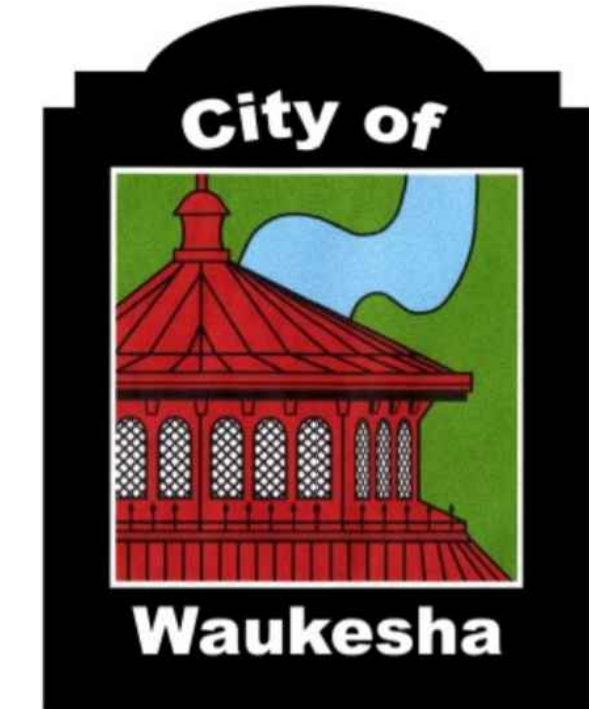


# MONTEREY APARTMENTS

## L0660100

# PARKING LOT IMPROVEMENTS

## WAUKESHA, WI



ClarkDietz

625 57TH STREET  
6TH FLOOR  
KENOSHA, WI 53140  
PHONE : 262.657.1550  
www.clarkdietz.com

NOT FOR  
CONSTRUCTION

PROJECT TITLE  
VARIN-MONTEREY,LLC  
MONTEREY APARTMENTS

DESIGNED BY: KKR  
DRAWN BY: AL  
CHECKED BY: KKR  
DATE CHECKED: 12-24-20

DATE REVISION

DRAWING TITLE  
COVER PAGE

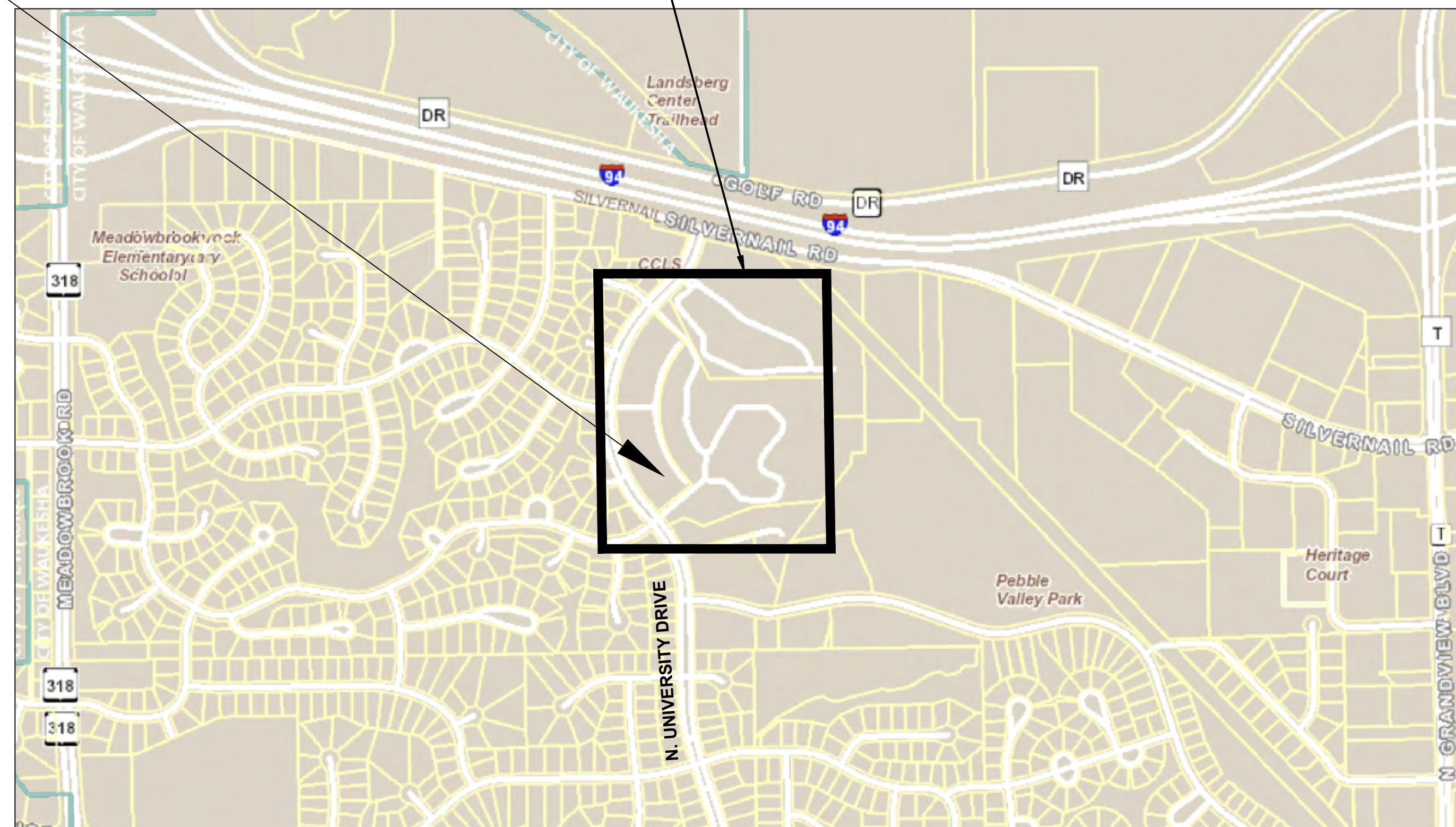
PROJECT No.  
L0660100

DRAWING No.  
1

DWG 1 OF 8 DWGS



PROJECT SITE



PROJECT LOCATION MAP



### DRAWING INDEX

DWG NO	DESCRIPTION
1	COVER PAGE
2	GENERAL NOTES
3	ALTA SURVEY
4	PROPOSED SITE PLAN
5	GRADING PLAN
6	LANDSCAPING PLAN
7	LIGHTING PLAN
8	LIGHTING DETAILS

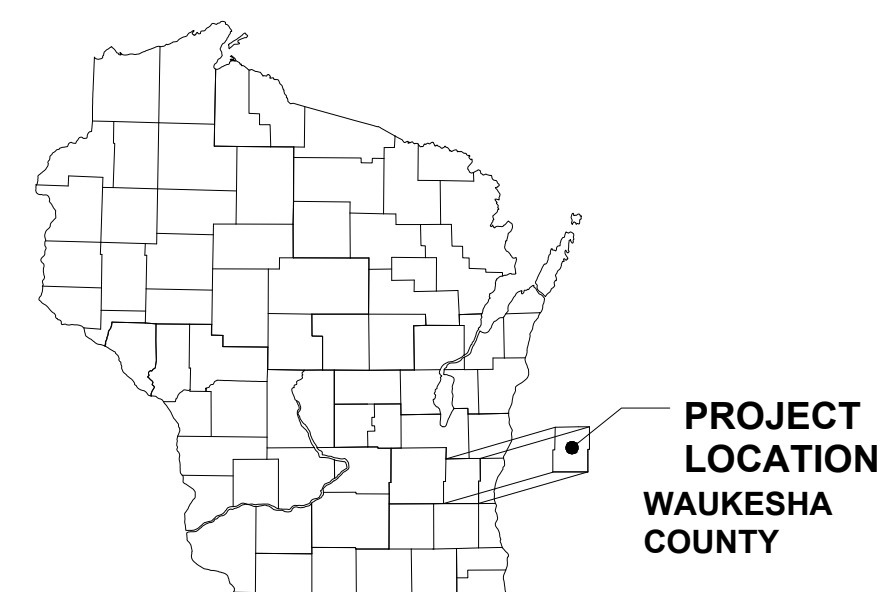


Know what's below.  
Call before you dig.

**DIGGERS HOTLINE**

Toll Free (800) 242-8511  
Milwaukee Area (414) 259-1181  
Hearing Impaired TDD (800) 542-2289  
www.DiggersHotline.com

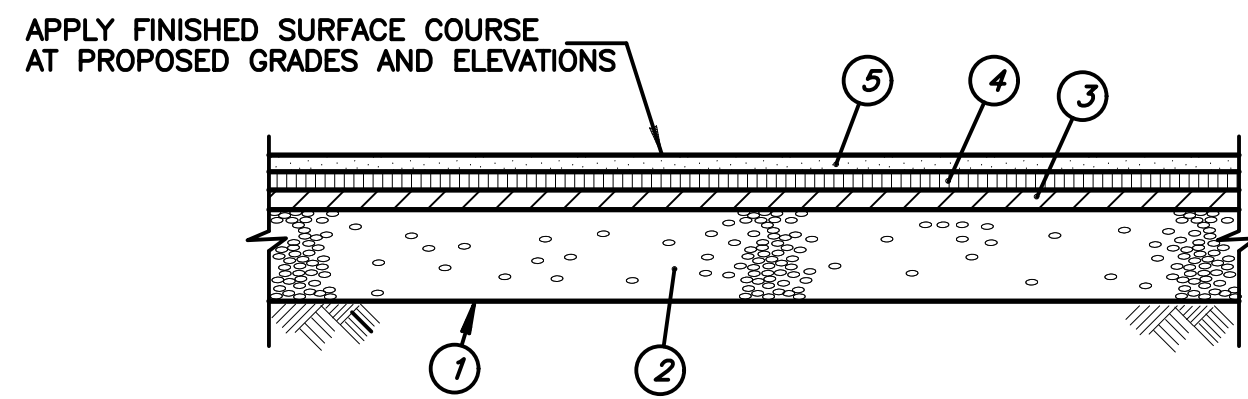
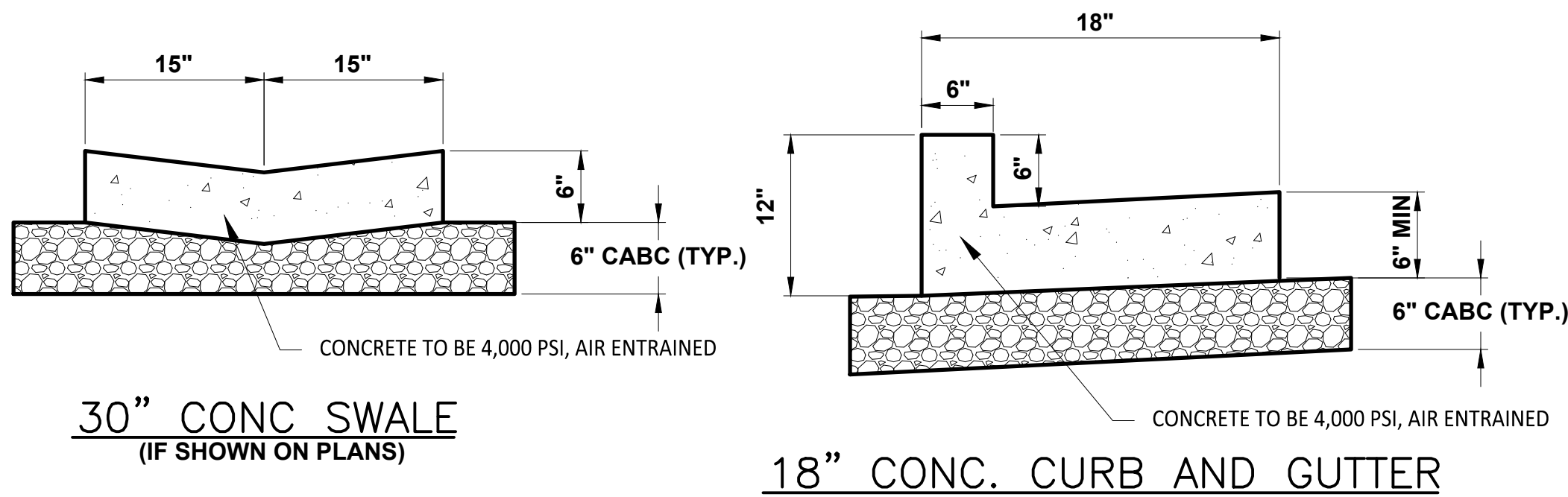
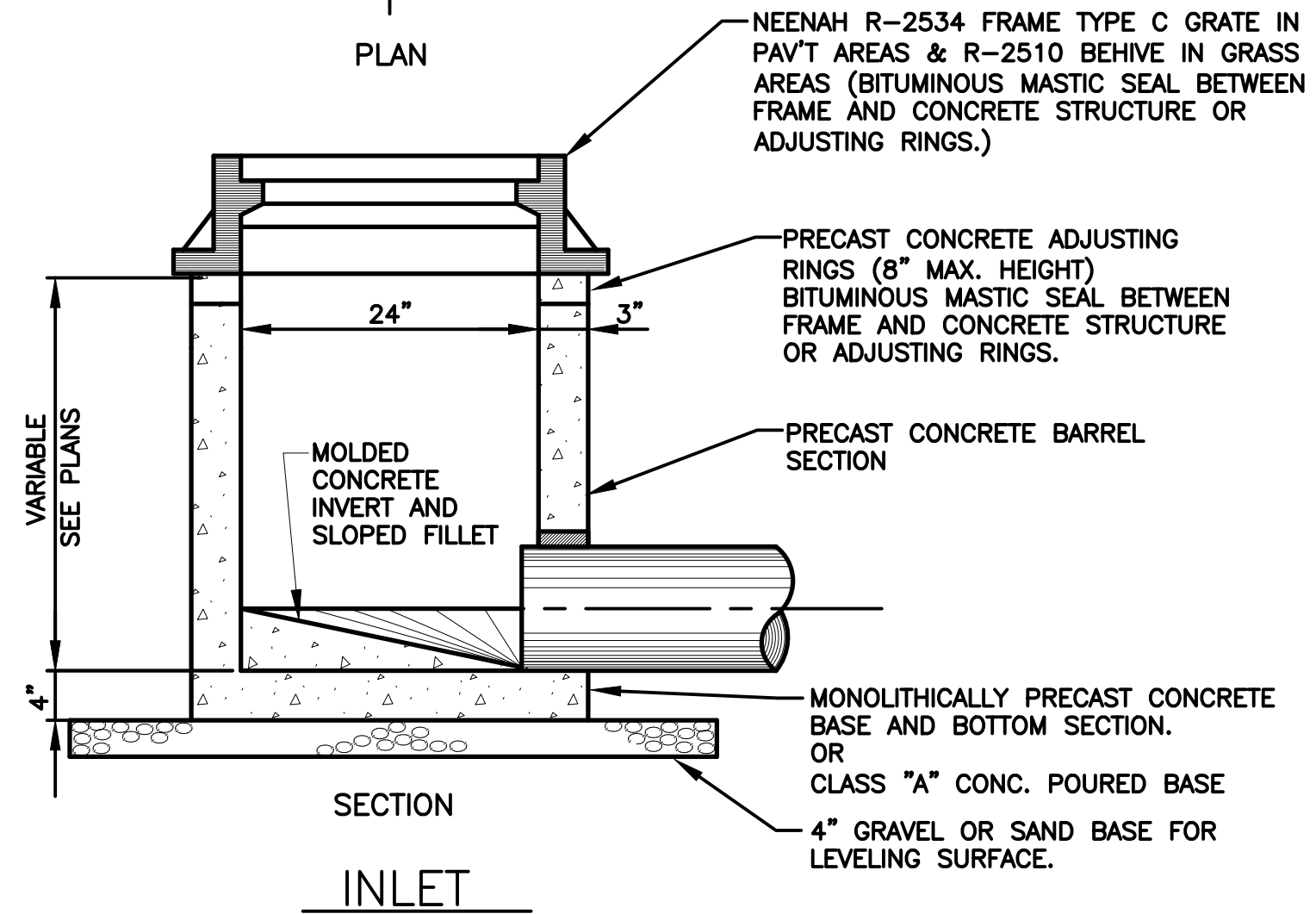
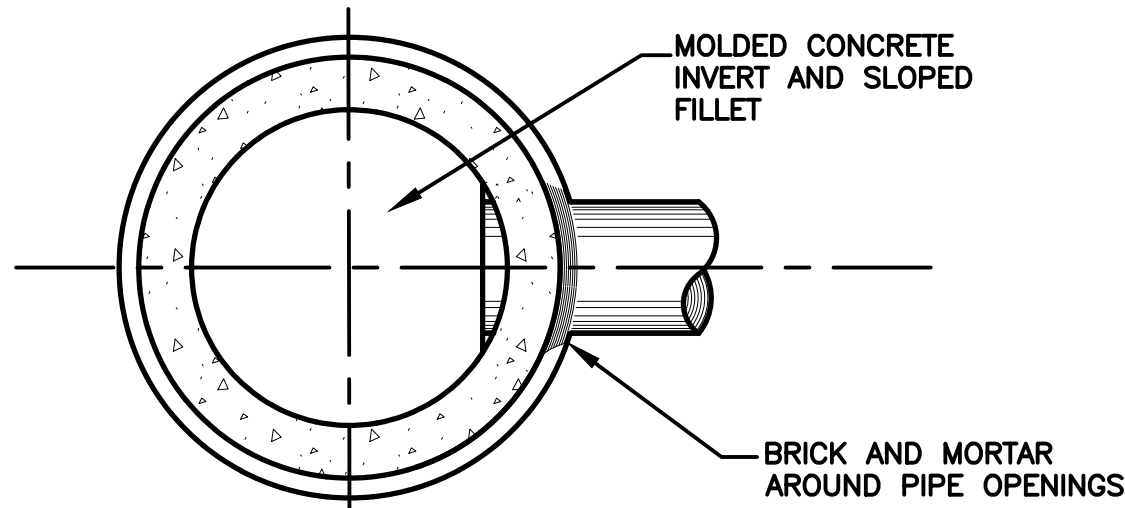
WIS. STATUTE 182.0175 (1974)  
REQUIRES MIN. OF 3 WORK DAYS  
NOTICE BEFORE YOU EXCAVATE.



GENERAL LOCATION MAP

REFER TO ALT SURVEY, PAGE 3 FOR SEWRPC CONTROL FOR THIS SITE DEVELOPMENT. BENCH MARK SHOWN ON PROPOSED SITE AND GRADING PLAN (CITY OF WAUKESHA DATUM)

ALL SITE IMPROVEMENTS AND CONSTRUCTION SHOWN ON THE PLANS SHALL CONFORM TO THE CITY OF WAUKESHA DEVELOPMENT HANDBOOK & INFRASTRUCTURE SPECIFICATIONS. WHERE THE PLANS DO NOT COMPLY, IT SHALL BE THE SOLE RESPONSIBILITY AND EXPENSE OF THE DEVELOPER TO MAKE THE REVISIONS TO THE PLANS AND/OR CONSTRUCTED INFRASTRUCTURE TO COMPLY.



- 1 EXISTING SUBGRADE WITH GEOGRID UNDER STONE
- 2 CRUSHED AGGREGATE BASE COURSE 1 - 1/4", - 8"
- 3 CRUSHED AGGREGATE BASE COURSE 1 1/4" - 4"
- 4 HMA PAVEMENT, 3 LT 58-28 S LOWER LAYER - 2.5"
- 5 HMA PAVEMENT, 5 LT 58-28 S UPPER LAYER - 1.5"

**TYPICAL PAVEMENT SECTION**  
PARKING AREA

**Geotextile, Type SR (Subgrade Reinforcement)**

(1) Furnish geotextile conforming to the physical properties specified in a required Geotextile Type SR contract special provision.

(2) The engineer will obtain samples of geotextile for testing from the job site for each 10,000 square yards or lesser portion used in the work.

645.2.2.6 Geotextile, Type R (Riprap)

(1) Use geotextile conforming to the following physical properties:

- TEST METHOD VALUE[1]
- Minimum grab tensile strength ASTM D4632 205 lb
  - Minimum puncture strength ASTM D6241 400 lb
  - Minimum apparent breaking elongation ASTM D4632 15%
  - Maximum apparent opening size ASTM D4751 No. 30 sieve
  - Minimum permittivity ASTM D4491 0.12 s-1

[1] All numerical values represent minimum/maximum average roll values. Average test results from all rolls in a lot must conform to the tabulated values.

[2] For quantities over 1,500 square yards, the engineer will obtain a sample of geotextile for testing from the job site. The engineer will obtain additional samples for each additional 5,000 square yards used in the work.

**SYMBOL LEGEND**

○	SATELLITE DISH	○	PARKING LOT LIGHT SINGLE
□	BOX W/ TYPE	□	POWER POLE
○	TELEPHONE POLE	○	POWER POLE WITH LIGHT
□	PEDESTAL W/TYPE	○	STREET LIGHT
○	FIRE HYDRANT	□	SPRINKLER CONTROL BOX
○	SERVICE BOX W/TYPE	○	SPRINKLER HEAD
○	WELL	○	SOIL BORING
○	FLOOD LIGHT	□	AIR CONDITIONER
□	HANDHOLE/PULL BOX	○	BOLLARD OR GUARD POST
□	ORNAMENTAL STREET LIGHT	4	DELINEATOR
□	TRANSFORMER BOX	○	DRAINAGE MARKER
□	YARD LIGHT	○	FLAG POLE
○	GAS REGULATOR	○	GUY POLE
○	GAS VENT PIPE	○	GUY WIRE
○	RAILROAD FLASHING SIGNAL	□	MAILBOX
○	CLEANOUT	○	PARKING METER
○	MANHOLE	○	POST OR MISC. POLES
○	CATCH BASIN	○	GATE POST
○	CATCH BASIN SQUARE	○	IRON PIPE FOUND
○	END SECTION (RCP/METAL)	○	RIGHT-OF-WAY MARKER
○	INLET AT CURB	○	TRAFFIC SIGN
○	BENCHMARK	○	BUSH 2 FT. THRU 16 FT.
○	INSPECTION WELL	○	CONIFEROUS TREE 2" TO 42"
○	METER	○	DECIDUOUS TREE 2" TO 42"
○	MANHOLE	○	TRAFFIC SIGNAL CONTROLLER
○	UTILITY RISER AT POLE	○	TRAFFIC SIGNAL POST - 1 WAY
○	VALVE		
○	PARKING LOT LIGHT DOUBLE		

Cable TV	— CATV —
Cable TV Fiber Optic	— CATV(FO) —
Cable TV Overhead	— OHCATV —
Centerline	— —
Communication	— COM —
Electrical Overhead	— OHE —
Electrical Roadway Lighting	— RWL —
Electrical Underground	— UGE —
Fence	— X — X —
Fiber Optic	— FO —
Flow	← — — — — —
Gas	— G —
Guardrail Exist	— □ — □ — □ —
Hedge Line	— ~ — ~ — ~ —
Permanent Easement	— - - - - -
Property Line	— e —
R.O.W.-Existing	— — — — —
Sanitary	— C —
Sanitary Force Main	— CFM —
Section Line	— — — — —
Sheet Piling	— ~ ~ ~ ~ ~
Silt Fence	— □ — □ — □ —
Storm	— — — — —
Telephone Fiber Optic	— UGT(FO) —
Telephone Overhead	— OHT —
Telephone Underground	— UGT —
Tree Line	— ~ ~ ~ ~ ~
Underdrain	— — — — —
Water	— W —
Existing Contour Line	— - - - - -
New Contour Line	— — — — —



**GENERAL NOTES**

- THE CONTRACTOR SHALL NOTIFY ALL LOCAL UTILITY COMPANIES INCLUDING: DIGGER'S HOTLINE 800-242-8511 72 HOURS PRIOR TO BEGINNING ANY CONSTRUCTION. SAID UTILITY COMPANIES WILL ESTABLISH, ON THE GROUND, THE LOCATION OF UNDERGROUND PIPES, MAINS, CONDUITS OR CABLES ADJOINING OR CROSSING PROPOSED CONSTRUCTION.
- CONTRACTOR SHALL NOTIFY THE OWNER A MINIMUM OF 24 HOURS IN ADVANCE OF PERFORMING ANY WORK. RENOTIFICATION SHALL BE REQUIRED IN ANY PHASE OF WORK IS SUSPENDED FOR MORE THAN THREE (3) DAYS.
- THE FOLLOWING CODES AND STANDARDS, AS APPLICABLE, SHALL GOVERN CONSTRUCTION UNDER THIS CONTRACT:
  - STATE OF WISCONSIN, DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION", LATEST EDITION.
  - "STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN THE STATE OF WISCONSIN", LATEST EDITION.
- THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" AND SECTION 107.14 OF THE HIGHWAY SPECIFICATIONS.
- CAUTION: THERE MAY BE OVERHEAD AND BURIED POWER LINES WHICH COULD POSSIBLY INTERFERE OR BE A SAFETY HAZARD WITH EQUIPMENT OPERATIONS.
- ROADWAY ACCESS & THRU PASSAGE FOR EMERGENCY VEHICLES SHALL BE MAINTAINED AT ALL TIMES.
- WHEN LOOSE MATERIAL IS DEPOSITED IN DITCHES OR GUTTERS, IT SHALL BE REMOVED BEFORE THE END OF EACH WORKING DAY. THIS WORK WILL NOT BE PAID FOR SEPARATELY BUT WILL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO RESTORE ALL FEATURES DISTURBED DURING CONSTRUCTION TO THEIR ORIGINAL STATE, OR BETTER. ALL RESTORATION WORK REQUIRED BEYOND THE SCOPE OF THE PLANS AND SPECIFICATIONS SHALL BE DONE AT THE CONTRACTOR'S EXPENSE UNLESS WORK WAS DONE AT THE DIRECTION OF THE OWNER AND COMPENSATION WAS AGREED UPON PRIOR TO EXECUTION OF WORK.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL NECESSARY PAVEMENT OPENINGS AND CONSTRUCTION DEBRIS LEFT IN THE PUBLIC RIGHT-OF-WAY WITH LIGHTED DEVICES. THE CONTRACTOR SHALL MAINTAIN HIGH VISIBILITY OF ALL TEMPORARY HAZARDS TO PEDESTRIANS AND MOTORISTS. REMOVAL OF ANY SUCH TEMPORARY HAZARDS SHALL BE DONE AS SOON AS POSSIBLE.
- ALL EXISTING DRAINAGE STRUCTURES WITHIN THE PROJECT LIMITS SHALL BE CLEANED TO THE SATISFACTION OF THE OWNER. ALL COSTS ASSOCIATED WITH THIS SHALL BE INCLUDED IN THE APPLICABLE UNIT PRICES.
- THE GRADING AND CONSTRUCTION OF PROPOSED IMPROVEMENTS SHALL NOT CAUSE PONDING OF STORM WATER. GRADING SHALL BE DONE TO ALLOW POSITIVE DRAINAGE.
- UTILITY SERVICES TO RESIDENTS OR BUSINESSES WHICH ARE INTERRUPTED BY CONSTRUCTION SHALL BE RESTORED AT THE EXPENSE OF THE CONTRACTOR SO THAT NO SERVICE IS INTERRUPTED FOR MORE THAN FOUR (4) HOURS. IF TEMPORARY SERVICE IS REQUIRED, THE EXPENSE FOR SAME SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE EDGES OF ALL IMPROVED SURFACES WHICH ARE DISTURBED DURING CONSTRUCTION SHALL BE SAW CUT PRIOR TO RESTORATION. ANY SAW CUTTING OF PAVEMENT PATCHES, BUTT JOINTS, DRIVEWAY APPROACHES, CONCRETE CURBS, SIDEWALKS, OR ANY OTHER AREAS NECESSARY TO COMPLETE THIS PROJECT WILL NOT BE PAID FOR SEPARATELY BUT SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, UNLESS OTHERWISE SPECIFIED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ALL STREETS USED BY THE CONTRACTOR, SUB-CONTRACTORS, AND SUPPLIERS CLEAN AND FREE OF ALL DIRT, MUD, AND OTHER CONSTRUCTION DEBRIS, AND WILL BE REQUIRED TO CLEAN THEM AS IS NECESSARY IN ORDER TO MAINTAIN THEM IN A SAFE, DRIVABLE CONDITION. THE CONTRACTOR SHALL BE ESPECIALLY RESPONSIVE TO REQUESTS FROM THE OWNER, POLICE AND FIRE DEPARTMENTS, OR ANY REPRESENTATIVE OF THE OWNER TO PRACTICE GOOD HOUSEKEEPING THROUGHOUT THE DURATION OF THIS PROJECT. THIS WORK WILL NOT BE PAID FOR SEPARATELY BUT SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, UNLESS OTHERWISE SPECIFIED.
- IT IS THE CONTRACTORS RESPONSIBILITY TO ASCERTAIN EXISTING FIELD CONDITIONS BEFORE BIDDING THE PROJECT.
- ALL DISTURBED LAWN OR GRASSY AREAS SHALL BE RESTORED WITH 4" OF TOPSOIL AND PER THE SPECIFICATIONS. WATERING WILL BE BY THE OWNER.
- ALL PERMITTING FEES SHALL BE PAID BY THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING FOR THE OWNER ALL ON-SITE (PRIVATE) UTILITIES PRIOR TO STARTING WORK. ALL COST ASSOCIATED WITH THIS SHALL BE INCIDENTAL TO THE CONTRACT. ANY PRIVATE UTILITIES THAT MAY BE INTERRUPTED BY THE CONSTRUCTION SHALL BE REINSTATED AS PART OF THIS PROJECT BY CONTRACTOR AT NO COST TO THE OWNER.

NOT FOR CONSTRUCTION

PROJECT TITLE  
VARIN-MONTEREY, LLC  
MONTEREY APARTMENTS

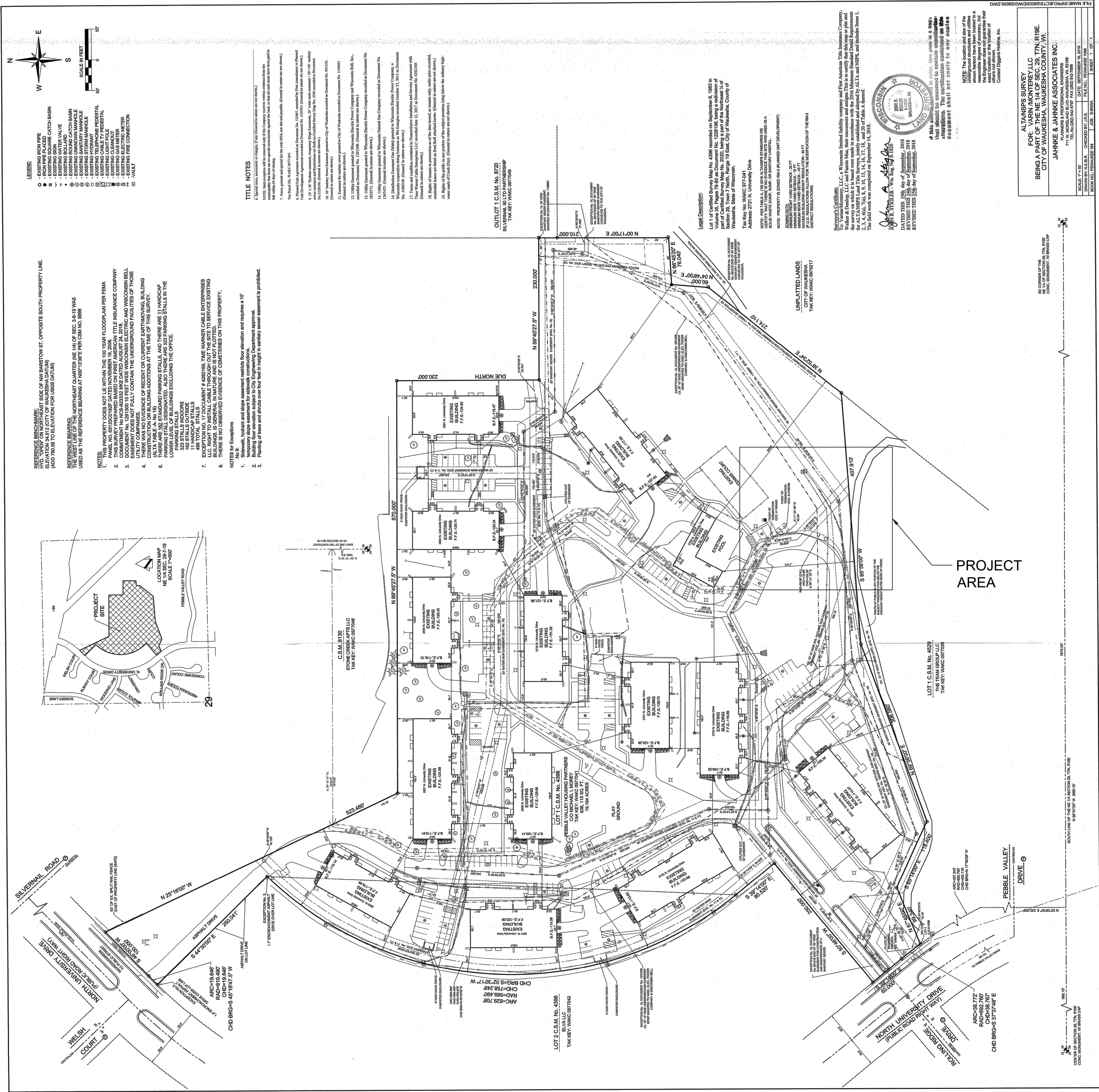
DESIGNED BY: KKR  
DRAWN BY: AL  
CHECKED BY: KKR  
DATE CHECKED: 12-24-20

DATE REVISION

DRAWING TITLE  
GENERAL NOTES

PROJECT No.  
L0660100

DRAWING No.  
2



REFERENCE BENCH MARK: HYDROGRAPHIC SURVEY MARK ON NORTHEAST CORNER OF NW BARSTOW ST. OPPOSITE SOUTH PROPERTY LINE. (AUTO 700.38 TO ELEVATION FOR US DATUM)

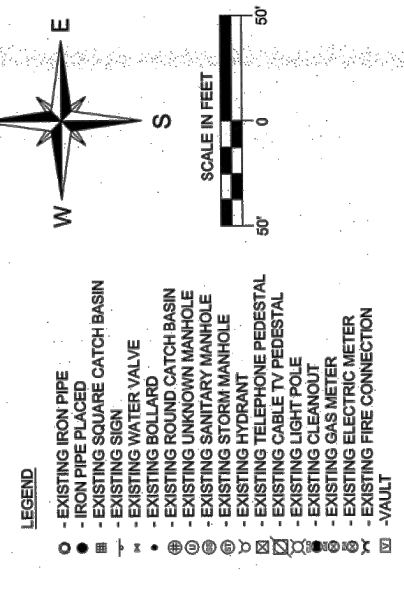
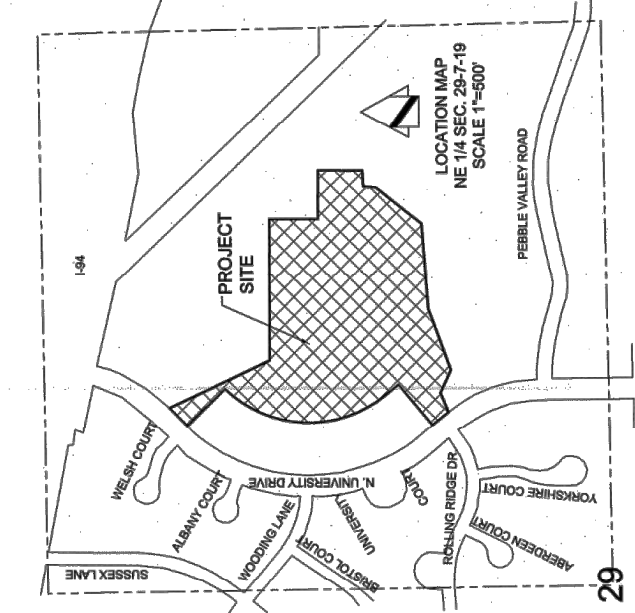
REFERENCE BEARING: NORTHWEST QUARTER A/E 1/4 OF SEC. 3 & 4 WAS USED AS THE REFERENCE BEARING AT NWP 1/4 SEC 3 & 4 IN 1898.

NOTES:

1. THIS PROPERTY DOES NOT BE WITHIN THE 100 YEAR FLOODPLAIN PER FEMA PANEL NO. 601320102F DATED NOVEMBER 18, 2008.
2. THE UNDERWRITERS COMPANIES OF AMERICA FIRE INSURANCE COMPANY COMMITMENT NO. NC-28-2332333 WAS DATED AUGUST 24, 2018.
3. THE 100 YEAR FLOODPLAIN IS SHOWN BY THE Hatched PATTERN. THIS IS A GENERAL UTILITY COMPANIES OF AMERICA FIRE INSURANCE COMPANY COMMITMENT NO. NC-28-2332333 WAS DATED AUGUST 24, 2018.
4. CONSTRUCTION OF ANYTHING ON THIS SURVEY, INCLUDING BUT NOT LIMITED TO CONSTRUCTION OR BUILDING ADDITIONS AT THE TIME OF THIS SURVEY, THERE ARE 82 STANDBY PARKING STALLS, AND THERE ARE 11 HANDICAP PARKING STALLS, INCLUDING BUT NOT LIMITED TO PARKING STALLS IN THE LOWER LEVEL OF BUILDINGS EXCLUDING THE OFFICE.
5. 152 STALLS OUTSIDE
6. 152 STALLS OUTSIDE
7. 152 STALLS OUTSIDE
8. 152 STALLS OUTSIDE
9. 152 STALLS OUTSIDE
10. 152 STALLS OUTSIDE
11. 152 STALLS OUTSIDE
12. 152 STALLS OUTSIDE
13. 152 STALLS OUTSIDE
14. 152 STALLS OUTSIDE
15. 152 STALLS OUTSIDE
16. 152 STALLS OUTSIDE
17. 152 STALLS OUTSIDE
18. 152 STALLS OUTSIDE
19. 152 STALLS OUTSIDE
20. 152 STALLS OUTSIDE

NOTES BY EXISTING:

1. Temporary drive easement for driveway construction.
2. Placement of trees and shrubs over top deck in height in vicinity sewer easement is prohibited.



**TITLE NOTES**

1. Survey conducted by Jahnke & Jahnke Associates, Inc. on December 14, 2018.

2. The location and area of the property shown hereon is the result of field work conducted by Jahnke & Jahnke Associates, Inc. in accordance with the plan hereon.

3. The area shown hereon is the result of field work conducted by Jahnke & Jahnke Associates, Inc. in accordance with the plan hereon.

4. The area shown hereon is the result of field work conducted by Jahnke & Jahnke Associates, Inc. in accordance with the plan hereon.

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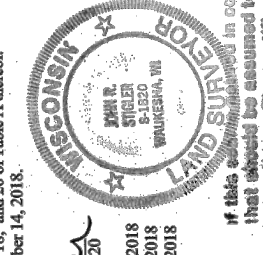
20. The area shown hereon is the result of field work conducted by Jahnke & Jahnke Associates, Inc. in accordance with the plan hereon.

PROJECT AREA

**OUTLOT 1, C.S.M. No. 6720**  
SILVERVALLEY PARTNERSHIP  
TAX KEY: WAC 097010

**OUTLOT 2, C.S.M. No. 4288**  
EVA LLC  
TAX KEY: WAC 097010

**OUTLOT 3, C.S.M. No. 4529**  
THE TEAM GROUP LLC  
TAX KEY: WAC 097010



ALTA SURVEY FOR THE CITY OF WAUKESHA, WISCONSIN BEING A PART OF THE N/4 OF SEC. 28, T4N R18E, CITY OF WAUKESHA, WISCONSIN, WI.	
JAHNKE & JAHNKE ASSOCIATES, INC. PLANNERS & PROFESSIONAL ENGINEERS 125 N. WAUKESHA STREET WISCONSIN, WI 53150 TEL: 262.657.1550 FAX: 262.657.1550 WWW.CLARKDIETZ.COM	
DRAWN BY: KKR	CHECKED BY: J.A.S.
DATE: 12-24-20	SCALE: AS SHOWN

PROJECT TITLE

VARIN-MONTEREY,LLC  
MONTEREY APARTMENTS

DESIGNED BY: KKR  
DRAWN BY: AL  
CHECKED BY: KKR  
DATE CHECKED: 12-24-20

DATE REVISION

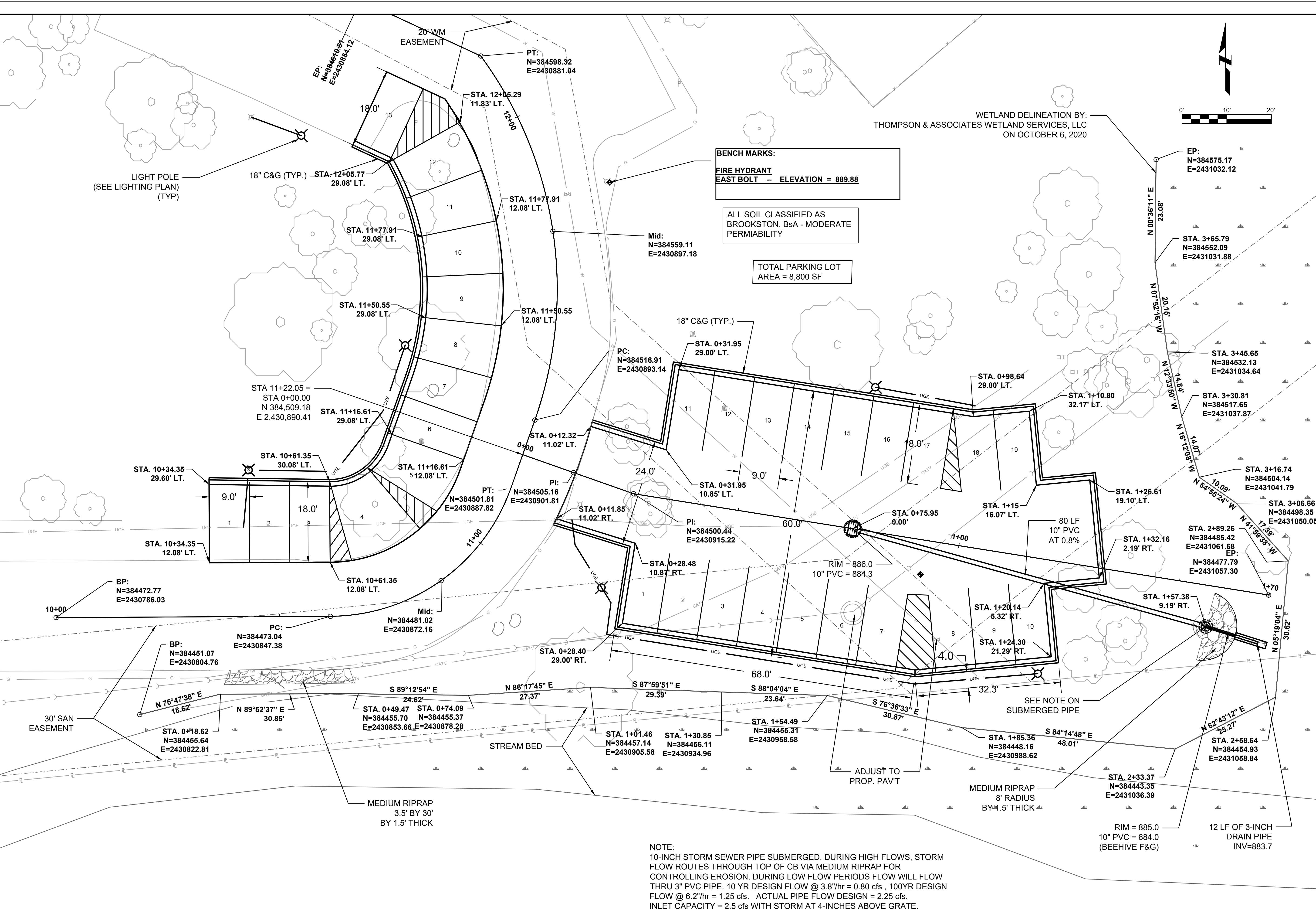
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ALTA SURVEY

PROJECT No.  
**L0660100**

DRAWING No.  
**3**

NOT FOR  
CONSTRUCTION



NOT FOR  
CONSTRUCTION

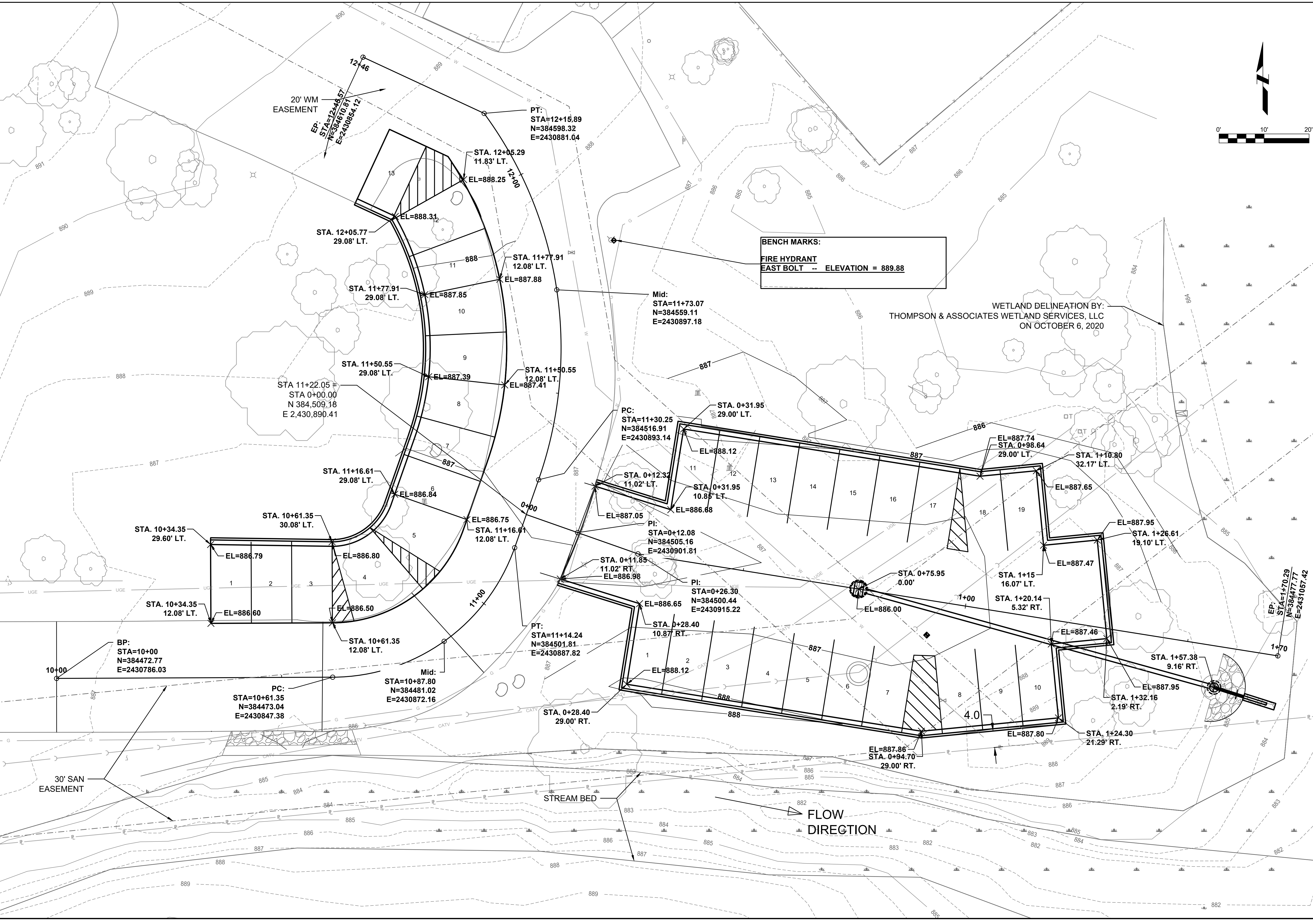
PROJECT TITLE  
**VARIN-MONTEREY, LLC  
MONTEREY APARTMENTS**

DESIGNED BY: KKR  
 DRAWN BY: AL  
 CHECKED BY: KKR  
 DATE CHECKED: 12-24-20

DATE	REVISION

DRAWING TITLE  
**PROPOSED SITE PLAN**

P:\0660100\_LEGACY - MONTEREY, LLC - PARKING LOT IMP DESIGN CAD SHEETS\GRADING PLAN\DWG KEVIN K. RIESCH SAVE TIME 12/27/2020 11:52:49 PM PLOT DATE 12/27/2020 11:54 PM



**BENCH MARKS:**  
**FIRE HYDRANT**  
**EAST BOLT -- ELEVATION = 889.88**

NOT FOR  
 CONSTRUCTION

PROJECT TITLE  
**VARIN-MONTEREY, LLC**  
**MONTEREY APARTMENTS**

DESIGNED BY: KKR  
 DRAWN BY: AL  
 CHECKED BY: KKR  
 DATE CHECKED: 12-24-20

DATE	REVISION

DRAWING TITLE  
**GRADING PLAN**

PROJECT No.  
**L0660100**

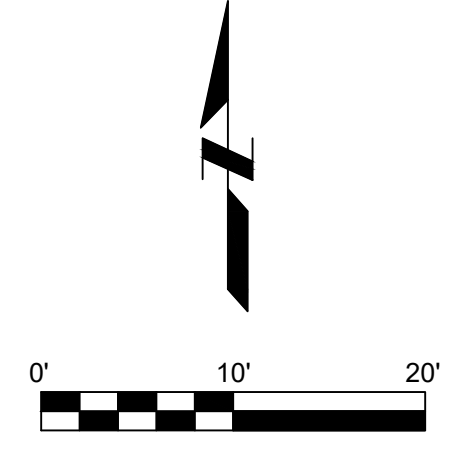
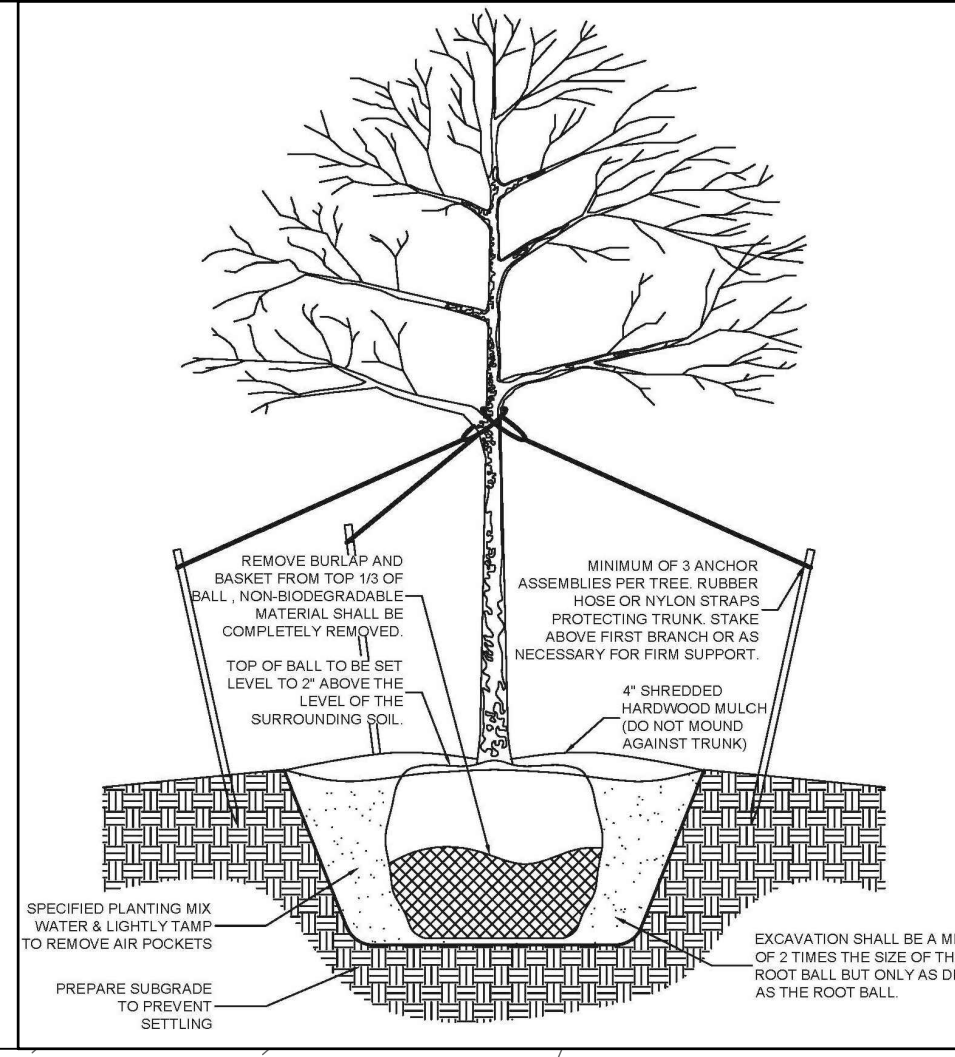
DRAWING No.  
**5**

DWG 5 OF 8 DWGS

NOTE: DIMENSIONAL DATA IS NOT TO BE OBTAINED BY SCALING ANY PORTION OF THIS DRAWING.

R1	16" DBH	OAK TREE	REMOVAL
R2	12" DBH	OAK TREE	REMOVAL
R3	24" DBH	OAK TREE	REMOVAL
R4	20" DBH	BLACK WALNUT TREE	REMOVAL
R5	4" DBH	ASH TREE	REMOVAL
R6	12" DBH	HICKORY TREE	REMOVAL
R7	12" DBH	HICKORY TREE	REMOVAL
R8	10" DBH	ASH TREE(SPLIT TRUNK)	REMOVAL
R9	10" DBH	ASH TREE(SPLIT TRUNK)	REMOVAL
R10	12" DBH	ASH TREE	REMOVAL
R11	8" DBH	ASH (DEAD) TREE	REMOVAL
R12	16" DBH	ASH TREE	REMOVAL
R13	12" DBH	OAK TREE(SPLIT TRUNK)	REMOVAL
R14	12" DBH	OAK TREE(SPLIT TRUNK)	REMOVAL

L1	3" CALIPAR	AUTUM BLAZE MAPLE	BALL & BURLAP
L2	3" CALIPAR	RED OAK	BALL & BURLAP
L3	3" CALIPAR	REDMOND LINDEN	BALL & BURLAP
L4	3" CALIPAR	AUTUM BLAZE MAPLE	BALL & BURLAP
L5	3" CALIPAR	RED OAK	BALL & BURLAP
L6	3" CALIPAR	REDMOND LINDEN	BALL & BURLAP
L7	3" CALIPAR	AUTUM BLAZE MAPLE	BALL & BURLAP
L8	3" CALIPAR	RED OAK	BALL & BURLAP
L9	3" CALIPAR	REDMOND LINDEN	BALL & BURLAP
L10	3" CALIPAR	AUTUM BLAZE MAPLE	BALL & BURLAP
L11	3" CALIPAR	RED OAK	BALL & BURLAP
L12	3" CALIPAR	REDMOND LINDEN	BALL & BURLAP
L13	3" CALIPAR	AUTUM BLAZE MAPLE	BALL & BURLAP
L14	3" CALIPAR	RED OAK	BALL & BURLAP



ClarkDietz

625 57TH STREET  
KENOSHA, WI 53140  
PHONE : 262.657.1550 www.clarkdietz.com

NOT FOR CONSTRUCTION

PROJECT TITLE  
VARIN-MONTEREY,LLC  
MONTEREY APARTMENTS

DESIGNED BY: KKR  
DRAWN BY: AL  
CHECKED BY: KKR  
DATE CHECKED: 12-24-20

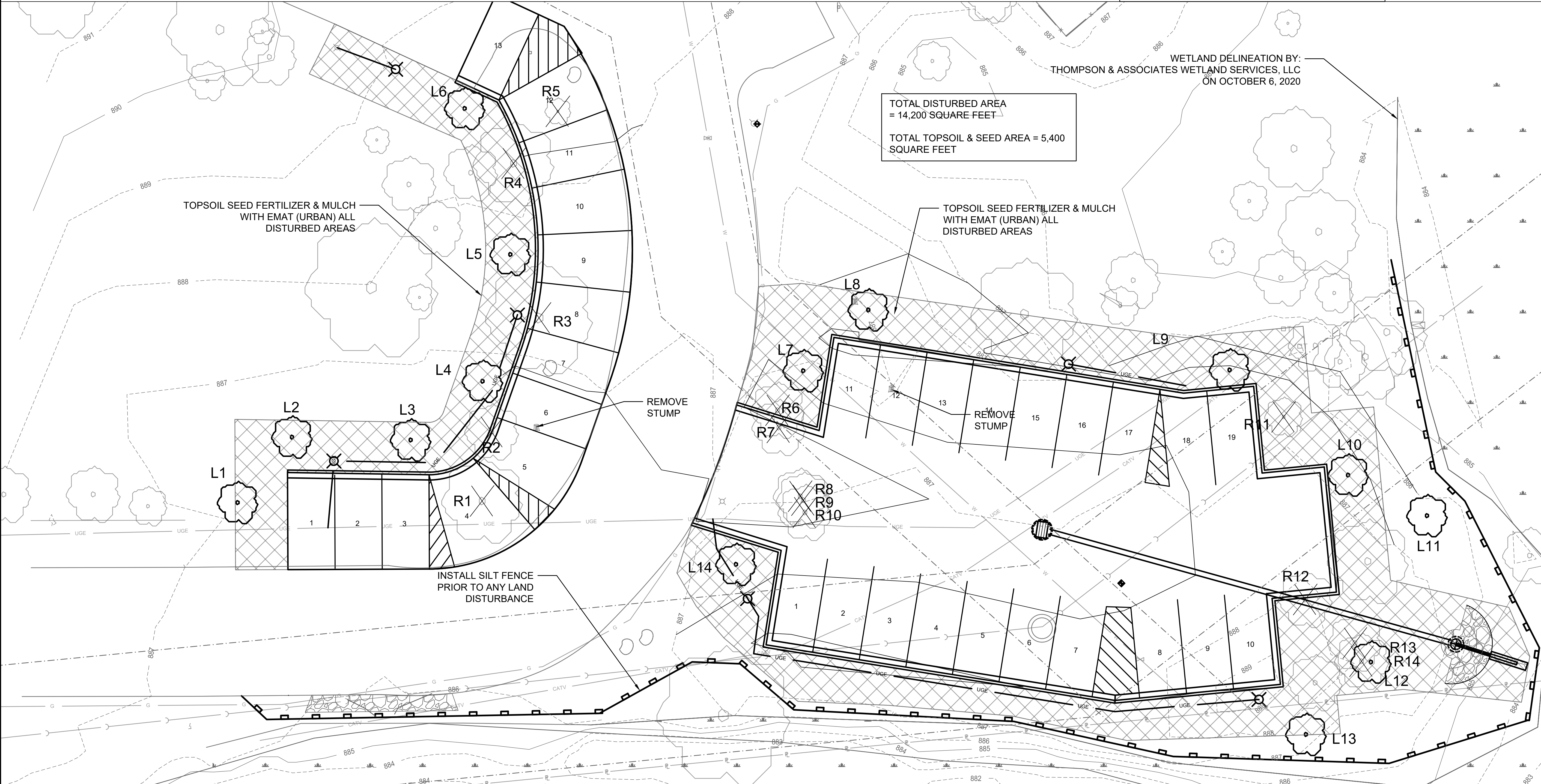
DATE REVISION

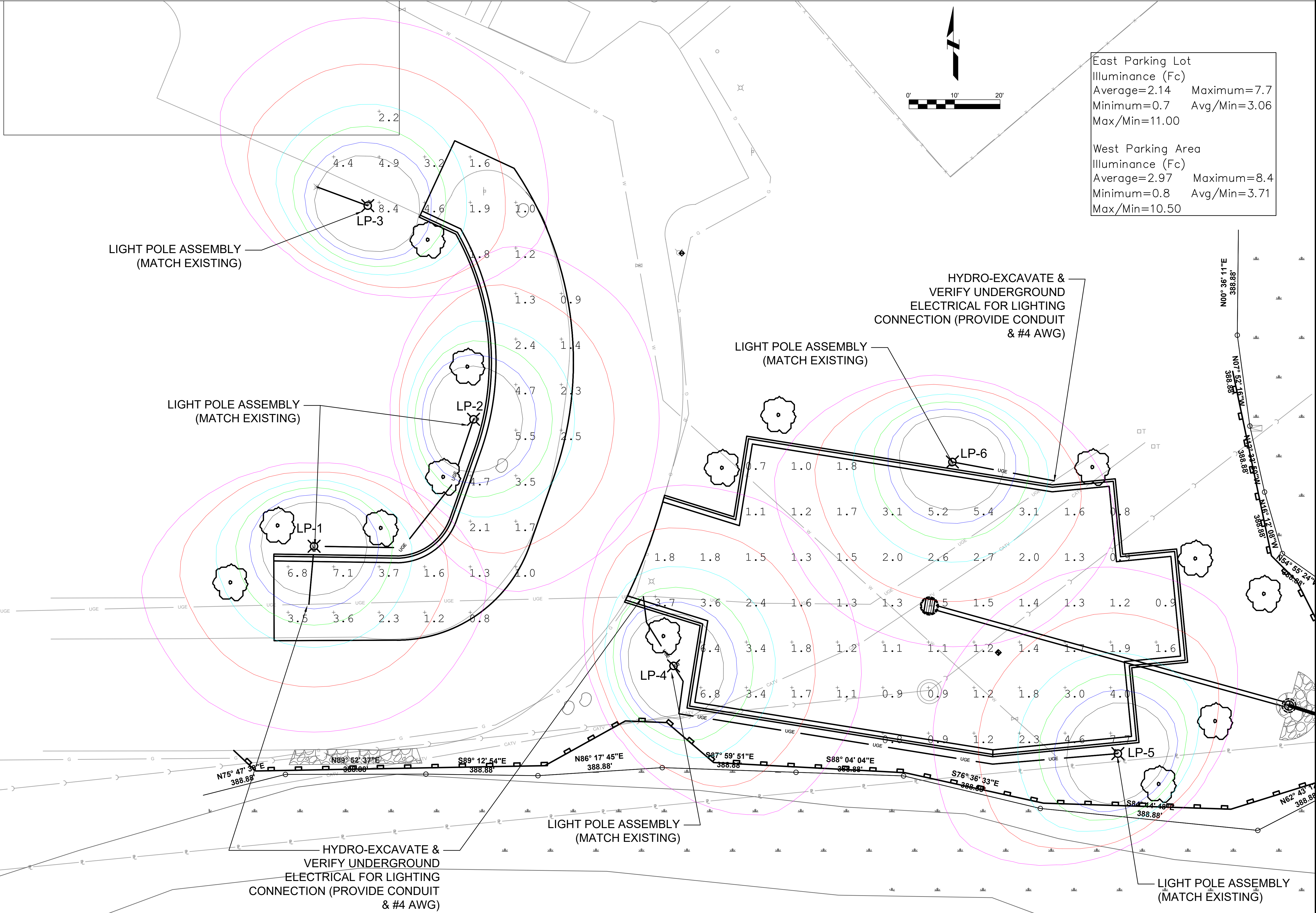
DRAWING TITLE  
LANDSCAPING PLAN

PROJECT No.  
L0660100

DRAWING No.  
6

DWG 6 OF 8 DWGS





East Parking Lot  
 Illuminance (Fc)  
 Average=2.14 Maximum=7.7  
 Minimum=0.7 Avg/Min=3.06  
 Max/Min=11.00

West Parking Area  
 Illuminance (Fc)  
 Average=2.97 Maximum=8.4  
 Minimum=0.8 Avg/Min=3.71  
 Max/Min=10.50

NOT FOR CONSTRUCTION

PROJECT TITLE  
VARIN-MONTEREY,LLC  
MONTEREY APARTMENTS

DESIGNED BY: KKR  
 DRAWN BY: AL  
 CHECKED BY: KKR  
 DATE CHECKED: 12-24-20

DATE	REVISION

DRAWING TITLE  
LIGHTING PLAN

PROJECT No.  
L0660100

DRAWING No.  
7

**C-AR-A-SL3/SL4/SL5-9L/10L Series**  
LED Area Light - Type III/Type IV/Type V  
Replaces 250W MH



EXCEPTIONAL EFFICIENCY,  
EASY INSTALLATION, HIGH RELIABILITY.  
Get big energy savings from this highly reliable  
LED area light at a great value price.



PRODUCT SPECIFICATIONS

OVERVIEW	
Initial Delivered Lumens: 9,200 - 10,100	Operating Temperature Range: -40°C (-40°F) - 40°C (104°F)
CRI: 80+	Estimated L70 Lifetime @ 25°C: > 100,000 hours
CCT: 3000K, 4000K, 5000K	Power Factor: > 0.9
Mounting: Sold Separately	Total Harmonic Distortion: < 20%
Input Power: 73 Watts	Limited Warranty: 5 Years*
Dimmable: (0-10V) Dimming to 10%	Replaces 250W MH

FEATURES	RECOMMENDED USE	INPUT VOLTAGE
Exceptional rebate friendly efficiency up to 136 LPW	Automobile Dealerships	Universal (120V through 277V Operation)
Light weight for easy installation	Parking Lots	
Enhanced 10kVA surge suppression for high reliability	General Area Lighting	
Sleek, high performance design		

ORDERING INFORMATION  
Example: C-AR-A-SL3-9L-30K-UL-3PC-DB

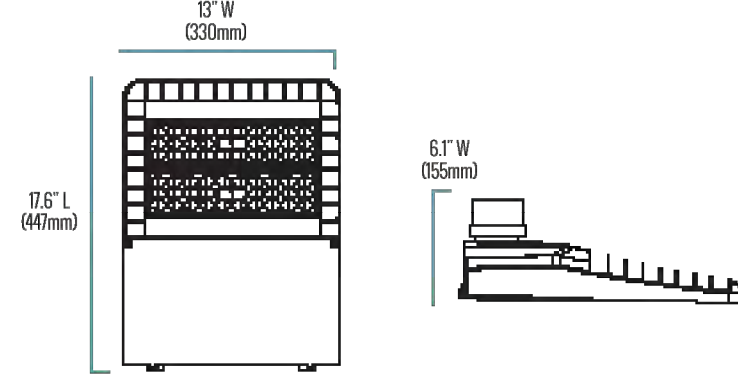
C-AR-A	TYPE	LUMEN PACKAGE	CCT	UL	3PC	DB
C-AR-A	SL3 Area Light Type III	9L Type III-9,200 Lumens, 73W, C30K 9,400 Lumens, 73W, C40K	30K Warm White (3000K)	UL 120V-277V	3PC 3-Pin Receptacle w/ Shorting Cap	DB Dark Bronze
	SL4 Area Light Type IV	Type IV-9,300 Lumens, 73W, C30K 9,400 Lumens, 73W, C40K	40K Neutral White (4000K)			
	SL5 Area Light Type V	Type V-9,300 Lumens, 73W, C30K 9,400 Lumens, 73W, C40K 10,100 Lumens, 73W, C50K	50K Cool White (5000K)			

CERTIFICATIONS



US: conlight.com, e-conlight.com Distribution/Sales: 855-617-2723 Customer Service: 888-243-9445  
Rev Date: 12/15/20/2020 For informational purposes only. Content is subject to change. \*See lighting.cree.com/warranty for details

C-AR-A-SL3/SL4/SL5-9L/10L Series



DIMENSIONS	PRODUCT WEIGHT	MOUNTING HEIGHT	SPACING
17.6" (447mm) L x 13" (330mm) W x 6.1" (155mm) H (with short cap)	10 lbs.	15-24 feet typical	4 to 5 times the mounting height to meet minimum security lighting

HOUSING	Die-cast aluminum with hinged door for easy installation UV stabilized powder coat finish
LENS ASSEMBLY	Type III optics, Type IV optics, Type V optics
MOUNTING (SOLD SEPARATELY)	2" Slip Fitter for 2 3/8" O.D. tenon Trunnion Mount 8" direct arm pole mount Tilt up to 45° orientation only

OPERATING TEMPERATURE RANGE	ESTIMATED L70 LIFETIME @ 25°C (77°F)	POWER FACTOR	TOTAL HARMONIC DISTORTION
-40°C (-40°F) - 40°C (104°F)	>100,000 Hours	> 0.9	< 20%

LUMEN PACKAGE	SYSTEM WATTS (120-277V)	CURRENT DRAW (AMPS)			
		120V	208V	240V	277V
9L/10L	73W	0.61A	0.353A	0.306A	0.282A

WARRANTY	UL LISTED		INTERNATIONAL DARK SKY	
	UL LISTED	DLC	INTERNATIONAL DARK SKY	
5 Year Limited*	Wet Locations	DLC Premium Qualified. Please refer to www.designlights.org/DLP for most current information.	Dark Sky Friendly, IDA Approved when ordered with 30K CCT and direct pole mount only. Please refer to https://www.darksky.org/our-work/lighting/lighting-for-industry/isa/isa-products/ for most current information.	

CA RESIDENTS WARNING: Cancer and Reproductive Harm - www.P65Warnings.ca.gov  
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C-AR-A-SL3/SL4/SL5-9L/10L Series

LUMINAIRE EPA	Direct Arm Mount - C-ACC-MTFL-AR-SL345-8IN-DB						
LUMEN PACKAGE	SINGLE	2 @ 90°	2 @ 180°	3 @ 90°	3 @ 120°	4 @ 90°	
9L/10L	0.69	1.02	1.38	1.71	N/A	2.04	

Lumen Package	Adjustable Arm Mount - C-ACC-A-MTSL-2IN							
	SINGLE	2 @ 180°	2 @ 90°	3 @ 90°	3 @ 120°	3 @ 180°	4 @ 180°	4 @ 90°
PB-1A*, PW-1A3**	PB-2A*, PD-2M(80); PW-2A3**	PB-2A*, PD-2M(30)	PB-3A*, PD-3M(30)	PB-3A*	PB-3A*	PB-4A*(180)	PB-4A*(90); PD-4M(90)	
0° TILT	All Lumen Packages	0.71	1.42	1.42	2.13	2.13	2.84	2.84
10° TILT	All Lumen Packages	0.71	1.42	1.42	2.30	2.30	2.84	2.84
20° TILT	All Lumen Packages	0.97	1.94	1.94	2.91	2.91	3.88	3.88
30° TILT	All Lumen Packages	1.16	2.32	2.32	3.48	3.48	4.64	4.64
45° TILT	All Lumen Packages	1.34	2.68	2.68	4.02	4.02	5.36	5.36

NOT FOR CONSTRUCTION

PROJECT TITLE: VARIN-MONTEREY, LLC MONTEREY APARTMENTS

DESIGNED BY: KKR  
DRAWN BY: AL  
CHECKED BY: KKR  
DATE CHECKED: 12-24-20

DATE: REVISION:

DRAWING TITLE: LIGHTING DETAILS

PROJECT No.: L0660100

DRAWING No.: 8

DWG 8 OF 8 DWGS



625 57TH STREET  
6TH FLOOR  
KENOSHA, WI 53140  
PHONE : 262.657.1550 www.clarkdietz.com

E-PS Series Square Steel Pole	E-PS4 (4 INCH)			E-PS5 (5 INCH)			E-PS6 (6 INCH)				
	HEIGHT X WIDTH X WALL THICKNESS	BOLT CIRCLE RANGE	ANCHOR BOLT SIZE	HEIGHT X WIDTH X WALL THICKNESS	BOLT CIRCLE RANGE	ANCHOR BOLT SIZE	HEIGHT X WIDTH X WALL THICKNESS	BOLT CIRCLE RANGE	ANCHOR BOLT SIZE		
15.4" x 0.120"	15.4" x 0.120"	10.8	T	17.5" x 0.120"	17.5" x 0.120"	11.8"	T	20.4" x 0.120"	20.4" x 0.120"	12.8"	T
17.4" x 0.120"	17.4" x 0.120"	140	T	20.4" x 0.120"	20.4" x 0.120"	13.8"	T	22.4" x 0.120"	22.4" x 0.120"	14.8"	T
20.4" x 0.180"	20.4" x 0.180"	120	T	22.4" x 0.180"	22.4" x 0.180"	14.8"	T	25.4" x 0.180"	25.4" x 0.180"	15.8"	T
22.4" x 0.180"	22.4" x 0.180"	200	T	25.4" x 0.180"	25.4" x 0.180"	16.8"	T	27.4" x 0.180"	27.4" x 0.180"	17.8"	T
25.4" x 0.180"	25.4" x 0.180"	270	T	27.4" x 0.180"	27.4" x 0.180"	18.8"	T	30.4" x 0.180"	30.4" x 0.180"	19.8"	T
30.4" x 0.180"	30.4" x 0.180"	245	T	30.4" x 0.180"	30.4" x 0.180"	20.8"	T	33.4" x 0.180"	33.4" x 0.180"	21.8"	T

CONSTRUCTION & MATERIALS

- Standard full base cover is included with each pole and made from ABS plastic secured together with two plastic hand pin joints.
- Partially galvanized anchor bolts and hardware included.
- Anchor bolts are made from carbon steel bar conforming to ASTM A307 and ASTM A36 specifications.
- Base plates telescope the pole shaft and fit circumferentially around the top of the pole.

RECOMMENDED USE

- Parking lots
- Roadways
- General area

CERTIFICATIONS

1 YEAR WARRANTY



E-PS Series Square Steel Pole	E-PS4 (4 INCH)			E-PS5 (5 INCH)			E-PS6 (6 INCH)				
	HEIGHT X WIDTH X WALL THICKNESS	BOLT CIRCLE RANGE	ANCHOR BOLT SIZE	HEIGHT X WIDTH X WALL THICKNESS	BOLT CIRCLE RANGE	ANCHOR BOLT SIZE	HEIGHT X WIDTH X WALL THICKNESS	BOLT CIRCLE RANGE	ANCHOR BOLT SIZE		
15.4" x 0.120"	15.4" x 0.120"	108	T	17.5" x 0.120"	17.5" x 0.120"	11.8"	T	20.4" x 0.120"	20.4" x 0.120"	12.8"	T
17.4" x 0.120"	17.4" x 0.120"	120	T	20.4" x 0.120"	20.4" x 0.120"	13.8"	T	22.4" x 0.120"	22.4" x 0.120"	14.8"	T
20.4" x 0.180"	20.4" x 0.180"	140	T	22.4" x 0.180"	22.4" x 0.180"	14.8"	T	25.4" x 0.180"	25.4" x 0.180"	15.8"	T
22.4" x 0.180"	22.4" x 0.180"	200	T	25.4" x 0.180"	25.4" x 0.180"	16.8"	T	27.4" x 0.180"	27.4" x 0.180"	17.8"	T
25.4" x 0.180"	25.4" x 0.180"	270	T	27.4" x 0.180"	27.4" x 0.180"	18.8"	T	30.4" x 0.180"	30.4" x 0.180"	19.8"	T
30.4" x 0.180"	30.4" x 0.180"	245	T	30.4" x 0.180"	30.4" x 0.180"	20.8"	T	33.4" x 0.180"	33.4" x 0.180"	21.8"	T

