXISTING CONDITIONS PLAN		
C1.02	PROPOSED SITE PLAN		
C1.03	EROSION CONTROL PLAN		
C1.04	GRADING PLAN		
C1.06	UTILITY PLAN		
C1.07	LANDSCAPE PLAN		
C2.01	CONSTRUCTION NOTES		
C2.02	SITE DETAILS		
C2.03	EROSION CONTROL & UTILITY DETAILS		

LANDSCAPE

LANDSCAPE

SHEET NO.	SHEET NAME	CURRENT REVISION	
		NUMBER	ISSUE DATE

STRUCTURAL

ARCHITECTURAL

SHEET NO.	SHEET NAME	CURRENT REVISION	
		NUMBER	ISSUE DATE
A003	OVERALL AIRPORT REFERENCE PLAN - POINTS OF INTEREST		
A200	OVERALL FLOOR PLAN		
A301	EXTERIOR ELEVATIONS		
A810	SCHEDULES		

PLUMBING

ELECTRICAL

MECHANICAL

FIRE PROTECTION

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PROJECT INFORMATION

PROJECT NO. :	D895.24
DATE :	04.30.2024
DRAWN BY :	Author
SHEET TITLE :	TITLE SHEET

PROJECT INFORMATION:

**WAH, LLC
PRIVATE AIRCRAFT HANGAR**

ADDRESS: 2781 Aviation Dr, Waukesha, WI 53188

1770 EXECUTIVE DRIVE
OCONOMOWOC, WI 53066
PHONE: (262) 567-6677
FAX: (262) 567-4676

OLIVER
CONSTRUCTION CO.

SHEET NO

G000

EP

ACCESSIBLE MEANS OF EGRESS
TRAVEL WAY - FURTHEST TRAVEL
DISTANCES SHOWN ONLY

FE

FIRE EXTINGUISHER - MOUNTED
WITH BRACKET

FEC

FIRE EXTINGUISHER - W/ CABINET

EXIT SIGNAGE - SEE ELECTRICAL
FOR FIXTURE TYPE

11

22

1 HOUR RATED ASSEMBLY

2 HOUR RATED ASSEMBLY

EXIT TRAVEL DISTANCE

PATH ID	TRAVEL DIST.	COMMENTS
EP1	127'-6"	

FIRE EXTINGUISHERS

TYPE	MARK
FIRE EXTINGUISHER - CABINET	FEC

4

1. SEE ELECTRICAL DRAWINGS FOR EMERGENCY EXIT SIGNAGE AND EMERGENCY LIGHTING.

2. ALL FIRE EXTINGUISHERS TO HAVE UL RATING OF 4A-80B-C (10LB) - SEE FLOOR PLANS FOR LOCATIONS. COORDINATE LOCATION WITH OWNER AND LOCAL FIRE DEPARTMENT.

LEASE BOUNDARY

OPEN SPACE - AIRPORT LANDING STRIP (OPEN SPACE) - NO BUILD BEYOND THIS BOUNDARY

EXIT

BUSINESS
1,799 SF

UTILITY
436 SF

AIRCRAFT HANGAR
20,032 SF

EXIT

EXIT

EXIT

30'-1 1/2"

63'-6 1/2"

37'-10 3/4"

LEASE BOUNDARY

OCCUPANCY TYPE LEGEND

- B
- S-1
- U

2 LEVEL 01 - LIFE SAFETY
SCALE: 1/16" = 1'-0"

SECTION 1 - GOVERNING CODES

BUILDING PROJECTS IN THE CITY MUST MEET STATE BUILDING CODE AND LOCAL ADOPTED AMENDMENTS INCLUDED IN THE LOCAL MUNICIPAL CODE.

BUILDING : 2015 INTERNATIONAL BUILDING CODE W/ LOCAL AMENDMENTS
GAS: 2015 INTERNATIONAL FUEL GAS CODE W/ LOCAL AMENDMENTS
MECHANICAL: 2015 INTERNATIONAL MECHANICAL CODE W/ LOCAL AMENDMENTS
PLUMBING: 2015 INTERNATIONAL PLUMBING CODE W/ LOCAL AMENDMENTS
ELECTRICAL: 2017 NATIONAL ELECTRICAL CODE
ENERGY: ANSI/ASHRAE/IESNA STANDARD 90.1-2013
FIRE: SPS 314 AND NFPA 409
ACCESSIBILITY: ANSI ICC A117.1-2009

SECTION 2 - DEFERRED SUBMITTALS

- PRE-ENGINEERED METAL BUILDING - COMPONENT SUBMITTAL
- HVAC

SECTION 3 - BUILDING OCCUPANCY DATA

- BUILDING OCCUPANCY CLASSIFICATIONS:** S-1, HANGAR GROUP II
- OCCUPANCY BY AREA:**
- OCCUPANCY LOAD BY GROUP:**

AREA NAME	OCC. GROUP	AREA S.F.	LOAD FACTOR	OCC. LOAD	EXITS REQ.	EXITS PRVD.	Comments
BUSINESS	B	1,799 SF	100 SF	18	1	2	ACCESSORY
		1,799 SF		18	1		
AIRCRAFT HANGAR	S-1	20,032 SF	500 SF	40	1	3	
		20,032 SF		40	1		
UTILITY	U	436 SF	500 SF	1	1	1	ACCESSORY
		436 SF		1	1		
		22,267 SF		59	3		

SECTION 4 - SPECIAL USE & OCCUPANCY REQUIREMENTS

- GROUP II HANGAR (TABLE 412.4.6)
- MAXIMUM SINGLE FIRE AREA OF 40,000 SQFT
- HEATING EQUIPMENT SHALL BE PLACED IN ANOTHER ROOM SEPARATED BY 2HR FIRE BARRIERS

SECTION 5 - SPECIAL USE & OCCUPANCY REQUIREMENTS

- MAXIMUM BUILDING HEIGHT:** 75'-0"
- PROPOSED NUMBER OF STORIES:** 1 STORY
- PROPOSED BUILDING AREA:** 22,373 SF
- PROPOSED YARD DIMENSIONS:**
FRONT (SOUTH): ~ +30'-0"
REAR (NORTH): ~ +30'-0"
SIDE (EAST): ~ +30'-0"
SIDE (WEST): ~ +30'-0"
- ACCESSORY OCCUPANCIES:**
PER IBC 508.2 ACCESSORY OCCUPANCIES WILL NOT BE SEPARATED FROM THE MAIN OCCUPANCY
NO SEPARATION WILL BE PROVIDED AT **B** AND **S-1** OCCUPANCIES
- SEPARATION OF OCCUPANCIES:** NON-SEPARATED USES PER IBC 508.3
NO SEPARATION IS REQUIRED BETWEEN OCCUPANCIES PER IBC 508.3.3
- HANGAR GROUP II**
- HANGAR DOOR 28'-0"

SECTION 6 - BUILDING CONSTRUCTION DATA

- TYPE OF CONSTRUCTION:** II-B, SPRINKLED (IBC TABLE 601)
- FIRE RESISTANCE RATING REQUIREMENTS:** (PER IBC TABLES 601 AND 602)

BUILDING ELEMENT	REQUIRED RATING	PROPOSED RATING
PRIMARY STRUCTURAL FRAME	0-HR	0-HR
BEARING WALLS - EXTERIOR	0-HR	0-HR
BEARING WALLS - INTERIOR	0-HR	0-HR
NON-BEARING WALLS - EXTERIOR	0-HR	0-HR
NON-BEARING WALLS - INTERIOR	0-HR	0-HR
ROOF CONSTRUCTION	0-HR	0-HR

SECTION 7 - FIRE WALL/BARRIER ELEMENTS

- FIRE RESISTANCE RATING REQUIREMENTS FOR FIRE WALLS (IBC 705):
1.1 FIRE RESISTANCE RATING OF FIRE WALLS: NOT APPLICABLE
1.2 AREA OF OPENINGS IN FIRE WALLS: NOT APPLICABLE
1.3 ALLOWABLE AREA OF OPENINGS: NOT APPLICABLE
1.4 FIRE RESISTIVE RATING OF OPENING PROTECTION: NOT APPLICABLE
- FIRE RESISTANCE RATING REQUIREMENTS FOR FIRE BARRIERS (IBC 706):
2.1 FIRE RESISTANCE RATINGS OF FIRE BARRIERS: NOT APPLICABLE
2.2 AREA OF OPENINGS IN FIRE BARRIERS: NOT APPLICABLE
2.3 ALLOWABLE AREA OF OPENINGS: NOT APPLICABLE
2.4 FIRE RESISTIVE RATING OF OPENING PROTECTION: NOT APPLICABLE

SECTION 8 - INTERIOR FINISHES

- INTERIOR WALL AND CEILING REQUIREMENTS:** (PER IBC TABLE 803.1.1)

GROUP	EXIT PASSAGEWAY	CORRIDOR	ROOMS AND ENCLOSED SPACES
A-3	B	B	C
B	B	C	C
F	C	C	C
S	C	C	C

SECTION 9 - BUILDING FIRE DETECTION & SUPPRESSION

- THE ENTIRE FACILITY WILL BE PROTECTED BY A FULLY AUTOMATIC SPRINKLER SYSTEM (STANDARD WET SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1 AND NFPA 13. DEFER TO FIRE PROTECTION DRAWING SUBMISSION.
- (IBC 907.2) FIRE ALARM IS NOT REQUIRED WHERE 'B' OCCUPANT LOAD IS LESS THAN 500, 'A' OCCUPANT LOAD IS LESS THAN 300 AND 'F' IS LESS THAN TWO STORIES AND DOES NOT HAVE ANY OCCUPANT LOAD ABOVE OR BELOW LEVEL OF EXIT DISCHARGE.

SECTION 10 - BUILDING EXITING DATA

- EXIT ACCESS TRAVEL DISTANCE (IBC TABLE 1017.2)
2.1 A OCCUPANCY: 250' W/ SPRINKLER SYSTEM
2.2 B OCCUPANCY: 300' W/ SPRINKLER SYSTEM
2.3 S-1 OCCUPANCY: 250' W/ SPRINKLER SYSTEM
- COMMON PATH OF EGRESS TRAVEL (IBC 1014.3)
3.1 A OCCUPANCY: 75' W/ SPRINKLER SYSTEM
3.2 B OCCUPANCY: 100' W/ SPRINKLER SYSTEM
3.3 S OCCUPANCY: 100' W/ SPRINKLER SYSTEM
- EMERGENCY EXIT ILLUMINATION PLAN (DEFER TO ELECTRICAL DRAWING SUBMISSION)
- EXIT SIGN LAYOUT PLAN (DEFER TO ELECTRICAL DRAWING SUBMISSION)
- 1005.3.1, MINIMUM REQUIRED EGRESS:
OTHER EGRESS COMPONENTS = 0.15 INCHES PER OCCUPANT WHEN EQUIPPED WITH AUTOMATIC SPRINKLER (1018.2 MINIMUM 44 INCHES)

OTHER EGRESS COMPONENTS
LEVEL 01 59 X .15 = 8.85" (44" MIN.)

ACTUAL PROVIDED
72" TOTAL EXIT WIDTH ACROSS 2 EXIT DOORS

SECTION 11 - ACCESSIBILITY

- SEE PLANS

SECTION 12 - PLUMBING FIXTURE COUNT REQUIREMENTS

(IBC 2015, TABLE 2002.1, MINIMUM SANITARY FIXTURES:
INTERNATIONAL PLUMBING CODE 410.1 DRINKING FOUNTAIN APPROVAL - WHERE DRINKING FOUNTAINS ARE REQUIRED, WATER COOLERS OR BOTTLED WATER DISPENSER SHALL BE PERMITTED BY SUBSTITUTION.

	COUNTS PER CODE DEFINED OCC. LOAD	COUNTS PROVIDED
OCCUPANCY (B) 1 W.C./URINAL PER 25 FOR THE FIRST 50 & 1 ADDITIONAL PER 50 FOR REMAINDER 1 LAVATORY PER 40 FOR FIRST 80 & 1 ADDITIONAL PER 80 FOR REMAINDER 1 DRINKING FOUNTAIN PER 100 OCC.	FIXTURES REQUIRED - (B) 18 OCCUPANTS (9 MALE / 9 FEMALE) W.C. - 1 MALE AND 1 FEMALE REQUIRED LAVATORIES - 1 MALE AND 1 FEMALE REQUIRED	SANITARY FIXTURES REQUIRED - (B) W.C. - 2 MALE AND 1 FEMALE LAVATORIES - 1 MALE AND 1 FEMALE

OCCUPANCY (S1) 1 W.C./URINAL PER 100 MALE OCC. 1 W.C. PER 100 FEMALE OCC. 1 LAVATORY PER 100 OCC. 1 DRINKING FOUNTAIN PER 400 OCC.	FIXTURES REQUIRED - (S1) 40 OCCUPANTS (20 MALE / 20 FEMALE) W.C. - 1 REQUIRED LAVATORIES - 1 REQUIRED	SANITARY FIXTURES - (S1) W.C. - 1 LAVATORIES - 1
---	---	---

NOTES:
SERVICE SINKS PROVIDED = 1
DRINKING FOUNTAINS = * 1 ALTERNATE TO DRINKING FOUNTAIN

ABBREVIATIONS:
OCC. - OCCUPANT(S)
W.C. - WATER CLOSE(S)

SECTION 13 - BUILDING VENTILATION REQUIREMENTS

- DEFER TO MECHANICAL SUBMISSION

SECTION 14 - ENERGY CODE REQUIREMENTS

- 2015 INTERNATIONAL ENERGY CONSERVATION CODE w/ CITY AMENDMENTS
ANSI/ASHRAE/IESNA STANDARD 90.1-2013

- BUILDING ENVELOPE REQUIREMENTS (FORMS TO BE SUBMITTED SEPARATELY)
- MECHANICAL SYSTEMS REQUIREMENTS (DEFER TO MECHANICAL DRAWING SUBMISSION)
- ELECTRICAL POWER AND LIGHTING SYSTEMS REQUIREMENTS (DEFER TO ELECTRICAL DRAWING SUBMISSION)

1 CODE SUMMARY
SCALE: 1/4" = 1'-0"

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REVISIONS

PROJECT INFORMATION

PROJECT NO. : 0085-24
DATE : 04/30/2025
DRAWN BY : ARND
SHEET TITLE : LIFE SAFETY

PROJECT INFORMATION:

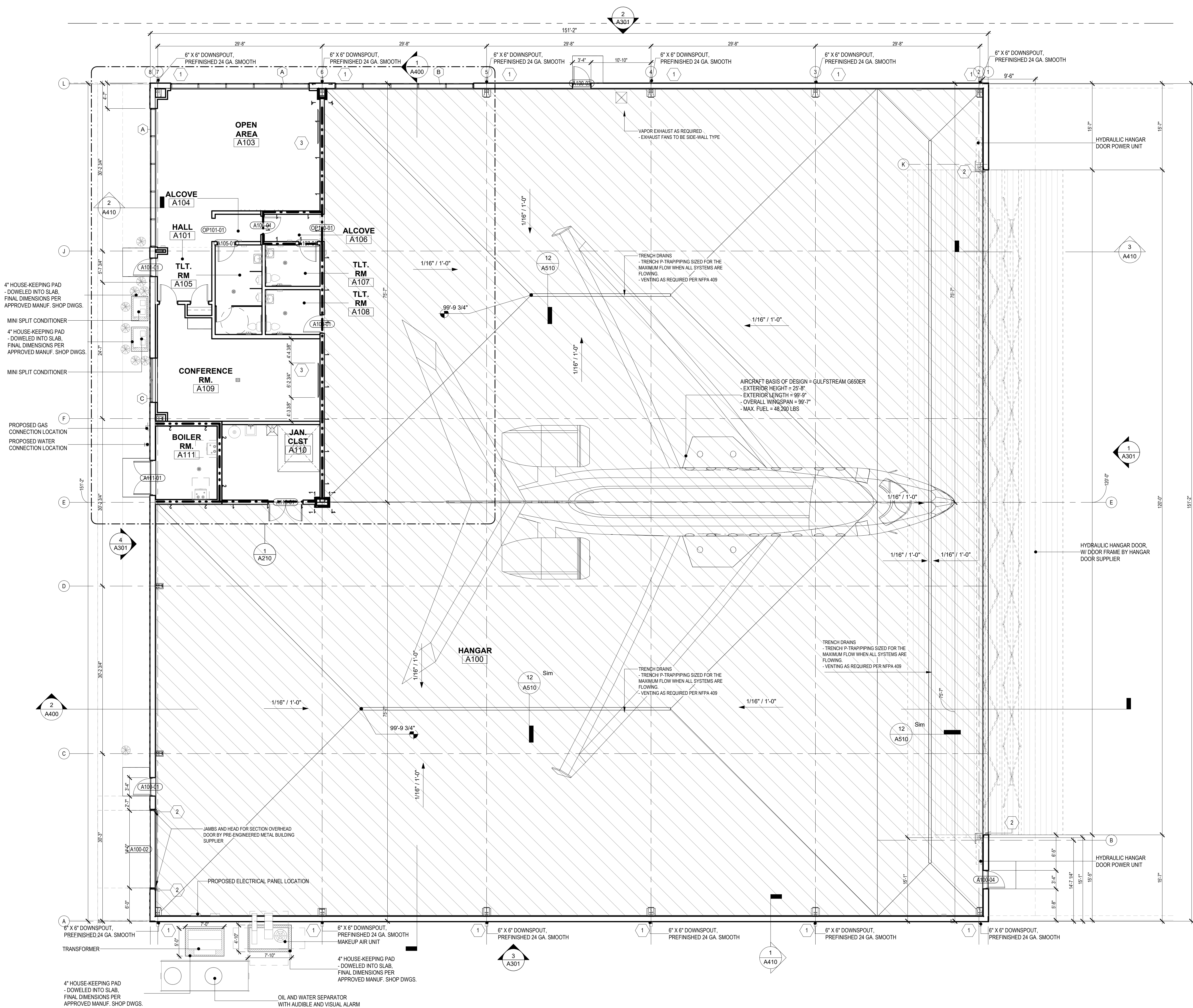
OWNER: WAH, LLC
TITLE: PRIVATE AIRCRAFT HANGAR

ADDRESS: 2781 Aviation Dr., Waukesha, WI 53188

1770 EXECUTIVE DRIVE
OCONOMOWOC, WI 53066
PHONE: (262) 567-5677
FAX: (262) 567-4676

OLIVER
CONSTRUCTION CO.

SHEET NO.
G001



- GENERAL FLOOR PLAN NOTES TO CONTRACTOR**
1. THIS DRAWING IS FURTHER SUPPORTED BY INFORMATION CONTAINED IN THE SPECIFICATION MANUAL.
 2. THE CIVIL, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, AUDIO-VISUAL, AND SECURITY DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE THE INFORMATION CONTAINED IN ALL THE DRAWINGS BEFORE THE INSTALLATION OF ALL WORK.
 3. DO NOT SCALE DRAWINGS. CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE PRIOR TO COMMENCING CONSTRUCTION.
 4. FLOOR ELEVATIONS ARE TO THE TOP OF THE SUB-FLOOR MATERIAL UNLESS OTHERWISE NOTED.
 5. CONTRACTORS SHALL JOINTLY PROVIDE AND INSTALL ALL STIFFENERS, BRACING, BACKING PLATES, WALL BLOCKING AND SUPPORTING BRACKETS REQUIRED FOR THE INSTALLATION OF CASEWORK, TOILET ACCESSORIES, PARTITIONS, MILLWORK, AND ALL WORK MOUNTED OR SUSPENDED BY ALL TRADES.
 6. SEE SHEET A001 FOR ACCESSORIES DESIGNATIONS.
 7. MECHANICAL AND PLUMBING CONTRACTOR TO PROVIDE EXHAUSTING AND VENTING AS REQUIRED FOR AIRCRAFT HANGARS
 8. HANGAR AREA DESIGN TEMPERATURE OF 50°F

NEW WORK PLAN KEY NOTES

SEE PROJECT GENERAL CONDITIONS, GENERAL INFORMATION AND SELECTIVE DEMOLITION, CUTTING AND PATCHING SPECIFICATIONS THAT ARE USED IN ASSOCIATION WITH THESE NOTES.

...

1	PREFABRICATED CONCRETE SPLASH BLOCK AT EACH DOWNSPOUT
2	10 GA. TRIM AT JAMBS AND HEAD
3	PROVIDE 3/4" PLYWOOD BLOCKING BEHIND GWB 36" AFF - 90° AFF AT LENGTH OF TV DISPLAY
4	INTERIOR WINDOW SILL, SEE FINISH SCHEDULE
6	PROVIDE ELECTRICAL BACK BOX - AV/POWER/HDMI
7	HANGAR AREA DESIGN TEMPERATURE OF 50°F. COORDINATE ALL IN-FLOOR PIPING WITH ALL TRADES.

REVISIONS

NO.	DESCRIPTION	DATE

PROJECT INFORMATION

PROJECT NO. : D085-24
DATE : 04.30.2025
DRAWN BY : AJP/ML
SHEET TITLE : OVERALL FLOOR PLAN

OWNER: WAH, LLC
TITLE: PRIVATE AIRCRAFT HANGAR

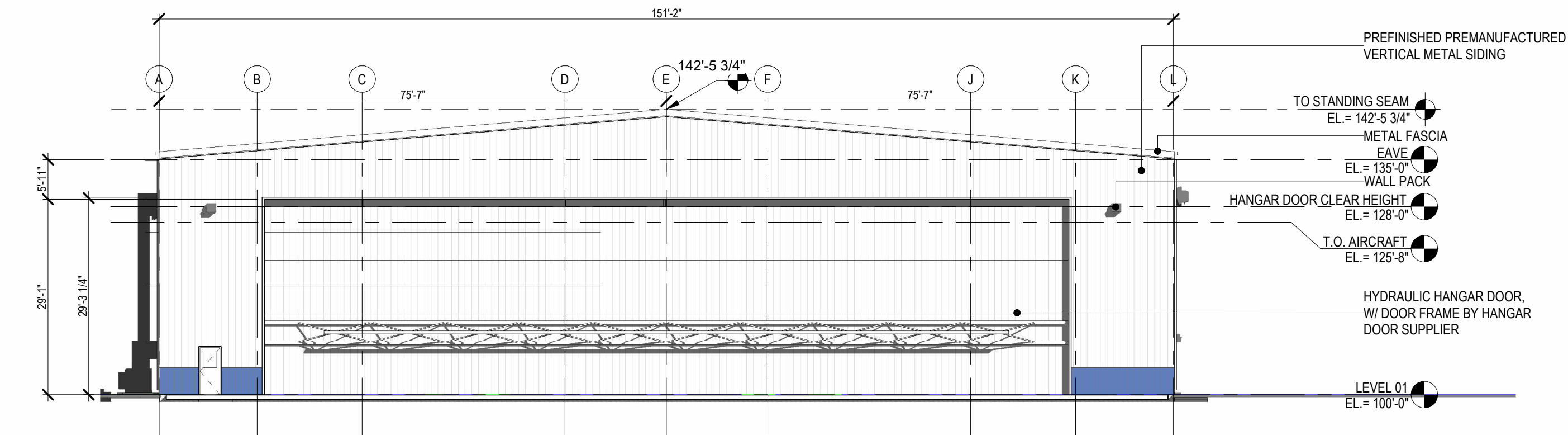
ADDRESS: 2781 Aviation Dr, Waukesha, WI 53188

1170 EXECUTIVE DRIVE
OCONOMOWOC, WI 53066
PHONE: (262) 567-5677
FAX: (262) 567-4676

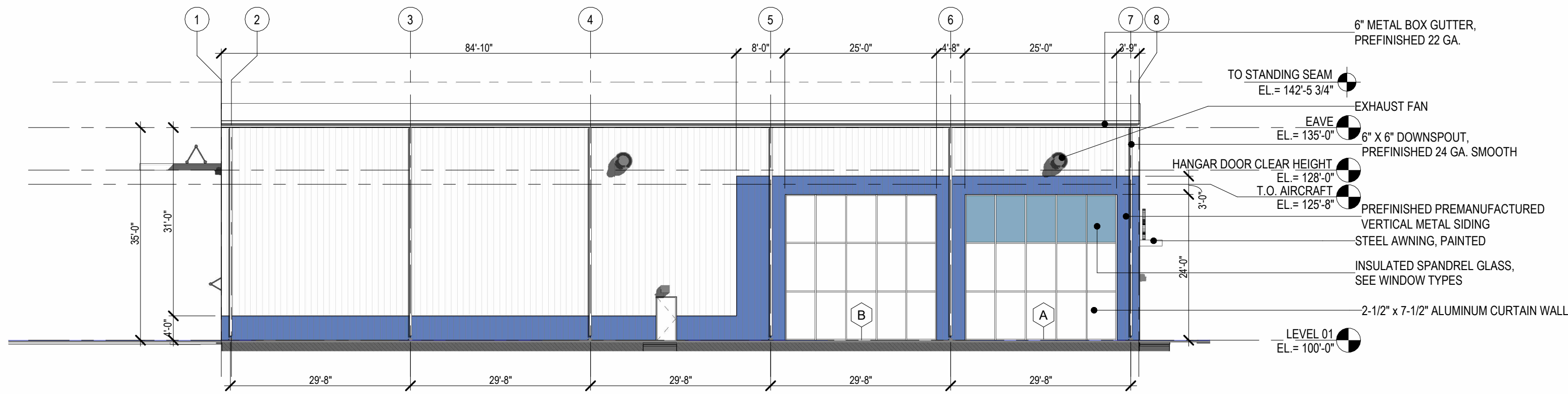
OLIVER
CONSTRUCTION CO.

SHEET NO.
A200

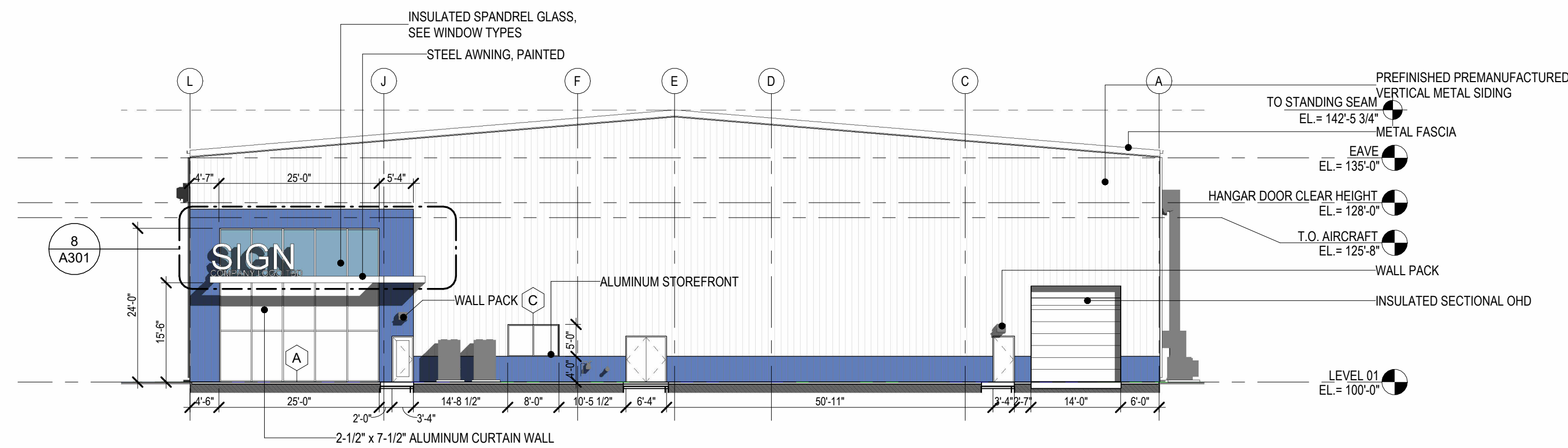
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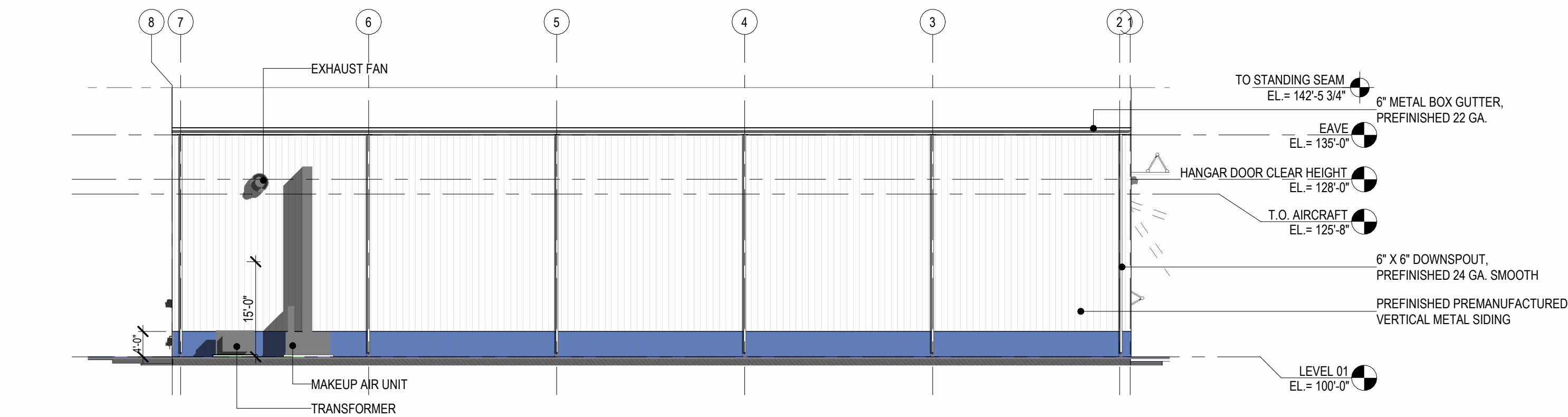
1 EXTERIOR ELEVATION - EAST
SCALE: 1/16" = 1'-0"



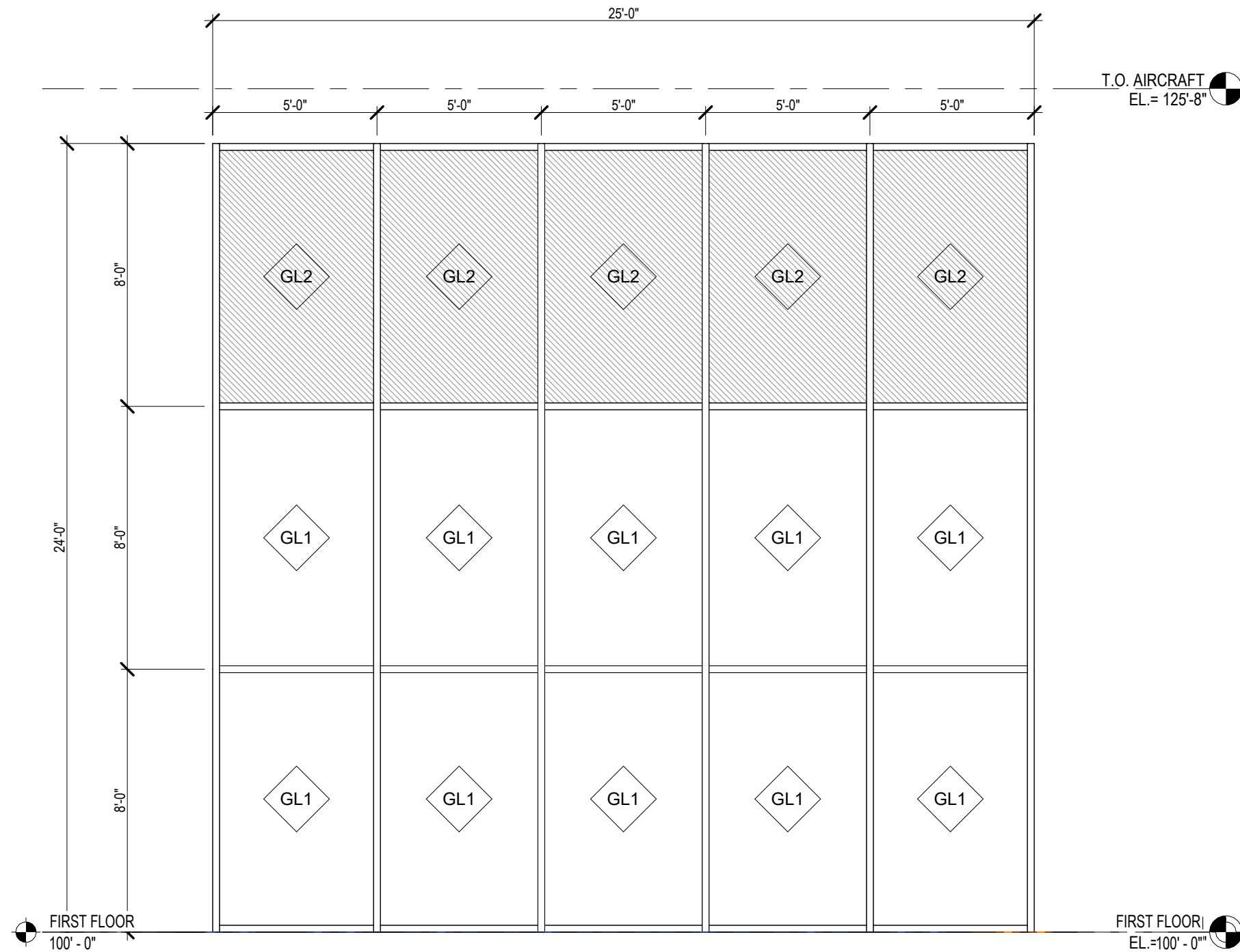
2 EXTERIOR ELEVATION - NORTH
SCALE: 1/16" = 1'-0"



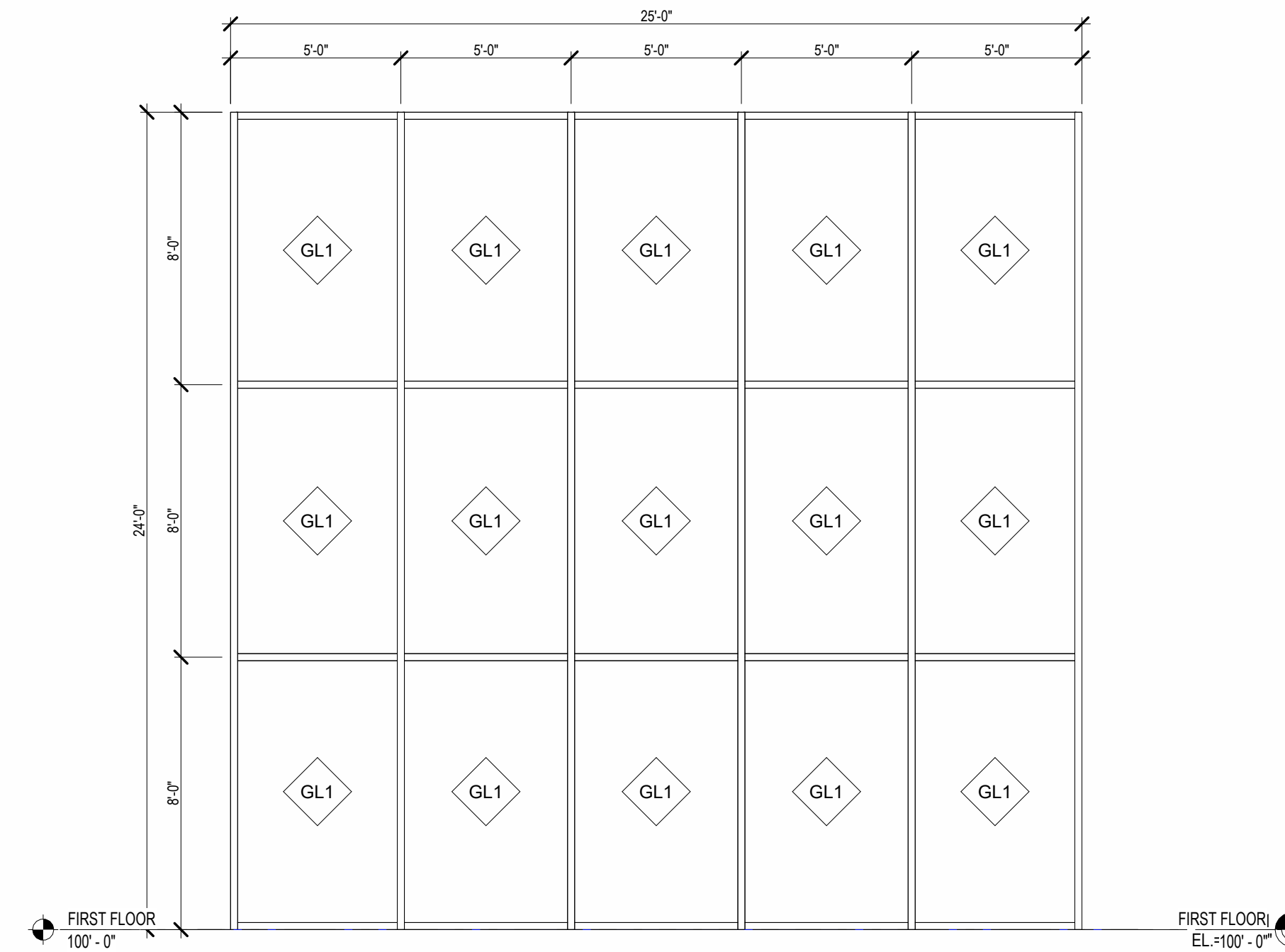
4 EXTERIOR ELEVATION - WEST
SCALE: 1/16" = 1'-0"



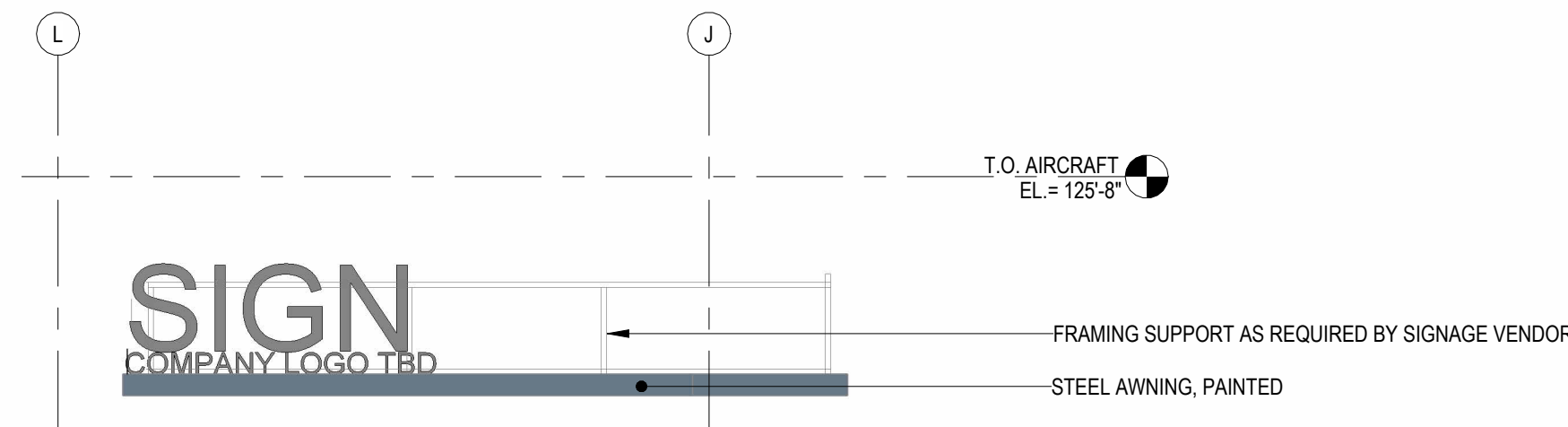
3 EXTERIOR ELEVATION - SOUTH
SCALE: 1/16" = 1'-0"



5 WINDOW TYPE A (CURTAIN WALL)
SCALE: 1/4" = 1'-0"



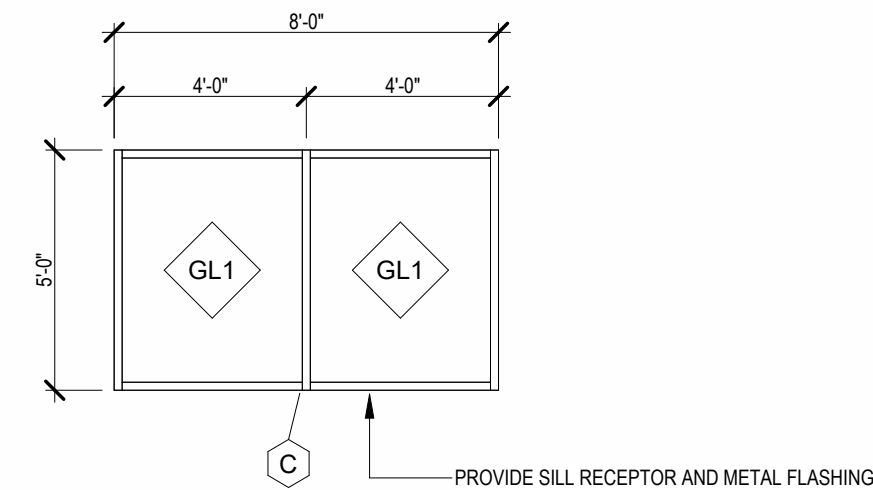
6 WINDOW TYPE B (CURTAIN WALL)
SCALE: 1/4" = 1'-0"



8 SIGNAGE ELEVATION
SCALE: 1/8" = 1'-0"

WINDOW AND GLAZING KEY	
AL	ALUMINUM
ALCW	ALUMINUM CURTAIN WALL (THERMALLY BROKEN)
ALS	ALUMINUM STOREFRONT (THERMALLY BROKEN)
HM	HOLLOW METAL
HM I	HOLLOW METAL INSULATED
SCW	SOLID CORE WOOD
GS	GALVAIZED STEEL
SS	STAINLESS STEEL
SSG	STRUCTURAL SILICONE GLAZING
SG	1/4" SAFETY GLASS (TEMPERED)
GL1	1" INSULATED TEMPERED GLAZING WITH LOW E COATING AND TINTED BASIS OF DESIGN: PERFORMANCE CRITERIA: VLT=57, SGHC=.30, U=.29, EXT REF.=20%
GL2	1" INSULATED SPANDREL GLAZING, TINTED. MATCH GL1
GL3	1" INSULATED TEMPERED CLEAR SAFETY GLASS
FRG	FIRE RESISTANT GLASS
IFRG	INSULATED FIRE RESISTANT GLASS

GENERAL NOTES	
1) EXTERIOR STOREFRONT BASIS OF DESIGN: KAWNEER VG451T, 2" X 4-1/2" FRONT GLAZED - VG451 T - ANODIZED ALUMINUM FINISH - SILL RECEPTOR AT ALL SILLS	
2) EXTERIOR CURTAIN WALL BASIS OF DESIGN: KAWNEER 1600, 2-1/2" X 10-1/2" FRONT GLAZED - ANODIZED ALUMINUM FINISH	
3) PERIMETER OF ALL WINDOWS TO RECEIVE BACKER ROD AND SEALANT	



7 WINDOW TYPE C (STOREFRONT)
SCALE: 1/4" = 1'-0"

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REVISIONS

PROJECT INFORMATION

PROJECT NO. : D085-24
DATE : 04-30-2025
DRAWN BY : A301
SHEET TITLE : EXTERIOR ELEVATIONS

OWNER: WAH, LLC

TITLE: PRIVATE AIRCRAFT HANGAR
ADDRESS: 2781 Aviation Dr. Waukesha, WI 53188

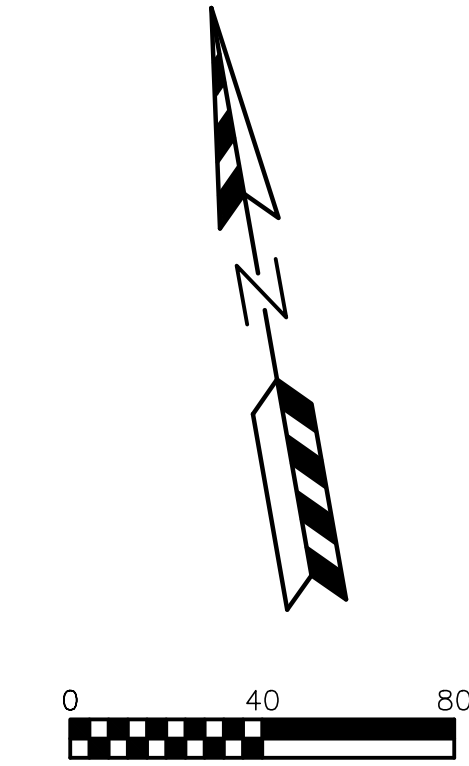
1170 EXECUTIVE DRIVE
OCONOMOWOC, WI 53066
PHONE: (262) 567-5677
FAX: (262) 567-4676

OLIVER
CONSTRUCTION CO.

SHEET NO.

A301

[illegible]






LEGEND:

① – PARKING STALLS IN A ROW

SITE PLAN NOTES:

1. DIMENSIONS ARE TO FACE OF CURB AND FACE OF BUILDING UNLESS OTHERWISE NOTED.
2. WHERE CURB ENDS AT CONNECTIONS SMOOTHLY TRANSITION FROM FULL CURB HEIGHT TO ZERO CURB HEIGHT WITHIN A 3' LENGTH.
3. ALL STRIPING AND SIGNAGE SHALL COMPLY WITH THE WISCONSIN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.

PAVING LEGEND

- | | |
|---|--|
|  | ASPHALT PAVEMENT
8" CRUSHED AGGREGATE BASE COURSE
2" ASPHALTIC BINDER 4 LT 58-28 S
1 1/2" ASPHALTIC SURFACE 5 LT 58-28 S |
|  | CONCRETE PAVEMENT (HEAVY DUTY)
18" FAA P-209 CRUSHED AGGREGATE BASE COURSE
11" FAA P-501 PORTLAND CEMENT CONCRETE |
|  | CONCRETE SIDEWALK
6" CRUSHED AGGREGATE BASE COURSE
4" CONCRETE |

[illegible]

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PARISH SURVEY & ENGINEERING
122 Wisconsin Street, West Bend, WI 53095
262.346.7800
www.parishse.com

PROJECT TITLE:

**D985.25 WAH HANGER
LOT 1, AVIATION DRIVE
WAUKESHA, WI 53188**

PLAN TITLE:

PROPOSED SITE PLAN

DRAWN BY:

MWH

DESIGNED BY:

MWH

CHECKED BY:

JDR

PLAN DATE:

4/30/2025

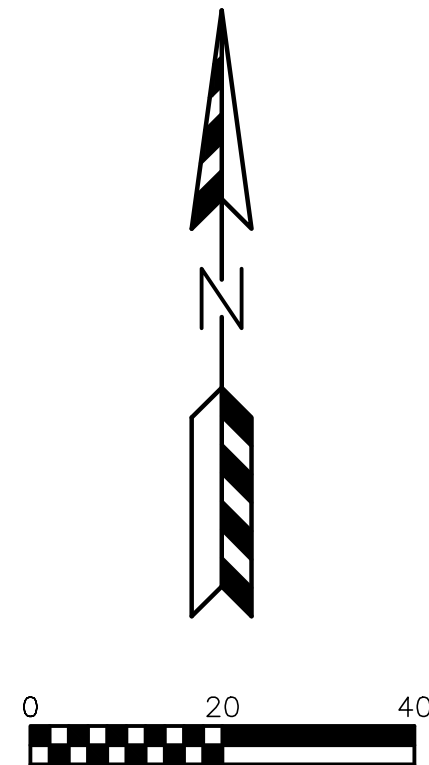
PROJECT NO:

\OC-17-25\

SUBMITTAL

SHEET NO:

C1.02



NOTES:

Designated turf areas to receive a minimum of 4" of topsoil, bluegrass seed mix, starter fertilizer, and straw mat mulch. Individual trees in lawn areas to receive shredded hardwood bark mulch plant rings (4' diameter) spread to a depth of 3" Foundation plantings beds and areas between driveways to be mulched with #2 washed stone spread to a depth of 3" over weed barrier fabric.

Designated planting beds to be separated from lawn areas with 5" black vinyl edging.

Owner will be responsible for landscape maintenance after completion and acceptance of the project.

[illegible]

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**D985.25 WAH HANGER
LOT 1, AVIATION DRIVE
WAUKESHA, WI 53188**

PLAN TITLE:

**LANDSCAPE
PLAN**

DRAWN BY:
WWS

DESIGNED BY:
JDR

CHECKED BY:
KJP

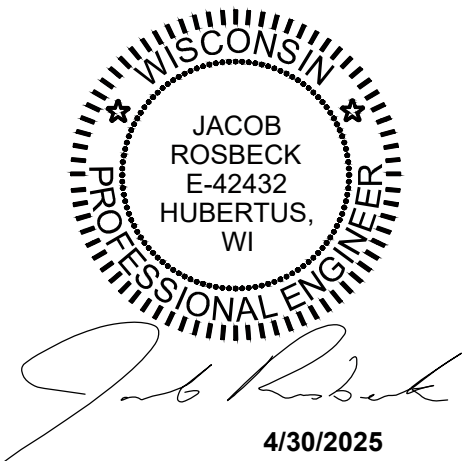
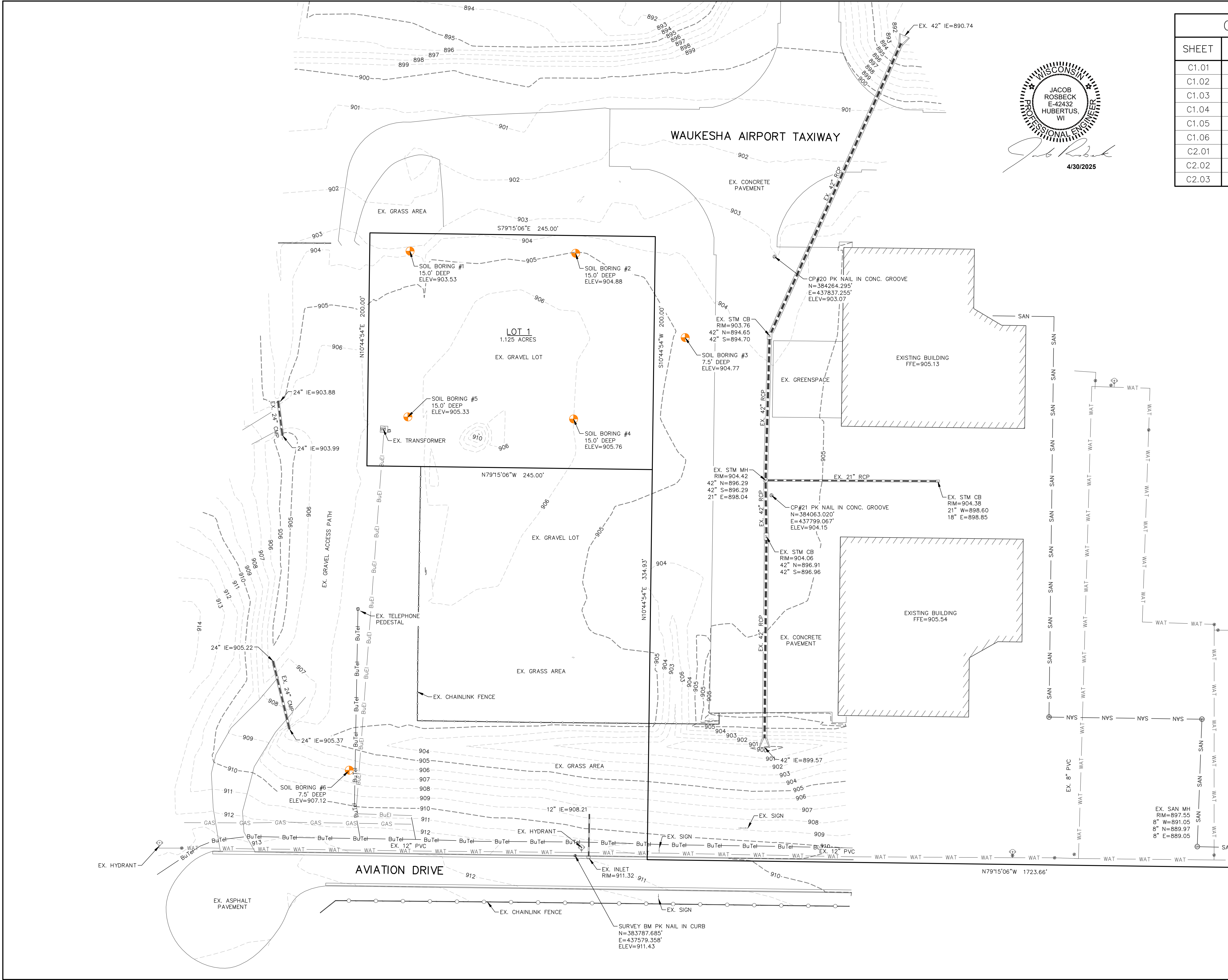
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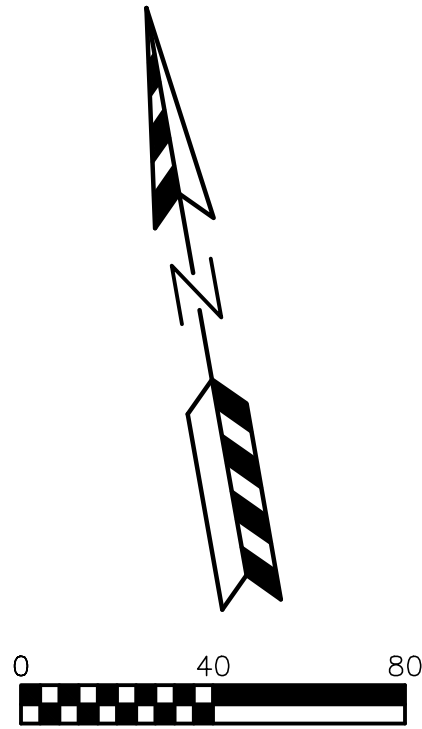
SUBMITTAL

SHEET NO:

C1.06



CIVIL SHEET INDEX:	
SHEET	SHEET TITLE
C1.01	EXISTING CONDITIONS PLAN
C1.02	PROPOSED SITE PLAN
C1.03	EROSION CONTROL PLAN
C1.04	GRADING PLAN
C1.05	UTILITY PLAN
C1.06	LANDSCAPE PLAN
C2.01	CONSTRUCTION NOTES
C2.02	SITE DETAILS
C2.03	EROSION CONTROL & UTILITY DETAILS



LEGEND:

- 896--- EXISTING MINOR CONTOUR.
- 895--- EXISTING MAJOR CONTOUR.
- OHEL--- OVERHEAD ELECTRIC LINE.
- BuEl--- BURIED ELECTRIC LINE.
- BuTel--- BURIED TELEPHONE LINE.
- FO--- FIBER OPTIC LINE.
- GAS--- GAS LINE.
- SAN--- SANITARY SEWER MAIN OR LATERAL.
- WAT--- WATER MAIN OR SERVICE.
- STORM SEWER LINE.
- CHAINLINK FENCE.
- [Symbol] ELECTRIC METER.
- [Symbol] GAS METER.
- [Symbol] GAS VALVE.
- [Symbol] FIRE HYDRANT.
- [Symbol] POWER POLE.
- [Symbol] SANITARY SEWER MANHOLE.
- [Symbol] STORM SEWER MANHOLE.
- [Symbol] STORM SEWER INLET.
- [Symbol] TELEPHONE PEDESTAL.
- [Symbol] TRANSFORMER.
- [Symbol] WATER VALVE.

REVISIONS:	
NO.	DESCRIPTION

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PLAN TITLE:
**EXISTING
CONDITIONS
PLAN**

DRAWN BY:
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C1.01



JUNE 15, 2025

1. INSTALL SITE SILT FENCE, INLET PROTECTION AND TEMPORARY CONSTRUCTION ENTRANCES AS SHOWN ON PLANS. ANY ADDITIONAL CONSTRUCTION ENTRANCES IF APPROVED BY THE CITY OF WAUKESHA SHALL HAVE A TRACKING PAD.

JUNE 16, 2025 – SEPTEMBER 1, 2025

1. STRIP TOPSOIL WITHIN GRADING LIMITS AND CONSTRUCT TEMPORARY TOPSOIL STOCKPILE LOCATION ACCORDING TO "SPECIFICATIONS FOR GRADING & EROSION CONTROL" ON "CONSTRUCTION NOTES".
2. BEGIN PROPOSED SITE GRADING – RESEED SECTIONS OF PROJECT THROUGHOUT THE GRADING PROCESS TO MINIMIZE RUN-OFF.
3. START CONSTRUCTION OF UTILITIES: WATER SERVICE, SANITARY SEWER AND STORM SEWER.
5. CONSTRUCT BUILDING PADS AND BUILDINGS.
6. CONTINUE SITE GRADING.
7. INSTALL BASE COURSES, PROPOSED PAVEMENTS
8. INSTALL LANDSCAPING.
9. APPLY FINAL STABILIZATION TO ENTIRE SITE.

ALL PERMANENT SEEDING SHALL BE COMPLETED BY SEPTEMBER 15.
ALL TEMPORARY SEEDING SHALL BE COMPLETED BY OCTOBER 15
(REFER TO DNR STANDARD 1059.)

STABILIZATION FOR ALL EXPOSED SOIL AFTER OCTOBER 15 SHALL
CONSIST OF ANIONIC POLYACRYLAMIDE (PAM) IN ADDITION TO
SEEDING. SEEDING SHALL BE ACCORDING TO EROSION CONTROL
IN PLACE PAM IN ACCORDANCE WITH WDRN TECHNICAL STANDARD
1050. AFTER OCTOBER 15 ALL SLOPES 4:1 OR STEEPER THAT ARE
NOT PERMANENTLY VEGETATED SHALL HAVE EROSION MAT
INSTALLED IN PREPARATION OF WINTER CONDITIONS.

SPREAD SALVAGED OR IMPORTED TOPSOIL IN PROPOSED
CONDENSED AREAS AND RESTORE.

CONTRACTOR MAY MODIFY SEEDINGS AS NEEDED TO COMPLETE
CONSTRUCTION. EROSION CONTROL MEASURES ARE MAINTAINED
IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL
REQUIREMENTS SET FORTH IN FEDERAL, STATE & LOCAL PERMITS.
NOTIFY CITY OF WAUKESHA PRIOR TO CHANGE.

AS CONDITIONS WARRANT DURING CONSTRUCTION ADDITIONAL BMPs
SHALL BE INSTALLED TO REDUCE THE MIGRATION OF SEDIMENT THE
MAXIMUM EXTENT PRACTICABLE.

REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AFTER SITE
IS STABILIZED AND STABILIZE AND AREAS DISTURBED BY REMOVAL
OF BMPs.

[illegible]

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LOT 1, AVIATION DRIVE
WAUKESHA, WI 53188**

PLAN TITLE:

**EROSION
CONTROL
PLAN**

DRAWN BY: **WWS**
DESIGNED BY: **JDR**
CHECKED BY: **KJP**

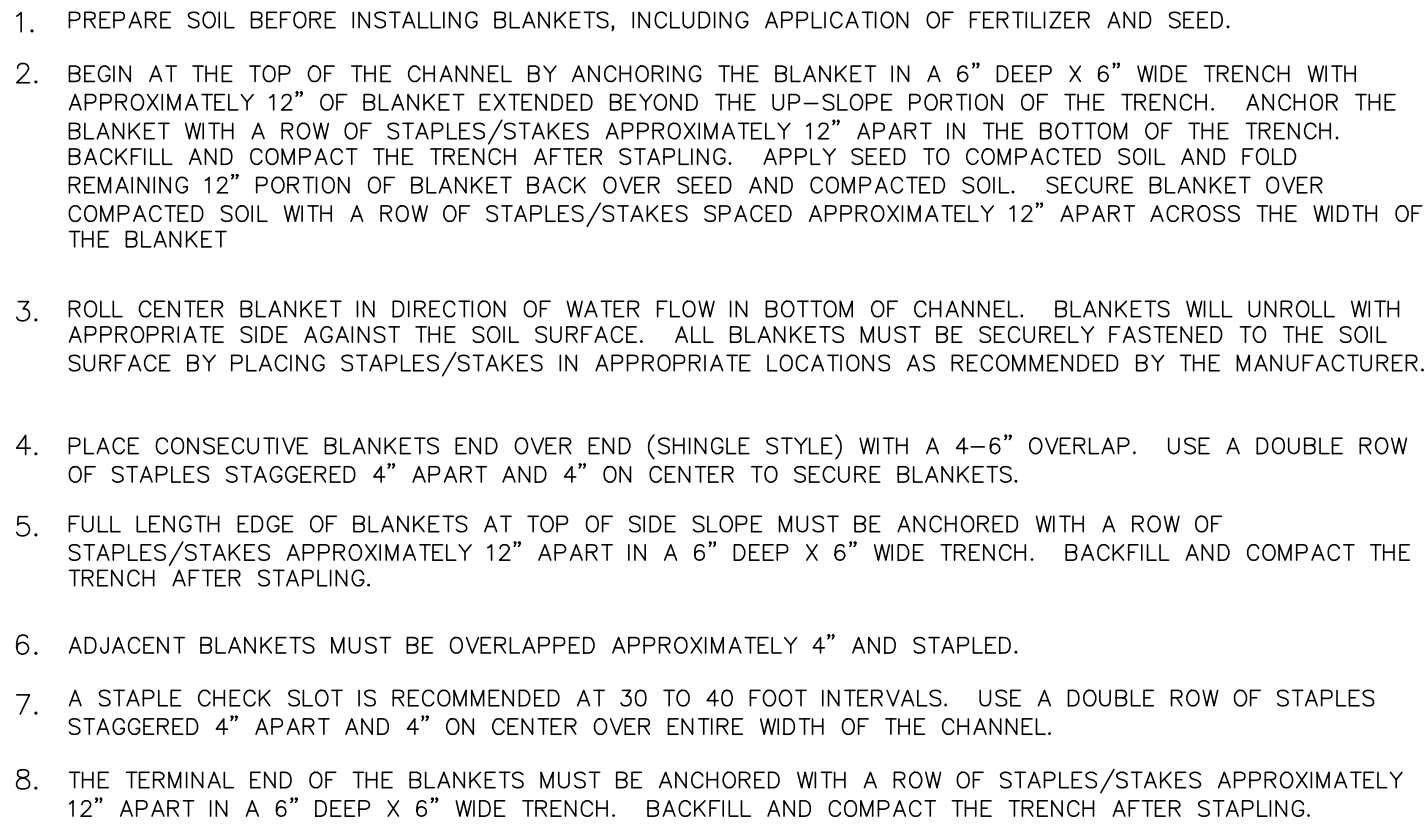
PLAN DATE:
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SUBMITTAL

SHEET NO:

C1.03



NOTE: ALL STAPLES MUST BE 6" OR GREATER IN LENGTH

EROSION CONTROL MAT – CHANNEL INSTALLATION



1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
3. ROLL THE BLANKETS (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
5. WHEN BLANKETS MUST BE SPICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.
6. ALL BLANKETS MUST BE SECURELY FASTENED TO THE SLOPE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.

EROSION CONTROL MAT – SLOPE INSTALLATION



SPACING BETWEEN CURLEX SEDIMENT LOGS				
CHANNEL GRADIENT %	6"	9"	12"	20"
0.5	91.7	136.7	183.3	250.0
1.0	45.8	68.3	91.7	125.0
1.5	30.6	45.6	61.1	83.3
2	22.9	34.2	45.8	62.5

[illegible]

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PROJECT TITLE:

**D985.25 WAH HANGER
LOT 1, AVIATION DRIVE
WAUKESHA, WI 53188**

PLAN TITLE:
**EROSION
CONTROL &
UTILITY
DETAILS**

DRAWN BY:

WW

DESIGNED BY:

JDF

CHECKED BY:

KJF

PLAN DATE:

4/30/2025

PROJECT NO:

\OC-17-25

SUBMITTAL

SHEET NO:

C2.03

GENERAL SPECIFICATIONS FOR CONSTRUCTION ACTIVITIES:

1. THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION, THE STANDARD SPECIFICATIONS FOR SEWER & WATER IN WISCONSIN, AND WISCONSIN ADMINISTRATIVE CODE, SPS 360.382-383, AND THE LOCAL ORDINANCES AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR EXECUTION OF THE WORK. THE CONTRACTOR SHALL CONDUCT HIS WORK ACCORDING TO THE REQUIREMENTS OF THE PERMITS.
3. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE MUNICIPALITY FORTY-EIGHT (48) HOURS PRIOR TO THE START OF CONSTRUCTION.
4. THE MUNICIPALITY SHALL HAVE THE RIGHT TO INSPECT, APPROVE, AND REJECT THE CONSTRUCTION OF THE PUBLIC PORTIONS OF THE WORK. THE OWNER SHALL HAVE THE RIGHT TO INSPECT, APPROVE, AND REJECT THE CONSTRUCTION OF ALL PRIVATE PORTIONS OF THE WORK.
5. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER, AND THE MUNICIPALITY, THEIR AGENTS, ETC, FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.
6. SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
7. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL UTILITY INFORMATION SHOWN ON THE PLANS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL CALL DIGGERS HOTLINE AT 1-800-242-8511 TO NOTIFY THE UTILITIES OF HIS INTENTIONS, AND TO REQUEST FIELD STAKING OF EXISTING UTILITIES.
8. SILT FENCE AND OTHER EROSION CONTROL FACILITIES MUST BE INSTALLED PRIOR TO CONSTRUCTION OR ANY OTHER LAND DISTURBING ACTIVITY. FOLLOW THE SEQUENCE OF CONSTRUCTION ON THE EROSION CONTROL PLAN FOR MORE DETAILS. INSPECTIONS SHALL BE MADE WEEKLY OR AFTER EVERY RAINFALL OF 0.5" OR MORE. REPAIRS SHALL BE MADE IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EROSION CONTROL FACILITIES ONCE THE THREAT OF EROSION HAS PASSED WITH THE APPROVAL OF THE GOVERNING AGENCY.
9. ANY ADJACENT PROPERTIES OR ROAD RIGHT-OF-WAYS WHICH ARE DAMAGED DURING CONSTRUCTION MUST BE RESTORED BY THE CONTRACTOR.
10. TRASH AND DEBRIS SHALL NOT BE ALLOWED TO ACCUMULATE ON THIS SITE AND THE SITE SHALL BE CLEAN UPON COMPLETION OF WORK.
11. THE OWNER SHALL HAVE THE RIGHT TO HAVE ALL MATERIALS USED IN CONSTRUCTION TESTED FOR COMPLIANCE WITH THESE SPECIFICATIONS.

SPECIFICATIONS FOR GRADING & EROSION CONTROL:

1. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATIONS OF ALL GRADING AND FOR ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH SPOIL. THE CONTRACTOR SHALL IMPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT. CONTRACTOR SHALL NOTIFY OWNER OF THE NEED TO IMPORT OR HAUL OFF SOIL. ON-SITE LOCATIONS SUITABLE FOR BORROW OR FILL MAY BE PRESENT. COORDINATE WITH OWNER.
2. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. A GEOTECHNICAL REPORT MAY BE AVAILABLE FROM THE OWNER.
3. SITE SHALL BE CLEARED TO THE LIMITS SHOWN ON THE PLANS. REMOVE VEGETATION FROM THE SITE BURNING IS NOT PERMITTED. PROTECT TREES AND OTHER FEATURES FROM DAMAGE WITH FENCING.
4. THE GEOTECHNICAL ENGINEER IS RESPONSIBLE FOR VERIFYING COMPACTION AND FILL PLACEMENT IN THE FIELD. THE GEOTECHNICAL ENGINEER MAY SUPERCEDE THESE SPECIFICATIONS IF THERE IS GOOD CAUSE TO DO SO. AN EXPLANATION MUST BE SUBMITTED TO THE ENGINEER IN WRITING BEFORE ANY DEVIATIONS ARE MADE.
5. IF NO GEOTECHNICAL RECOMMENDATION IS AVAILABLE, THEN THE FOLLOWING SPECIFICATIONS SHALL APPLY. ALL FILL SHALL BE CONSIDERED STRUCTURAL FILL AND SHALL BE PLACED IN ACCORDANCE WITH THE FOLLOWING: THE COMPACTED FILL SUBGRADE SHALL CONSIST OF AND SHALL BE UNDERLAIN BY SUITABLE BEARING MATERIALS, FREE OF ALL ORGANIC, FROZEN OR OTHER DELETERIOUS MATERIAL AND INSPECTED AND APPROVED BY THE RESIDENT GEOTECHNICAL ENGINEER. PREPARATION OF THE SUBGRADE, AFTER STRIPPING, SHALL CONSIST OF PROOF-ROLLING TO DETECT UNSTABLE AREAS THAT MIGHT BE UNDERCUT, AND COMPACTION OF THE SCARIFIED SURFACE TO THE SAME MINIMUM DENSITY INDICATED BELOW. THE COMPACTED FILL MATERIALS SHALL BE FREE OF ANY DELETERIOUS, ORGANIC OR FROZEN MATTER AND SHALL HAVE A MAXIMUM LIQUID LIMIT (ASTM D-423) AND PLASTICITY INDEX (ASTM D-424) IF 30 AND 10 RESPECTFULLY, UNLESS SPECIFICALLY TESTED AND FOUND TO HAVE LOW EXPANSIVE PROPERTIES AND APPROVED BY AN EXPERIENCED SOILS ENGINEER. THE TOP TWELVE (12") INCHES OF COMPACTED FILL SHOULD HAVE A MAXIMUM THREE (3") INCH PARTICLE DIAMETER AND ALL UNDERLYING COMPACTED FILL A MAXIMUM SIX (6") INCH PARTICLE DIAMETER UNLESS SPECIFICALLY APPROVED BY AN EXPERIENCED SOILS ENGINEER. ALL FILL MATERIAL MUST BE TESTED AND APPROVED UNDER THE DIRECTION AND SUPERVISION OF AN EXPERIENCED SOILS ENGINEER PRIOR TO PLACEMENT. IF THE FILL IS TO PROVIDE NON-FROST SUSCEPTIBLE CHARACTERISTICS, IT MUST BE CLASSIFIED AS A CLEAN GW, GP, SW, OR SP PER UNITED SOIL CLASSIFICATION SYSTEM (ASTM D-2487). FOR STRUCTURAL FILL THE DENSITY OF THE STRUCTURAL COMPACTED FILL AND SCARIFIED SUBGRADE AND GRADES SHALL NOT BE LESS THAN 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR (ASTM D-698) WITH THE EXCEPTION TO THE TOP 12 INCHES OF PAVEMENT SUBGRADE WHICH SHALL A MINIMUM IN-SITU DENSITY OF 100 PERCENT OF THE MAXIMUM DRY DENSITY, OR 5 PERCENT HIGHER THAN UNDERLYING FILL MATERIALS. THE MOISTURE CONTENT OF COHESIVE SOIL SHALL NOT VARY BY MORE THAN -1 TO +3 PERCENT AND GRANULAR SOIL ±3 PERCENT OF OPTIMUM WHEN PLACED AND COMPACTED OR RECOMPACTED, UNLESS SPECIFICALLY APPROVED BY THE SOILS ENGINEER TAKING INTO CONSIDERATION THE TYPE OF MATERIALS AND COMPACTION EQUIPMENT BEING USED. THE COMPACTION EQUIPMENT SHOULD CONSIST OF SUITABLE MECHANICAL EQUIPMENT SPECIFICALLY DESIGNED FOR SOIL COMPACTION. BULLDOZERS OR SIMILAR TRACKED VEHICLES ARE TYPICALLY NOT SUITABLE FOR COMPACTION. MATERIAL THAT IS TOO WET TO PERMIT PROPER COMPACTION MAY BE SPREAD ON THE FILL AND PERMITTED TO DRY. DISCING, HARROWING OR PULVERIZING MAY BE NECESSARY TO REDUCE THE MOISTURE CONTENT TO A SATISFACTORY VALUE. AFTER WHICH IT SHALL BE COMPACTED. THE FINISHED SUBGRADE AREAS OF THE SITE SHALL BE COMPACTED TO 100 PERCENT OF THE STANDARD PROCTOR (ASTM D-398) MAXIMUM DENSITY.
6. NO FILL SHALL BE PLACED ON A WET OR SOFT SUBGRADE. THE SUBGRADE SHALL BE PROOF-ROLLED AND INSPECTED BY THE GEOTECHNICAL ENGINEER BEFORE ANY MATERIAL IS PLACED.
7. SUBGRADE TOLERANCES ARE +/- 1" FOR LANDSCAPE AREAS AND +/- 1/2" FOR ALL PAVEMENT AND BUILDING AREAS.
8. TOPSOIL SHALL BE FREE OF DELETERIOUS MATERIALS, ROOTS, OLD VEGETATION, ROCKS OVER 2" DIAMETER AND SHALL NOT BE EXCESSIVELY CLAYEY IN NATURE. NO CLUMPS LARGER THAN 4" ARE ACCEPTABLE. TOPSOIL MAY BE AMENDED AS NEEDED WITH SAND OR COMPOST TO BE LOOSE WHEN SPREAD.
9. THE CONTRACTOR SHALL MAINTAIN SITE DRAINAGE THROUGHOUT CONSTRUCTION. THIS MAY INCLUDE THE EXCAVATION OF TEMPORARY DITCHED OR PUMPING TO ALLEVIATE WATER PONDING. ANY DEWATERING SHALL NOT GO DIRECTLY TO STREAMS, CREEKS, WETLANDS OR OTHER ENVIRONMENTALLY SENSITIVE AREAS WITHOUT BEING TREATED FIRST. A DIRT BAG OR OTHER DEWATERING TREATMENT DEVICE MAY BE USED TO CAPTURE SEDIMENT FROM THE PUMPED WATER.
10. THE STONE TRACKING PAD SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION, THE EXISTING GRAVEL TRAILER PARKING IS TO BE USED AS STONE TRACKING PAD. THE TRACKING PAD IS TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION, WHICH WILL PREVENT THE TRACK OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORKDAY.
11. SOIL STOCKPILES SHALL BE LOCATED A MINIMUM OF 75 FEET FROM LAKES, STREAMS, WETLANDS, DITCHES, DRAINAGE WAYS, CURBS AND GUTTERS OR OTHER STORMWATER CONVEYANCE SYSTEM, UNLESS OTHERWISE APPROVED BY THE ENGINEER. MEASURES SHALL BE TAKEN TO MINIMIZE EROSION AND RUNOFF FROM ANY SOIL STOCKPILES THAT WILL LIKELY REMAIN FOR MORE THAN FIVE WORKING DAYS. ANY STOCKPILE THAT REMAINS FOR MORE THAN 30 DAYS SHALL BE COVERED OR TREATED WITH STABILIZATION PRACTICES SUCH AS TEMPORARY OR PERMANENT SEEDING AND MULCHING.
12. EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO GRADING OPERATIONS AND SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS ESTABLISHED. ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF A 0.5 INCH RAIN EVENT. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
13. CUT AND FILL SLOPES SHALL BE NO GREATER THAN 4:1.
14. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING ALL EROSION CONTROL PROBLEMS THAT ARE A RESULT OF CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
15. ALL DISTURBED SLOPES OF 4:1 OR GREATER AND DRAINAGE SWALES SHALL BE STABILIZED WITH CURLEX EROSION CONTROL FABRIC (INSTALL PER MANUFACTURER'S SPECIFICATIONS).

SPECIFICATIONS FOR PRIVATE UTILITIES:

1. EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES. IF ANY EXISTING UTILITIES ARE NOT AS SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY FOR POSSIBLE REDESIGN. CONTRACTOR SHALL CALL "DIGGERS HOTLINE" PRIOR TO ANY CONSTRUCTION.
2. ALL CONNECTIONS TO EXISTING PIPES AND MANHOLES SHALL BE CORED CONNECTIONS. CONNECTIONS TO WATER MAIN SHALL BE WET TAPPED WITH A STAINLESS STEEL TAPPING SLEEVE.
3. BUILDING LATERALS SHALL BE CONSTRUCTED IN ACCORDANCE WITH LOCAL AND STATE PLUMBING CODES AND IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION WISCONSIN, LATEST EDITION. PROPOSED SANITARY SEWER AND INTERNALLY CONNECTED STORM SEWER SHOWN IN THIS PLAN SHALL TERMINATE AT A POINT FIVE (5) FEET FROM THE EXTERIOR BUILDING WALL. THE EXACT LOCATION OF ALL DOWN SPOUT CONNECTIONS SHALL BE PER THE ARCHITECTURAL PLANS.
4. CONTRACTOR SHALL NOT SHUT OFF WATER OR PLUG SANITARY SEWER IN MUNICIPAL LINES WITHOUT PRIOR APPROVAL.
5. MATERIALS FOR STORM SEWER SHALL BE AS FOLLOWS: STORM SEWER PIPE 48" OR LESS SHALL BE HIGH DENSITY POLYETHYLENE (HDPE) CORRUGATED PIPE WITH AN INTEGRALLY FORMED SMOOTH WATERWAY SUCH AS ADS N-12. FOR PIPE 10" OR LESS IN DIAMETER, PVC, ASTM D-3034, SDR-26, MAY ALSO BE USED. WHERE SPECIFICALLY REQUIRED, REINFORCED CONCRETE PIPE (RCP), ASTM C-76, CLASS III OR HIGHER, MAY BE USED. TRENCH SECTION SHALL BE CLASS "B" FOR PVC AND HDPE AND CLASS "C" FOR CONCRETE (PER STANDARD SPECIFICATIONS). MANHOLES, INLETS AND CATCH BASINS SHALL BE PRE CAST REINFORCED CONCRETE, ASTM C-478. CASTINGS SHALL BE HEAVY DUTY CAST IRON. AREA DRAINS SHALL BE ADSHYLOPLAST OR EQUIVALENT AND SHALL BE A MINIMUM OF 24" IN DIAMETER. CONNECTIONS TO EXISTING PIPES SHALL BE MADE WITH INSERT A WYE OR EQUIVALENT. LAST (3) THREE JOINTS SHALL BE RESTRAINED WITH RODS. PIPE SHALL MEET THE REQUIREMENTS OF AASHTO M-294, TYPE S.
6. MATERIALS FOR SANITARY SEWER SHALL BE AS FOLLOWS: SANITARY SEWER SHALL BE PVC, ASTM D-3034, SDR-35 WITH RUBBER GASKETED JOINTS, CONFORMING TO ASTM D-3212. TRENCH SECTIONS SHALL BE CLASS "B" BEDDING (PER STANDARD SPECIFICATIONS). CRUSHED STONE CHIPS SHALL BE USED FOR BEDDING MATERIAL. CONNECTIONS SHALL BE MAD WITH A INSERT A WYE OR EQUIVALENT. A MINIMUM OF 6" OF COVER IS REQUIRED FOR ALL SANITARY SEWER.
7. MATERIALS FOR WATER SERVICES AND PRIVATE HYDRANTS SHALL BE AS FOLLOWS: WATER SERVICES SHALL BE PVC, HDPE, OR DI AS ALLOWED BY MUNICIPAL CODE. PVC SHALL BE AWWA C-900, DI SHALL BE AWWA C151, CLASS 52 (OR AS REQUIRED BY LOCAL CODE). TRENCH SECTIONS SHALL BE CLASS "B" BEDDING (PER STANDARD SPECIFICATIONS). CRUSHED STONE CHIPS SHALL BE USED FOR BEDDING MATERIAL. CONNECTION SHALL BE MADE WITH A WET TAP, CORPORATE STOP AND VALVE BOX PER MUNICIPAL STANDARDS. A MINIMUM OF 6" COVER IS REQUIRED FOR ALL WATER MAIN. VALVES SHALL BE NON RISING STEM, RESILIENT SEATED GATE VALVES COMPLYING WITH AWWA C509 WITH A THREE PIECE CAST IRON VALVE BOX. INSTALL THRUST BLOCKS AT ALL BENDS AND TEES. DISINFECT ALL NEW LINES AND OBTAIN SAFE WATER SAMPLE PRIOR TO USE. WATER MAIN SHALL BE COPPER TYPE "K" PRESCRIBED IN ANSI/AWWA C800-89 SECTION A.2 FOR "COPPER WATER TUBING" AND TO ASTM, DESIGNATION B42 AND B88-99, AND CURRENT REVISIONS THERE OF UNLESS INDICATED OTHERWISE.
8. EXTREME CAUTION MUST BE FOLLOWED REGARDING THE COMPACTION OF ALL UTILITY TRENCHES. MECHANICALLY COMPACTED GRANULAR BACKFILL IS REQUIRED UNDER & WITHIN 5 FEET OF ALL PAVEMENT INCLUDING SIDEWALKS. FLOODING OF BACKFILL MATERIAL IS NOT ALLOWED.
9. TRACER WIRE (NO.8 SINGLE STRAND COPPER) AND WARNING TAPE SHALL BE INSTALLED ON ALL UTILITIES IN ACCORDANCE WITH THE LOCAL AND STATE CODES. TRACER WIRE SHALL TERMINATE IN A VALVECO TERMINAL BOX AT EACH END IN ACCORDANCE WITH 182.0715(2R) OF STATE STATUTES.
10. MANDREL TESTING ON SANITARY LINES AND PRESSURE TESTING ON WATER MAIN MAY BE REQUIRED BY THE OWNER OR MUNICIPALITY.
11. UPON COMPLETION OF FINAL PAVING OPERATIONS, THE UTILITY CONTRACTOR SHALL ADJUST ALL MANHOLE AND INLET RIMS AND VALVE BOXES TO FINISHED GRADE.
12. ALL UTILITY CONSTRUCTION SHALL BE DONE IN COMPLIANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (LATEST EDITION AND ADDENDUM) AND ALL STATE AND LOCAL CODES. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.
13. ALL SANITARY SEWER, STORM SEWER AND WATER MAIN CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE CITY OF WAUKESHA AND WISCONSIN DSPS STANDARDS.
14. THE LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM THE PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
15. MAINTAIN AN 8 FOOT MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN PUBLIC SANITARY SEWER, WATER MAIN AND STORM SEWER. PROVIDE 18" MINIMUM VERTICAL SEPARATION WHERE SEWER CROSSES OVER WATER MAIN AND PROVIDE 6" MINIMUM VERTICAL SEPARATION WHERE WATER MAIN CROSSES OVER SEWER.
16. ANY UTILITIES WHICH ARE DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
17. GENERAL CONTRACTOR SHALL COORDINATE WITH LOCAL GAS TELEPHONE, AND ELECTRICAL UTILITIES FOR EXACT LOCATION SIZE AND DEPTH OF NEW SERVICE.
18. ALL WORK WITHIN THE COUNTY RIGHT-OF-WAY REQUIRES A PERMIT FROM THE WAUKESHA COUNTY AIRPORT.

SPECIFICATIONS FOR PAVING:

1. AGGREGATES USED IN THE CRUSHED STONE BASE SHALL CONFORM TO THE GRADATION REQUIREMENTS SECTIONS 301.2 AND 305.2.2 OF THE STANDARD SPECIFICATIONS. THICKNESS SHALL BE PER THE DETAIL ON THE PLANS. BASE SHALL BE 1-1/4" INCH DIAMETER LIMESTONE TRAFFIC BOND AGGREGATE BASE COURSE UNLESS NOTED OTHERWISE. SUBSTITUTION AND/OR RECYCLED MATERIALS MAY BE ALLOWED WITH APPROVAL FROM THE OWNER.
2. SUBGRADE SHALL BE PROOFROLLED AND APPROVED BY A GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF STONE BASE. EXCAVATE UNSUITABLE AREAS AND REPLACE WITH BREAKER RUN STONE AND RECOMPACT. REFER TO THE GEOTECHNICAL REPORT FOR ADDITIONAL SPECIFICATIONS.
3. EXISTING PAVEMENT SHALL BE SAWCUT IN NEAT STRAIGHT LINES TO FULL DEPTH AT ANY POINT WHERE EXISTING PAVEMENT IS REMOVED. CURB AND WALK SHALL BE REMOVED TO THE NEAREST JOINT. REMOVED PAVEMENT SHALL BE REPLACED WITH THE SAME SECTION AS EXISTING. MUNICIPAL STANDARDS MAY REQUIRE ADDITIONAL WORK.
4. ASPHALT FOR PARKING AREAS AND THE PRIVATE ROAD SHALL BE PER THE DETAILS MATERIALS AND PLACEMENT SHALL CONFORM TO THE DOT STANDARD SPECIFICATIONS, SECTION 450 AND 460 LT 58-28 S IS REQUIRED UNLESS NOTED OTHERWISE A COMMERCIAL GRADE MIX MAY BE SUBSTITUTED ONLY WITH APPROVAL FROM THE OWNER.
5. TACK COAT SHALL BE IN ACCORDANCE WITH THE SUBSECTION 455.2.5 OF THE STANDARD SPECIFICATIONS. THE RATE OF APPLICATION SHALL BE 0.05 GAL/SY.
6. CONCRETE FOR CURB, DRIVEWAYS, WALKS, LOADING DOCKS AND NON-FLOOR SLABS SHALL CONFORM TO THE LATEST VERSION OF SECTION 415 OF THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR CONSTRUCTION. CONCRETE SHALL BE GRADE A, ASTM C-94, 6 BAG MIX WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4,000 PSI. JOINTING SHALL BE PER SECTION 415.3.7 OF THE STANDARD SPECIFICATIONS WITH CONSTRUCTION JOINTS HAVING A MAXIMUM SPACING OF 10'. EXPANSION JOINTS SHALL BE PROVIDED EVERY 50'. CONCRETE SHALL BE FINISHED PER SECTION 415.3.8 WITH A MEDIUM BROOM TEXTURE. A CURING MEMBRANE IN CONFORMANCE WITH SECTION 415.3.12 IS REQUIRED. LOADING DOCKS SHALL HAVE REINFORCING CONSISTING OF NOVOMESH 950 FIBER MESH OR #4 BARS AT 24" ON CENTER EACH WAY PER SECTION 415.2.2 OF THE STANDARD SPECIFICATIONS.
7. PAVEMENT MARKINGS SHALL BE PAINT IN ACCORDANCE WITH WISCONSIN DOT SECTION 646 OF THE STANDARD SPECIFICATIONS AND WITH LOCAL CODES. THE FOLLOWING ITEMS SHALL BE PAINTED WITH COLORS NOTED BELOW:

PARKING STALLS: WHITE
PEDESTRIAN CROSSWALKS: WHITE
LANE STRIPING WHERE SEPARATING TRAFFIC IS MOVING IN OPPOSITE DIRECTIONS: YELLOW
LANE STRIPING WHERE SEPARATING TRAFFIC IS MOVING IN SAME DIRECTIONS: WHITE
ADA SYMBOLS: WHITE

RESTORATION NOTES:

1. ALL DISTURBED AREAS, EXCEPT STREET PAVEMENT AND SIDEWALK AREAS, SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, FERTILIZER, SEED AND MULCH. RESTORATION WILL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL. LAWN AREAS WITH SLOPES GREATER THAN 4:1 SHALL BE SEEDED WITH OLDS "NOMOW" MIX OR EQUAL. ALL OTHER DISTURBED AREAS SHALL BE SEEDED WITH MADISON PARKS MIX OR EQUAL. MIXTURES SHALL BE IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS.
2. AN EQUAL AMOUNT OF ANNUAL RYEGRASS SHALL BE ADDED TO THE MIX. SEED MIXTURES SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL MEET THE MINIMUM REQUIREMENTS THAT FOLLOW: NITROGEN, NOT LESS THAN 16%; PHOSPHORIC ACID, NOT LESS THAN 6%; POTASH, NOT LESS THAN 6%.
3. ALL FINISH GRADED AREAS SHALL BE SEEDED AND MULCHED BY SEPTEMBER 15TH. IF THE SITE DOES NOT HAVE FINISH GRADED AREAS COMPLETED BY OCTOBER 15TH, ALL DISTURBED AREAS SHALL BE RESTORED WITH TEMPORARY SEEDING (COVER CROP). AREAS NEEDING PROTECTION DURING PERIODS WHEN PERMANENT SEEDING IS NOT APPLIED SHALL BE SEEDED WITH ANNUAL SPECIES FOR TEMPORARY PROTECTION. SEE TABLE 1 OF THE WISCONSIN DNR CONSERVATION PRACTICE STANDARD 1059, FOR SEEDING RATES OF COMMONLY USED SPECIES. THE RESIDUE FROM THIS CROP MAY EITHER BE INCORPORATED INTO THE SOIL DURING SEEDBED PREPARATION AT THE NEXT PERMANENT SEEDING PERIOD OR LEFT ON THE SOIL SURFACE AND THE PLANTING MADE AS A NO-TILL SEEDING.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR A SATISFACTORY STAND OF GRASS ON ALL SEEDED AREAS FOR ONE YEAR AFTER THE PROJECT'S FINAL ACCEPTANCE.

REVISIONS:	
NO.	DESCRIPTION



PROJECT TITLE:

D985.25 WAH HANGER
LOT 1, AVIATION DRIVE
WAUKESHA, WI 53188

PLAN TITLE:

CONSTRUCTION
NOTES

DRAWN BY:

WWS

DESIGNED BY:

JDR

CHECKED BY:

KJP

PLAN DATE:

4/30/2025

PROJECT NO:

\OC-17-25\

SUBMITTAL

SHEET NO:

C2.01