

SITE UPDATES FOR:
SARATOGA HEIGHTS
 120 CORRINA BLVD.
 WAUKESHA, WI 53186

OWNER

WAUKESHA HOUSING AUTHORITY
 600 ARCADIAN AVENUE
 WAUKESHA, WI 53186
 P: 262.542.2262
 WHAONLINE.COM

ARCHITECT

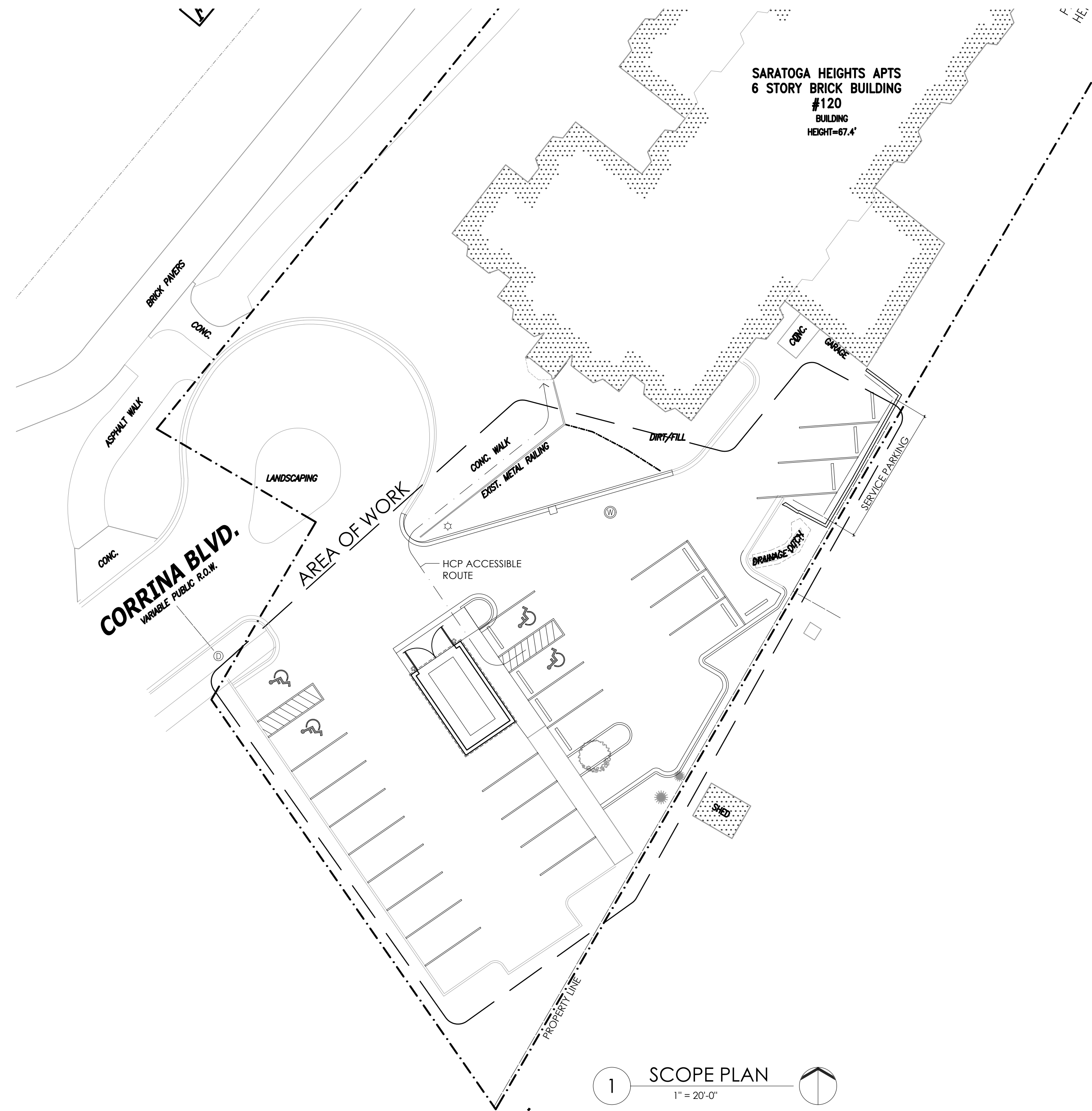
MADISEN MAHER ARCHITECTS
 133 W. PITTSBURGH AVE, SUITE 102
 MILWAUKEE, WI 53204
 P: 414.277.8000
 MADISENMAHER.COM

SURVEYOR

CHAPUT LAND SURVEYS
 235 W. FLORIDA ST.
 MILWAUKEE, WI 53204
 P: 414.224.8068
 CHAPUTLANDSURVEYS.COM

CIVIL ENGINEER

ELLENS ENGINEERING CONSULTANTS, LLC
 700 PILGRIM PARKWAY, SUITE 100
 ELM GROVE, WI 53122
 P: 262.719.4183
 MELLEN@EECENG.COM



PROJECT INFORMATION

APPLICABLE CODES: IBC 2015, IEBC 2015

PROPERTY ADDRESS: 120 CORRINA BLVD, WAUKESHA, WI 53186

ZONING DESIGNATION: RM3, MULTIFAMILY RESIDENTIAL

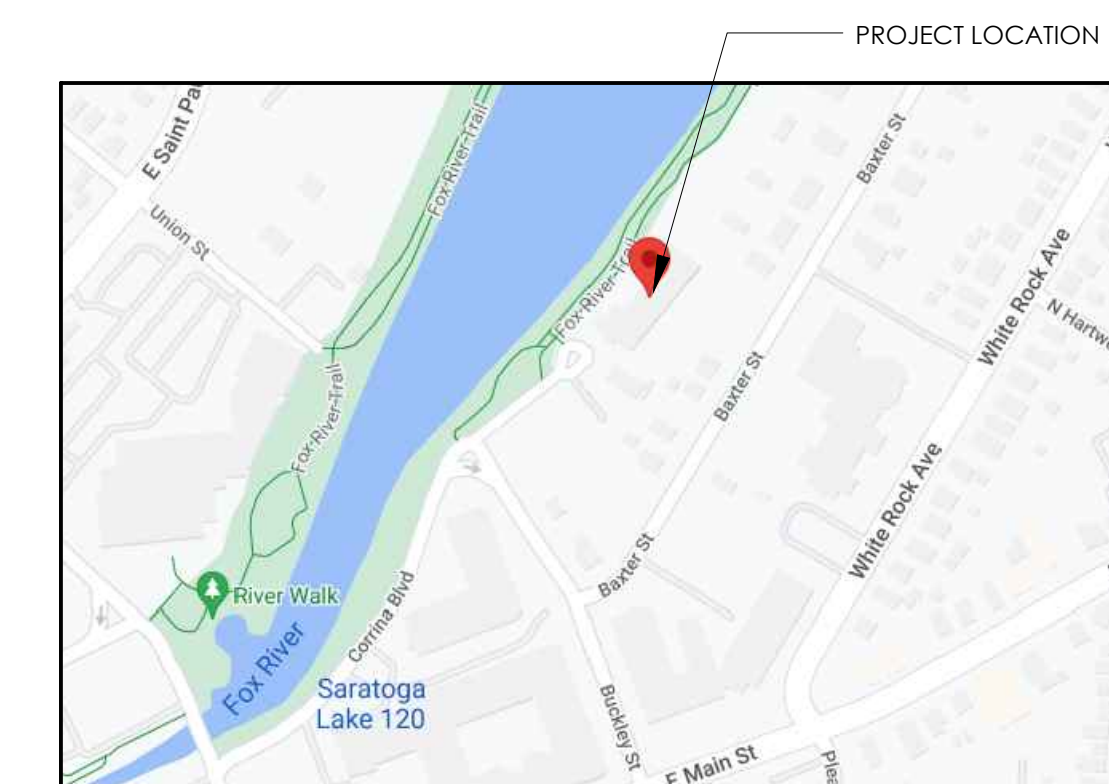
PROJECT AREAS:

SITE AREA IMPROVEMENTS: 15,930 SF APPROX.
 TOTAL SITE AREA: 61,760 SF (1.41 ACRES)

THIS PROJECT, AND THE ROUTE TO IT, IS ALREADY ACCESSIBLE TO INDIVIDUALS WITH DISABILITIES PER CURRENT CODE.

SHEET INDEX

A0.00	TITLE SHEET
5494	OVERALL SITE SURVEY
C2.00	SITE GRADING & DRAINAGE PLAN
A0.40	DEMO SITE PLAN
A0.41	SITE PLAN
A1.11	DUMPSTER ENCLOSURE
5 SHEETS	



PROJECT LOCATION
 NOT TO SCALE

1 SCOPE PLAN
 1" = 20'-0"

GENERAL NOTES

- ALL CONSTRUCTION WORK SHALL BE DONE IN STRICT COMPLIANCE W/ THE ADA AND THE LATEST EDITION OF THE STANDARD BUILDING CODE AS AMENDED BY THE APPLICABLE STATE, AND ALL OTHER CODES AND BUILDING REQUIREMENTS WHICH APPLY, AS WELL AS, MEET ALL APPLICABLE STANDARDS. IN INSTANCES WHERE SEVERAL DIFFERENT STANDARDS ARE APPLICABLE, THE STRICTEST STANDARD SHALL APPLY UNLESS PROHIBITED BY APPLICABLE CODES.
- GENERAL CONTRACTOR TO SUPPLY ALL SUBCONTRACTORS WITH A FULL SET OF CONSTRUCTION DOCUMENTS. ALL ADDITIONAL DRAWINGS AND SPECIFICATIONS REQUIRED FOR PERMITS TO BE SUPPLIED BY CONTRACTOR AND SUBCONTRACTORS.
- THE GENERAL CONTRACTOR IS TO VERIFY EXISTENCE OF ASBESTOS-CONTAINING MATERIAL (ACM) AND IS RESPONSIBLE FOR REMOVAL OF SUBSTANCE. GENERAL CONTRACTOR REPRESENTS THAT CONTRACTOR AND ITS EMPLOYEES ARE QUALIFIED IN ASBESTOS REMOVAL WITH FULL KNOWLEDGE OF, AND COMPLIANCE WITH, ALL APPLICABLE FEDERAL, STATE, AND LOCAL RULES, REGULATIONS, AND GUIDELINES GOVERNING ASBESTOS REMOVAL. CONTRACTOR MUST FURNISH ALL PERMITS, LABOR, MATERIAL, SERVICES, INSURANCE, TOOLS, EQUIPMENT, AND NOTIFICATIONS IN ACCORDANCE WITH EPA, OSHA, STATE, AND ALL OTHER APPLICABLE AGENCIES TO COMPLETE REMOVAL OF ACM.
- BIDDING CONTRACTORS AND SUBCONTRACTORS SHALL CAREFULLY EXAMINE THE SITE AND THE APPLICABLE CONSTRUCTION DOCUMENTS. DISCREPANCIES IN THE EXISTING FIELD CONDITIONS SHALL BE CALLED TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE SUBMISSION OF THE BID. FAILURE TO DO SO ON THE PART OF THE CONTRACTOR DOES NOT RELIEVE SAID CONTRACTOR OF THE RESPONSIBILITY TO PROVIDE A CORRECT AND FINISHED PRODUCT.
- THE GENERAL CONTRACTOR SHALL OBTAIN AND PAY FOR ALL CONSTRUCTION/DEVELOPMENT RELATED FEES, INCLUDING BUT NOT LIMITED TO BUILDING PERMIT FEES, HEALTH DEPARTMENT FEES, SEWER AND WATER TAP FEES, ENVIRONMENTAL IMPACT FEES, ETC. THE SELECTED QUALIFIED BIDDER WILL BE REQUIRED TO PROVIDE A COMPLETE LINE-ITEM LIST OF ALL FEES INCLUDED IN HIS BID AND SUBSTANTIATE HOW THE AMOUNTS WERE DETERMINED.

- GENERAL CONTRACTOR SHALL PAY FOR ALL UTILITIES, (INCLUDING TELEPHONE, AND MODEM LINES) USED DURING THE CONSTRUCTION PERIOD UNTIL SUCH TIME THAT THE TENANT/FRANCHISEE TAKES OCCUPANCY.
- GENERAL CONTRACTOR SHALL PROVIDE AND PAY FOR A DUMPSTER AND TEMPORARY TOILET FACILITIES (IF TOILET FACILITIES ARE NOT ALREADY ON SITE) FOR HIS AND HER SUBCONTRACTORS USE.
- GENERAL CONTRACTOR SHALL KEEP THE AREA OF WORK FREE OF GARBAGE AND DEBRIS ON A DAILY BASIS.
- GENERAL CONTRACTOR'S EMPLOYEES AND SUBCONTRACTORS SHALL PICK UP AND DISPOSE OF DEBRIS ON A DAILY BASIS, INCLUDING ALL ACCESS AREAS.
- OWNER SHALL NOT BE RESPONSIBLE FOR TOOLS OR MATERIALS STOLEN OR DAMAGED ON SITE.
- UPON THE COMPLETION OF WORK, GENERAL CONTRACTOR SHALL THOROUGHLY CLEAN THE PREMISES AND WASH THE INSIDE & OUTSIDE OF ALL WINDOWS SO THAT THE SPACE IS READY FOR OCCUPANCY BY TENANT/FRANCHISEE. THIS INCLUDES VACUUMING, SWEEPING, DUSTING, AND PICKING UP ALL THE TRASH AND DEBRIS LEFT FROM CONSTRUCTION.
- GENERAL CONTRACTOR SHALL WARRANTY ALL PARTS, LABOR, EQUIPMENT AND MATERIAL PROVIDED UNDER THIS CONTRACT FOR A MINIMUM PERIOD OF ONE (1) YEAR, OR AS REQUIRED BY LAW, WHICHEVER IS GREATER.
- NO SUBSTITUTIONS ARE ALLOWED FOR PRODUCTS WITH A SPECIFIC MANUFACTURER AND MODEL NUMBER UNLESS APPROVED BY OWNER AND ARCHITECT.
- SUBMIT ANY SHOP DRAWINGS FOR REVIEW BY GENERAL CONTRACTOR FIRST THEN ARCHITECT SECOND.
- GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES SUCH AS: SANITARY AND STORM SEWER, WATER, NATURAL GAS AND ELECTRICAL LINES. CONTRACTOR SHALL VERIFY EXISTING ELECTRICAL SERVICE AND SHALL PROVIDE ADDITIONAL SERVICE AS REQUIRED.
- MATERIALS SPECIFIED BY THEIR BRAND NAMES ARE TO ESTABLISH STANDARDS OF QUALITY AND PERFORMANCE. REQUESTS FOR SUBSTITUTION SHALL BE SUBMITTED FOR APPROVAL TO OWNER AND ARCHITECT.

- ALL WORK LISTED, SHOWN OR IMPLIED ON THE CONSTRUCTION DOCUMENTS SHALL BE SUPPLIED AND INSTALLED BY THE GENERAL CONTRACTOR EXCEPT WHERE OTHERWISE NOTED. THE GENERAL CONTRACTOR SHALL CLOSELY COORDINATE HIS WORK WITH THAT OF OTHER CONTRACTORS OR VENDORS TO ASSURE THAT ALL SCHEDULES ARE MET AND THAT ALL WORK IS DONE IN CONFORMANCE TO MANUFACTURER REQUIREMENTS.
- DETAILS ARE INTENDED TO SHOW THE INTENT OF THE DESIGN. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT THE FIELD DIMENSIONS OR CONDITIONS AND SUCH MODIFICATIONS SHALL BE INCLUDED AS A PART OF THE WORK OF THE CONTRACTOR.
- ALL WOOD TRIM OR OTHER PRE FINISHED ITEMS SHALL BE TRIMMED TO FIT AND RAW EXPOSED SURFACES SHALL BE STAINED AND FINISHED TO MATCH.
- ALL DIMENSIONS ARE TO THE FACE OF GYPSUM BOARD (U.N.O.) OR FINISHED MATERIAL OR CENTER LINE OF OBJECT AS SPECIFICALLY NOTED. CONTRACTOR IS RESPONSIBLE FOR LOCATING STUD WALLS ACCORDINGLY.
- ALL WOOD BLOCKING AND BACKING MATERIALS SHALL BE FIRE RETARDANT TREATED WHEN REQUIRED BY CODE.
- ALL FINISH MATERIALS SHALL BE CLASS A FLAME SPREAD RATED IN PUBLIC AREAS.
- GENERAL CONTRACTOR ACCEPTS DELIVERIES OF ALL ITEMS NOTED ON PLANS, WHETHER OR NOT IN CONTRACT, AND IS RESPONSIBLE FOR THE LOSS/DAMAGE OF THESE ITEMS. ADDITIONALLY, GENERAL CONTRACTOR IS TO RECEIVE, UNPACK, INSPECT AND VERIFY QUANTITY, AND CONDITION OF FOIC ITEMS. CONTRACTOR IS TO NOTIFY OWNER OF ANY DISCREPANCIES IN QUANTITY, AND MATERIAL DAMAGE. FAILURE TO DO SO PLACES RESPONSIBILITY FOR ALL ITEMS ON THE GENERAL CONTRACTOR.
- UPON COMPLETION OF WORK, GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE RETURN OF ALL MASTER KEY ORIGINALS OR SHALL PAY EXPENSES REQUIRED TO RE-KEY BUILDING.
- ALL FINISH MATERIALS TO BE PER FINISH SCHEDULE.
- GIVE ALL SURPLUS PAINT MATERIALS TO OWNER. DO NOT POUR PAINT DOWN DRAIN, CATCH BASINS, OR IN

- ALL GYPSUM WALL BOARD TO BE MIN. OF 5/8" THICK UNLESS OTHERWISE SPECIFIED AND SHALL BE SCREWED TO SUBSTRATE AS INDICATED. ALL GWS SURFACES TO BE PAINTED SHALL BE TAPED AND SANDED TO A LEVEL 5 FINISH PER ASTM C-840 AND FREE OF ANY DEFECTS PRIOR TO PAINT APPLICATION. ALL GWS SURFACES THAT SHALL BE CONCEALED BEHIND PANELS OR ABOVE THE CEILING SHALL BE LEVEL 2 PER ASTM C-840.
- APPLICATION OF MATERIALS BY A SUBCONTRACTOR TO EXISTING SURFACES OR PROVIDED UNDER THIS CONTRACT, SHALL IMPLY ACCEPTANCE AND SUITABILITY OF EXISTING CONDITIONS. SUCH SUBCONTRACTOR SHALL BE HELD RESPONSIBLE FOR DAMAGE AND IRREGULARITIES TO HIS WORK PRODUCT AS A RESULT OF PREVIOUS CONDITIONS.
- INSTALL INSULATION IN WALLS U.N.O. ALL THERMAL INSULATION SHALL COMPLY WITH STANDARD BUILDING CODE. AS A MINIMUM, VAPOR BARRIERS SHALL HAVE A FLAME-SPREAD RATING NOT TO EXCEED 25 AND A SMOKE DEVELOPMENT NOT TO EXCEED 450 OR BETTER AS REQUIRED BY CODE. OCCUPANCY AND CONSTRUCTION TYPE. ONE PERM VAPOR BARRIERS SHALL BE INSTALLED ON THE WARM SIDE IN ALL WALLS AND CEILINGS AS REQUIRED.
- PROVIDE DRAFT/FIRE STOPS AS REQUIRED BY GOVERNING CODES AND OFFICIALS.
- GENERAL CONTRACTOR TO PROVIDE MECHANICAL AND ELECTRICAL AS-BUILTS, ALL WARRANTIES, AND OPERATING MANUALS, TO OWNER WITHIN TWO (2) WEEKS OF COMPLETION OF WORK.
- PLUMBING, ELECTRICAL, AND HVAC SUBCONTRACTORS SHALL BE CITY AND STATE LICENSED. THE ABOVE SUBCONTRACTORS SHALL OBTAIN THEIR OWN PERMITS.
- PROVIDE SMOKE DETECTORS, FIRE SPRINKLER SYSTEMS, AND FIRE EXTINGUISHERS PER LOCAL FIRE MARSHAL'S AND CODE REQUIREMENTS.
- PROVIDE AND INSTALL ALL REQUIRED CEILING MOUNTED EXIT SIGNS ABOVE ALL REQUIRED EXITS.
- ALL FURNITURE, FIXTURES, EQUIPMENT ARE TO BE PROVIDED BY THE OWNER UNLESS NOTED.
- PROVIDE ALL "HANDICAP" RELATED SIGNAGE AS REQUIRED PER APPLICABLE CODES AND LAWS.



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CLIENT:
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 600 ARCADIAN AVE.
 WAUKESHA, WI 53186

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DATE	ISSUED SET
24-02-12	PROJECT START
24-05-14	OWNER REVIEW
10-10-24	PLAN COMMISSION SUBMITAL

PROJECT NUMBER 24-004
 START DATE 02-12-24
 DRAWN BY JS
 CHECKED BY EM

NOT FOR CONSTRUCTION

TITLE SHEET
A0.00

TOPOGRAPHIC MAP

CLIENT

Madisen Maher Architects, Inc.

SITE ADDRESS

120 Corrina Blvd., City of Waukesha, Waukesha County, Wisconsin.

LEGAL DESCRIPTION

That part of the Northeast 1/4 of the Northeast 1/4 of Section 3 and the Northwest 1/4 of the Northwest 1/4 of Section 2, in Township 6 North, Range 19 East, in the City of Waukesha, Waukesha County, Wisconsin.

BASIS OF BEARINGS

Bearings are referenced to the Wisconsin State Plane Coordinate System (South Zone) NAD83/2011, in which the East line of the NE 1/4 bears N00°04'55"W.

VERTICAL DATUM

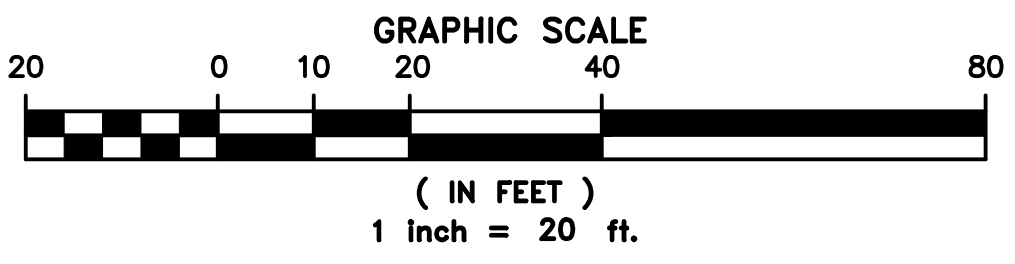
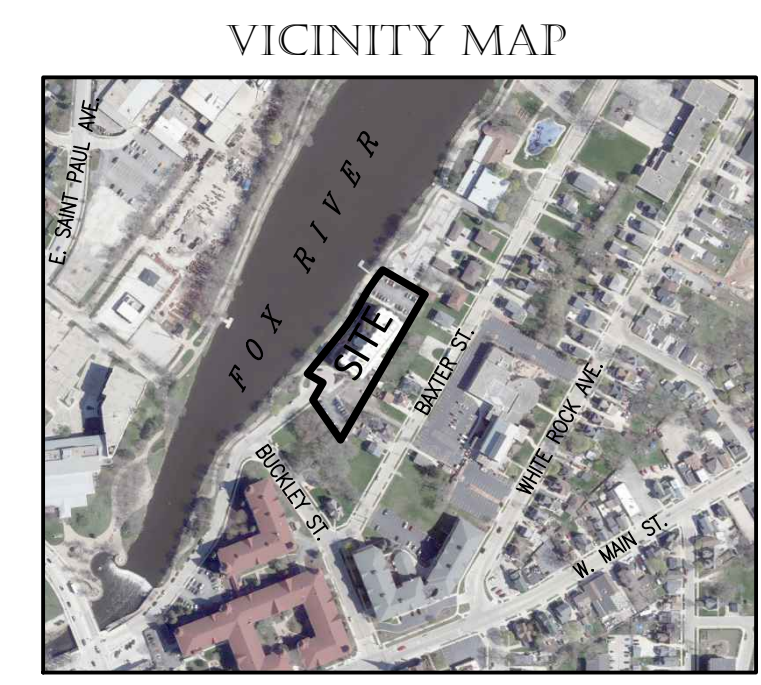
Vertical Datum is based on National Geodetic Vertical Datum of 1988

STARTING BENCHMARK: 824.24

FOUND CONC. MON. WITH BRASS CAP SE COR. OF NE 1/4 SEC. 3, T6N, R19E.

LEGEND

⊙	SANITARY MANHOLE	△	FIBER OPTIC MARKER	+	SIGN
⊖	STORM MANHOLE	⊕	FIBER OPTIC MANHOLE/VAULT	⊠	MAIL BOX
⊠	CLEANOUT	⊠	TELEPHONE PEDESTAL	⊠	FLAG POLE
⊠	CURB INLET	⊠	TELEPHONE MANHOLE/VAULT	⊠	BASKETBALL HOOP
⊠	STORM INLET	⊠	TELEPHONE MARKER	●	BOLLARD
⊠	CATCH BASIN	⊠	TRANSFORMER	⊠	CROSS CUT
⊠	LATERAL	⊠	ELECTRIC METER/PEDESTAL	○	IRON PIPE
⊠	UNKNOWN MANHOLE	⊠	ELECTRIC MANHOLE/VAULT	●	IRON REBAR/ROD
⊠	WELL	⊠	CABLE TV RISER/BOX CABLE	●	MAG NAIL
⊠	HYDRANT	⊠	TV MANHOLE/VAULT	■	SECTION MONUMENT
⊠	WATER VALVE	⊠	GAS VALVE	⊠	BENCH MARK
⊠	DOWN SPOUT	⊠	GAS METER	⊠	CONIFER TREE
⊠	SPRINKLER VALVE	⊠	GAS MARKER	⊠	DECIDUOUS TREE
⊠	WATER SHUT OFF	⊠	AIR CONDITIONING UNIT	⊠	BUSH
⊠	STANDPIPE	⊠	VENT	⊠	WETLAND SYMBOL
⊠	WATER MANHOLE	⊠	UTILITY POLE	⊠	DIRECTIONAL ARROW
⊠	FLOOD LIGHT	⊠	GUY WIRE	CL	=CENTERLINE
⊠	LIGHT POLE	⊠	DUMPSTER	CONC.	=CONCRETE
⊠	TRAFFIC SIGNAL POLE	⊠	HANDICAP STALL	EL	=ELEVATION
⊠		+	SPOT ELEVATION	EXT.	=EXISTING
—	SANITARY SEWER	—	MON.=MONUMENT	INV.	=INVERT
—	STORM SEWER	P.O.B.	=POINT OF BEGINNING	MON.	=MONUMENT
—	WATER MAIN	P.O.C.	=POINT OF COMMENCEMENT	P.O.B.	=POINT OF BEGINNING
—	FIBER OPTIC LINE	P.O.C.	=POINT OF COMMENCEMENT	P.O.C.	=POINT OF COMMENCEMENT
—	TELEPHONE LINE	R.O.W	=RIGHT OF WAY	R.O.W	=RIGHT OF WAY
—	ELECTRIC LINE	SEC.	=SECTION	SEC.	=SECTION
—	OVERHEAD WIRES	SQ. FT.	=SQUARE FEET	SQ. FT.	=SQUARE FEET
—	CABLE TELEVISION	P/L	=PROPERTY LINE	P/L	=PROPERTY LINE
—	GAS MAIN	(R)	=RECORDED AS	(R)	=RECORDED AS
—	WETLANDS	(D)	=DEEDED AS	(D)	=DEEDED AS
—	TREE LINE				
—	NO ACCESS				



Revised: July 12, 2024
Date: March 6, 2024

CHAPUT
LAND SURVEYS

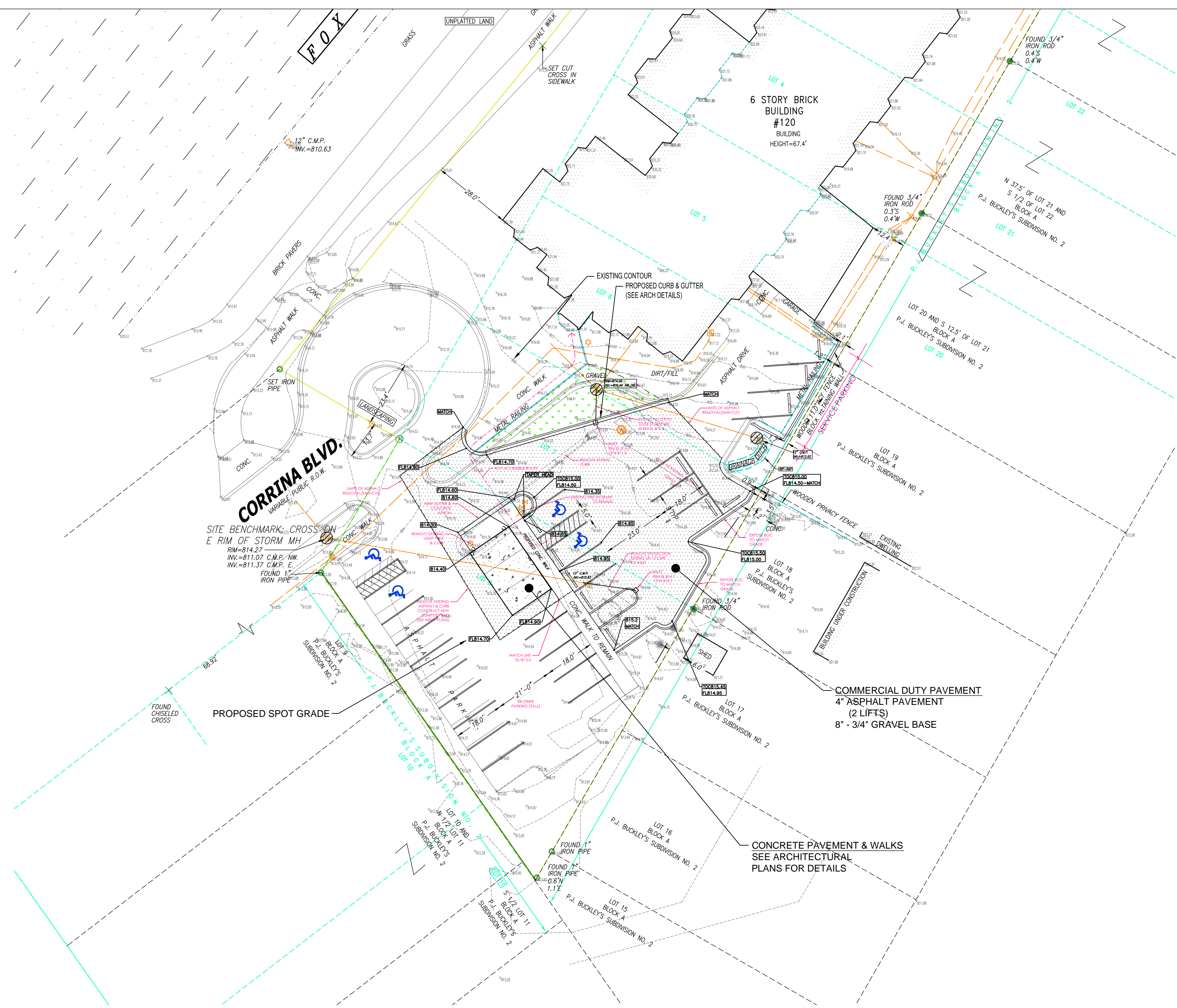
234 W. Florida Street
Milwaukee, WI 53204

414-224-8068
www.chaputlandsurveys.com

Date	Revision description

This document is an instrument of professional service, and may be protected by the surveyor's work product doctrine or surveyor's client privilege. The information shown hereon is intended solely for the use of the client and client directed third parties. Chaput Land Surveys is a division of Paradigm Engineering Group.
DRAFTED BY: lpm Drawing No. 5494.00

CHAPUT LAND SURVEYS



NOTE: ALL UNDERGROUND CONTRACTOR ARE REQUIRED TO FIELD LOCATE EXISTING UTILITIES, STORM SIZE & INVERT PRIOR TO CONSTRUCTION. OBTAIN ALL CITY PERMITS PRIOR TO CONSTRUCTION.

THE BOUNDARY & TOPOGRAPHIC SURVEY WAS PROVIDED BY KAPUR SURVEY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.

NOTE: THIS GRADING PLAN MUST BE APPROVED BY THE CITY ENGINEER AND BUILDING INSPECTOR.

GENERAL CONSTRUCTION SPECIFICATIONS:

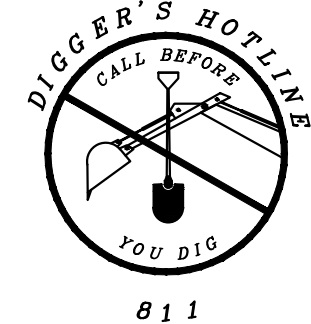
1. All work shall be in accordance with the Standard Specifications for Highway and Structure Construction, State of Wisconsin, Latest Edition, and the City of Waukesha. All permits must be obtained by the contractor prior to commencing work.
2. All erosion control measures specified on this plan shall meet the design criteria, standards and specifications as set forth by the City of Waukesha and the Department of Natural Resources Wisconsin Technical Standards.
3. All erosion control devices (i.e., inlet protection, etc.) shall be installed prior to commencing construction.
4. All activities on the site shall be conducted in a logical sequence to minimize the area of bare soil exposed at any one time.
5. The owner shall provide all surveying and construction staking for this contract. All contractors shall exercise care and diligence in protecting the same.
6. The Contractor shall notify Diggers Hotline, the local municipality and all government agencies that may be affected by the contractor's operations at least three (3) days before breaking ground.
7. Public roads shall not be closed to traffic at any time. All ingress and egress traffic to the project shall be limited to the gravel entrance to the property.
8. Contractor shall be responsible for maintaining the public streets. Public Streets shall be kept free of silt or dirt tracked from areas under construction by sweeping within 24hrs. Dust generated by construction activities shall be minimized by use of watering or other appropriate methods.
9. Existing inlets shall be protected with a Type "FF" erosion barrier until the site is vegetated. Frequent inspection and timely maintenance is required.
10. Upon completion of the work as specified, respread four (4") inches of salvaged topsoil over all disturbed areas and provide seed, fertilizer and mulch per the Standard Specifications; unless otherwise specified on the site plans.
11. All disturbed areas that remain inactive for more than 7 days shall be revegetated & stabilized. Highway mix #40 shall be used for seeding with an application rate of 4.0 lbs/1000 sf.
12. All erosion control devices shall be routinely inspected by the Contractor every seven days or within 24 hours of a rainfall greater than 0.5 inches.
13. All storm water (where applicable) shall be directed towards the on site storm water inlets by means of a diversion or temporary swales.
14. If site is not stabilized by September a winter stabilization plan will be required to continue construction.

LEGEND

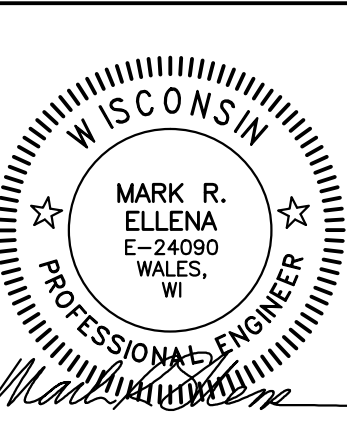
- SECTION CORNER MONUMENT
- FOUND 1" IRON PIPE OR AS NOTED
- ⊙ POST
- ⊕ UTILITY POLE
- ⊙ GUY POLE
- ⊙ GUY WIRE
- CULVERT
- ⊕ UTILITY PEDESTAL
- ⊕ ELECTRIC PEDESTAL
- ⊕ SEPTIC FACILITY
- ⊕ SEPTIC CLEANOUT
- ⊕ TV MANHOLE
- ⊕ YARD LIGHT
- ⊕ INLET
- ⊕ SOL. TEST LOCATION W/ ELEV.
- ⊕ WELL
- ⊕ LIGHT POLE
- X — X — X WIRE FENCE
- — ○ SALT FENCE
- (XXXXXX) RECORD DIMENSION
- SA — SANITARY SEWER
- ST — STORM SEWER
- W — WATERMAIN
- OH — OVERHEAD POWER/UTILITY
- G — UNDERGROUND GAS
- E — UNDERGROUND ELECTRIC
- C — UNDERGROUND CABLE
- x 1007.0 EXISTING SPOT ELEVATION
- 1008.0 EXISTING CONTOUR
- x 1007.0 PROPOSED SPOT ELEVATION
- 1008.0 PROPOSED CONTOUR
- ➔ PROPOSED DRAINAGE DIRECTION



SITE GRADING & DRAINAGE PLAN
1" = 20'



811



Elleena Engineering Consultants, LLC • 700 Pilgrim Parkway - Suite 100 • Elm Grove, WI 53122
Phone: 262-719-6183 • Email: mellen@eeecng.com

NOT FOR CONSTRUCTION

C200

ARCHITECTS
133 W. PITTSBURGH AVE. SUITE 102
MILWAUKEE, WI 53204
414.277.8000
MADISENMAHER.COM

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SARATOGA HEIGHTS

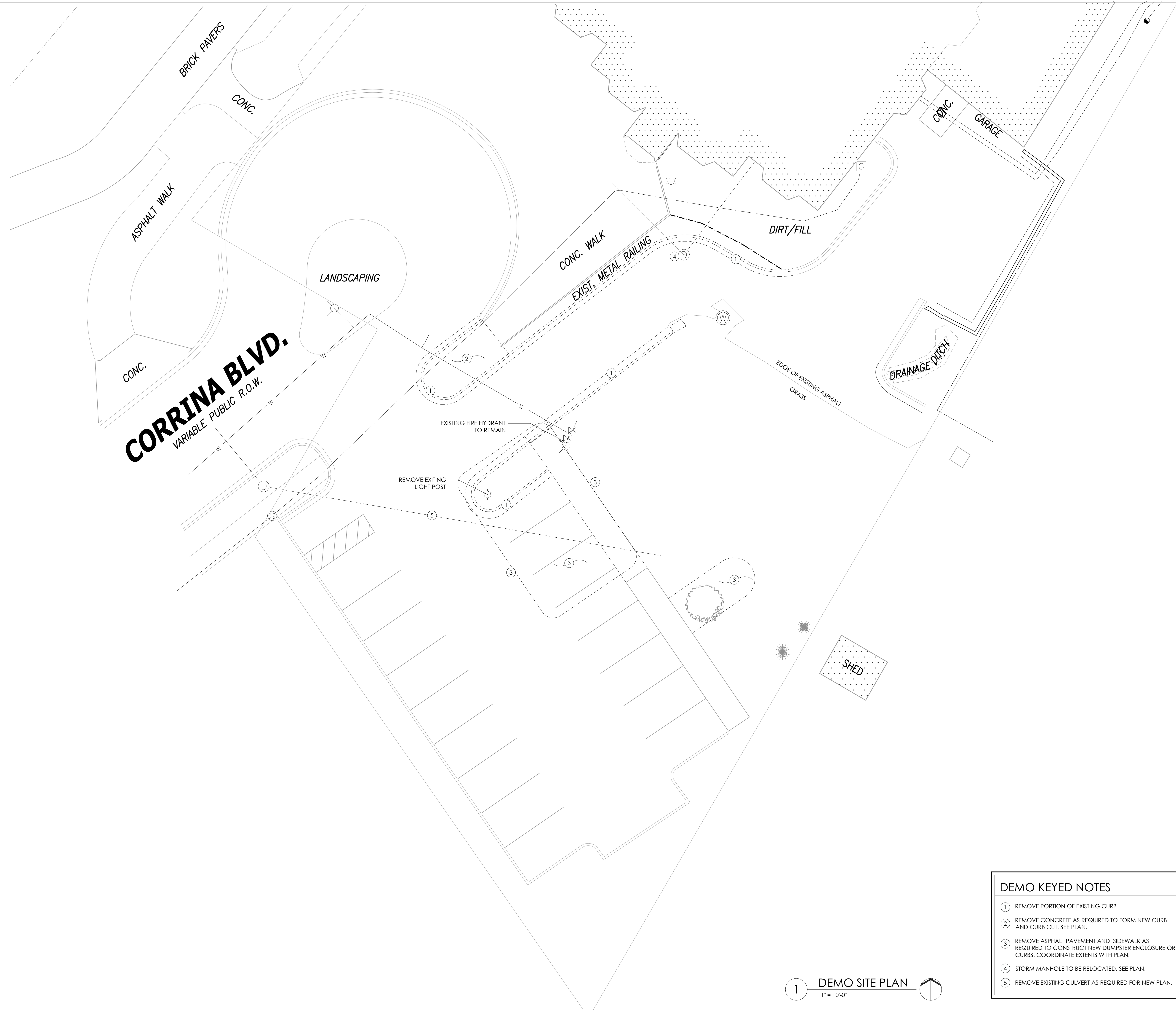
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DATE	ISSUED SET
24-02-12	PROJECT START
24-05-14	OWNER REVIEW

PROJECT NUMBER	24-004
START DATE	02-12-24
DRAWN BY	—
CHECKED BY	—



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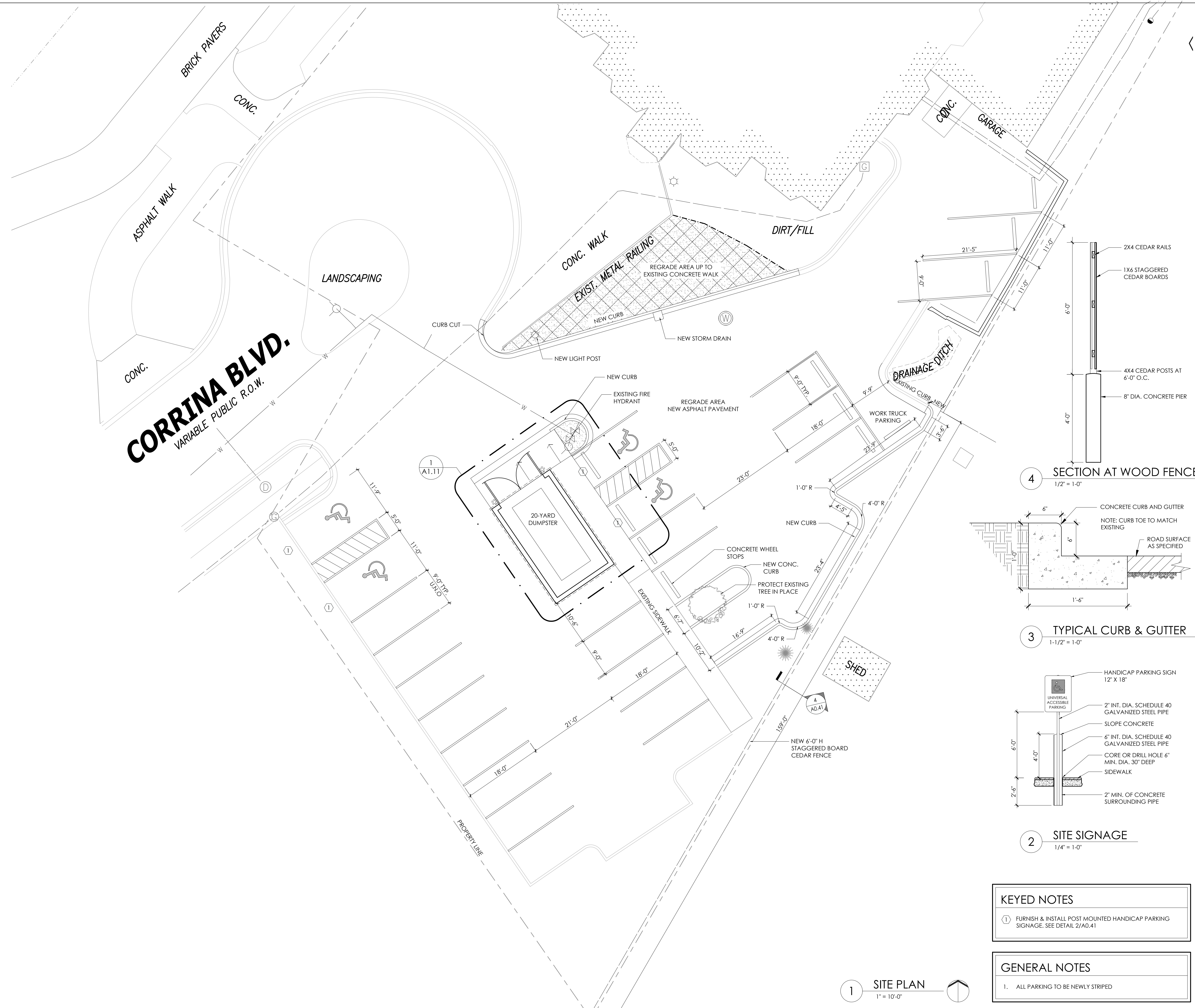
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PROJECT NUMBER	24-004
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DRAWN BY	JS
CHECKED BY	EM

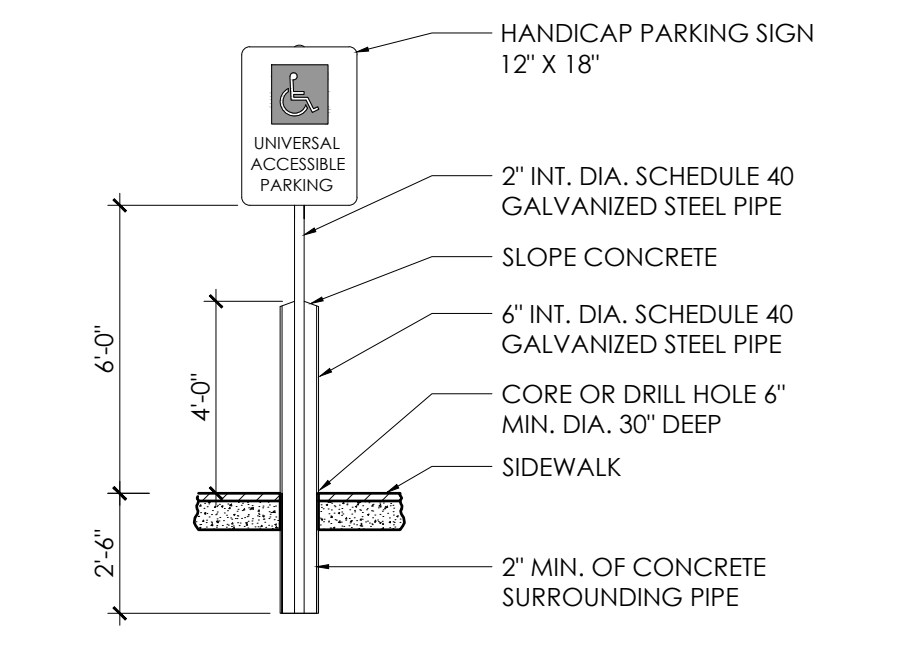
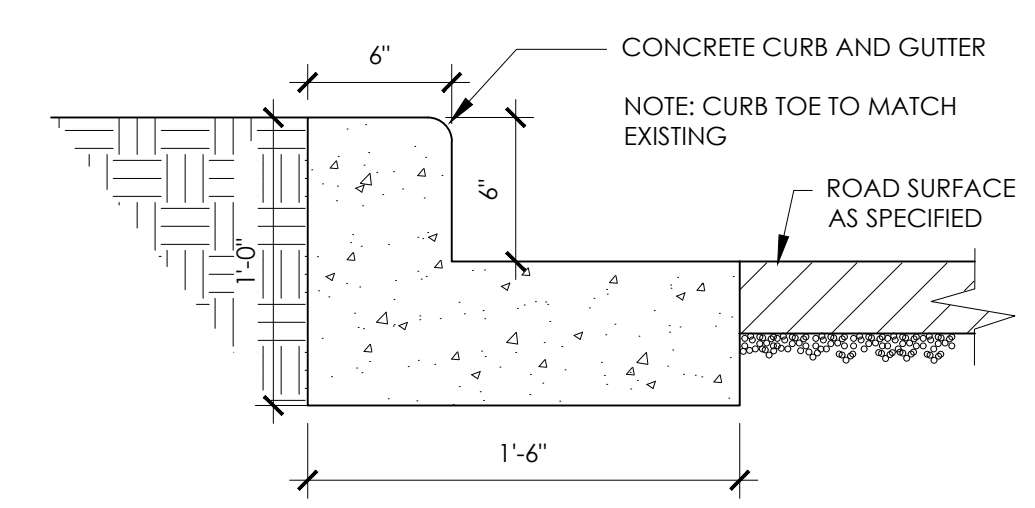
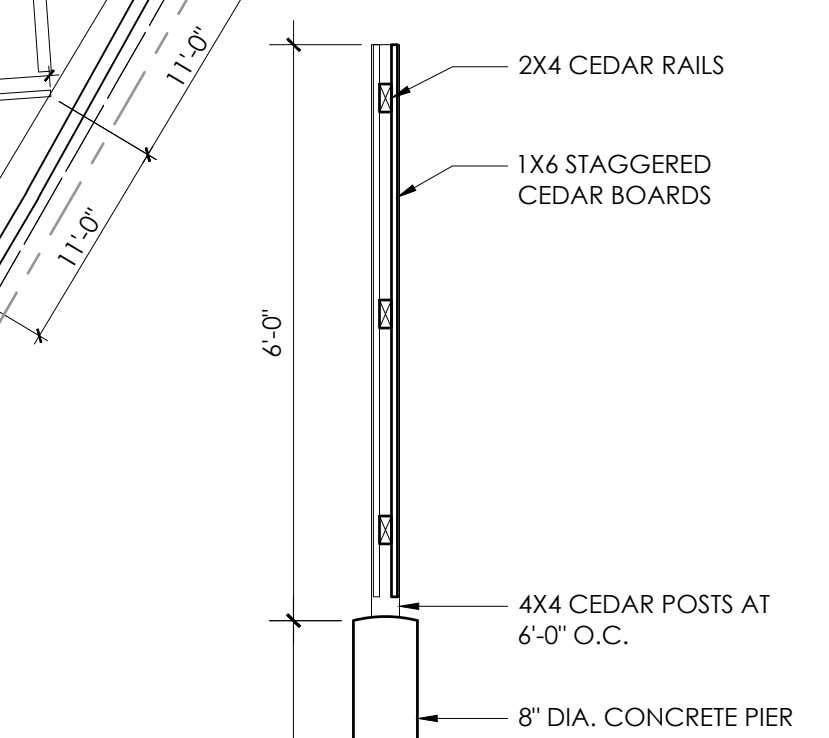
- DEMO KEYED NOTES**
- 1 REMOVE PORTION OF EXISTING CURB
 - 2 REMOVE CONCRETE AS REQUIRED TO FORM NEW CURB AND CURB CUT. SEE PLAN.
 - 3 REMOVE ASPHALT PAVEMENT AND SIDEWALK AS REQUIRED TO CONSTRUCT NEW DUMPSTER ENCLOSURE OR CURBS. COORDINATE EXTENTS WITH PLAN.
 - 4 STORM MANHOLE TO BE RELOCATED. SEE PLAN.
 - 5 REMOVE EXISTING CULVERT AS REQUIRED FOR NEW PLAN.

1 DEMO SITE PLAN
 1" = 10'-0"

NOT FOR CONSTRUCTION



CORRINA BLVD.
VARIABLE PUBLIC R.O.W.



KEYED NOTES

① FURNISH & INSTALL POST MOUNTED HANDICAP PARKING SIGNAGE. SEE DETAIL 2/A0.41

GENERAL NOTES

1. ALL PARKING TO BE NEWLY STRIPED

1 SITE PLAN
1" = 10'-0"

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DUMPSTER ENCLOSURE

A1.11

OCTOBER 10, 2024

NOT FOR CONSTRUCTION

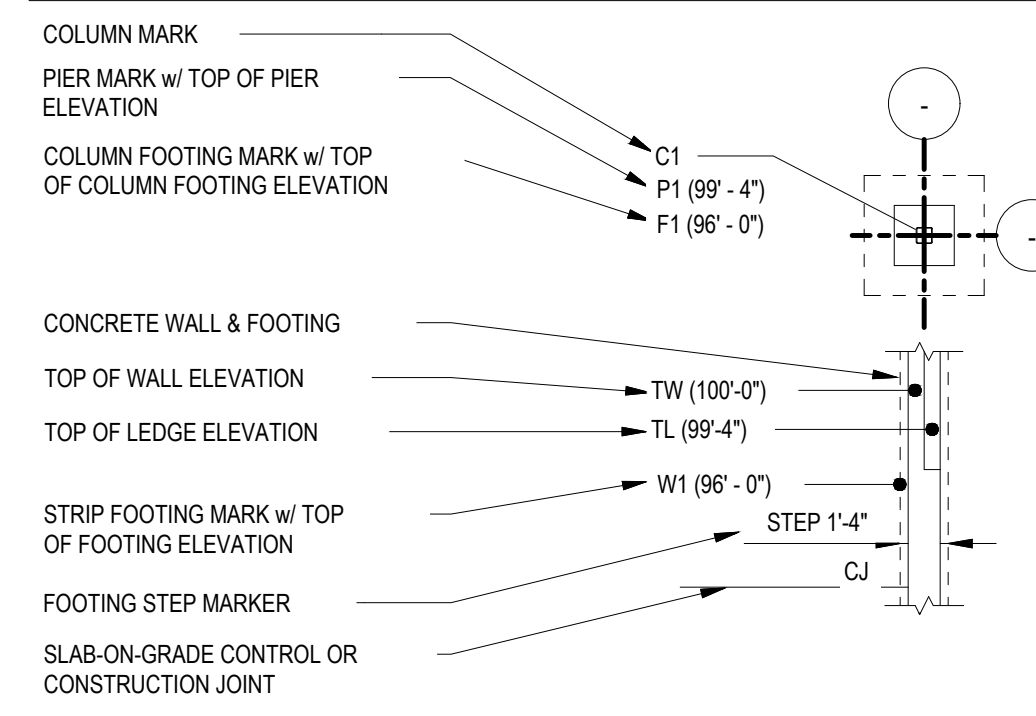
DESIGN DATA

MASONRY STRENGTHS: CONCRETE MASONRY UNITS (ASTM C90) TYPE S MORTAR (ASTM C270) GROUT (ASTM C476) MASONRY ASSEMBLY	$f_{cm} = 3,250$ psi $F_c = 2,500$ psi $F_t = 2,500$ psi (NET AREA COMPRESSIVE STRENGTH)
REINFORCING STEEL STRENGTHS: BARS (ASTM A 615, grade 60) WWF (ASTM A 185)	$F_y = 60,000$ psi $F_u = 65,000$ psi
CONCRETE STRENGTHS: FOOTINGS CONCRETE WALLS & PIERS SLAB ON GRADE	$f_c = 3,000$ psi $f_c = 4,000$ psi $f_c = 4,000$ psi
STRUCTURAL STEEL STRENGTHS: ANGLES, CHANNELS, PLATES, & BARS (ASTM A36) STEEL PIPE (ASTM A53, grade B)	$F_y = 36,000$ psi $F_u = 35,000$ psi
WIND LOAD INFORMATION: BASIC WIND SPEED RISK CATEGORY WIND EXPOSURE INTERNAL PRESSURE COEFFICIENTS COMPONENTS AND CLADDING (STRENGTH/ULTIMATE LOADS) WIDTH OF PRESSURE COEFFICIENT ZONE (z) TRIBUTARY WIND LOAD AREAS: WALLS: ZONE 4 ZONE 5 POSITIVE PRESSURE ALL ZONES	115 MPH II B $\mu = 0.00$ 4.5 ft 10 ft ² 50 ft ² 100 ft ² -19.0 psf -39.8 psf 19.4 psf -17.0 psf -31.7 psf 16.4 psf -16.1 psf -28.2 psf 16.0 psf
SOIL LOAD INFORMATION: COEFFICIENT OF SLIDING FRICTION LATERAL EARTH PRESSURE ACTIVE AT REST PASSIVE ALLOWABLE NET SOIL BEARING PRESSURE	0.30 (ASSUMED) 35 psf/ft (ASSUMED) 55 psf/ft (ASSUMED) 200 psf/ft (ASSUMED) Qa = 2,000 psf (ASSUMED)
SYSTEM DEAD LOADS: BRICK VENEER	40 psf

GENERAL FOUNDATION NOTES

- PROTECT IN-PLACE FOUNDATIONS AND SLABS ON GRADE FROM FROST PENETRATION UNTIL PROJECT COMPLETION.
- WHERE FILL MATERIAL IS REQUIRED ON BOTH SIDES OF WALLS, IT SHALL BE PLACED SIMULTANEOUSLY. REFER TO PLANS AND SPECIFICATIONS FOR TYPE AND PLACING OF BACKFILL.

SPREAD FOOTING FOUNDATION LEGEND



EARTHWORK NOTES

- FOR DETAILED DESCRIPTION OF EXISTING SOILS AND BORING LOGS, REFER TO REPORT OF GEOTECHNICAL EXPLORATION.
- COMPLIANCE OF SOIL COMPACTION AND MEASURES TAKEN TO ACHIEVE ALLOWABLE BEARING PRESSURE SHALL BE FIELD VERIFIED BY A QUALIFIED SOILS ENGINEER PRIOR TO PLACEMENT OF SLAB OR FOUNDATIONS.
- ALL TOPSOIL, DEBRIS, SILTS, AND ORGANIC MATERIAL SHALL BE STRIPPED AND REMOVED FROM LIMITS OF EXCAVATIONS AND EXISTING SUBGRADE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY, AS DETERMINED BY STANDARD PROCTOR (ASTM-698), PRIOR TO PLACEMENT OF FILL MATERIAL.
- FILL MATERIAL SHALL BE PLACED AND COMPACTED IN LIFTS NO THICKER THAN 8". EACH LIFT SHALL MEET COMPACTION REQUIREMENTS PRIOR TO PLACEMENT AND COMPACTION OF ADDITIONAL LIFTS.
- FILL MATERIAL SHALL BE PLACED AND COMPACTED AT +1% TO -4% OPTIMUM MOISTURE CONTENT TO 95% OF THE MAXIMUM DRY DENSITY, AS DETERMINED BY STANDARD PROCTOR (ASTM-698), UNLESS RECOMMENDED OTHERWISE BY A QUALIFIED SOILS ENGINEER.
- UNSATISFACTORY SOILS LOCATED BELOW FOUNDATIONS SHALL BE REMOVED AND REPLACED AS DIRECTED BY THE SOILS ENGINEER.

CONCRETE REINFORCING SPLICE LENGTH TABLE

REBAR SIZE	CONCRETE MEMBER								
	FTG 3	GRADE BM (TOP) 4	GRADE BM (BOT) 4	WALL HORIZ 4	WALL VERT 4	SLAB 4	BEAM (TOP) 4	BEAM (BOT) 4	COL 2
#3	22	25	19	19	19	19	19	25	19
#4	29	33	25	25	25	25	33	25	15
#5	36	41	31	31	31	31	41	31	19

CONCRETE REINFORCING SPLICE LENGTH TABLE NOTES:

- GENERALLY NOT PERMITTED
- FOR COMPRESSION LAPS ONLY, $F_y \leq 60,000$ PSI, $F_c \geq 3,000$ PSI
- $F_c = 3,000$ PSI
- $F_c = 4,000$ PSI

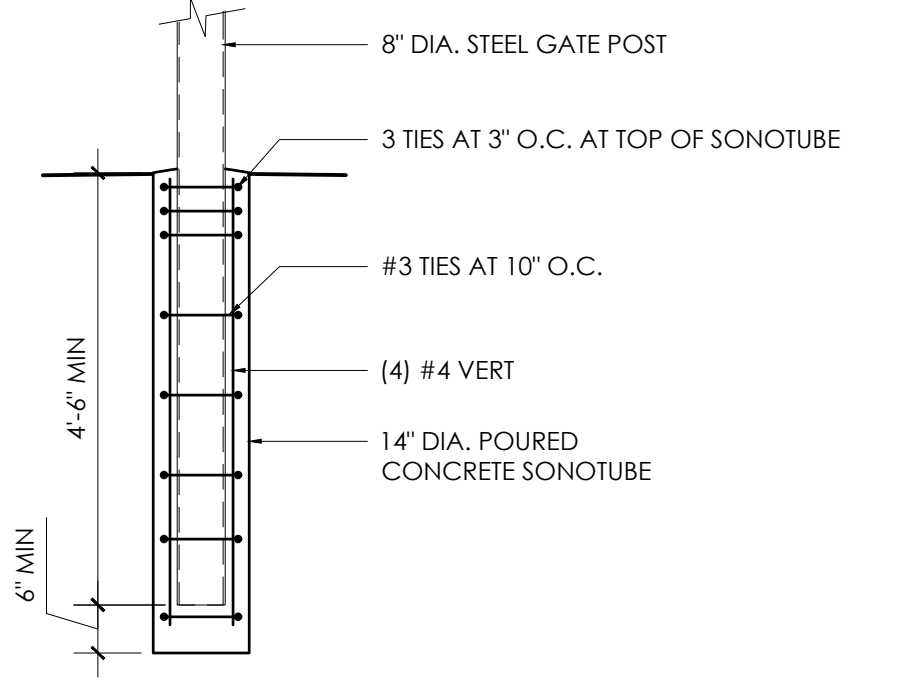
ALL REINFORCEMENT ASSUMED UNCOATED, ASSUMED CLASS B (ACI 25.5.2.1), ASSUMED CASE 1, ASSUMED GRADE 60

MILD REINFORCING STEEL MINIMUM CLEAR COVER

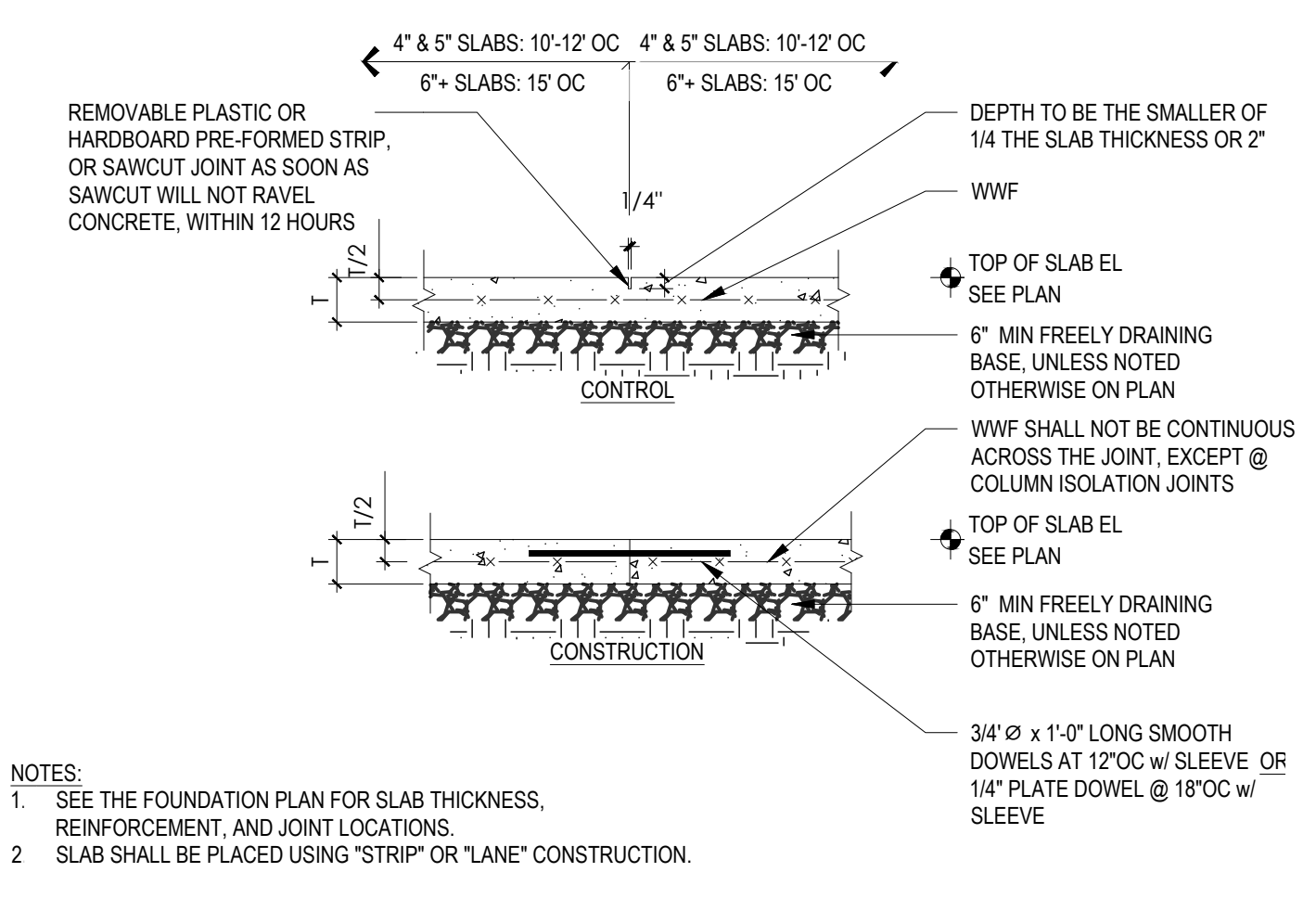
- CONCRETE CAST AGAINST EARTH AND PERMANENTLY EXPOSED TO WEATHER: FOOTINGS 3" MIN
- CONCRETE NOT EXPOSED TO EARTH OR WEATHER: WALLS, COLUMNS, BEAMS: UP THROUGH #5 BARS 1 1/2" MIN

CAST-IN-PLACE CONCRETE NOTES

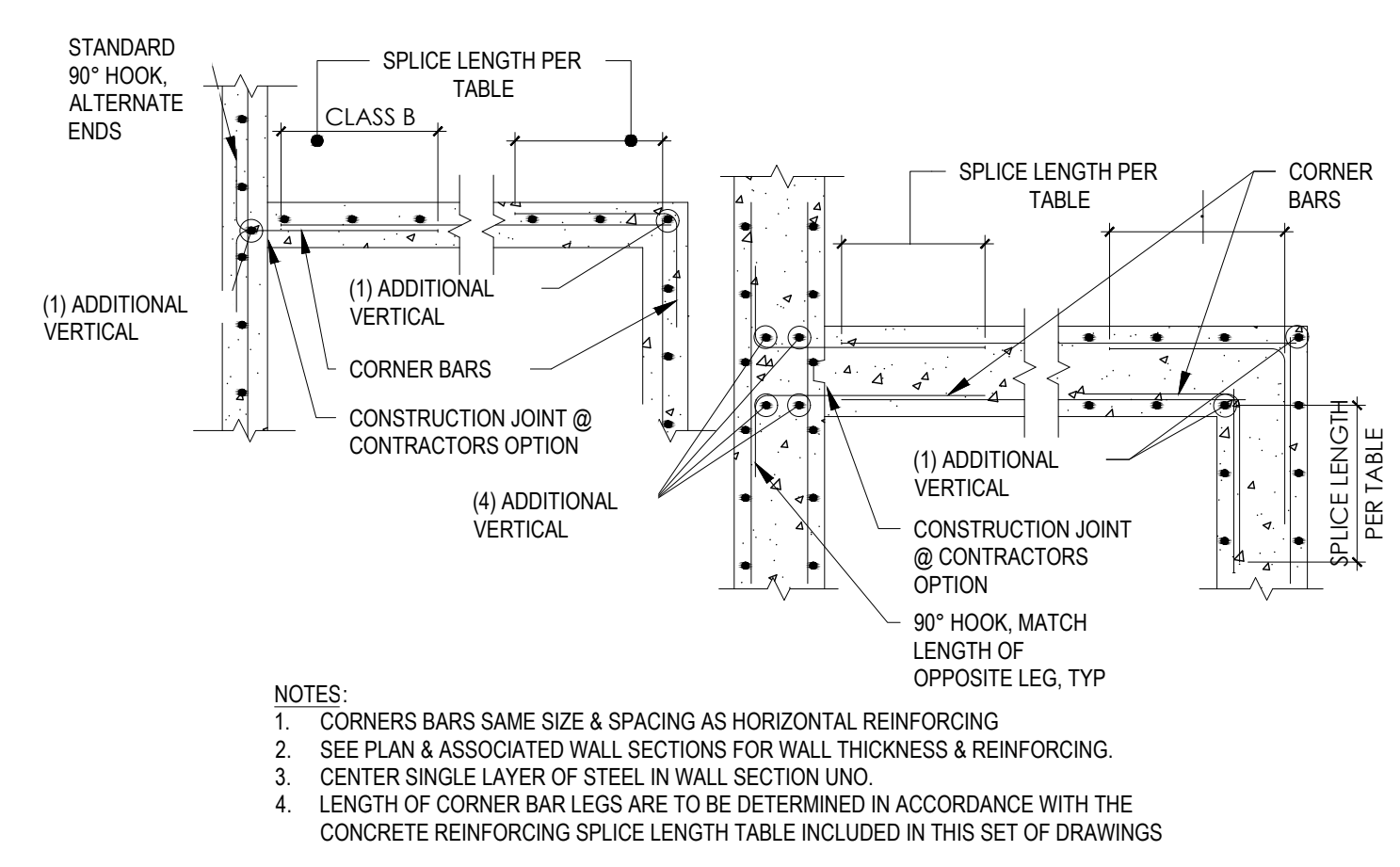
- ALL WORK TO BE DONE IN ACCORDANCE WITH ACI 318 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (MOST CURRENTLY ADOPTED EDITION).
- WHEN THE AVERAGE TEMPERATURE FROM MIDNIGHT TO MIDNIGHT IS EXPECTED TO DROP BELOW 40°F FOR THREE SUCCESSIVE DAYS, COLD WEATHER CONCRETING REQUIREMENTS SHALL BE FOLLOWED (REFER TO ACI 308R).
- WHEN AMBIENT AIR OR CONCRETE TEMPERATURES EXCEED 90°F, STEEL REINFORCING AND/OR FORMING SURFACES ARE ABOVE 120 DEGREES, OR WHEN WIND VELOCITY, HUMIDITY, OR SOLAR RADIATION CREATE CONDITIONS OF ACCELERATED MOISTURE LOSS AND INCREASED RATE OF HYDRATION, HOT WEATHER CONCRETING REQUIREMENTS SHALL BE FOLLOWED (REFER TO ACI 308R).
- ALL CONCRETE SURFACES SHALL BE FORMED UNO OR APPROVED BY THE STRUCTURAL ENGINEER.
- PROVIDE 1/2" ISOLATION JOINTS WHERE SLABS ON GROUND ABUT VERTICAL SURFACES.
- PROVIDE 3/4" CHAMFER ON EXPOSED CORNERS OF CONCRETE UNO. TOP EDGES OF WALLS SHALL BE TOOLED UNO.
- SLEEVES, CONDUITS, OR PIPES THROUGH SLABS AND WALLS SHALL BE PLACED AT THREE DIAMETERS ON CENTER, OR 4" MINIMUM.
- ALUMINUM CONDUIT OR PIPING SHALL NOT BE CAST IN CONCRETE.
- READY-MIXED CONCRETE SHALL MEET REQUIREMENTS OF ASTM C94.
- PREPARE DESIGN MIXES FOR EACH TYPE AND STRENGTH OF CONCRETE. DESIGN CONCRETE IN ACCORDANCE WITH ACI 318 CHAPTER 5, "PROPORTIONING ON THE BASIS OF FIELD EXPERIENCE OR TRIAL MIXTURES".
- WATER-REDUCING ADMIXTURES SHALL CONFORM WITH ASTM C494 TYPE A.
- AIR-ENTRAINING ADMIXTURES SHALL CONFORM WITH ASTM C260.
- PLACE CONCRETE IN COMPLIANCE WITH ACI 304.
- CURE CONCRETE IN ACCORDANCE WITH THE RECOMMENDATION OF ACI 308.
- CONCRETE SURFACE FINISHES
 - FOOTINGS AND FOUNDATION WALLS NOT EXPOSED TO VIEW: FORM FINISHED.
 - SURFACES EXPOSED TO VIEW: SEE ARCHITECTURAL DRAWINGS FOR FINISH INFO. PROVIDE ACI 301 SURFACE FINISH SF-2.0 UNLESS NOTED OTHERWISE.



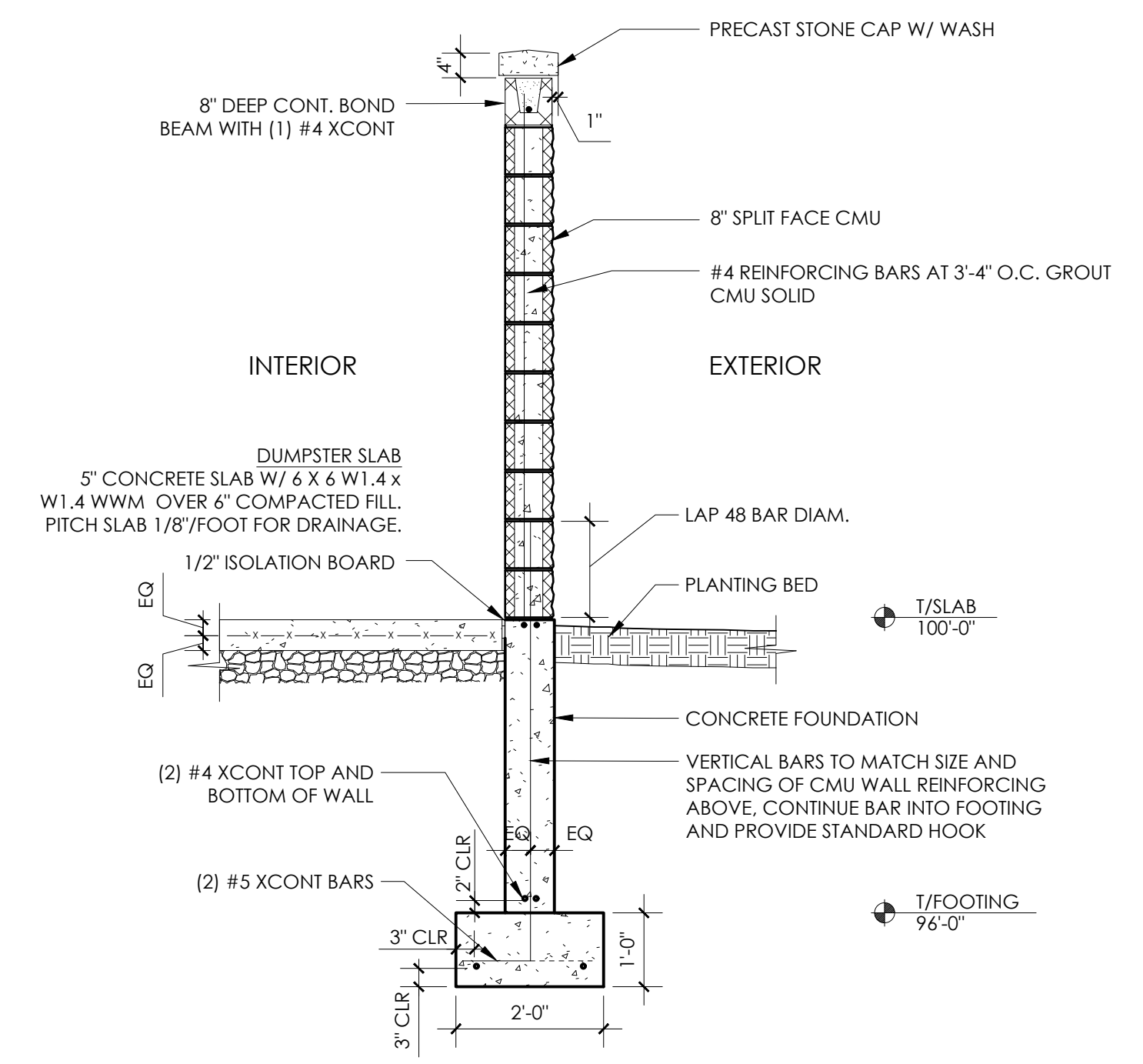
7 GATE POST FOUNDATION DETAIL
1/2" = 1'-0"



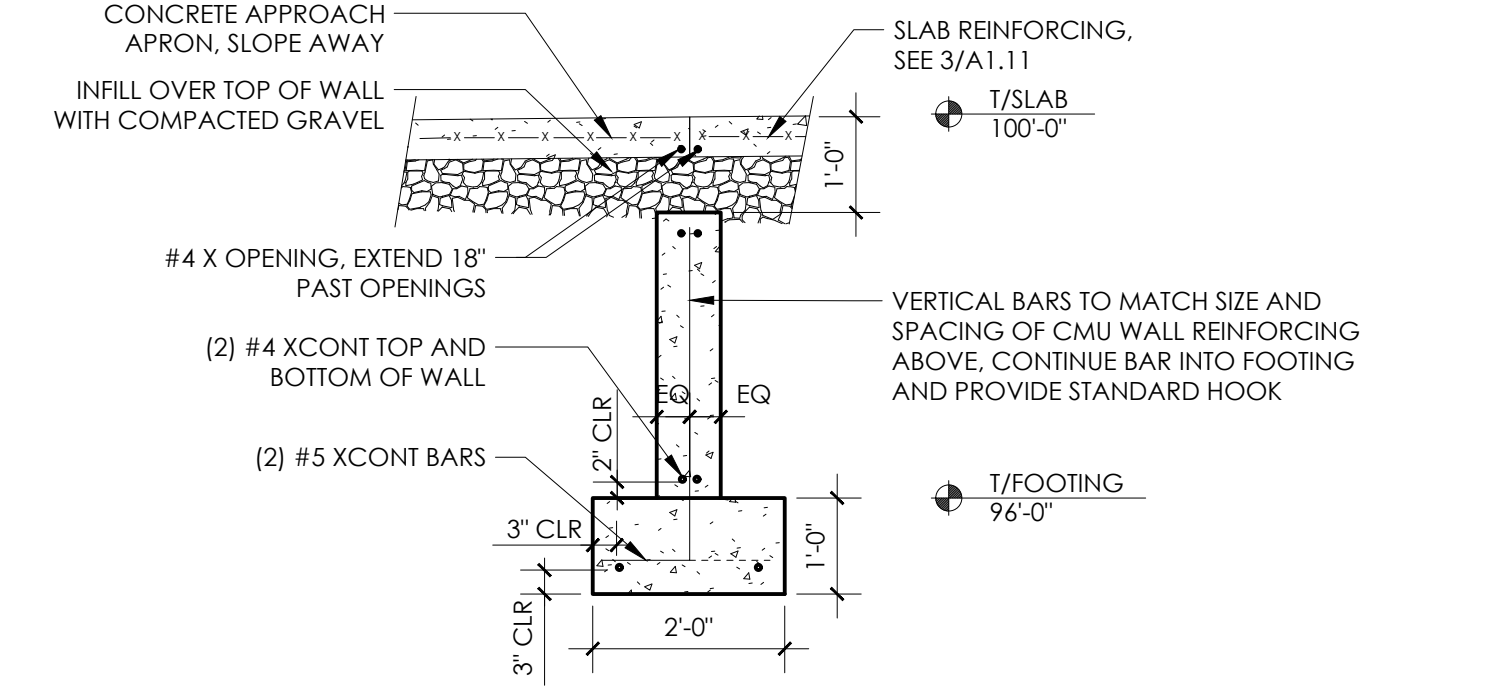
6 SLAB ON GRADE CONSTRUCTION JOINTS
3/4" = 1'-0"



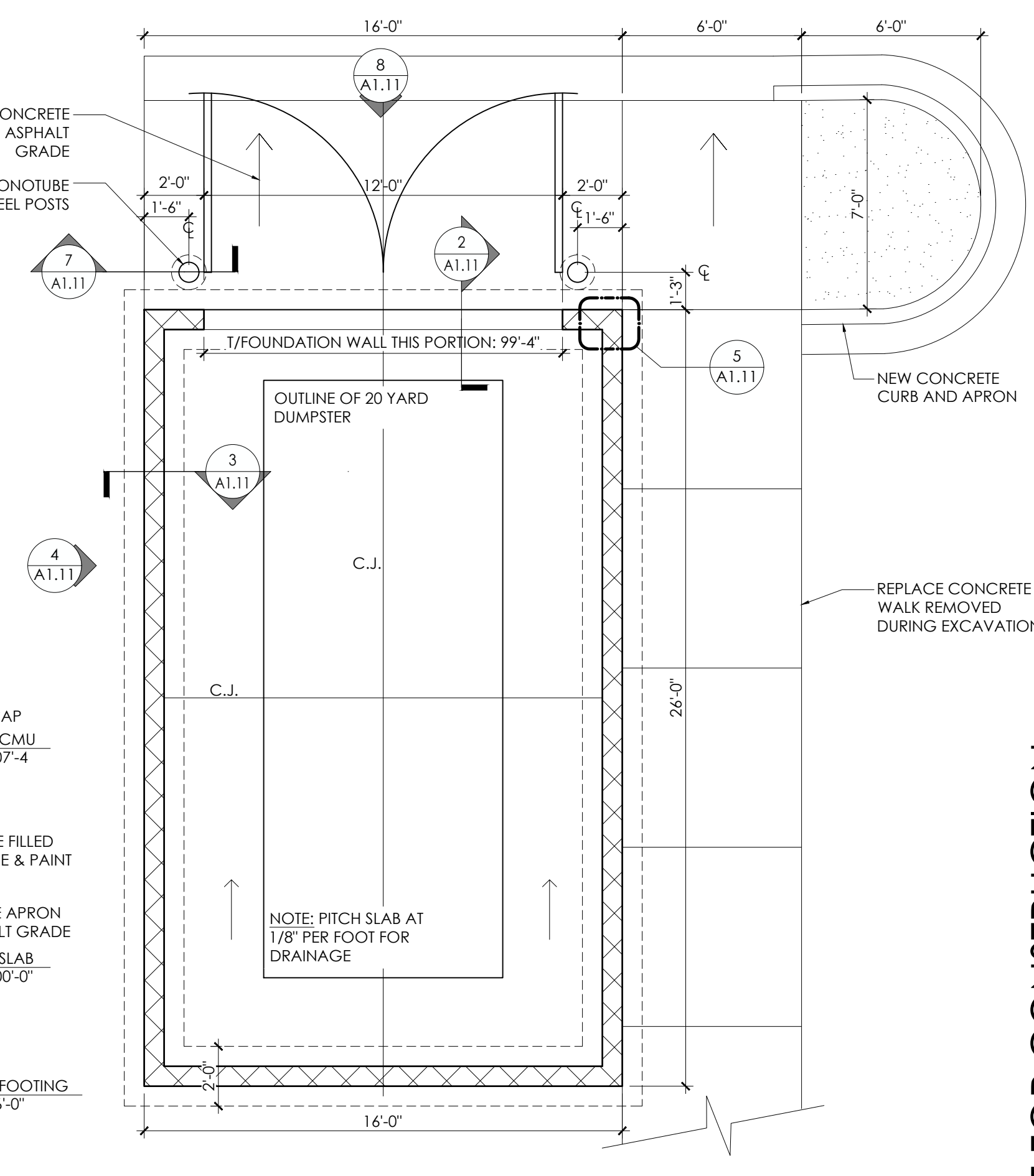
5 REINFORCING AT WALL CORNERS
3/4" = 1'-0"



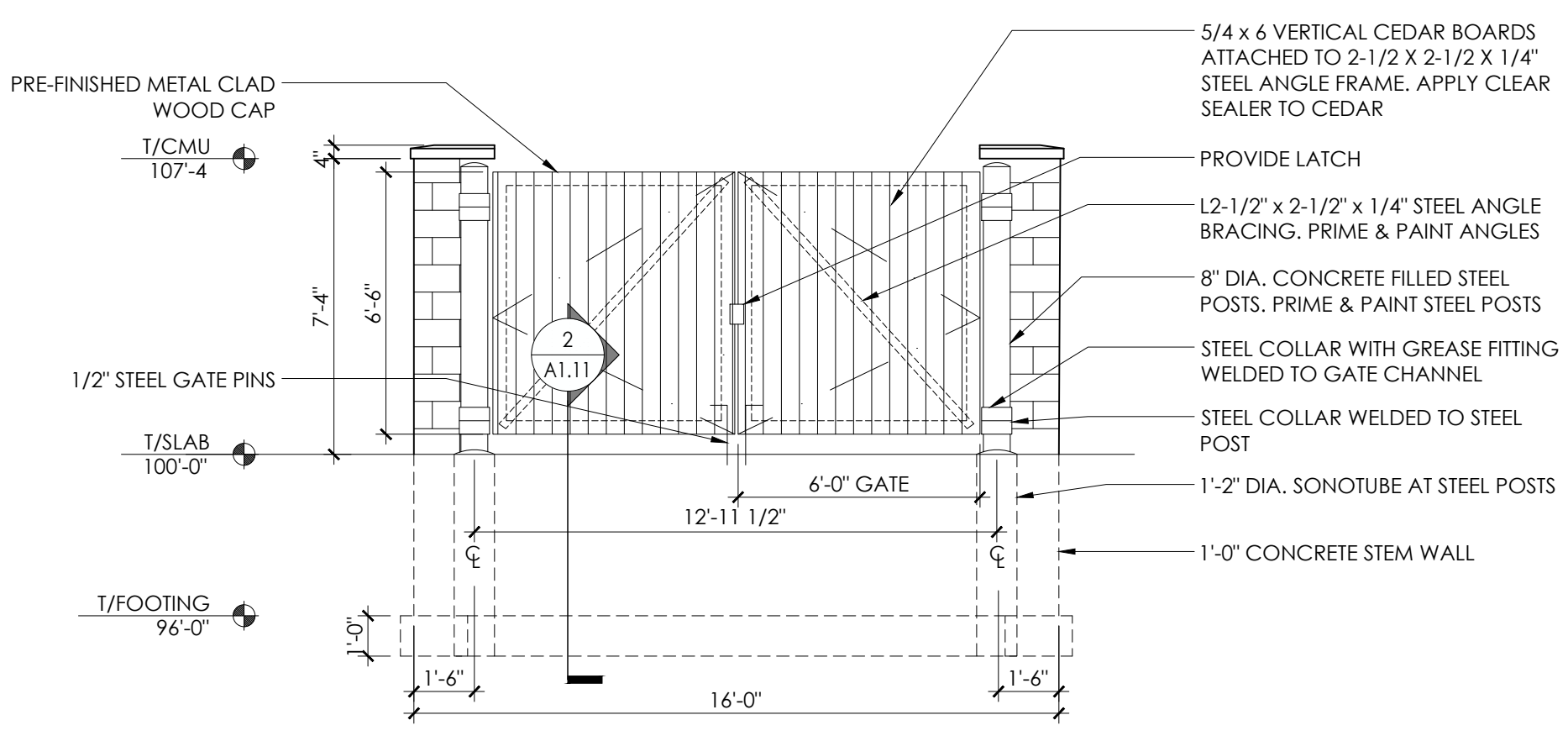
3 SECTION AT DUMPSTER ENCLOSURE
1/2" = 1'-0"



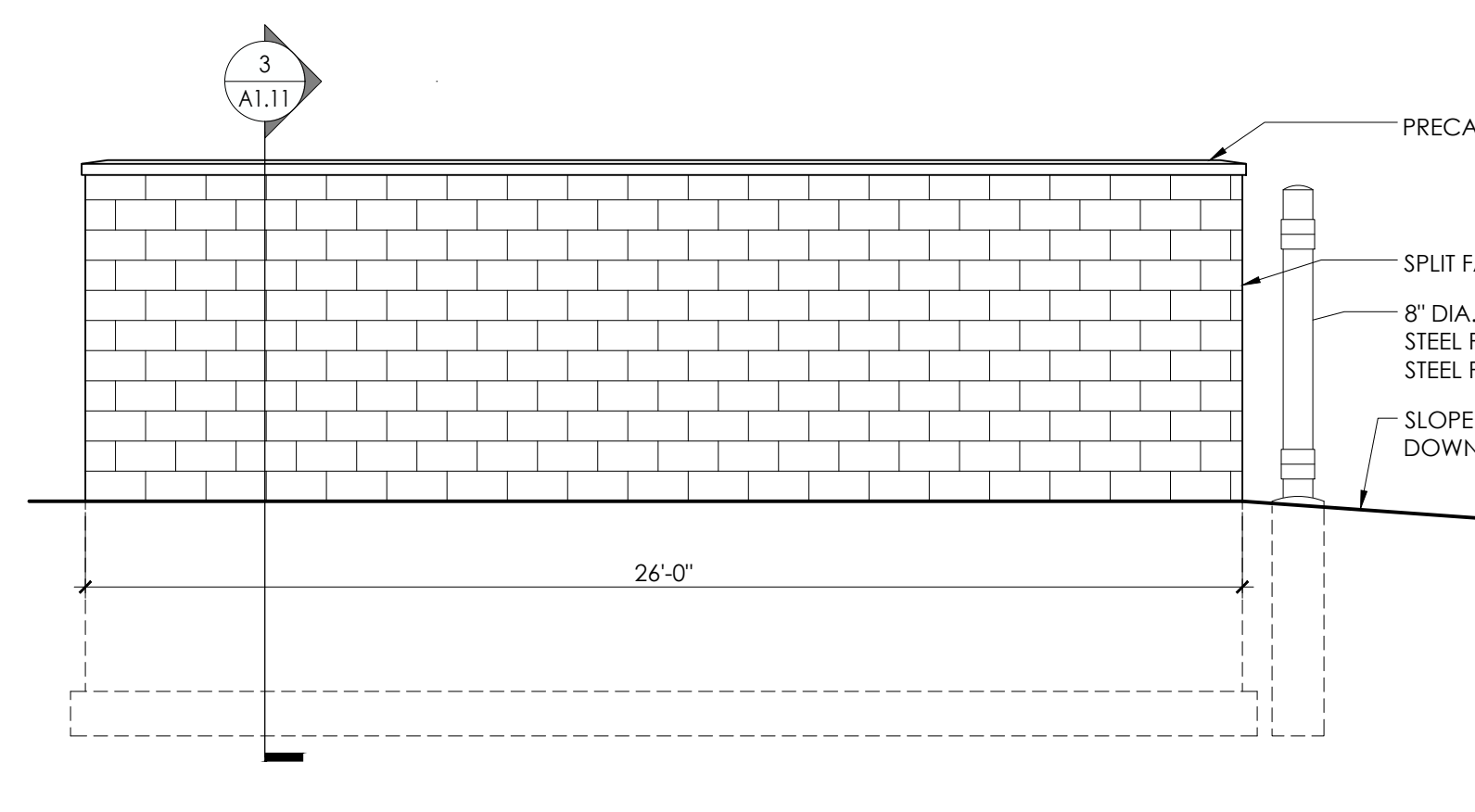
2 SECTION AT DOOR
1/2" = 1'-0"



1 PLAN AT DUMPSTER ENCL.
1/4" = 1'-0"



8 ELEVATION AT DOORS
1/4" = 1'-0"



4 ELEVATION AT ENCLOSURE
1/4" = 1'-0"