

COMMERCIAL FINAL PLAN REVIEW SUBMITTAL
FOR
PANDA EXPRESS
WAUKESHA, WI



PANDA RESTAURANT GROUP INC.
1683 Walnut Grove Ave.
Rosemead, California
91770
Telephone: 626.799.9898
Facsimile: 626.372.6288

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REVISIONS:

NO.	DESCRIPTION	DATE

ISSUE DATE:

PRELIMINARY PLAN COMMISSION REVIEW	10-05-16
PANDA DRIVEWAY DIMENSIONS	11-23-16
FINAL PLAN COMMISSION REVIEW	01-17-17

DRAWN BY: VM / AC

PANDA PROJECT #: S8-17-D5072

ARCH PROJECT #: JCDT160128



ARCHITECT:



PANDA EXPRESS

WARM & WELCOME V2
SUNSET DR. & TENNY AVE.
WAUKESHA, WI 53189

TITLE SHEET

C0.0

PROJECT TEAM

OWNER

Panda Restaurant Group Inc.
1683 Walnut Grove Avenue
Rosemead, CA 91770
626 799 9898

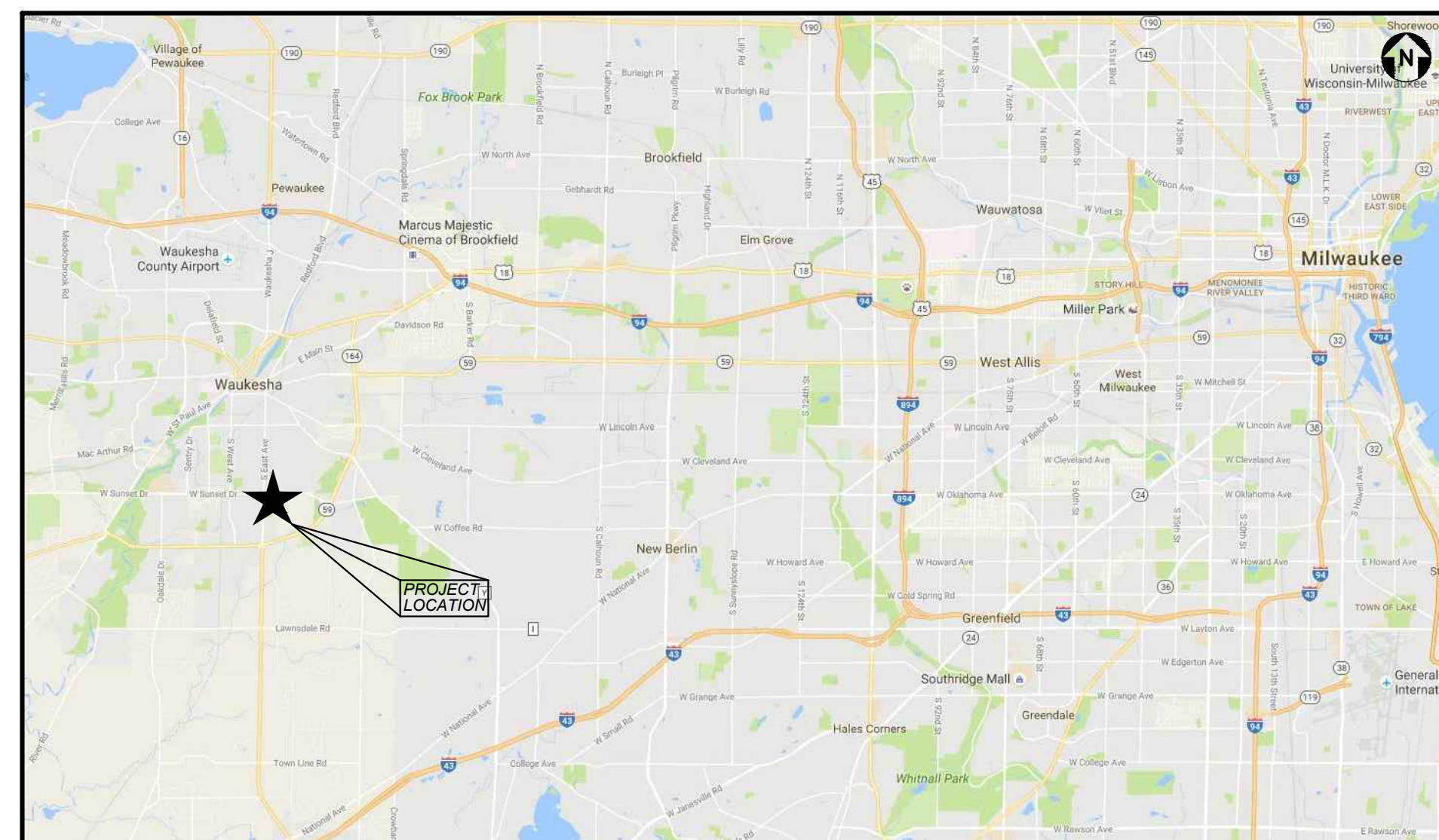
ENGINEER

V3 Companies of Illinois, Ltd.
7325 Janes Avenue
Woodridge, Illinois 60517
630 724 9200

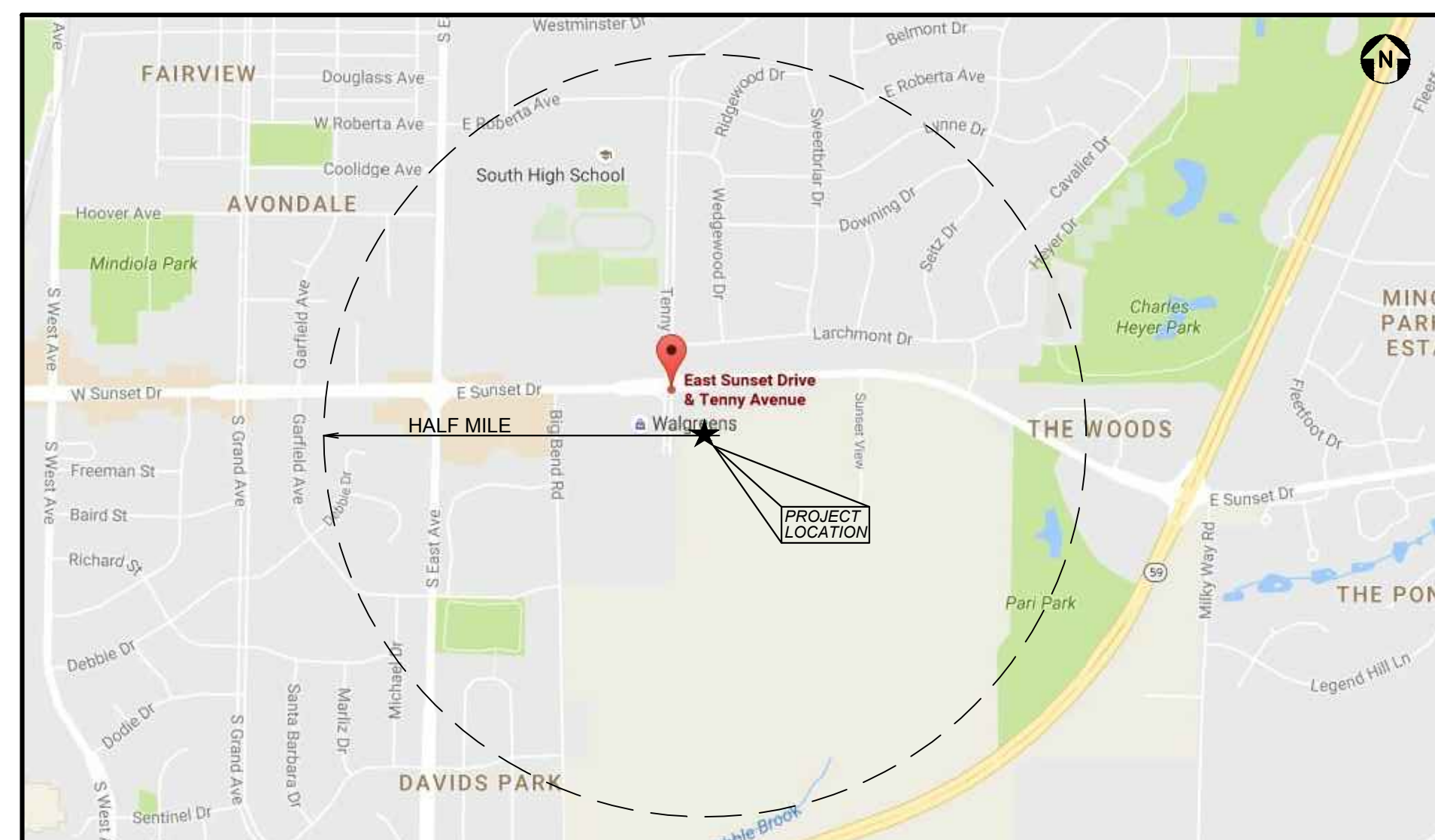
Project Manager: Brad Prischman, P.E., LEED AP
Project Engineer: Matt Brolley, P.E., CFM

ARCHITECT

NORR, LLC
150 W. Jefferson Avenue Suite 1300
Detroit, MI 48226
313 324 3100
Contact: Amy Conti



LOCATION MAP
NO SCALE



VICINITY MAP
NO SCALE

INDEX OF DRAWINGS

- C0.0 TITLE SHEET
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- L2.0 LANDSCAPE DETAILS & NOTES

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- A-103 EXTERIOR ELEVATIONS
- A-104 EXTERIOR ELEVATIONS
- A-105 TRASH ENCLOSURE

- ES-100 SITE PHOTOMETRICS

BENCHMARKS

SOURCE:	
STATION DESIGNATION: WAUKESHA GPS (DG4884) ESTABLISHED BY: WI. DEPT. OF TRANSPORTATION DATE: 2001	NOTE: TO ACHIEVE CITY DATUM (NGVD-29) ADD 0.24' TO GRADES SHOWN
ELEVATION: 840.5 (PUBLISHED AND HELD) DATUM: NAVD88 DESCRIPTION: BRONZE DISK SET IN CONCRETE POST, 18.6 M EAST OF CENTERLINE OF THE NORTHBOUND LANES OF STATE HIGHWAY 164, 0.3 KM NORTH OF COUNTY HIGHWAY 1, 16.3 M. NORTHEAST OF THE TOP CENTER OF METAL CULVERT PIPE	
SITE:	
STATION DESIGNATION: SBM#1 ESTABLISHED BY: V3 COMPANIES DATE: 06/14/16	ELEVATION: 920.99 (MEASURED) DATUM: NAVD88 DESCRIPTION: CUT SQUARE IN CONCRETE BASE OF MALL MONUMENT SIGN, LOCATED ALONG EAST SIDE OF TENNY AVE.
STATION DESIGNATION: SBM#2 ESTABLISHED BY: V3 COMPANIES DATE: 06/14/16	ELEVATION: 927.12 (MEASURED) DATUM: NAVD88 DESCRIPTION: NORTHWEST TAG BOLT ON FIRE HYDRANT LOCATED SOUTH OF ACCESS DRIVE ALONG THE EAST SIDE OF TENNY AVE.

PROFESSIONAL ENGINEER'S CERTIFICATION

I, BRADLEY R. PRISCHMAN, A LICENSED PROFESSIONAL ENGINEER OF WISCONSIN, HEREBY CERTIFY THAT THIS SUBMISSION WAS PREPARED ON BEHALF OF PANDA RESTAURANT GROUP INC. BY V3 COMPANIES UNDER MY PERSONAL DIRECTION. THIS TECHNICAL SUBMISSION IS INTENDED TO BE USED AS AN INTEGRAL PART OF AND IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS.

DATED THIS 18th DAY OF January, A.D., 2017.

Bradley R. Prischman
WISCONSIN LICENSED PROFESSIONAL ENGINEER 41999-6
MY LICENSE EXPIRES ON JULY 31, 2018
ILLINOIS LICENSED DESIGN FIRM NO. 184-000902



811 • (800) 242-8511
www.DiggersHotline.com



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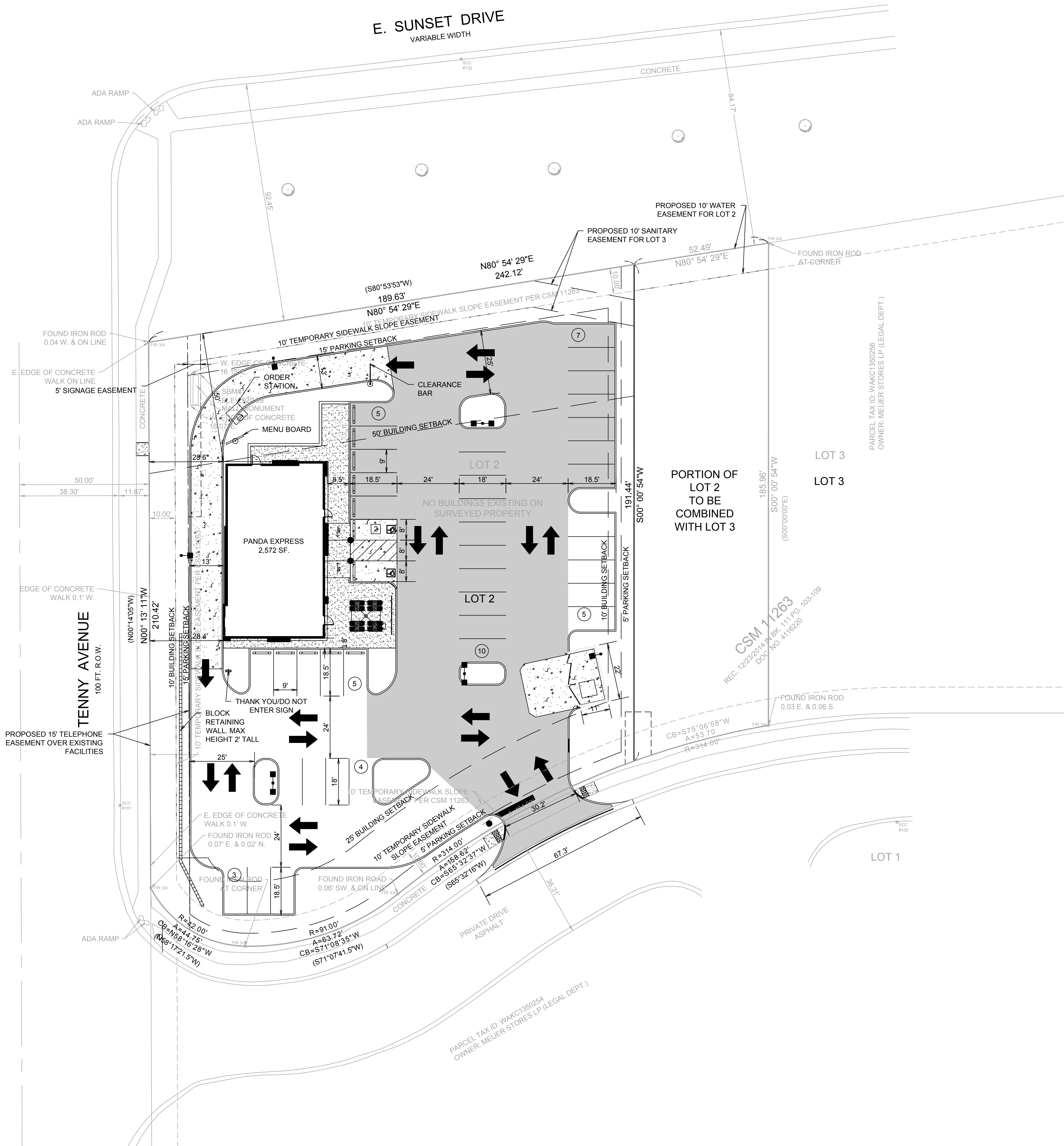
ARCHITECT:



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WARM & WELCOME V2
SUNSET DR. & TENNY AVE.
WAUKESHA, WI 53189

LAYOUT PLAN

C1.0



LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	RIGHT-OF-WAY LINE
---	---	PROPERTY LINE (EXTERIOR)
---	---	LOT LINE (INTERIOR)
---	---	EASEMENT LINE
---	---	CURB & GUTTER
---	---	DEPRESSED CURB & GUTTER
---	---	REVERSE PITCHED CURB
○	○	TREE
---	---	TREE LINE
□	□	SIGN
□	□	SITE LIGHTING

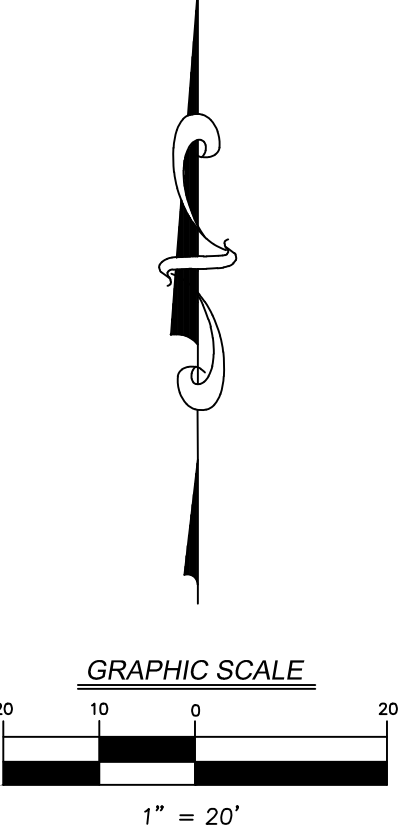
SITE SUMMARY

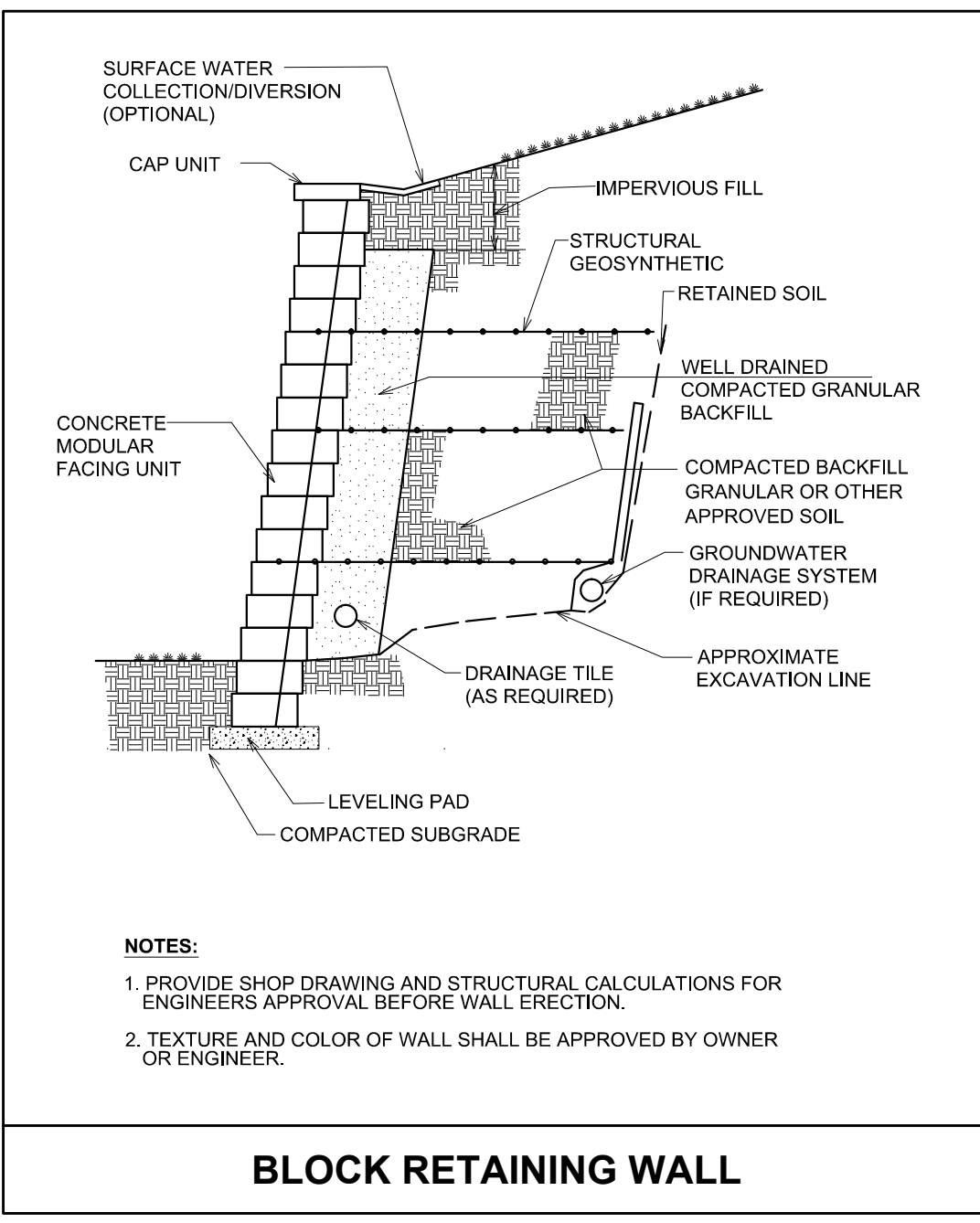
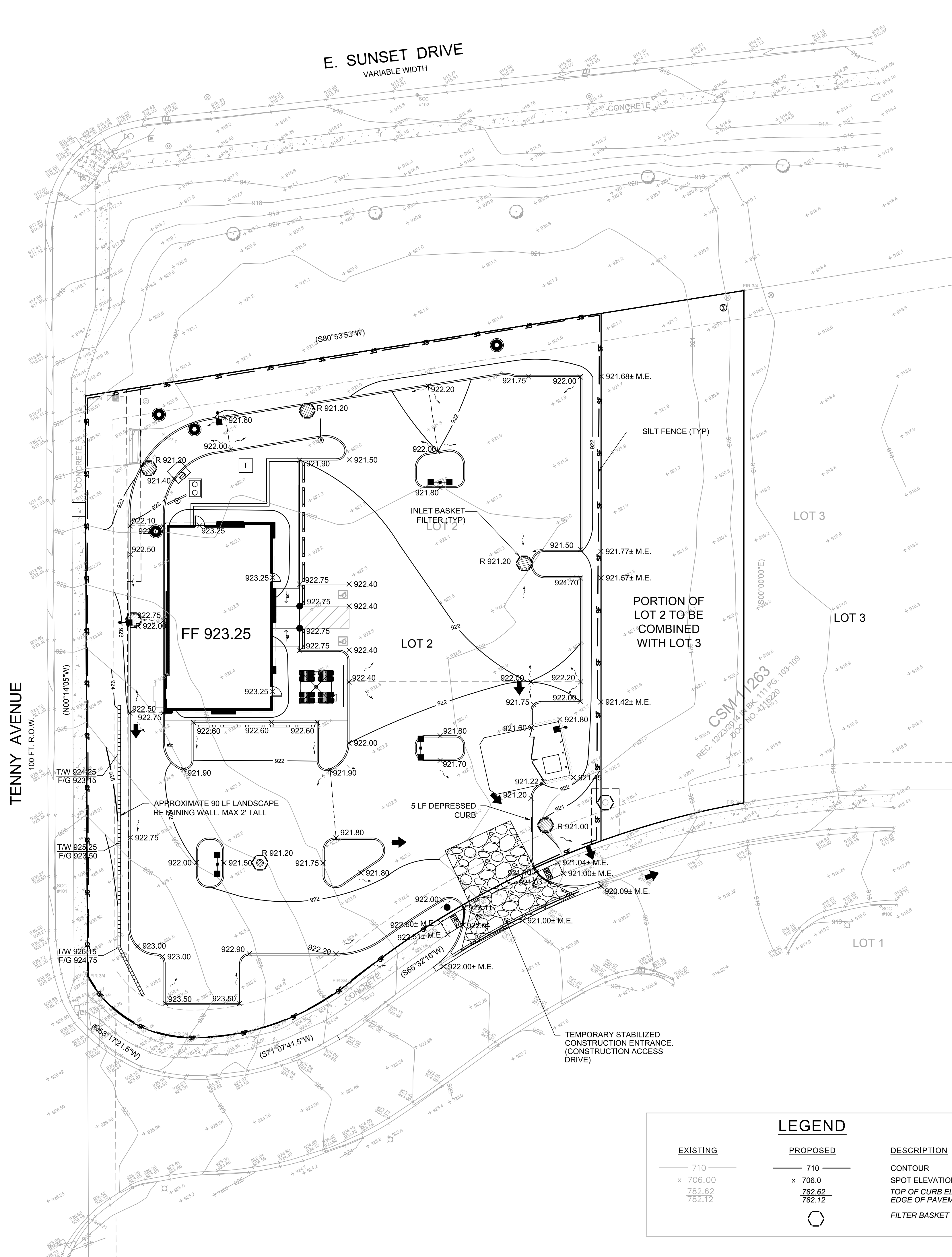
EXISTING LOT 2	=1.1698 AC.
PROPOSED LOT 2A	=0.9462 AC.
PROPOSED LOT 2B	=0.2236 AC.
EXISTING ZONING - B-5 (PUD)	
PANDA EXPRESS SITE	
BUILDING	- 2,572 SF.
STANDARD PARKING STALLS	= 39
ACCESSIBLE STALLS	= 2
TOTAL PARKING STALLS	= 41
MEIJER SITE (SHARED PARKING)	
STANDARD PARKING STALLS	=21
ACCESSIBLE STALLS	= 0
TOTAL PARKING STALLS	=21
*SEE SHARED PARKING EXHIBIT PER NORR	
TOTAL PARKING	=62

PAVING LEGEND

HEAVY DUTY BITUMINOUS PAVEMENT	
[Pattern]	BITUMINOUS SURFACE COURSE, IDOT SUPERPAVE BITUMINOUS BINDER COURSE, IDOT SUPERPAVE AGGREGATE BASE COURSE - CA6
REGULAR BITUMINOUS PAVEMENT	
[Pattern]	BITUMINOUS SURFACE COURSE, IDOT SUPERPAVE BITUMINOUS BINDER COURSE, IDOT SUPERPAVE AGGREGATE BASE COURSE - CA6
CONCRETE PAVEMENT	
[Pattern]	P.C. CONCRETE PAVEMENT WITH (6X6/W2.9=W2.9) W.W.F. AGGREGATE BASE COURSE - CA6
CONCRETE SIDEWALK	
[Pattern]	P.C. CONCRETE PAVEMENT AGGREGATE BASE COURSE - CA6

- NOTES:
1. ALL DIMENSIONS SHOWN ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
 2. ALL PROPOSED ON-SITE STRIPING SHALL BE PAINTED YELLOW UNLESS OTHERWISE NOTED.
 3. BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
 4. ALL CURB AND GUTTER SHALL BE B6.12 UNLESS OTHERWISE NOTED.



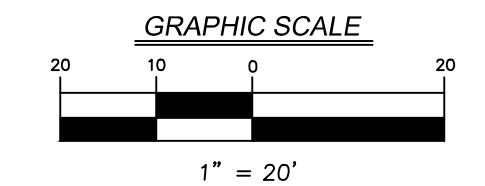


NOTES:
 1. PROVIDE SHOP DRAWING AND STRUCTURAL CALCULATIONS FOR ENGINEERS APPROVAL BEFORE WALL ERECTION.
 2. TEXTURE AND COLOR OF WALL SHALL BE APPROVED BY OWNER OR ENGINEER.

BLOCK RETAINING WALL

- NOTES:**
- ALL PAVEMENT SPOT GRADE ELEVATIONS AND RIM ELEVATIONS WITHIN OR ALONG CURB AND GUTTER REFER TO EDGE OF PAVEMENT ELEVATIONS UNLESS OTHERWISE NOTED.
 - ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE UNLESS OTHERWISE NOTED. SUBTRACT TOPSOIL THICKNESS OR PAVEMENT SECTION TO ESTABLISH SUBGRADE ELEVATIONS.
 - PROVIDE 1.5% CROSS SLOPE AND 4.00% MAXIMUM LONGITUDINAL SLOPE ON ALL SIDEWALKS AND PEDESTRIAN PATHS UNLESS OTHERWISE INDICATED. PLEASE NOTE THAT THE ILLINOIS ACCESSIBILITY CODE REQUIRES A MAXIMUM CONSTRUCTED CROSS SLOPE OF 2.00% AND LONGITUDINAL SLOPE OF 5.00%.
 - ACCESS DRIVES AND TRACKING. PROVIDE ACCESS DRIVE(S) FOR CONSTRUCTION VEHICLES THAT MINIMIZE TRACKING OF SOIL OFF SITE USING BMP(S) SUCH AS STONE TRACKING PADS, TIRE WASHING OR GRATES. MINIMIZE RUNOFF AND SEDIMENT FROM ADJACENT AREAS FROM FLOWING DOWN OR ERODING THE ACCESS DRIVE.
 - INLET PROTECTION. PROTECT INLETS TO STORM DRAINS, CULVERTS AND OTHER STORM WATER CONVEYANCE SYSTEMS FROM SILTATION UNTIL THE SITE IS STABILIZED.
 - SITE DEWATERING. TREAT PUMPED WATER TO REMOVE SEDIMENT PRIOR TO DISCHARGE FROM THE SITE. USING BMP(S) SUCH AS SEDIMENT BASINS AND PORTABLE SEDIMENT TANKS. DURING DEWATERING OPERATIONS, WATER WILL BE PUMPED INTO SEDIMENT BASINS OR SILT TRAPS. DEWATERING DIRECTLY INTO STREAMS, WETLANDS, FIELD TILES, OR STORMWATER STRUCTURES IS PROHIBITED.
 - DUST CONTROL. PREVENT EXCESSIVE DUST FROM LEAVING THE CONSTRUCTION SITE THOUGH CONSTRUCTION PHASING AND TIMELY STABILIZATION OR THE USE OF BMP(S) SUCH AS SITE WATERING AND MULCH - ESPECIALLY WITH VERY DRY OR FINE SANDY SOILS.
 - SEDIMENT CLEANUP. BY THE END OF EACH WORKDAY, CLEAN UP ALL OFF-SITE SEDIMENT DEPOSITS OR TRACKED SOIL THAT ORIGINATED FROM THE PERMITTED SITE. FLUSHING SHALL NOT BE ALLOWED UNLESS RUNOFF IS TREATED BEFORE DISCHARGE FROM THE SITE.
 - FINAL SITE STABILIZATION. ALL PREVIOUS CROPLAND AREAS WHERE LAND DISTURBING ACTIVITIES WILL NOT BE OCCURRING UNDER THE PROPOSED GRADING PLANS, SHALL BE STABILIZED UPON PERMIT ISSUANCE. STABILIZE ALL OTHER DISTURBED AREAS WITHIN 7 DAYS OF FINAL GRADING AND TOPSOIL APPLICATION. LARGE SITES SHALL BE TREATED IN STAGES AS FINAL GRADING IS COMPLETED IN EACH STAGE. ANY SOIL EROSION THAT OCCURS AFTER FINAL GRADING OR THE APPLICATION OF STABILIZATION MEASURES MUST BE REPAIRED AND THE STABILIZATION WORK REDONE.
 - TEMPORARY SITE STABILIZATION. ANY DISTURBED SITE THAT REMAINS INACTIVE FOR GREATER THAN 7 DAYS SHALL BE STABILIZED WITH TEMPORARY STABILIZATION MEASURES SUCH AS SOIL TREATMENT, TEMPORARY SEEDING OR MULCHING. FOR PURPOSES OF THIS SUBSECTION, "INACTIVE" MEANS THAT NO SITE GRADING, LANDSCAPING OR UTILITY WORK IS OCCURRING ON THE SITE AND THAT PRECIPITATION EVENTS ARE NOT LIMITING THESE ACTIVITIES. FROZEN SOILS DO NOT EXCLUDE THE SITE FROM THIS REQUIREMENT.
 - FINAL SITE STABILIZATION INSTRUCTIONS FOR ALL OTHER DISTURBED AREAS, SHOWING AREAS TO BE STABILIZED IN ACRES, DEPTH OF APPLIED TOPSOIL, SEED TYPES, RATES AND METHODOLOGY, FERTILIZER, SOD OR EROSION MATTING SPECIFICATIONS, MAINTENANCE REQUIREMENTS UNTIL PLANTS ARE WELL ESTABLISHED, AND OTHER BMP(S) USED TO STABILIZE THE SITE.
 - CONTRACTOR TO INSTALL SILT FENCE PRIOR TO COMMENCEMENT OF ANY EARTHWORK. CONTRACTOR TO MAINTAIN SILT FENCE AS SHOWN AND INSTALL ADDITIONAL SILT FENCE WHEREVER NECESSARY THROUGHOUT CONSTRUCTION ACTIVITIES TO MINIMIZE SOIL EROSION.
 - EROSION CONTROL BLANKET (TENSAR S1508N OR APPROVED EQUAL) SHALL BE PLACED ON ALL AREAS WITH SIDE SLOPES OF 4:1 OR GREATER, AND IN BOTTOM AND SIDE SLOPES OF ALL SWALES.
 - ALL SEDIMENT AND EROSION CONTROL MEASURES IN AND AROUND THE PROPOSED IMPROVEMENTS ARE TO REMAIN IN PLACE AND TO BE MAINTAINED THROUGHOUT CONSTRUCTION ACTIVITIES UNTIL THE PROPOSED IMPROVEMENTS ARE COMPLETED, THE SITE ADEQUATELY STABILIZED, AND THE NOTICE OF TERMINATION HAS BEEN FIELD WITH THE WISCONSIN DNR.
 - THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL EROSION CONTROL MEASURES AS INDICATED ON THIS.
 - UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS SET FORTH BY THE WISCONSIN DNR.
 - THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE CITY.
 - SEE SHEET C3.0 UTILITY PLAN FOR DETAIL UTILITY INFORMATION.

EXISTING	PROPOSED	DESCRIPTION
710	710	CONTOUR
x 706.00	x 706.00	SPOT ELEVATION
782.52	782.52	TOP OF CURB ELEVATION
782.12	782.12	EDGE OF PAVEMENT ELEVATION
	○	FILTER BASKET



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ARCHITECT:



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GRADING PLAN & STORMWATER MANAGEMENT PLAN
C2.0



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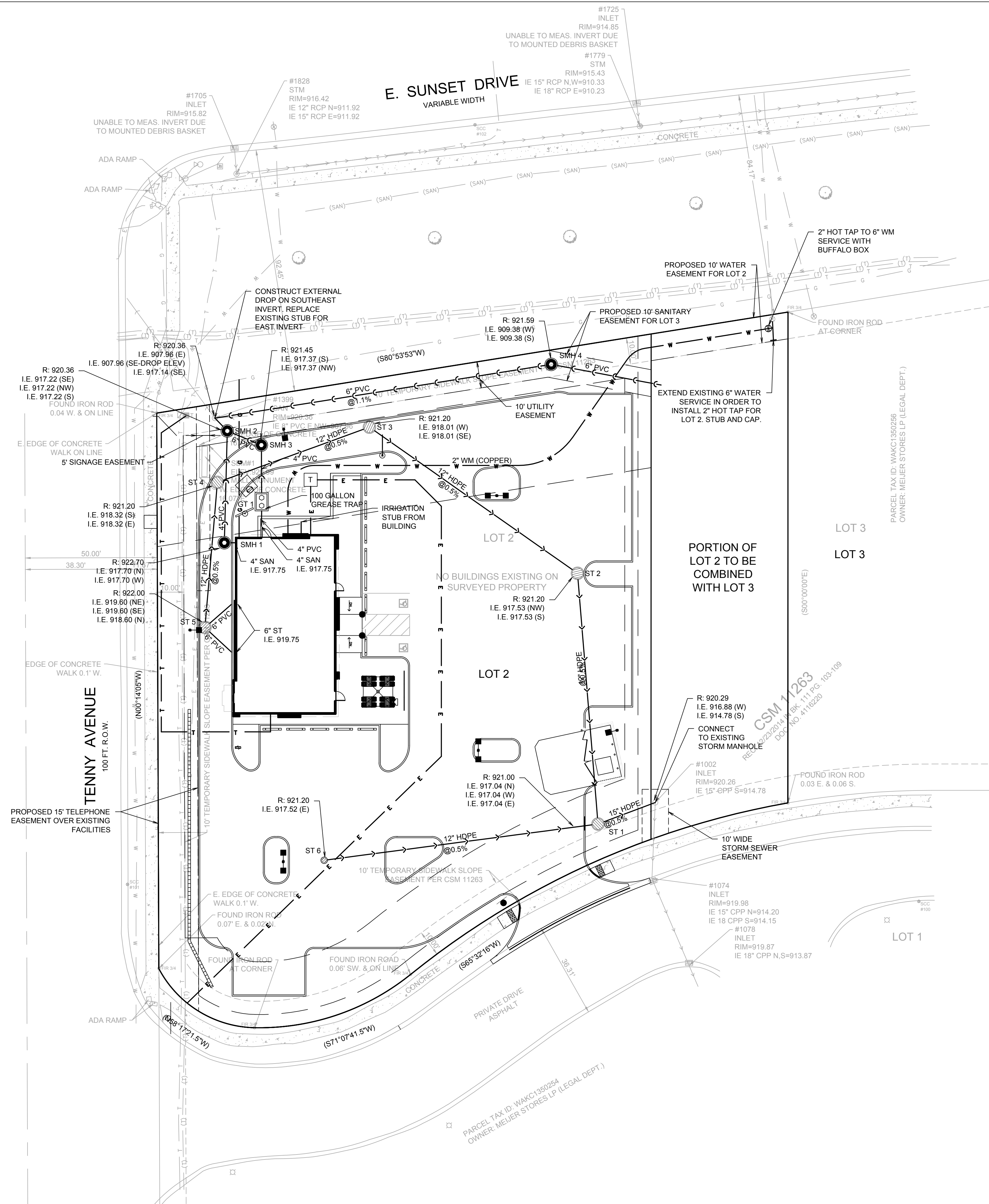


PANDA EXPRESS

WARM & WELCOME V2
 SUNSET DR. & TENNY AVE.
 WAUKESHA, WI 53189

UTILITY PLAN

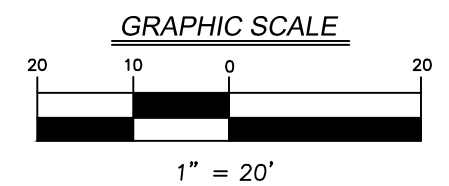
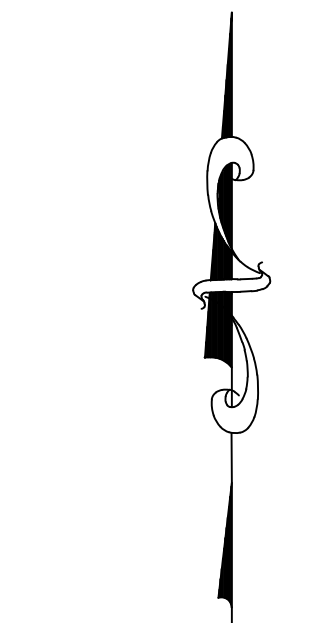
C3.0



EXISTING	PROPOSED	DESCRIPTION
		SANITARY SEWER
		SANITARY FORCE MAIN
		STORM SEWER
		WATER MAIN
		GAS MAIN
		UNDERGROUND TELEPHONE & ELECTRIC DUCT BANK
		BURIED CABLE-ELECTRIC
		BURIED CABLE-TELEPHONE
		ATLAS LOCATED UTILITY
		UTILITY STRUCTURE WITH CLOSED LID
		CURB INLET
		DRAINAGE STRUCTURE WITH OPEN LID
		FIRE HYDRANT
		VALVE IN VALVE BOX
		GATE VALVE IN VALVE VAULT
		SITE LIGHTING

NOTES:

- CONTRACTOR TO FIELD VERIFY LOCATION, INVERT, AND SIZE OF ALL EXISTING UTILITIES PRIOR TO ORDERING MATERIALS OR BEGINNING UTILITY WORK. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
- UNLESS INDICATED OTHERWISE, FRAME AND OPEN LID STORM STRUCTURES IN PAVEMENT SHALL BE NEENAH R-2502 WITH TYPE D LID OR APPROVED EQUAL, AND FRAME AND CLOSED LID STORM STRUCTURES IN PAVEMENT SHALL BE NEENAH R-1772 OR APPROVED EQUAL. FRAME AND OPEN LID STORM STRUCTURES IN OPEN SPACE SHALL BE R-4340-B OR APPROVED EQUAL. ALL FRAME AND GRATES SHALL CONFORM TO LOCAL MUNICIPALITY REQUIREMENTS. FRAME AND CLOSED LID STORM STRUCTURES LOCATED WITHIN AN ACCESSIBLE ROUTE SHALL BE NEENAH R-1772 WITH TYPE C LID (OR EQUIVALENT) WITH PERMA-GRIP SURFACE. DRILL 1 - 1" DIAMETER LIFT HOLE INSTEAD OF A STANDARD PICK HOLE.



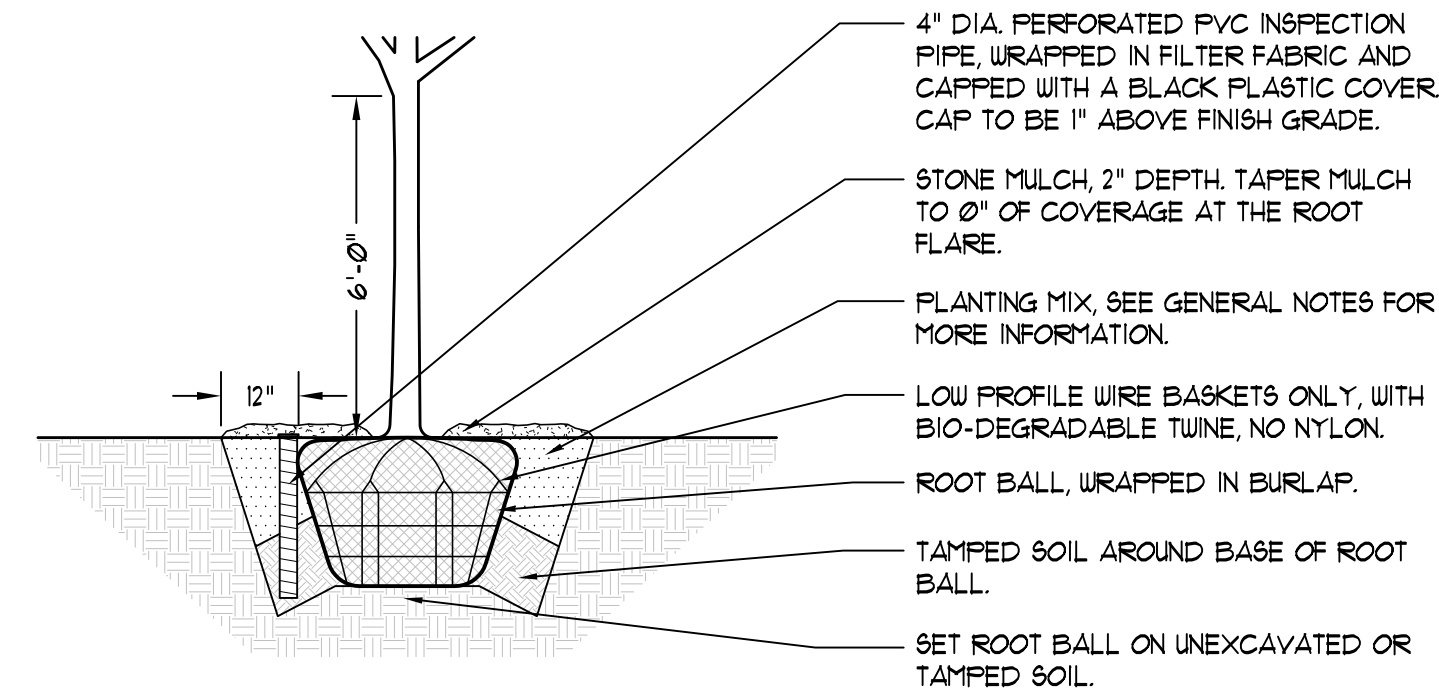
PARCEL TAX ID: WAKC1380254
 OWNER: MELIER STORES LP (LEGAL DEPT.)

CSM 1263
 REG. 2/23/2014 IN BK. 111 PG. 103-109
 DOC. NO. 4116220

IRRIGATION NOTES

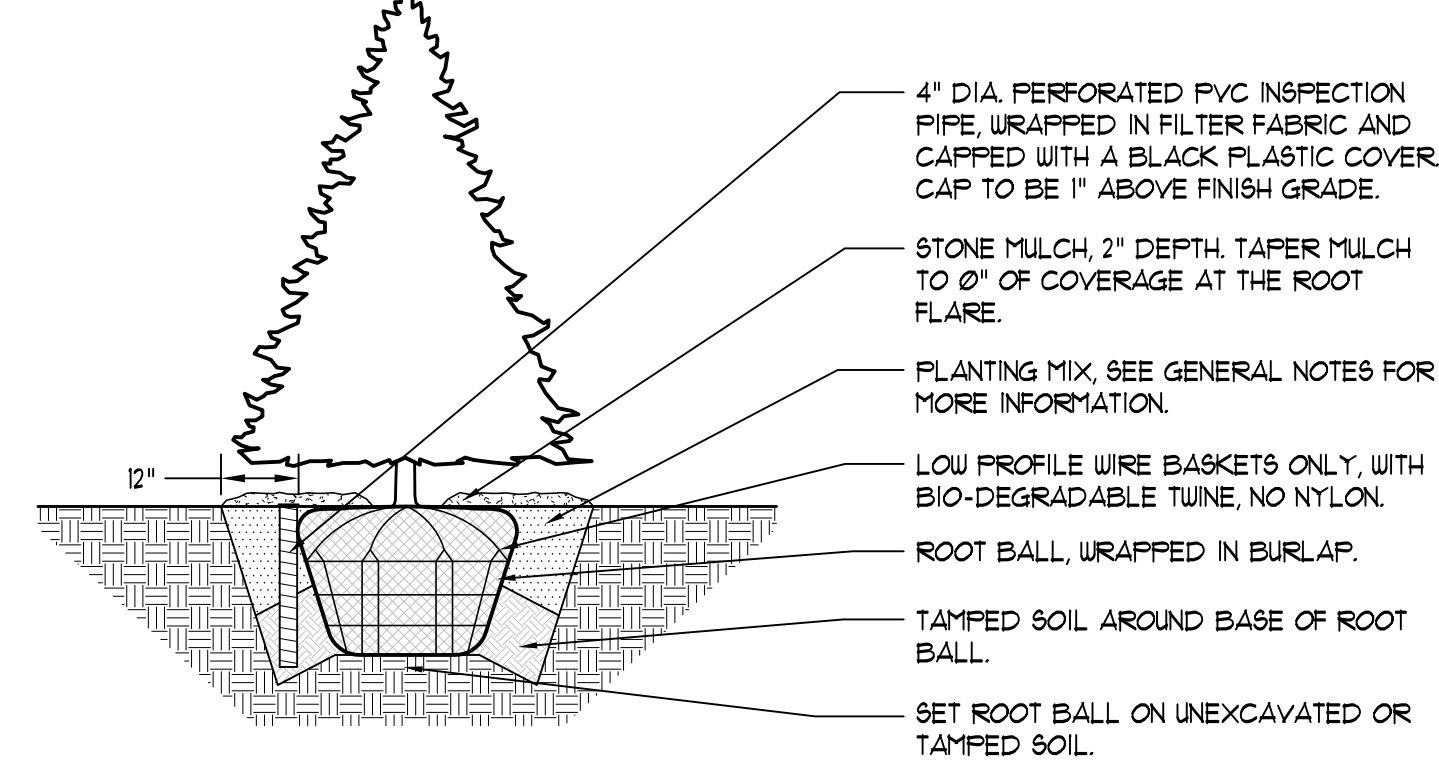
1. A PLASTIC, AUTOMATIC, TIMER-ACTIVATED IRRIGATION SYSTEM SHALL BE PROVIDED FOR ALL LANDSCAPE AREAS. SEPARATE ZONES TO BE PROVIDED FOR LAWN AND PLANTED BEDS.
2. PROVIDE ROTARY AND MIST POP-UP SPRAYHEADS AS APPROPRIATE FOR THE PARTICULAR SIZE AND SHAPE OF LAWN OR PLANTING AREA, WITH 60% HEAD TO HEAD SPACING. THERE SHALL BE NO OVER SPRAY ON ROADS OR SIDEWALKS.
3. PROVIDE DRIP IRRIGATION WHERE NOTED ON THE PLANS. DRIP IRRIGATION TO PROVIDE PROPER MOISTURE LEVEL FOR SPECIFIED PLANTS (SEE PLANS).
4. PROVIDE WATER CONNECTION, BACKFLOW PREVENTER AND IRRIGATION CONTROLLER INSIDE THE BUILDING.
5. SIZE BOOSTER PUMP, IF REQUIRED, TO PROVIDE 50 GPM AND 40 PSI AT THE SPRINKLER HEADS.
6. PROVIDE SLEEVING AS NECESSARY AND COORDINATE SLEEVE INSTALLATION WITH THE GENERAL CONTRACTOR TO ELIMINATE FUTURE DAMAGE TO INSTALLED PAVEMENT.
7. ALL IRRIGATION EQUIPMENT SHALL BE BY TORO, RAINBIRD, NELSON OR APPROVED EQUAL.
8. THE IRRIGATION CONTRACTOR SHALL SUBMIT SHOP DRAWINGS SHOWING THE DESIGN OF THE SYSTEM, INDICATING LAYOUT, WATER CONNECTION, HEADS, VALVES, PIPING, CONTROLLER, OTHER RELATED EQUIPMENT AND THE ASSOCIATED ELECTRICAL DIAGRAMS FOR APPROVAL PRIOR TO CONSTRUCTION. PROVIDE CATALOGUE CUTS FOR ALL DRIP LINE EQUIPMENT FOR APPROVAL.
9. PROVIDE AN AUTOMATIC RAIN SHUT-OFF.
10. PROVIDE A QUICK COUPLER IN OR ADJACENT TO EACH VALVE BOX, AND AT INTERVALS ALONG THE MAIN WITHIN 100' OF ALL NEW PLANTS, OR AS INDICATED ON THE PLANS.
11. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR BLOWING OUT THE SYSTEM BY AIR COMPRESSION IN THE FALL FOLLOWING INSTALLATION AND TURNING ON THE SYSTEM IN THE FOLLOWING SPRING.
12. THE ENTIRE IRRIGATION SYSTEM SHALL BE GUARANTEED BY THE CONTRACTOR AS TO MATERIAL AND WORKMANSHIP, INCLUDING SETTLING OF BACKFILLED AREAS BELOW GRADE FOR A PERIOD OF ONE YEAR FOLLOWING THE DATE OF FINAL ACCEPTANCE OF THE WORK.
13. ALL WORK SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPALITY STANDARDS, CODES AND ORDINANCES.

LOCATE ALL UNDERGROUND UTILITIES PRIOR TO DIGGING. TREE PIT WIDTH TO BE EXTENDED 12" AROUND THE ENTIRE ROOT BALL AS SHOWN IN THE DETAIL BELOW. TEST TREE PIT FOR DRAINAGE PRIOR TO INSTALLING TREE. PRUNE OFF ALL DEAD, BROKEN OR SCARRED BRANCHES, AND SHAPE PRUNE AS DIRECTED BY THE LANDSCAPE ARCHITECT. FOR TREES UP TO 4" CALIFER OR 12' HEIGHT, REMOVE APPROXIMATELY 5% -10% OF THE OVERALL BRANCHING. FOR TREES OVER 4" CALIFER OR 12' HEIGHT, REMOVE APPROXIMATELY 15%-20% OF THE OVERALL BRANCHING. LOCATE ROOT FLARE IN ROOT BALL AND SET TREE HEIGHT SO THAT ROOT FLARE IS FLUSH WITH FINISH GRADE. WATER IN THE PLANTING MIX THOROUGHLY, WHILE KEEPING THE TREE PLUMB. STRAIGHTEN TREE IF SETTLING OCCURS. CONTRACTOR TO UN-TIE AND REMOVE TUINE FROM AROUND ROOT FLARE OF TREE AT THE END OF THE WARRANTY PERIOD.



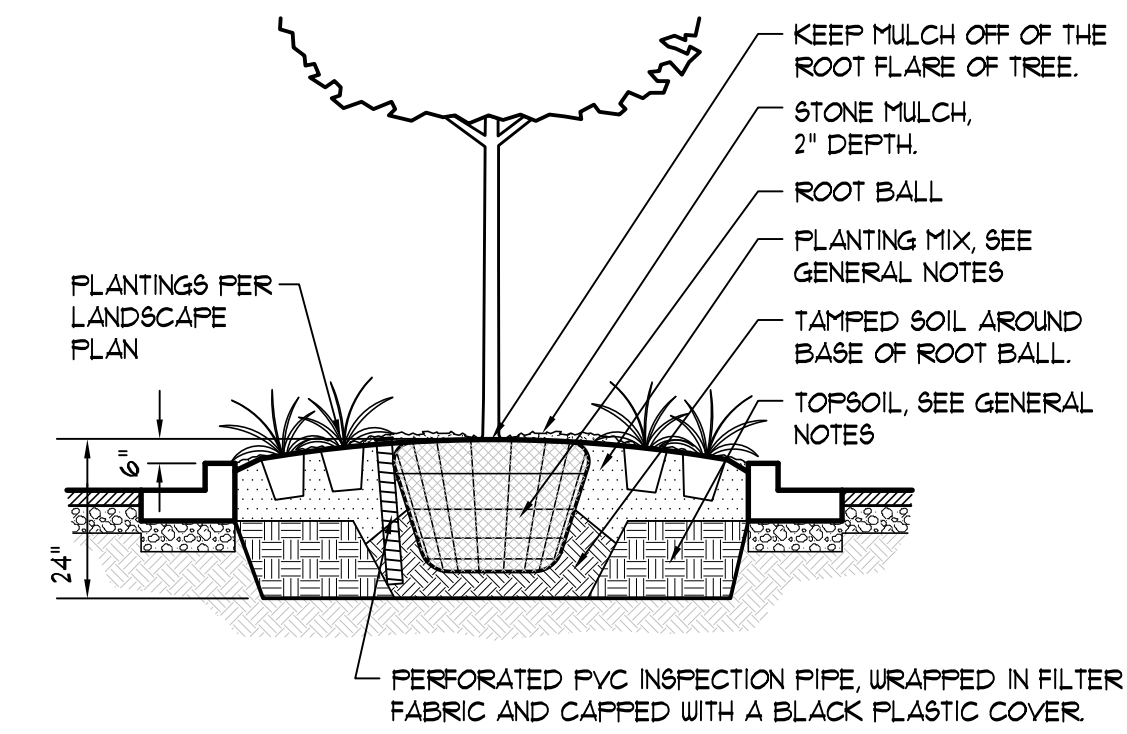
1 DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE

LOCATE ALL UNDERGROUND UTILITIES PRIOR TO DIGGING. TREE PIT WIDTH TO BE EXTENDED 12" AROUND THE ENTIRE ROOT BALL AS SHOWN IN THE DETAIL BELOW. TEST TREE PIT FOR DRAINAGE PRIOR TO INSTALLING TREE. PRUNE OFF ALL DEAD, BROKEN OR SCARRED BRANCHES, AND REMOVED ANY DOUBLE LEADERS. LOCATE ROOT FLARE IN ROOT BALL AND SET TREE HEIGHT SO THAT ROOT FLARE IS FLUSH WITH FINISH GRADE. WATER IN THE PLANTING MIX THOROUGHLY, WHILE KEEPING THE TREE PLUMB. STRAIGHTEN TREE IF SETTLING OCCURS. CONTRACTOR TO UN-TIE AND REMOVE TUINE FROM AROUND THE ROOT FLARE AT THE END OF THE WARRANTY PERIOD.



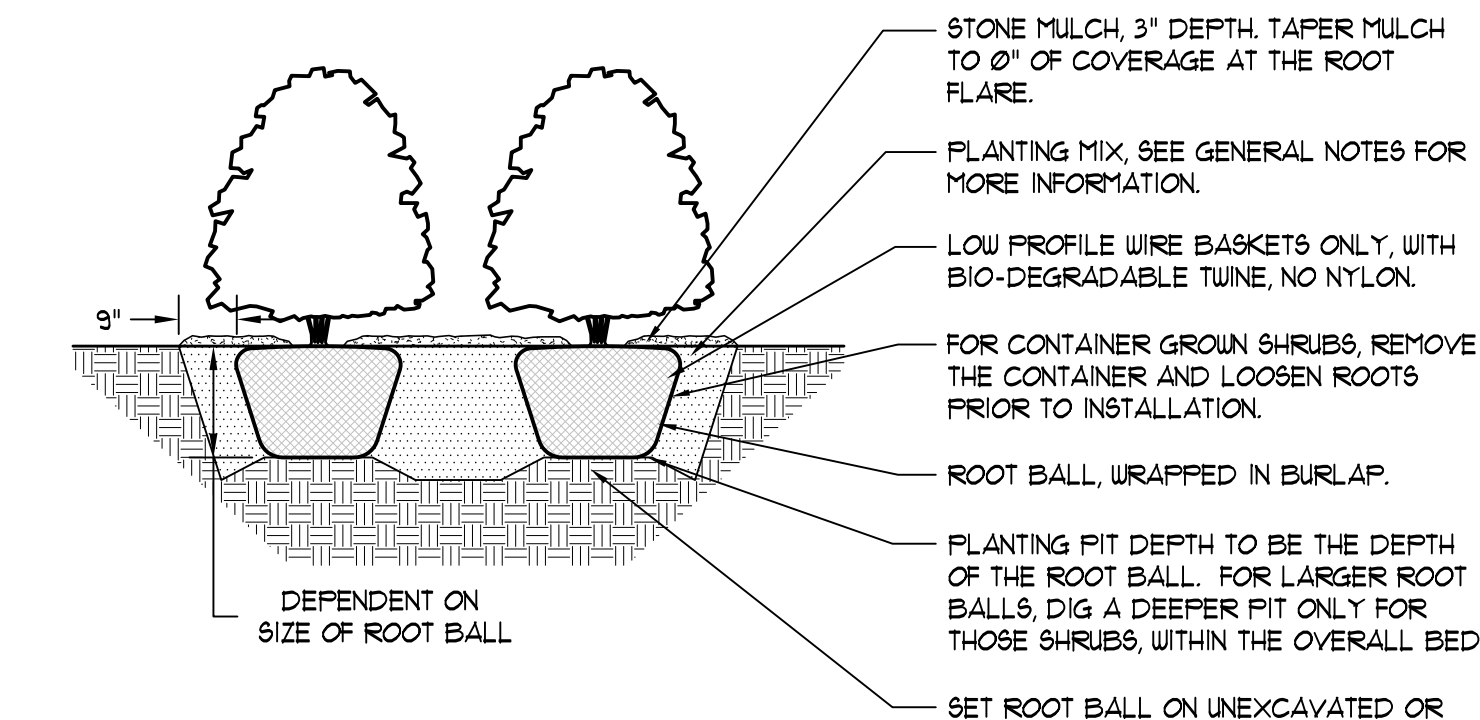
4 EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE

EXCAVATE ALL PARKING LOT ISLANDS TO A DEPTH OF 18" FROM TOP OF CURB. BACK FILL ISLANDS TO BE PLANTED WITH 12" OF TOPSOIL AND 12" OF PLANTING MIX. SEE GENERAL NOTES FOR TOPSOIL AND PLANTING MIX REQUIREMENTS. PLACE TREE IN CENTER OF ISLAND AS SHOWN. SEE DECIDUOUS TREE, SHRUB AND PERENNIAL PLANTING DETAILS FOR ADDITIONAL INFORMATION.

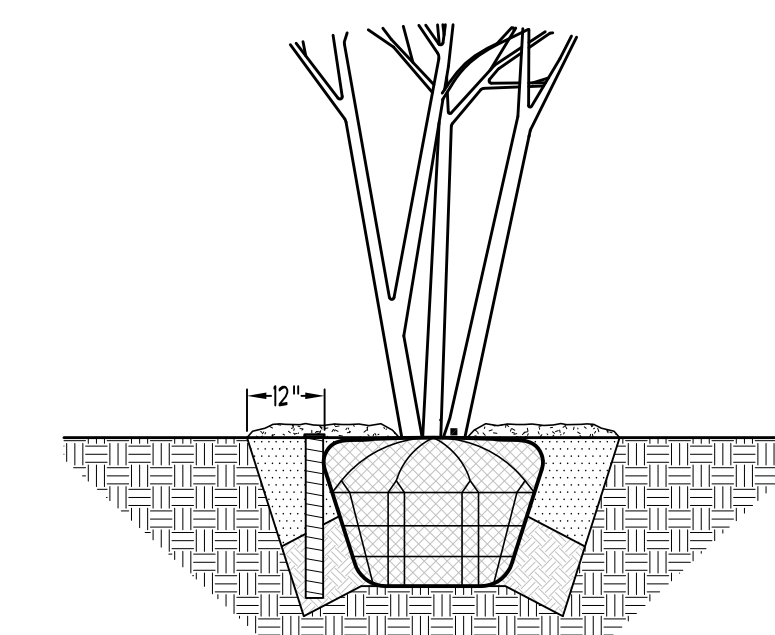


2 PARKING LOT ISLAND SECTION - PLANTED
NOT TO SCALE

LOCATE ALL UNDERGROUND UTILITIES PRIOR TO DIGGING. SHRUB PIT WIDTH TO BE EXTENDED 9" AROUND THE ENTIRE ROOT BALL AS SHOWN IN THE DETAIL BELOW. TEST SHRUB PIT FOR DRAINAGE PRIOR TO INSTALLING SHRUB. PRUNE OFF ALL DEAD, BROKEN OR SCARRED BRANCHES, AND SHAPE PRUNE AS DIRECTED BY THE LANDSCAPE ARCHITECT. LOCATE ROOT FLARE IN ROOT BALL AND SET SHRUB HEIGHT SO THAT ROOT FLARE IS FLUSH WITH FINISH GRADE. WATER IN THE PLANTING MIX THOROUGHLY, WHILE KEEPING THE SHRUB PLUMB. STRAIGHTEN SHRUB IF SETTLING OCCURS. MULCH LIMITS FOR SHRUBS TO EXTEND TO ALL EDGES OF PLANTING BEDS. SEE PLANS FOR BED LAYOUTS. CONTRACTOR TO UN-TIE AND REMOVE TUINE FROM AROUND ROOT FLARE AT THE TIME OF PLANTING.

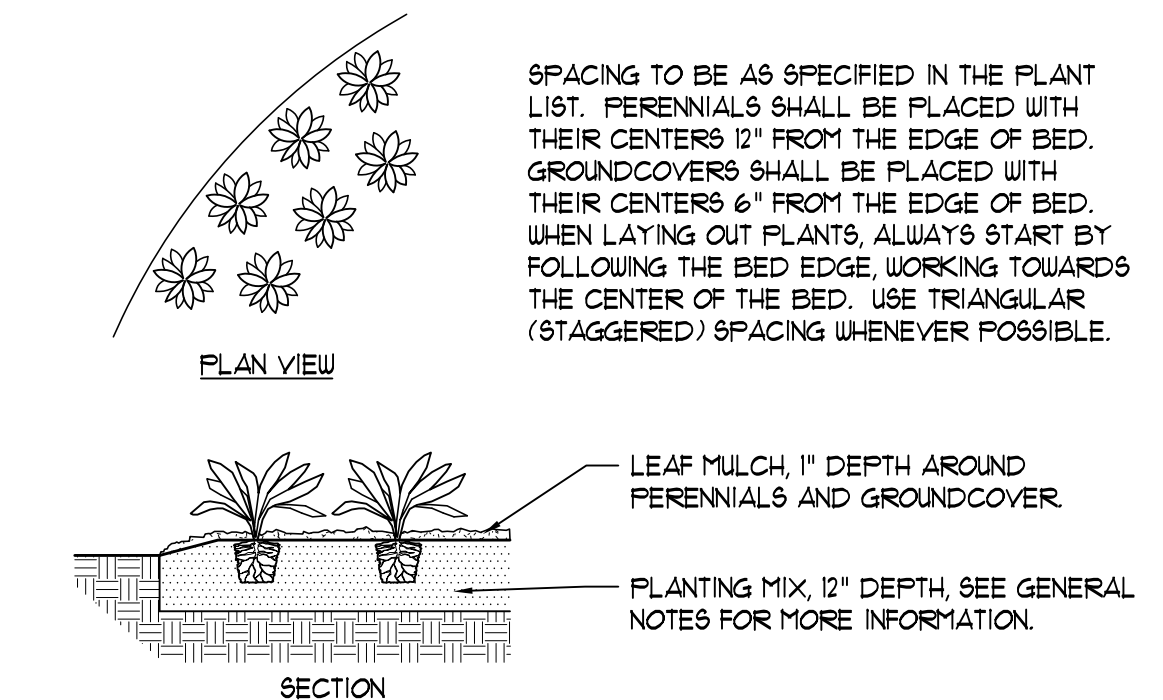


5 SHRUB PLANTING DETAIL
NOT TO SCALE



3 MULTI-STEM TREE PLANTING DETAIL
NOT TO SCALE

LOCATE ALL UNDERGROUND UTILITIES PRIOR TO DIGGING. EXCAVATE ENTIRE PERENNIAL / GROUNDCOVER BED, AND BACKFILL WITH PLANTING MIX AS SPECIFIED. BED HEIGHT IS TO BE 2" ABOVE FINISH GRADE AND WELL DRAINED. MULCH LIMITS FOR PERENNIAL BEDS TO EXTEND TO ALL EDGES OF THE BEDS. SEE PLANS FOR BED LAYOUTS. SEE PLANT LIST FOR PLANT SPACING. GAPS BETWEEN PLANTS SHALL BE NO GREATER THAN THE SPECIFIED SPACING FOR THAT PARTICULAR PLANT.



6 PERENNIAL AND GROUNDCOVER PLANTING DETAIL
NOT TO SCALE



PANDA RESTAURANT GROUP INC.
1683 Walnut Grove Ave.
Rosemead, California
91770
Telephone: 626.799.9898
Facsimile: 626.372.8288

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REVISIONS:

NO.	DESCRIPTION	DATE

ISSUE DATE:

PRELIMINARY PLAN COMMISSION REVIEW	10-05-16
PANDA DRIVEWAY DIMENSIONS	11-23-16
FINAL PLAN COMMISSION REVIEW	01-17-17

DRAWN BY: EH

PANDA PROJECT #: S8-17-D5072
ARCH PROJECT #: JCOT160128

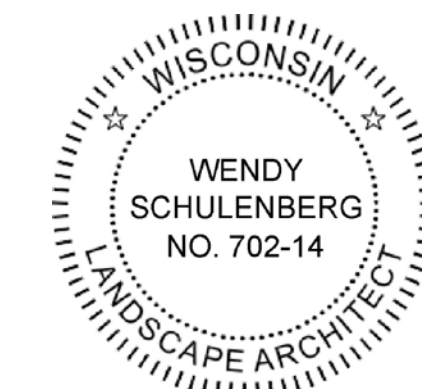
DANIEL WEINBACH & PARTNERS, LTD.
Landscape Architects

53 W. Jackson Blvd., Suite 250
Chicago, Illinois 60604
312.427.2888

NOT FOR CONSTRUCTION

V3 Companies
7325 Jones Avenue
Woodridge, IL 60517
630.724.9200 phone
630.724.9202 fax
www.v3co.com

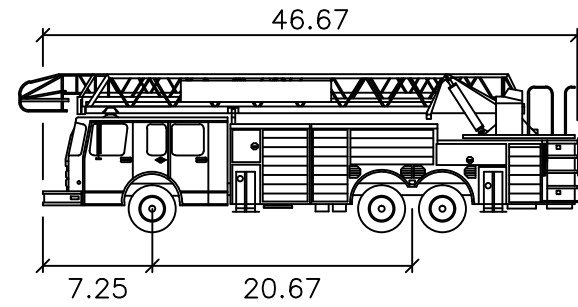
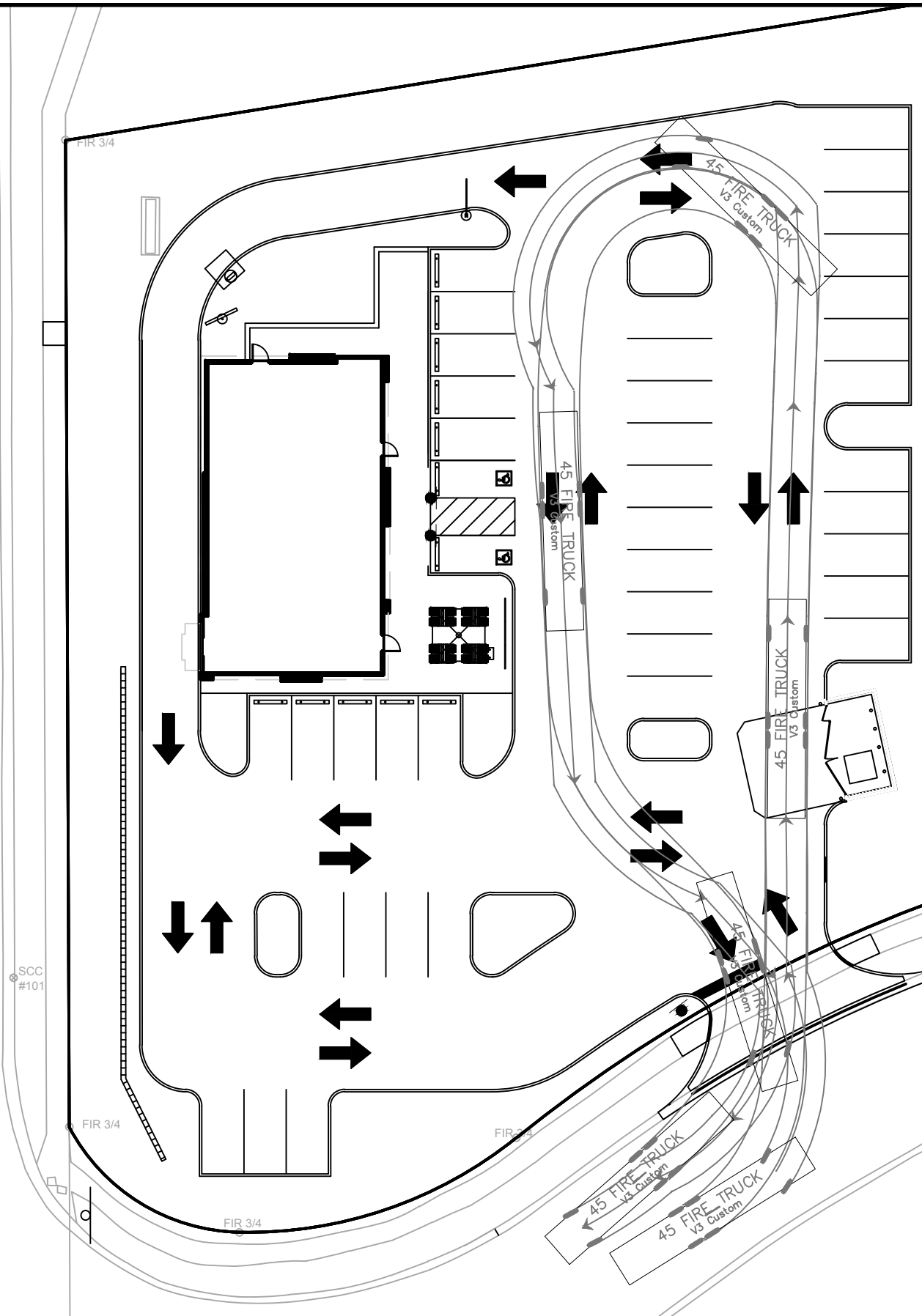
PANDA EXPRESS
WARM & WELCOME V2
SUNSET DR. & TENNY AVE.
WAUKESHA, WI 53189



LANDSCAPE DETAILS & NOTES
L2.0

WARM & WELCOME V2

TENNY AVENUE
100 FT. R.O.W.



45 FIRE TRUCK feet
 Width : 8.00
 Track : 8.83
 Lock to Lock Time : 6.0
 Steering Angle : 40.0

SCC #101

SCC #100

DATE: 01-17-17



V3 Companies
 7325 Janes Avenue
 Woodridge, IL 60517
 630.724.9200 phone
 630.724.9202 fax
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PANDA EXPRESS

WAUKESHA

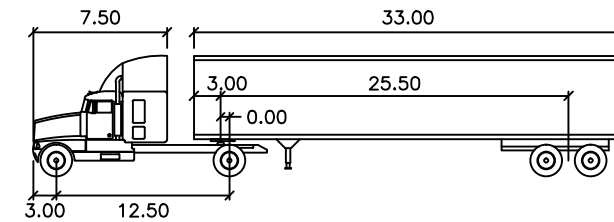
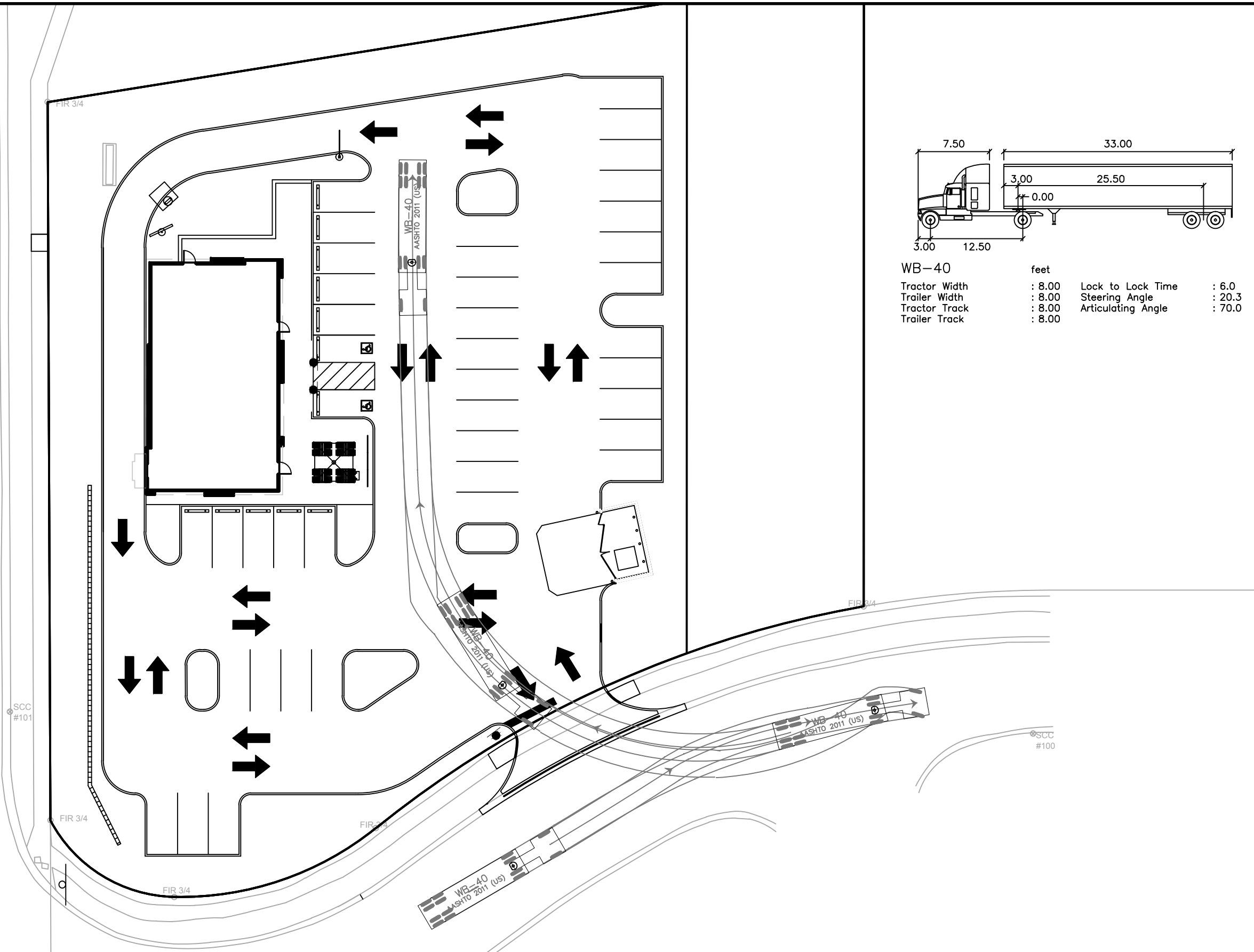
WISCONSIN

FIRE TRUCK



SCALE: 1"=30'

TENNY AVENUE
100 FT. R.O.W.



WB-40		feet	
Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.00	Steering Angle	: 20.3
Tractor Track	: 8.00	Articulating Angle	: 70.0
Trailer Track	: 8.00		

DATE: 01-17-17



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PANDA EXPRESS

WAUKESHA

WISCONSIN

WB 40 DELIVERY TRUCK



SCALE: 1"=30'

TENNY AVENUE
100 FT. R.O.W.

E. SUNSET DRIVE
VARIABLE WIDTH



EXISTING	PROPOSED	DESCRIPTION
		RIGHT-OF-WAY LINE
		PROPERTY LINE (EXTERIOR)
		LOT LINE (INTERIOR)
		EASEMENT LINE
		CURB & GUTTER
		DEPRESSED CURB & GUTTER
		REVERSE PITCHED CURB
		TREE
		TREE LINE
		SIGN
		SITE LIGHTING

TOTAL LOT AREA: 0.9462 AC
 IMPERVIOUS SURFACE AREA: 0.6684 AC (71%)
 PERVIOUS AREA: 0.2778 AC (29%)

NOTE:
 THE APPROVED STORMWATER REPORT FOR MEIJER (PREPARED BY GREENBERGFARROW, DATED JUNE 11, 2014) INDICATED THE MAXIMUM PERCENT IMPERVIOUS FOR LOT 2 AND LOT 3 WAS ASSUMED 80% IMPERVIOUS SURFACE.



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REVISIONS:

NO.	DESCRIPTION	DATE

ISSUE DATE:

REVIEW TYPE	DATE
PRELIMINARY PLAN COMMISSION REVIEW	10-05-16
PANDA DRIVEWAY DIMENSIONS	11-23-16
FINAL PLAN COMMISSION REVIEW	01-17-17

DRAWN BY: VM / AC
 PANDA PROJECT #: S8-17-D5072
 ARCH PROJECT #: JCDT160128



ARCHITECT:
NORR
 ARCHITECTS ENGINEERS PLANNERS

PANDA EXPRESS
 WARM & WELCOME V2
 SUNSET DR. & TENNY AVE.
 WAUKESHA, WI 53189

IMPERVIOUS EXHIBIT
EXA

