

TENDER REFLECTIONS



elliot architects
86 coulee road, suite 200
HUDSON, WI 54016
715.386.8303
Design[ed] to be more.

DESIGN TEAM

OWNER:	ARCHITECT:	GENERAL CONTRACTOR:	STRUCTURAL:	CIVIL:
MIDWEST ASSISTED LIVING PARTNERS, LLC. 5131 175TH STREET CHIPPEWA FALLS, WISCONSIN 54729	ELLIOT ARCHITECTS, LLC 86 COULEE ROAD, SUITE 200 HUDSON, WISCONSIN 54016 P: 715-386-8303 CONTACT: BRIAN HINZ	INNOVATIVE CONSTRUCTION MANAGEMENT, LLC 5131 175TH STREET CHIPPEWA FALLS, WISCONSIN 54729 P: 715-226-8300 CONTACT: CURT CROTTY	A.M. STRUCTURAL ENGINEERING 112 EAST MAPLE STREET RIVER FALLS, WISCONSIN 54022 P: 715-408-4930 CONTACT: DAVE WAGNER	AUTH-CONSULTING ASSOCIATES 2920 ENLOE STREET HUDSON, WISCONSIN 54016 P: 715-381-8277 CONTACT: MATT HIEB



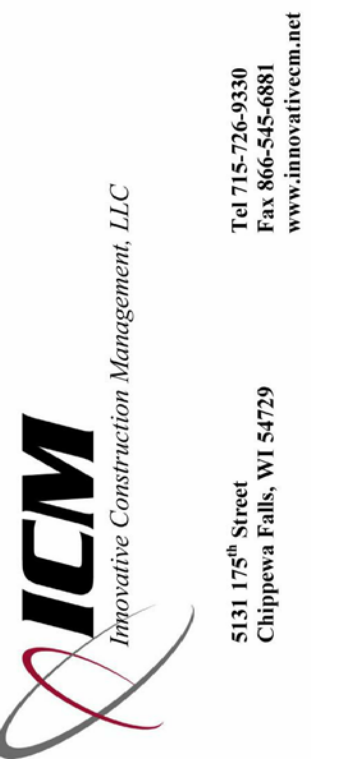
SHEET INDEX

#	SHEET NAME
T1.1	TITLE SHEET
LANDSCAPE	
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CIVIL	
C1.0	OVERALL EXISTING SITE CONDITIONS
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C1.2	EXISTING SITE CONDITIONS - NE
C2.0	OVERALL SITE PLAN
C2.1	SITE PLAN - SW
C2.2	SITE PLAN - NE
C3.0	OVERALL GRADING PLAN
C3.1	GRADING PLAN - SW
C3.2	GRADING PLAN - NE
C4.0	OVERALL UTILITY PLAN
C4.1	UTILITY PLAN - SW
C4.2	UTILITY PLAN - NE
ARCHITECTURAL	
A2.1	FLOOR PLAN AREA 'A'
A2.2	FLOOR PLAN AREA 'B'
A3.1	ELEVATIONS
A4.3	WALL SECTIONS / TRASH ENCLOSURE

PROJECT NO. 16-202

TENDER REFLECTIONS

E. BROADWAY AND
REMPE DRIVE
WAUKESHA,
WISCONSIN 53186



Fd 715-726-9339
www.innovativem.com

818 E 5th Street
Chippewa Falls, WI 54729

CITY SUBMITTAL

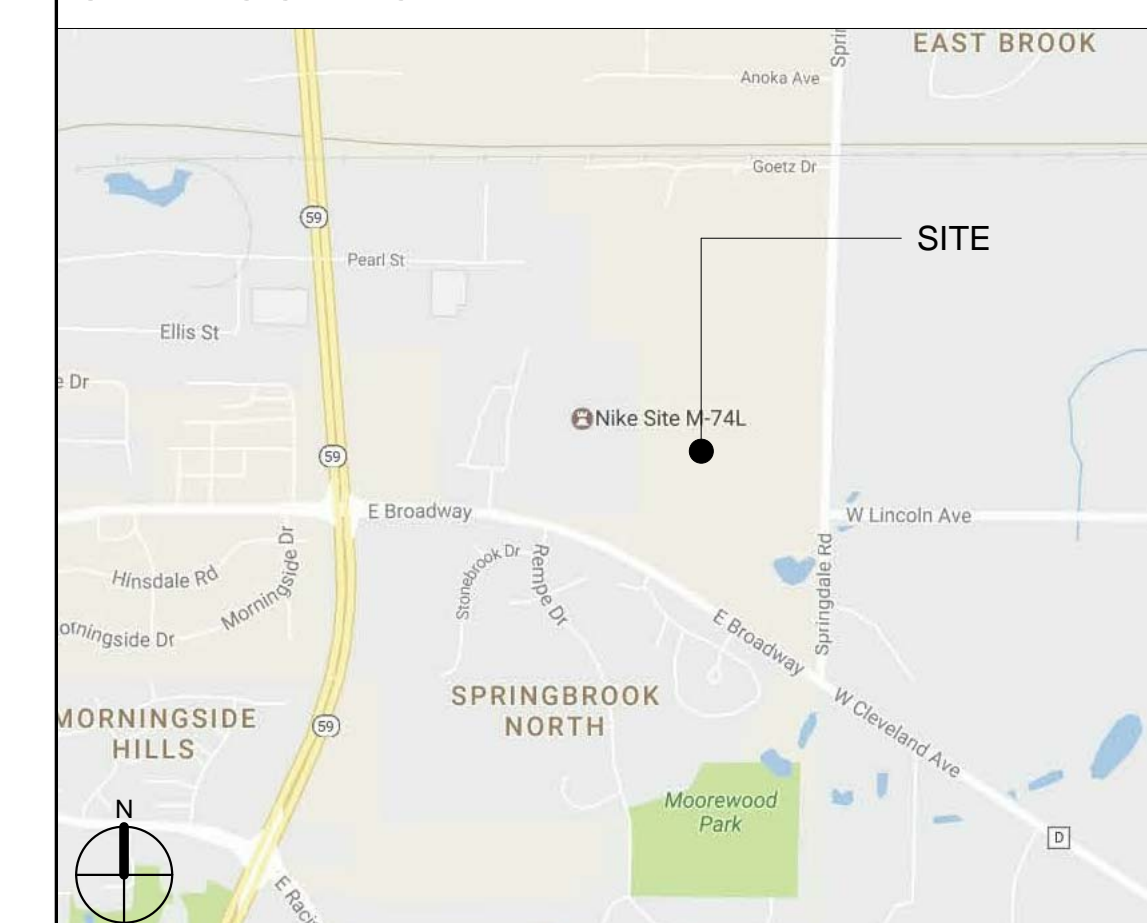
RELEASE DATE
CITY SUBMITTAL 05-25-2017

TITLE SHEET

T1.1

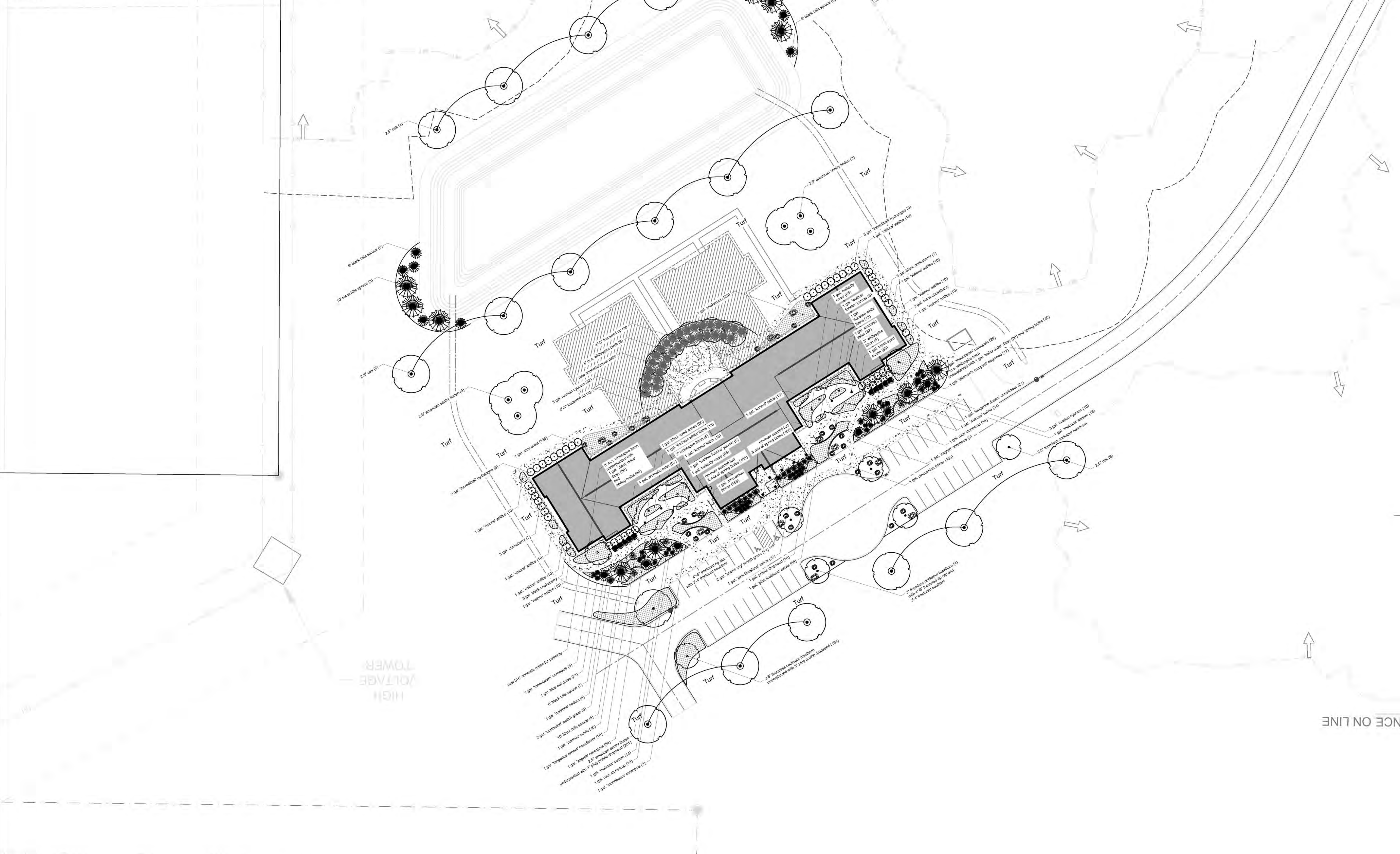
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SITE LOCATION



GENERAL NOTES:

1. CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
2. 6" OF TOPSOIL SHALL BE PROVIDED IN ALL GENERAL LANDSCAPE AREAS. LANDSCAPE CONTRACTOR SHALL VERIFY THAT SPECIFIED PLANTING SOIL DEPTH IS PRESENT PRIOR TO PLANTING.
3. HYDROSEED/FERTILIZE/CRIMP HAY MULCH ALL GENERAL LANDSCAPE AREAS DISTURBED DURING CONSTRUCTION.
4. ALL AREAS CALLED OUT FOR "NO MOW-LOW GROW" TURF SHALL BE PROVIDED AND INSTALLED PER SPEC FROM PRAIRIE NURSERY INC.
5. ALL PLANT MATERIALS LISTED SHALL MEET THE STANDARDS OF THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION FOR THE SIZES GIVEN.
6. ALL TREES SHALL BE STAKED WITH A MINIMUM OF TWO STAKES.
7. 2'-4" SIZE RANGE FOR DECORATIVE-FRACTURED LANDSCAPE BOULDERS AS NOTED PER PLAN LOCATIONS. FINAL SIZE AND COLOR TO BE CHOSEN BY OWNER.
8. 4"-6" DEPTH OF DECORATIVE-FRACTURED RIP RAP BE PLACED IN SPECIFIED LANDSCAPE PLANTING BEDS. FINAL SIZE AND COLOR TO BE CHOSEN BY OWNER.
9. 3" DEPTH OF DOUBLE SHREDDED HARDWOOD MULCH FOR ALL LANDSCAPE PLANTING BEDS/TURF-TREE MULCH RINGS.
10. FILTER FABRIC SHALL BE PLACED BENEATH ALL LANDSCAPE STONE.
11. 1/8" X 4" ALUMINUM EDGING-BRONZE FINISH FOR ALL LANDSCAPE PLANTING BEDS/TURF-TREE RINGS.
12. COORDINATE ALL LANDSCAPE WORK WITH GAS, ELECTRIC, (INCLUDING MAIN SERVICE, SITE LIGHTING, CONDUITS AND SIGNAGE) CABLE AND TELEPHONE CONSTRUCTION AND RESPECTIVE TRADES FOR THE INSTALLATION OF SAID UTILITIES.
13. ALL SPECIFIED LANDSCAPING SHALL BE GUARANTEED FOR A TWO (2) GROWING SEASON PERIOD BY LANDSCAPE CONTRACTOR.



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re.vi
DESIGN

re.vi DESIGN, LLC.
design | build | maintain
4701 county road z
wausau | wi | 54403
715.355.REVI(7384)
www.revi-design.com

project date
may 16th, 2017

project name
waukesha memory care

project address
waukesha, WI

project scale
one inch = forty feet

0 40

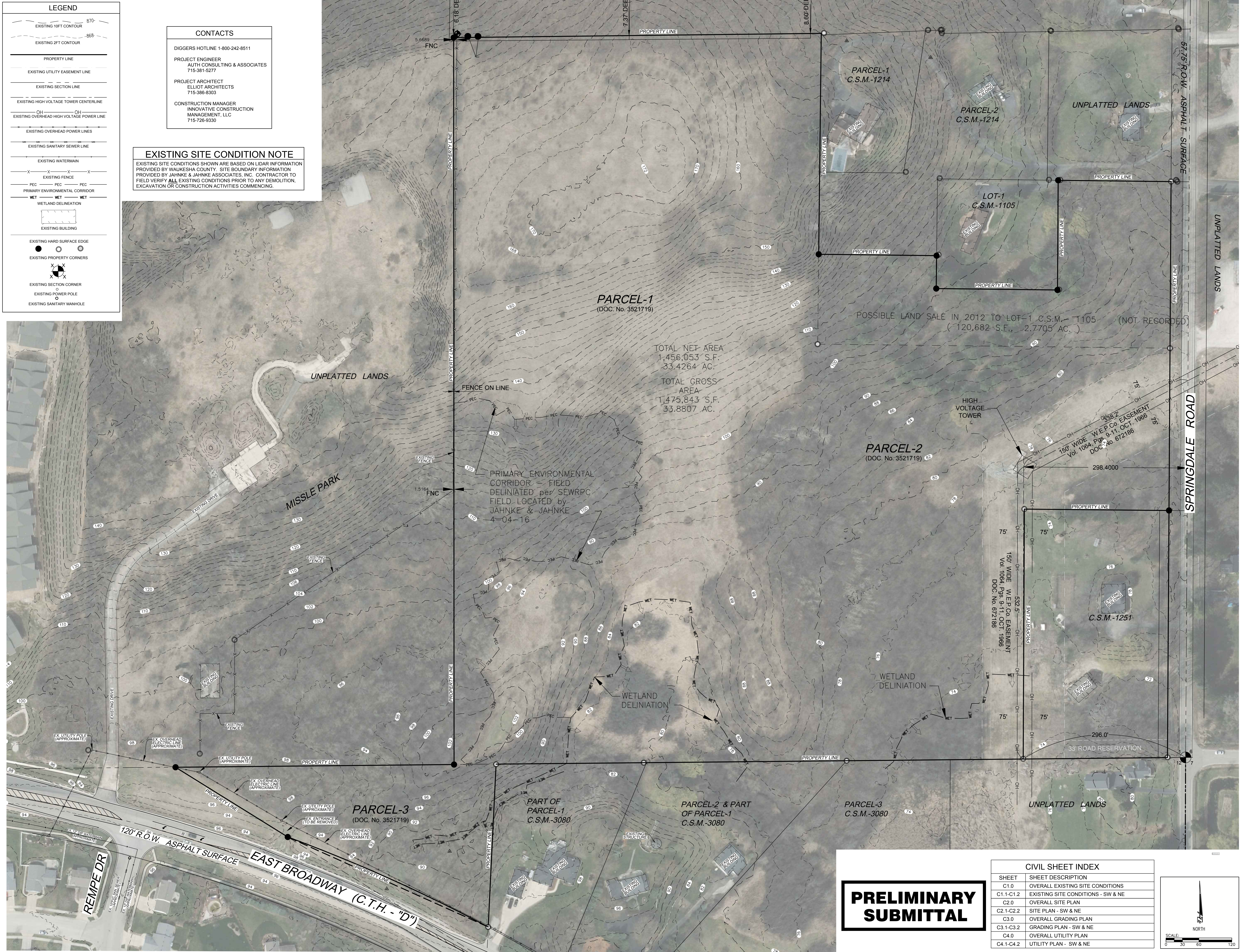
LANDSCAPE
CONCEPT



LEGEND	
	EXISTING 10FT CONTOUR
	EXISTING 2FT CONTOUR
	PROPERTY LINE
	EXISTING UTILITY EASEMENT LINE
	EXISTING SECTION LINE
	EXISTING HIGH VOLTAGE TOWER CENTERLINE
	EXISTING OVERHEAD HIGH VOLTAGE POWER LINE
	EXISTING OVERHEAD POWER LINES
	EXISTING SANITARY SEWER LINE
	EXISTING WATERMAIN
	EXISTING FENCE
	PEC
	PRIMARY ENVIRONMENTAL CORRIDOR
	WET
	WETLAND DELINEATION
	EXISTING BUILDING
	EXISTING HARD SURFACE EDGE
	EXISTING PROPERTY CORNERS
	EXISTING SECTION CORNER
	EXISTING POWER POLE
	EXISTING SANITARY MANHOLE

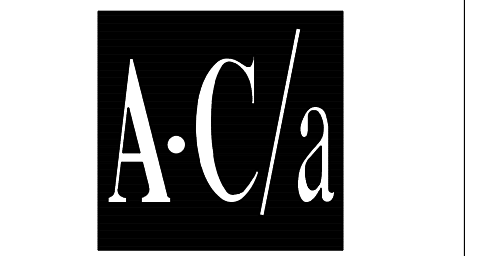
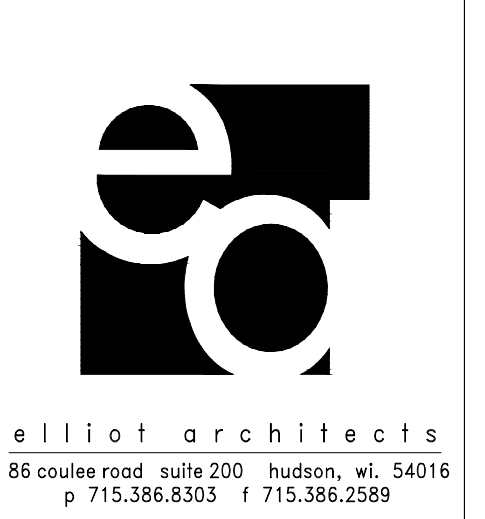
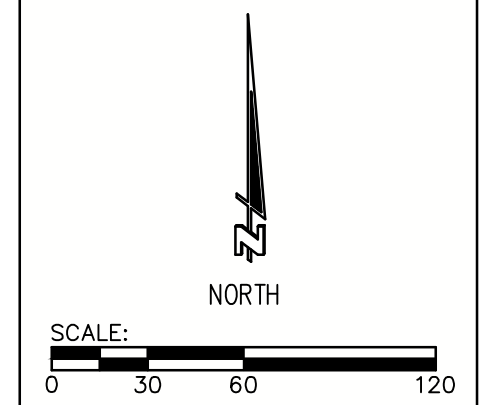
CONTACTS	
DIGGERS HOTLINE	1-800-242-8511
PROJECT ENGINEER	AUTH CONSULTING & ASSOCIATES 715-381-5277
PROJECT ARCHITECT	ELLIOT ARCHITECTS 715-386-8303
CONSTRUCTION MANAGER	INNOVATIVE CONSTRUCTION MANAGEMENT, LLC 715-726-9330

EXISTING SITE CONDITION NOTE
 EXISTING SITE CONDITIONS SHOWN ARE BASED ON LIDAR INFORMATION PROVIDED BY WAUKESHA COUNTY. SITE BOUNDARY INFORMATION PROVIDED BY JAHNKE & JAHNKE ASSOCIATES, INC. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ACTIVITIES COMMENCING.



**PRELIMINARY
SUBMITTAL**

CIVIL SHEET INDEX	
SHEET	SHEET DESCRIPTION
C1.0	OVERALL EXISTING SITE CONDITIONS
C1.1-C1.2	EXISTING SITE CONDITIONS - SW & NE
C2.0	OVERALL SITE PLAN
C2.1-C2.2	SITE PLAN - SW & NE
C3.0	OVERALL GRADING PLAN
C3.1-C3.2	GRADING PLAN - SW & NE
C4.0	OVERALL UTILITY PLAN
C4.1-C4.2	UTILITY PLAN - SW & NE



Auth-Consulting/associates
 S&B Land Surveying a division of A-C/a
 5315 5216-011-C1.0 AC/a JOB # 5216-011

TENDER REFLECTIONS
 E. BROADWAY AND
 REMPE DRIVE
 WAUKESHA
 WISCONSIN 53186



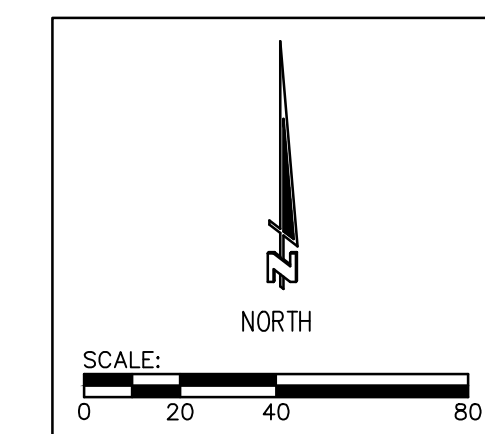
**CITY
SUBMITTAL**

RELEASE DATE
 CITY SUBMITTAL 05-25-2017

**OVERALL
EXISTING SITE
CONDITIONS**
C1.0
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LEGEND	
	EXISTING 10FT CONTOUR 870'
	EXISTING 2FT CONTOUR 868'
	PROPERTY LINE
	EXISTING UTILITY EASEMENT LINE
	EXISTING SECTION LINE
	EXISTING HIGH VOLTAGE TOWER CENTERLINE
	OH EXISTING OVERHEAD HIGH VOLTAGE POWER LINE
	EXISTING OVERHEAD POWER LINES
	EXISTING SANITARY SEWER LINE
	EXISTING WATERMAIN
	EXISTING FENCE
	PEC PRIMARY ENVIRONMENTAL CORRIDOR
	WET WETLAND DELINEATION
	EXISTING BUILDING
	EXISTING HARD SURFACE EDGE
	EXISTING PROPERTY CORNERS
	EXISTING SECTION CORNER
	EXISTING POWER POLE
	EXISTING SANITARY MANHOLE

EXISTING SITE CONDITION NOTE
EXISTING SITE CONDITIONS SHOWN ARE BASED ON LIDAR INFORMATION PROVIDED BY WALKESHA COUNTY. SITE BOUNDARY INFORMATION PROVIDED BY JAHNKE & JAHNKE ASSOCIATES, INC. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ACTIVITIES COMMENCING.

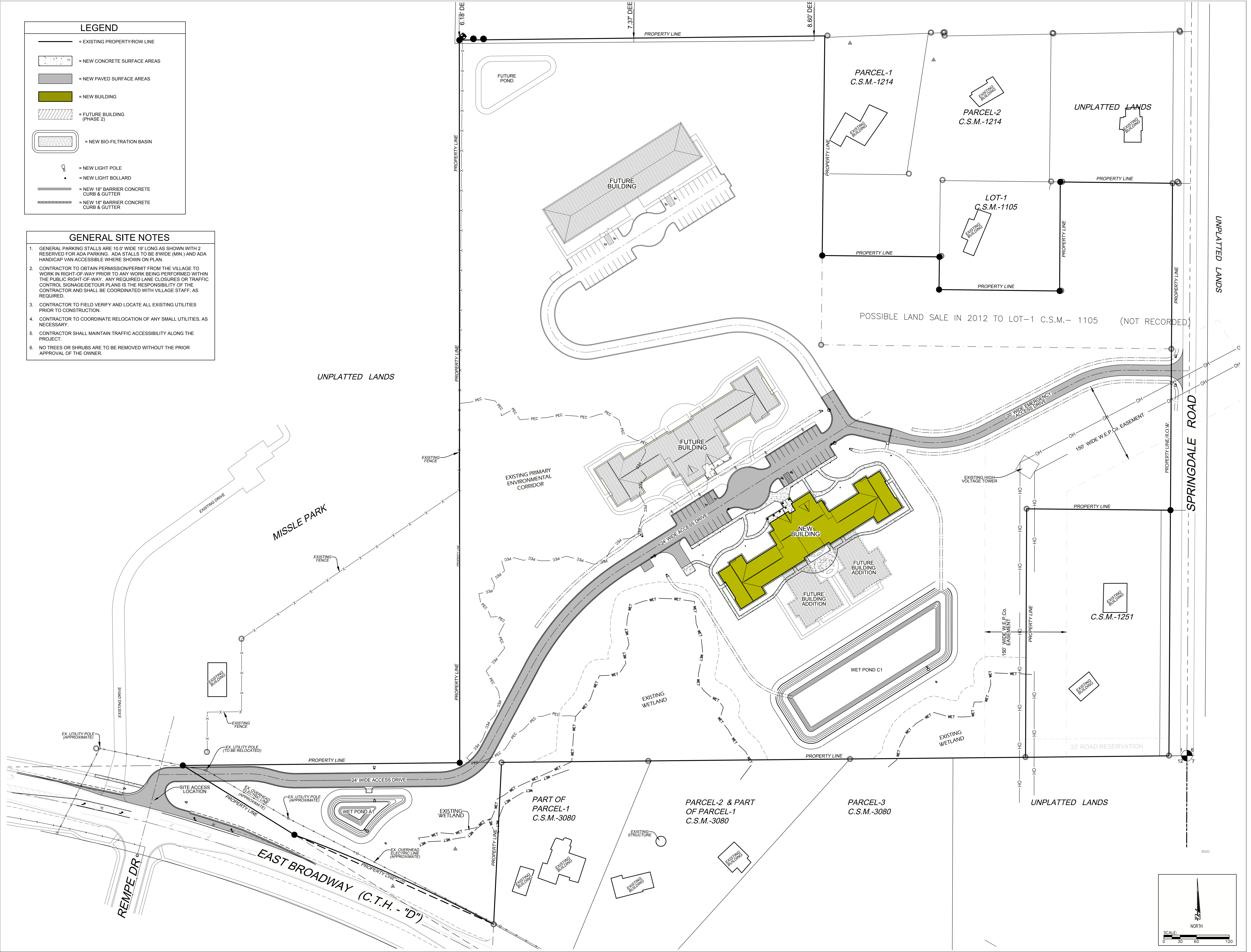


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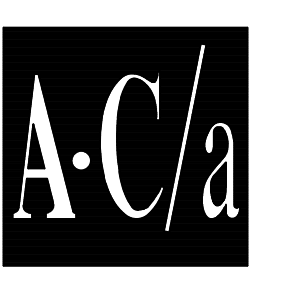
- = EXISTING PROPERTY/ROW LINE
- = NEW CONCRETE SURFACE AREAS
- = NEW PAVED SURFACE AREAS
- = NEW BUILDING
- = FUTURE BUILDING (PHASE 2)
- = NEW BIO-FILTRATION BASIN
- = NEW LIGHT POLE
- = NEW LIGHT BOLLARD
- = NEW 18" BARRIER CONCRETE CURB & GUTTER
- = NEW 18" BARRIER CONCRETE CURB & GUTTER

GENERAL SITE NOTES

1. GENERAL PARKING STALLS ARE 10.0' WIDE 19' LONG AS SHOWN WITH 2 RESERVED FOR ADA PARKING. ADA STALLS TO BE 8' WIDE (MIN.) AND ADA HANDICAP VAN ACCESSIBLE WHERE SHOWN ON PLAN.
2. CONTRACTOR TO OBTAIN PERMISSION/PERMIT FROM THE VILLAGE TO WORK IN RIGHT-OF-WAY PRIOR TO ANY WORK BEING PERFORMED WITHIN THE PUBLIC RIGHT-OF-WAY. ANY REQUIRED LANE CLOSURES OR TRAFFIC CONTROL SIGNAGE/DETOUR PLANS IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE COORDINATED WITH VILLAGE STAFF, AS REQUIRED.
3. CONTRACTOR TO FIELD VERIFY AND LOCATE ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
4. CONTRACTOR TO COORDINATE RELOCATION OF ANY SMALL UTILITIES, AS NECESSARY.
5. CONTRACTOR SHALL MAINTAIN TRAFFIC ACCESSIBILITY ALONG THE PROJECT.
6. NO TREES OR SHRUBS ARE TO BE REMOVED WITHOUT THE PRIOR APPROVAL OF THE OWNER.



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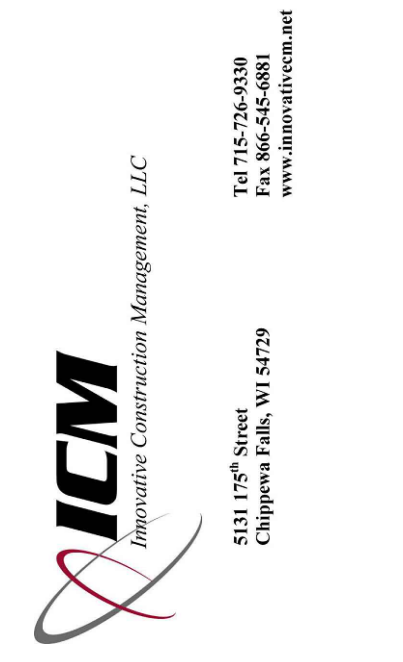


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Auth-Consulting/associates
SME Land Surveying a division of A-C/a
ENR 5216-011-C2.0 AC/a JOB # 5216-011

PROJECT NO. 16-282

TENDER REFLECTIONS
E. BROADWAY AND REMPE DRIVE
WAUKESHA, WISCONSIN 53186

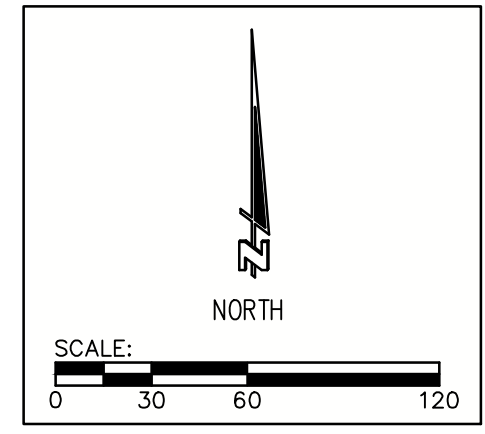


CITY SUBMITTAL

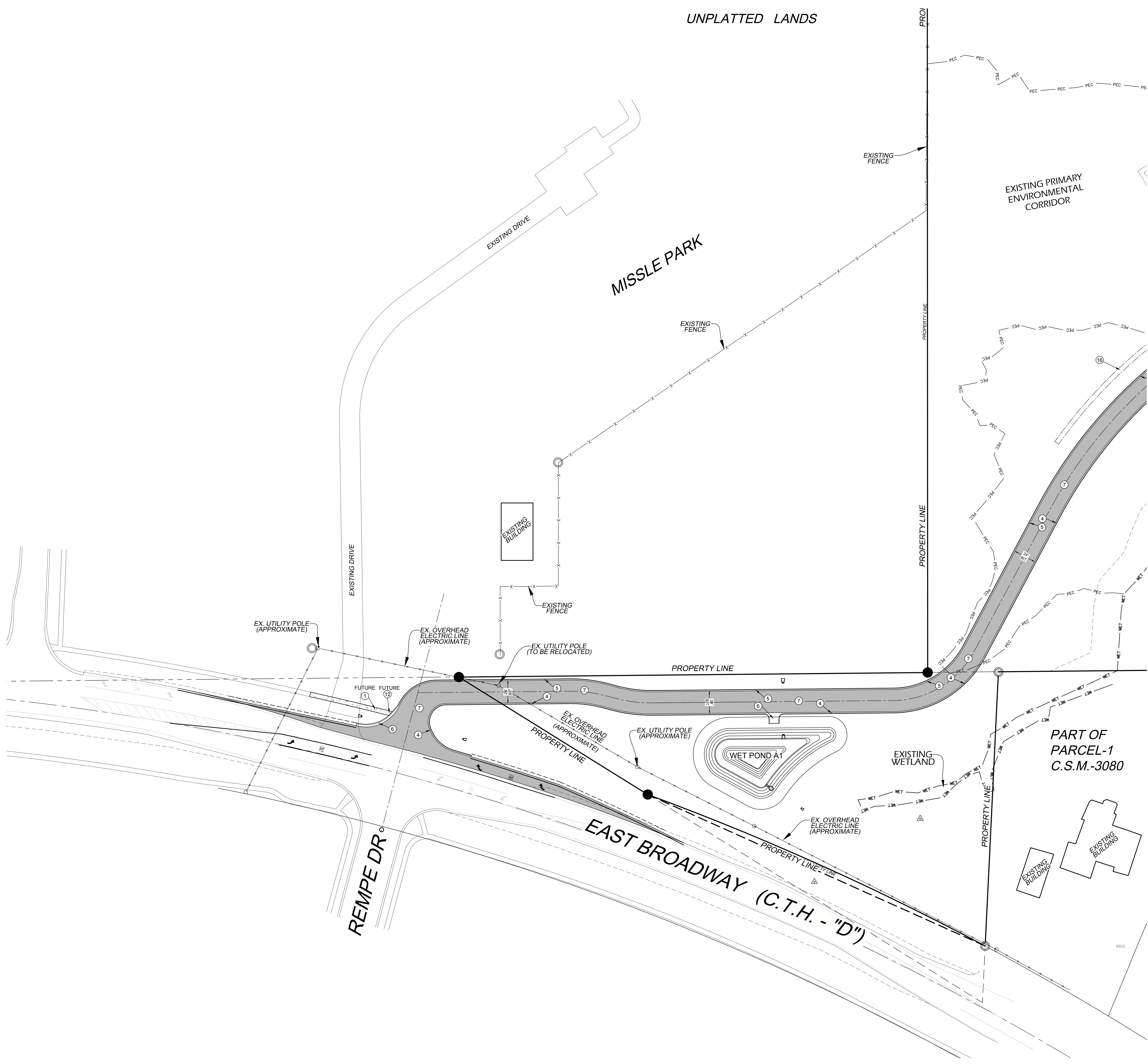
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CITY SUBMITTAL 05-25-2017

OVERALL SITE PLAN

C2.0
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UNPLATTED LANDS

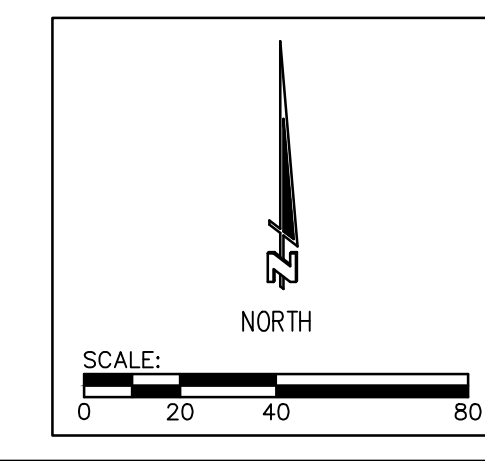


LEGEND	
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	= NEW BIO-FILTRATION BASIN
	= NEW LIGHT POLE
	= NEW LIGHT BOLLARD
	= NEW 18" BARRIER CONCRETE CURB & GUTTER
	= NEW 18" BARRIER CONCRETE CURB & GUTTER

SHEET KEY	
①	5' WIDE CONCRETE SIDEWALK
②	6' WIDE CONCRETE SIDEWALK
③	6' WIDE DUAL PURPOSE CONCRETE SIDEWALK
④	18" BARRIER CONCRETE CURB & GUTTER
⑤	18" REJECT BARRIER CONCRETE CURB & GUTTER
⑥	36" BARRIER CONCRETE CURB & GUTTER
⑦	BITUMINOUS PAVEMENT
⑧	GRAVEL PAVEMENT
⑨	BUILDING ENTRANCE/EXIT DOOR
⑩	RESERVED
⑪	ADA PARKING SIGN
⑫	ADA PEDESTRIAN RAMPED SIDEWALK
⑬	18" RIBBON CONCRETE CURB & GUTTER
⑭	TRASH ENCLOSURE (BY OTHERS)
⑮	LIGHT POLE
⑯	5FT WIDE BOTTOM SWALE
⑰	DRIVEWAY CURB OPENING
⑱	LIFT STATION
⑲	STORM INLET/MANHOLE
⑳	CONDENSING UNITS (APPROXIMATE)
㉑	LIGHT BOLLARD
㉒	CONCRETE FLUME

- GENERAL SITE NOTES**
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 - CONTRACTOR TO OBTAIN PERMISSION/PERMIT FROM THE VILLAGE TO WORK IN RIGHT-OF-WAY PRIOR TO ANY WORK BEING PERFORMED WITHIN THE PUBLIC RIGHT-OF-WAY. ANY REQUIRED LANE CLOSURES OR TRAFFIC CONTROL SIGNAGE/DETOUR PLANS IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE COORDINATED WITH VILLAGE STAFF, AS REQUIRED.
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- ADA ACCESSIBILITY NOTES**
- ACCESSIBLE ROUTE NOT TO EXCEED 1:20 (5%) SLOPE, WITH 1:48 MAX. CROSS SLOPE.
 - HANDICAP PARKING SPACES & ACCESS AISLES SHALL NOT EXCEED 1:48 MAX. SLOPE IN ANY DIRECTION.
 - ADA PARKING SPACES SHALL BE A MIN. OF 96" AND ACCESS AISLES A MIN. OF 60". TWO ADJACENT PARKING SPACES MAY SHARE A COMMON ACCESS AISLE. VAN ACCESS AISLES SHALL BE A MIN. OF 96".
 - EACH HANDICAP PARKING SPACE SHALL BE PROVIDED WITH A HANDICAP PARKING SIGN.



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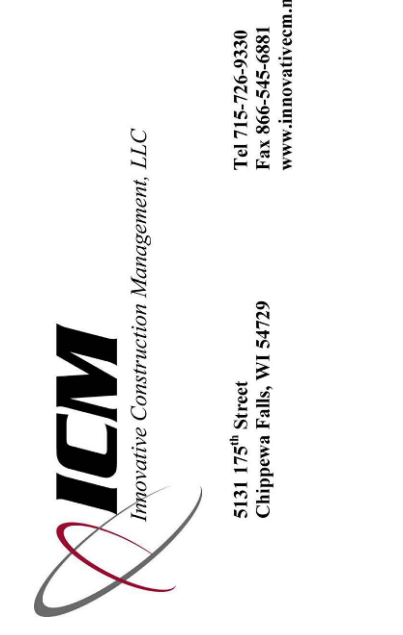


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Auth-Consulting/associates
S&B Land Surveying a division of A-C/a
DWG: 5216-011-C2.0 AC/a JOB # 5216-011

PROJECT NO. 16-282

TENDER REFLECTIONS
E. BROADWAY AND
REMPER DRIVE
WATKIESHA
WISCONSIN 53186



CITY SUBMITTAL

RELEASE DATE
CITY SUBMITTAL 05-25-2017

SITE PLAN - SW

C2.1
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LEGEND

- = EXISTING PROPERTY/ROW LINE
- = NEW CONCRETE SURFACE AREAS
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GENERAL SITE NOTES

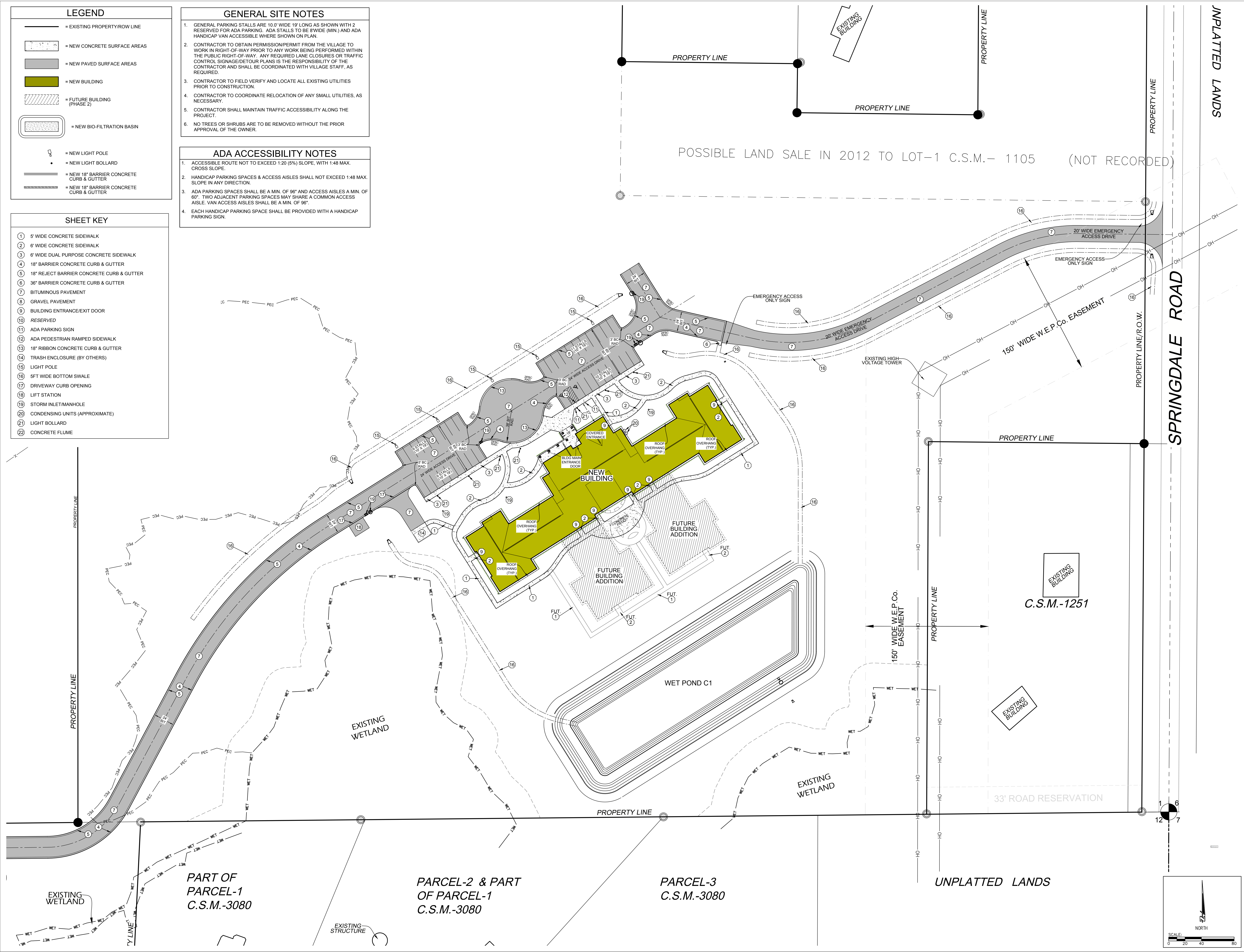
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SHEET KEY

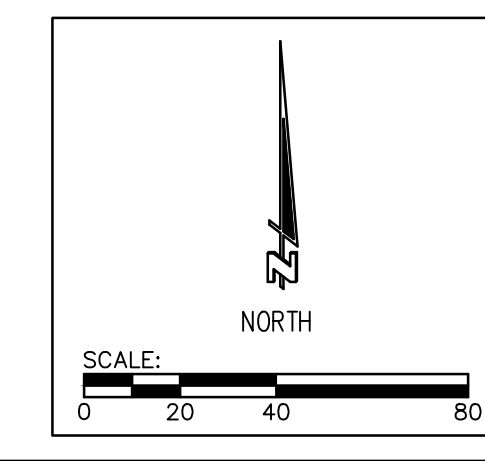
- 5' WIDE CONCRETE SIDEWALK
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- 6' WIDE DUAL PURPOSE CONCRETE SIDEWALK
- 18" BARRIER CONCRETE CURB & GUTTER
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- LIFT STATION
- STORM INLET/MANHOLE
- CONDENSING UNITS (APPROXIMATE)
- LIGHT BOLLARD
- CONCRETE FLUME



POSSIBLE LAND SALE IN 2012 TO LOT-1 C.S.M.- 1105 (NOT RECORDED)

UNPLATTED LANDS

SPRINGDALE ROAD



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PROJECT NO. 16-282

TENDER REFLECTIONS

E. BROADWAY AND
REMPPE DRIVE
WAUKESHA
WISCONSIN 53186

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Chippewa Falls, WI 54729
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CITY SUBMITTAL

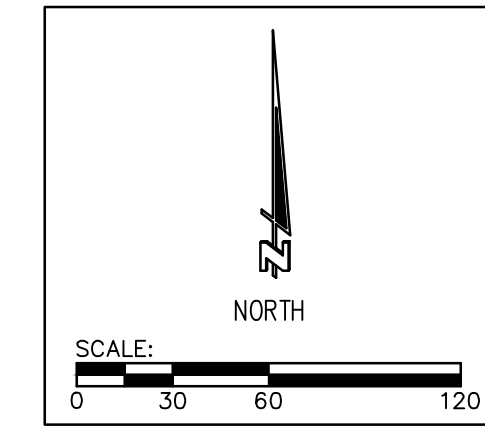
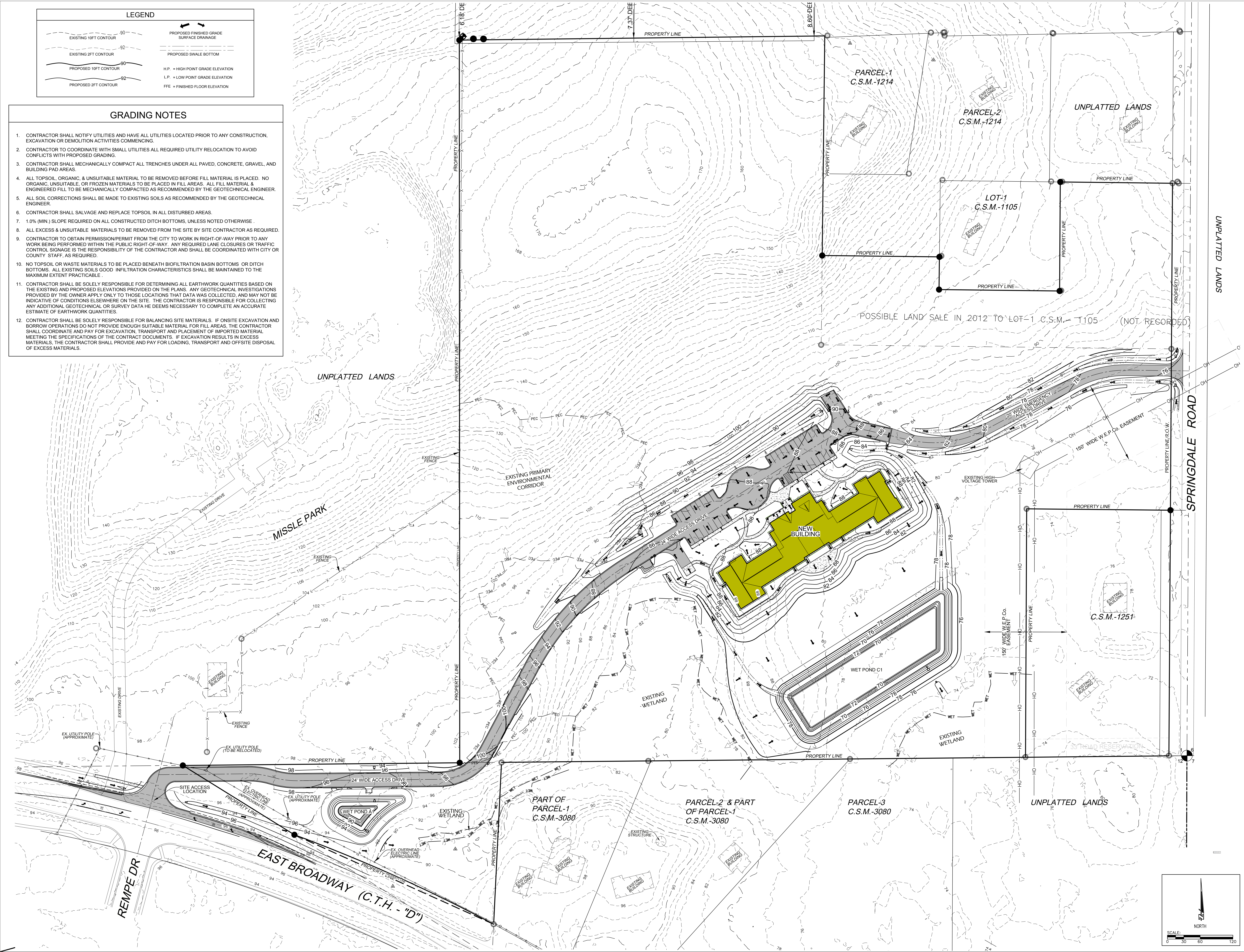
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SITE PLAN - NE
C2.2
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LEGEND

	EXISTING 10FT CONTOUR		PROPOSED FINISHED GRADE
	EXISTING 2FT CONTOUR		PROPOSED SWALE BOTTOM
	PROPOSED 10FT CONTOUR		H.P. = HIGH POINT GRADE ELEVATION
	PROPOSED 2FT CONTOUR		L.P. = LOW POINT GRADE ELEVATION
			FFE = FINISHED FLOOR ELEVATION

- GRADING NOTES**
- CONTRACTOR SHALL NOTIFY UTILITIES AND HAVE ALL UTILITIES LOCATED PRIOR TO ANY CONSTRUCTION, EXCAVATION OR DEMOLITION ACTIVITIES COMMENCING.
 - CONTRACTOR TO COORDINATE WITH SMALL UTILITIES ALL REQUIRED UTILITY RELOCATION TO AVOID CONFLICTS WITH PROPOSED GRADING.
 - CONTRACTOR SHALL MECHANICALLY COMPACT ALL TRENCHES UNDER ALL PAVED, CONCRETE, GRAVEL, AND BUILDING PAD AREAS.
 - ALL TOPSOIL, ORGANIC, & UNSUITABLE MATERIAL TO BE REMOVED BEFORE FILL MATERIAL IS PLACED. NO ORGANIC, UNSUITABLE, OR FROZEN MATERIALS TO BE PLACED IN FILL AREAS. ALL FILL MATERIAL & ENGINEERED FILL TO BE MECHANICALLY COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
 - ALL SOIL CORRECTIONS SHALL BE MADE TO EXISTING SOILS AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
 - CONTRACTOR SHALL SALVAGE AND REPLACE TOPSOIL IN ALL DISTURBED AREAS.
 - 1.0% (MIN.) SLOPE REQUIRED ON ALL CONSTRUCTED DITCH BOTTOMS, UNLESS NOTED OTHERWISE.
 - ALL EXCESS & UNSUITABLE MATERIALS TO BE REMOVED FROM THE SITE BY SITE CONTRACTOR AS REQUIRED.
 - CONTRACTOR TO OBTAIN PERMISSION/PERMIT FROM THE CITY TO WORK IN RIGHT-OF-WAY PRIOR TO ANY WORK BEING PERFORMED WITHIN THE PUBLIC RIGHT-OF-WAY. ANY REQUIRED LANE CLOSURES OR TRAFFIC CONTROL SIGNAGE IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE COORDINATED WITH CITY OR COUNTY STAFF, AS REQUIRED.
 - NO TOPSOIL OR WASTE MATERIALS TO BE PLACED BENEATH BIOFILTRATION BASIN BOTTOMS OR DITCH BOTTOMS. ALL EXISTING SOILS GOOD INFILTRATION CHARACTERISTICS SHALL BE MAINTAINED TO THE MAXIMUM EXTENT PRACTICABLE.
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406 Technology Drive East
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2820 E. Ohio Street
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Tel 715-381-5277

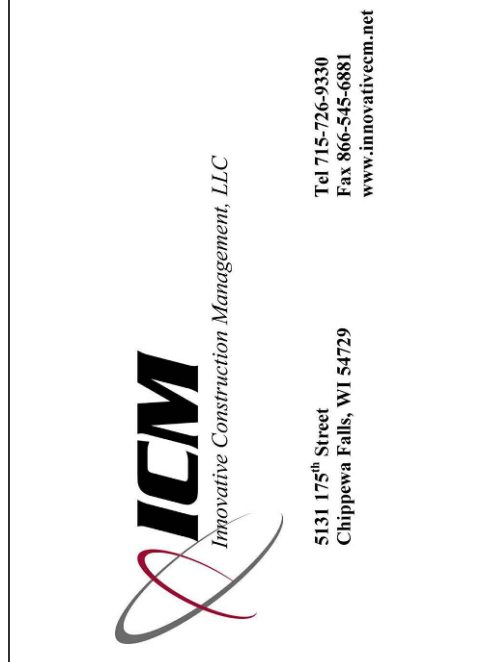
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SME Land Surveying a division of A-C/a
SNG 5216-011-C3.0 AC/a JOB # 5216-011

PROJECT NO. 16-282

TENDER REFLECTIONS

E. BROADWAY AND
REMPE DRIVE
WAUKESHA
WISCONSIN 53186

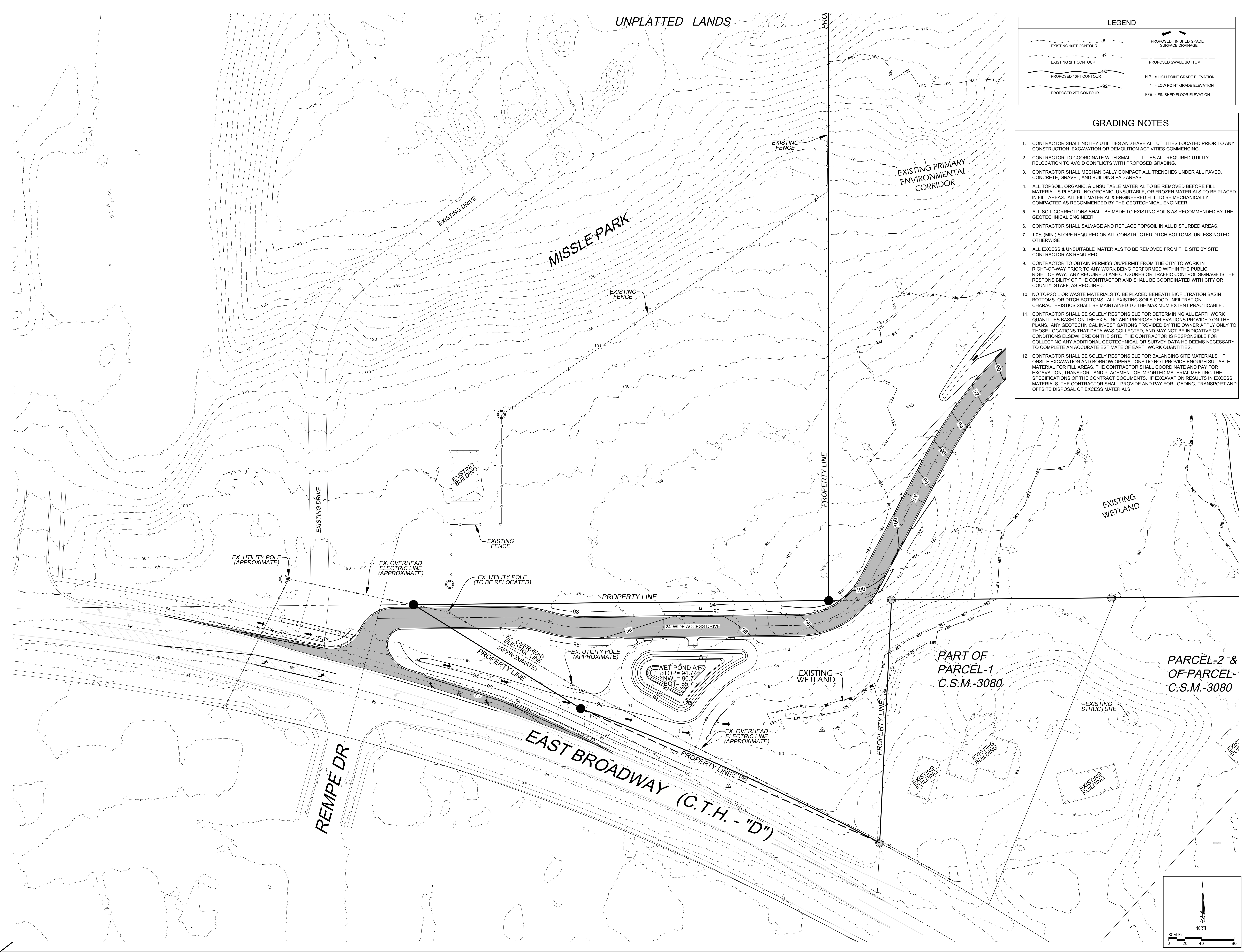


CITY SUBMITTAL

RELEASE DATE
CITY SUBMITTAL 05-25-2017

OVERALL GRADING PLAN

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LEGEND	
	EXISTING 10FT CONTOUR
	EXISTING 2FT CONTOUR
	PROPOSED 10FT CONTOUR
	PROPOSED 2FT CONTOUR
	PROPOSED FINISHED GRADE SURFACE DRAINAGE
	PROPOSED SWALE BOTTOM
	H.P. = HIGH POINT GRADE ELEVATION
	L.P. = LOW POINT GRADE ELEVATION
	FFE = FINISHED FLOOR ELEVATION

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- CONTRACTOR SHALL NOTIFY UTILITIES AND HAVE ALL UTILITIES LOCATED PRIOR TO ANY CONSTRUCTION, EXCAVATION OR DEMOLITION ACTIVITIES COMMENCING.
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 - CONTRACTOR SHALL MECHANICALLY COMPACT ALL TRENCHES UNDER ALL PAVED, CONCRETE, GRAVEL, AND BUILDING PAD AREAS.
 - ALL TOPSOIL, ORGANIC, & UNSUITABLE MATERIAL TO BE REMOVED BEFORE FILL MATERIAL IS PLACED. NO ORGANIC, UNSUITABLE, OR FROZEN MATERIALS TO BE PLACED IN FILL AREAS. ALL FILL MATERIAL & ENGINEERED FILL TO BE MECHANICALLY COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
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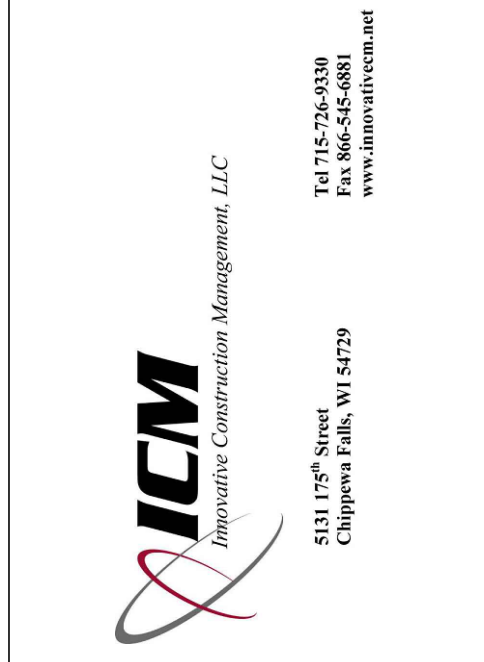
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 28th Land Surveying a division of A-C/a
 SWS 5216-011-C-10 AC/a JOB # 5216-011

PROJECT NO. 16-282

TENDER REFLECTIONS

E. BROADWAY AND REMPE DRIVE
 WAUKESHA
 WISCONSIN 53186

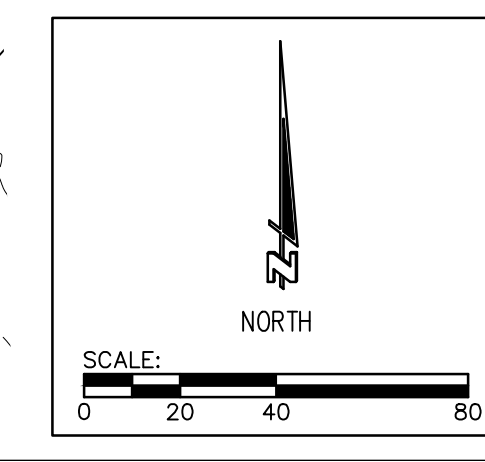


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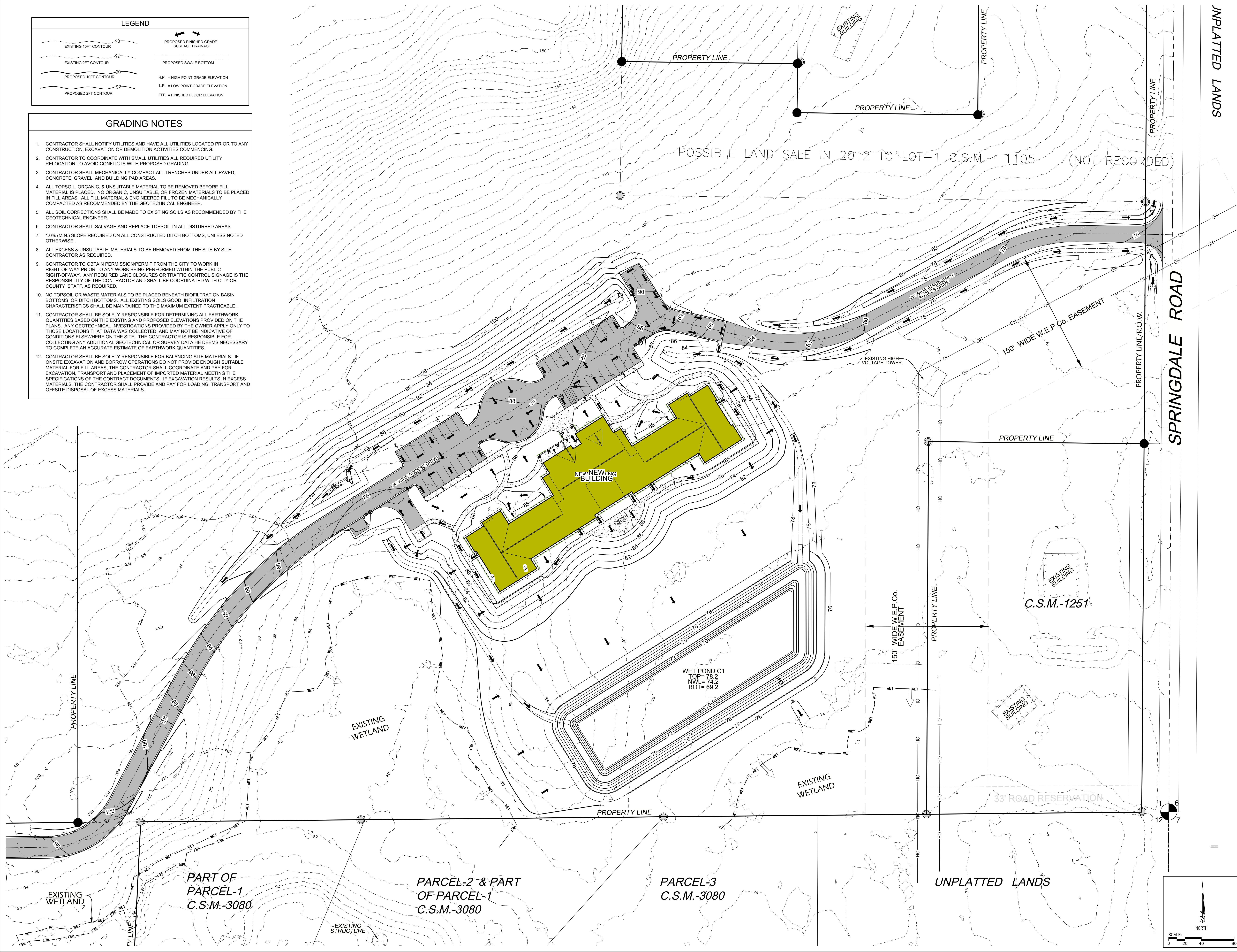
GRADING PLAN - SW

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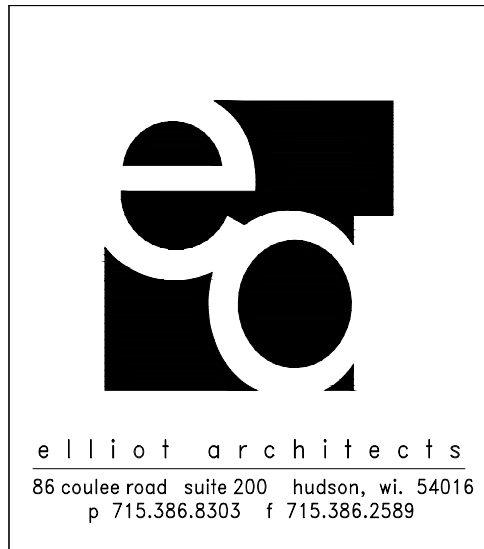
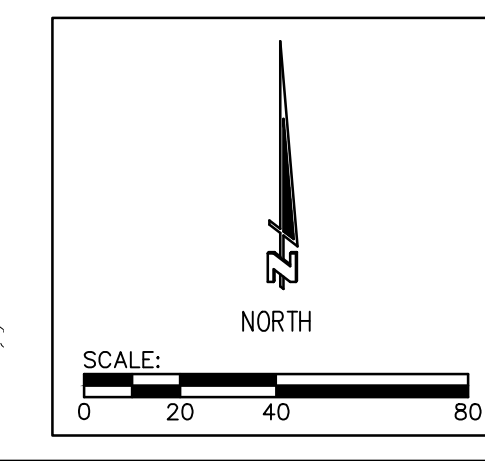
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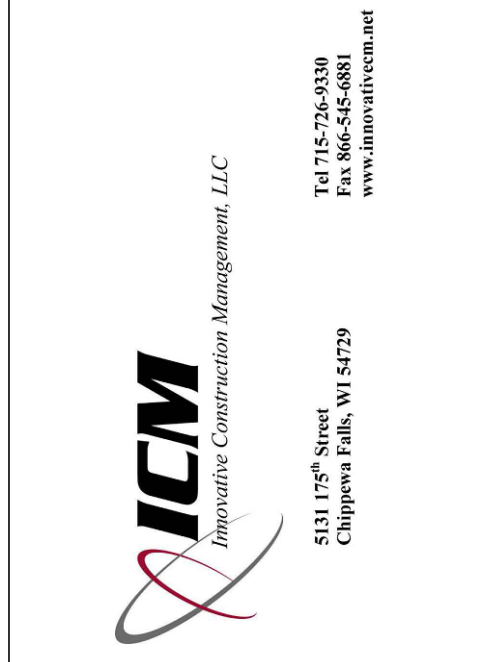


UNPLATTED LANDS

SPRINGDALE ROAD



PROJECT NO. 16-282
TENDER REFLECTIONS
E. BROADWAY AND REMPE DRIVE WAUKESHA WISCONSIN 53186



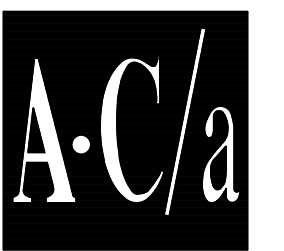
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CITY SUBMITTAL 05-25-2017

GRADING PLAN - NE
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P 715.386.8303 F 715.386.2589



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SME Land Surveying a division of A-C/a
ENR 5216-011-C5.0 AC/a JOB # 5216-011

PROJECT NO. 16-282

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REMPE DRIVE
WAUKESHA
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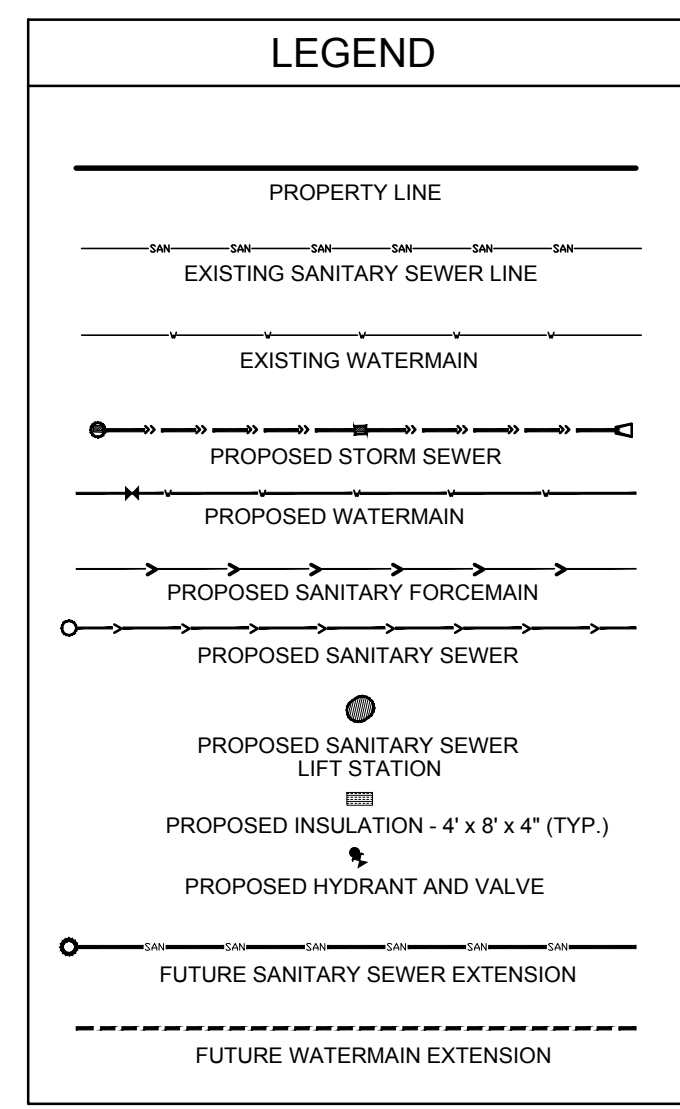
ICM
Infrastructure Construction Management, LLC
TEL 715-234-9300
www.icmwi.com
5111 W.P. Street #14279
Chippewa Falls, WI 54929

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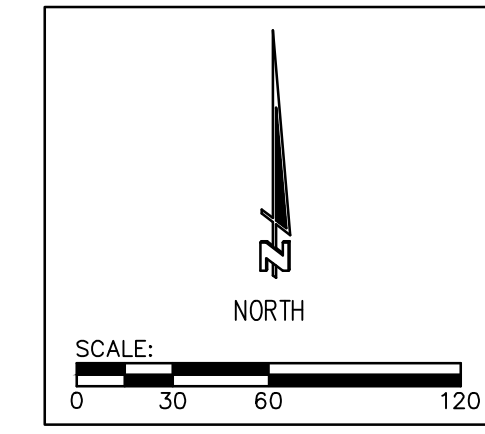
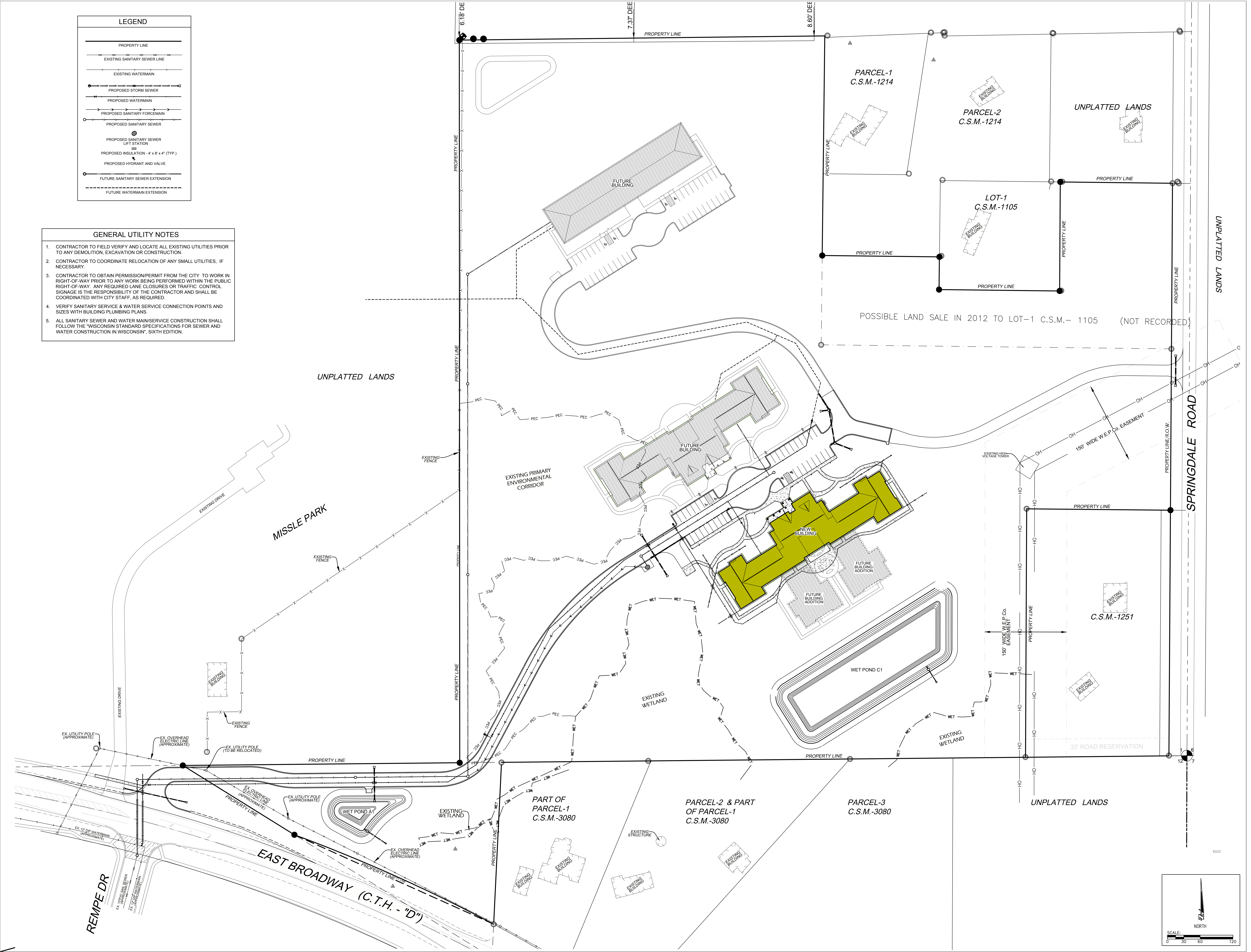
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OVERALL UTILITY PLAN

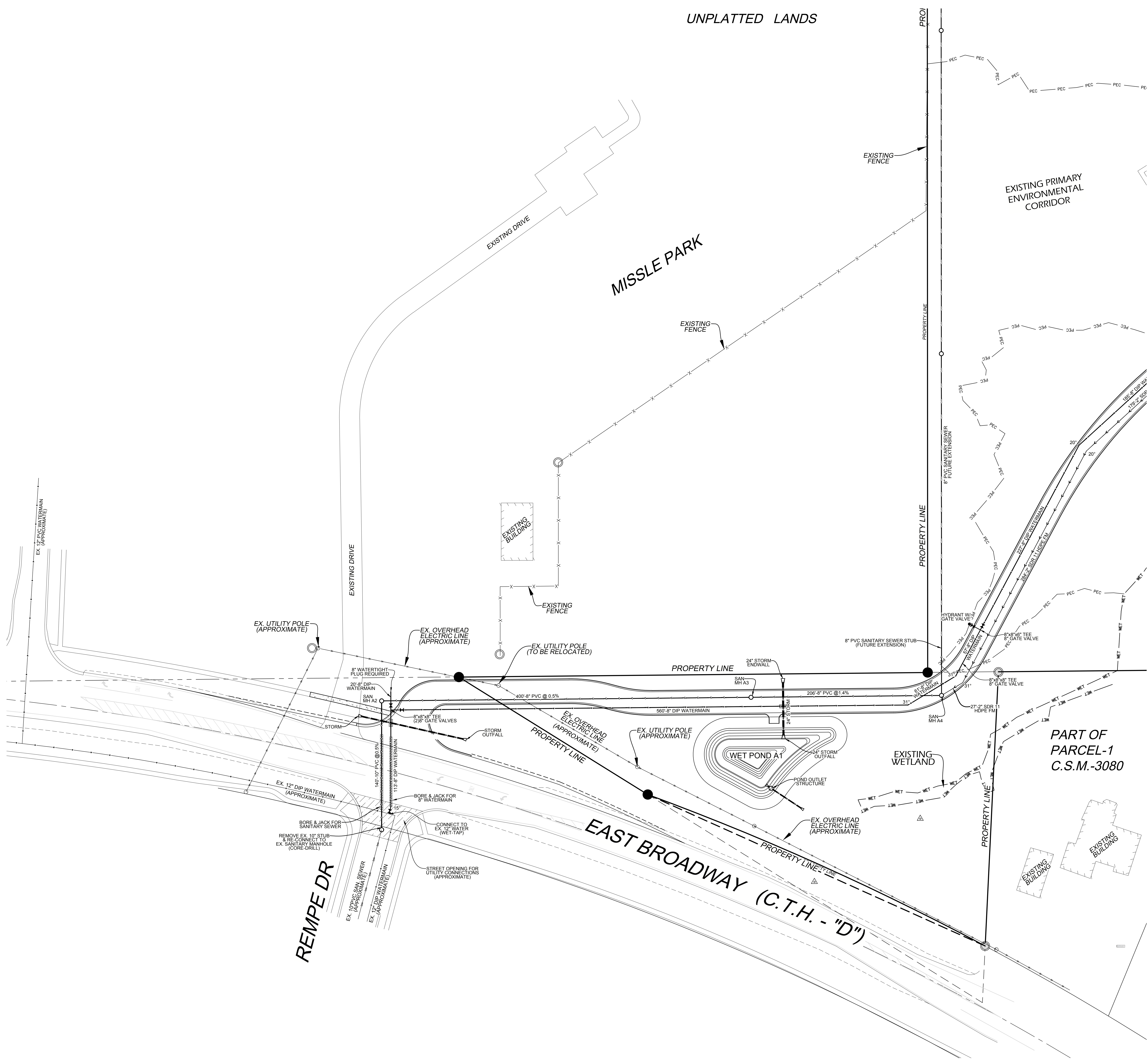
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 - VERIFY SANITARY SERVICE & WATER SERVICE CONNECTION POINTS AND SIZES WITH BUILDING PLUMBING PLANS.
 - ALL SANITARY SEWER AND WATER MAIN/SERVICE CONSTRUCTION SHALL FOLLOW THE WISCONSIN STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, SIXTH EDITION.



UNPLATTED LANDS



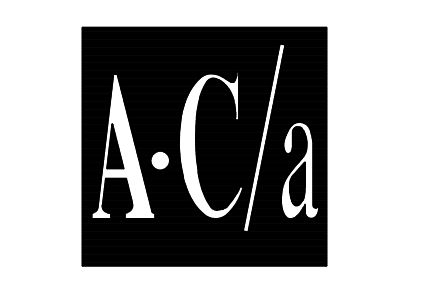
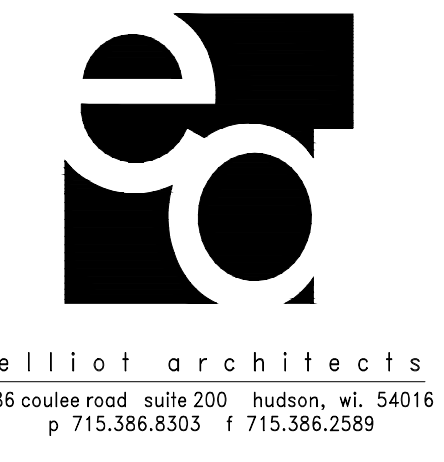
LEGEND	
	PROPERTY LINE
	EXISTING SANITARY SEWER LINE
	EXISTING WATERMAIN
	PROPOSED STORM SEWER
	PROPOSED WATERMAIN
	PROPOSED SANITARY FORCEMAIN
	PROPOSED SANITARY SEWER
	PROPOSED SANITARY SEWER LIFT STATION
	PROPOSED INSULATION - 4" x 8" x 4" (TYP.)
	PROPOSED HYDRANT AND VALVE
	FUTURE SANITARY SEWER EXTENSION
	FUTURE WATERMAIN EXTENSION

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 - ALL SANITARY SEWER AND WATER MAIN/SERVICE CONSTRUCTION SHALL FOLLOW THE "WISCONSIN STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN", SIXTH EDITION.

- SANITARY SEWER NOTES**
- 8" SANITARY SEWER MAIN LINE PIPE TO BE PVC SDR 35 PIPING.
 - 8" SANITARY SEWER LATERAL PIPE TO BE PVC SCHEDULE 40 PIPING AND INSTALLED AT A MINIMUM OF 1.0% SLOPE.
 - VERIFY SANITARY SERVICE CONNECTION POINT WITH STATE APPROVED BUILDING PLUMBING PLANS.
 - CONTRACTOR TO FIELD VERIFY/LOCATE AND UTILIZE THE EXISTING SANITARY SEWER STUB FOR THE PROPOSED SANITARY SERVICE CONNECTION.
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- WATER SERVICE NOTES**
- MAINTAIN 8.0' MINIMUM COVER OVER WATER SERVICE LATERAL.
 - VERIFY WATER SERVICE CONNECTION POINT AND SIZE WITH BUILDING PLUMBING PLANS.
 - CONTRACTOR TO FIELD VERIFY/LOCATE THE EXISTING WATERMAIN LOCATION FOR THE PROPOSED WATERMAIN SERVICE CONNECTION.
 - INSULATION REQUIRED OVER WATER LINES WHERE STORM SEWER CROSSES AND LOCATIONS SHOWN ON PLAN. 4"x8"x4" RIGID EXTRUDED POLYSTYRENE BOARD CLOSED CELL(DOW CHEMICAL) OR APPROVED EQUAL.
 - MAINTAIN A MINIMUM OF 12" VERTICAL SEPARATION DISTANCE FROM STORM SEWER IF WATER SERVICE CROSSES OVER STORM SEWER OR 18" VERTICAL SEPARATION DISTANCE FROM STORM SEWER IF WATER SERVICE CROSSES UNDER STORM SEWER, PER SPS 382 REQUIREMENTS.
 - ALL WATER SERVICE THRUST RESTRAINT SHALL FOLLOW THE "WISCONSIN STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN", SIXTH EDITION.

- STORM SEWER NOTES**
- ALL EXTERIOR STORM SEWER PIPING 12" OR LARGER SHALL BE HDPE DUAL WALL SMOOTH INTERIOR WITH WATERTIGHT JOINTS OR APPROVED EQUIVALENT, UNLESS NOTED OTHERWISE.
 - IF RCP STORM SEWER IS USED IN PLACE OF HDPE, ALL "RCP" STORM SEWER PIPING SHALL BE CLASS 3 RCP PIPING OR APPROVED EQUIVALENT.
 - ALL 6", 8" & 10" STORM SEWER TO BE HDPE OR PVC. "HDPE" STORM SEWER PIPING SHALL BE DUAL WALL SMOOTH INTERIOR HDPE PIPING WITH WATER TIGHT GASKETS OR APPROVED EQUIVALENT. "PVC" STORM SEWER PIPING SHALL BE PVC SCHEDULE 40.
 - PIPE LENGTHS INCLUDE APRON ENDWALLS.
 - ALL ROOF GUTTER DOWNSPOUTS TO BE CONNECTED PER DETAIL SHEET. LOCATIONS OF GUTTER DOWNSPOUTS TO BE VERIFIED WITH STATE APPROVED BUILDING PLUMBING PLANS PRIOR TO INSTALLING ROOF DRAIN PIPING.
 - ALL EXTERIOR STORM SEWER PIPE SHALL BE INSTALLED WITH A BROWN 18 GAGE TRACER WIRE, WHEN APPLICABLE PER SPS 382 REQUIREMENTS.
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PROJECT NO. 16-282

TENDER REFLECTIONS
 E. BROADWAY AND
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 WISCONSIN 53186

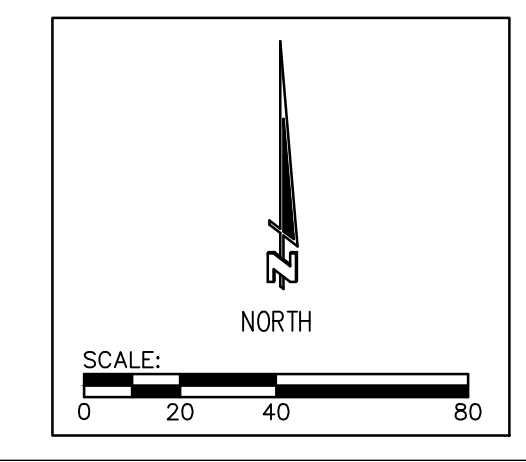


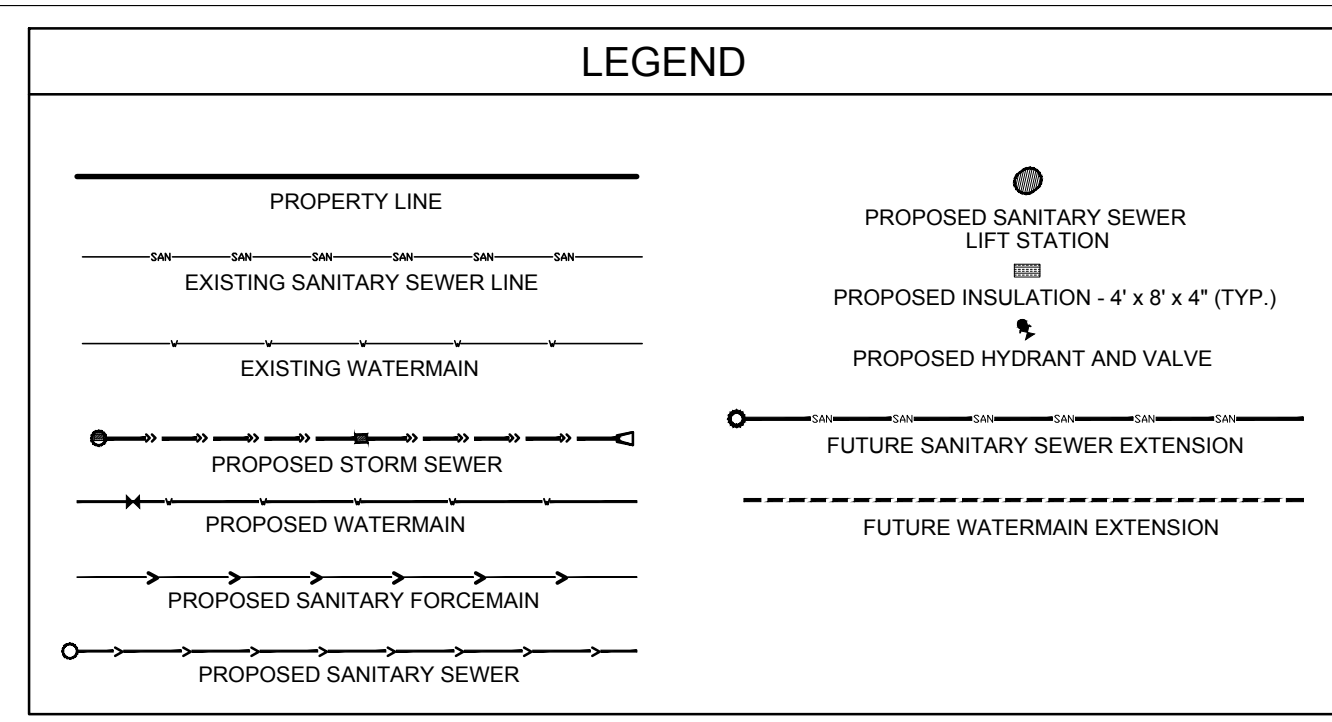
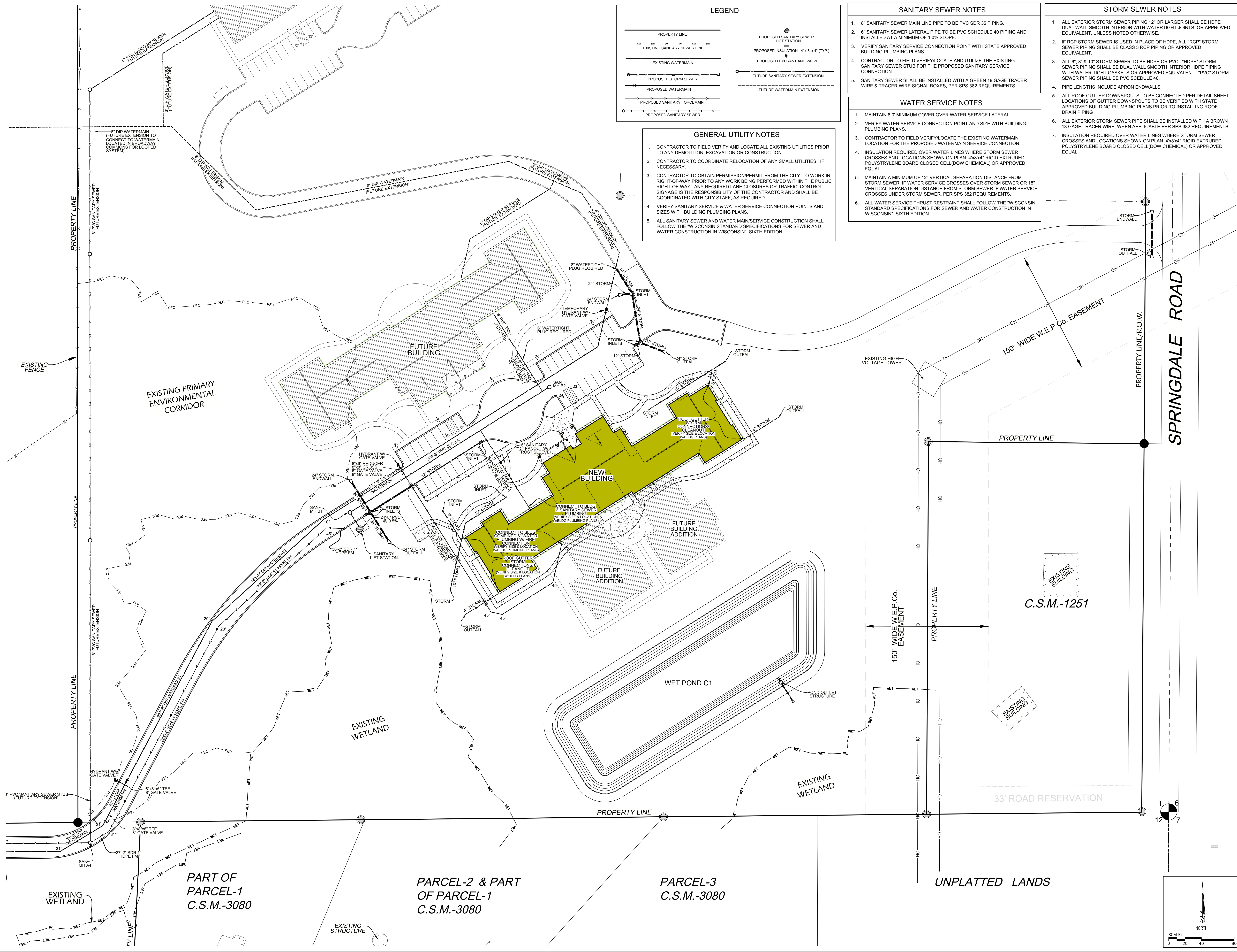
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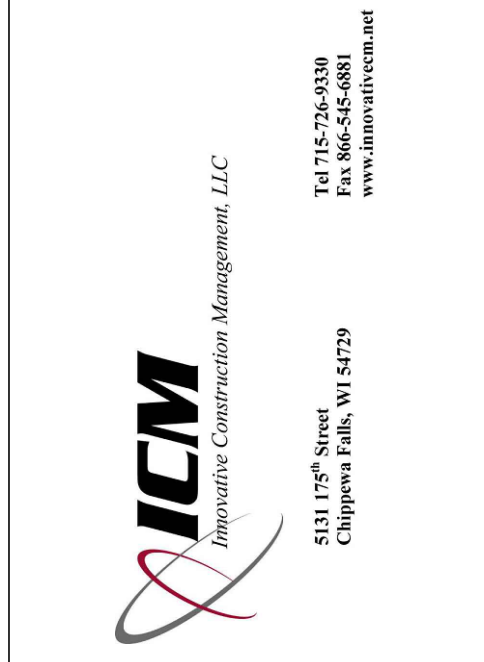


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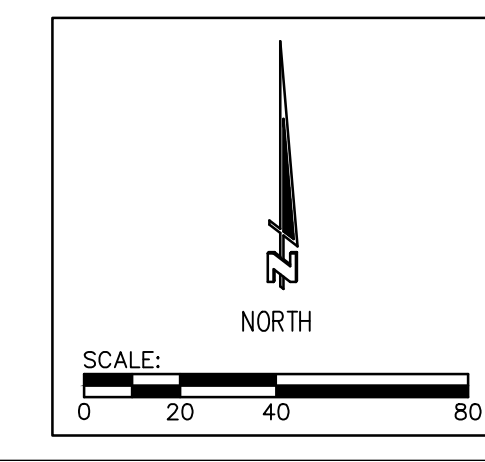


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UTILITY PLAN - NE

C4.2
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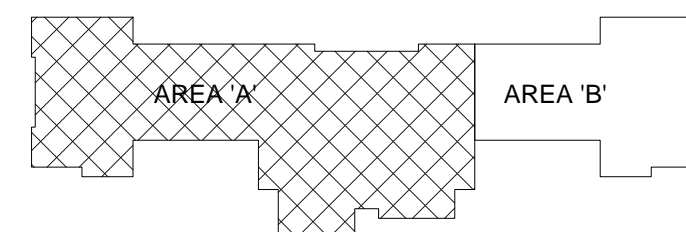
LIFE SAFETY SYMBOLS KEY	
	1 HOUR FIRE RATED WALL ASSEMBLY
	FIRE EXTINGUISHER: MIN. 2A, 10BC RATING, W/ BAKED ENAMEL FINISH TYPICAL. AND 2.5 GAL. CLASS K AT KITCHEN LOCATION
	COMPLIANT W/: - NFPA 10 - UL 44-80B/C CABINET: CONFORM TO UBC 43-6 (ASTM E814-83) FOR FIRE RESISTIVE WALL PERFORMANCE WHERE NECESSARY. JL INDUSTRIES (OR EQ) AMBASSADOR, WHITE CABINET, 1017, 2 1/2" RT, FULL GLASS DOOR, DS GLASS, DIE CUT RED LETTER, FUTURA FIRE HANDLE. CONFORM TO ADA FOR PROJECTION. SEE DTLS 23-24/A4.5

PLAN NOTES	
KEY	NOTE
1	SERVICE SINK WITH WALL FAUCET. PROVIDE 24" HIGH FRP SURROUND FOR FULL WIDTH OF SINK.
2	ATTIC ACCESS DOOR. SEE LIFE SAFETY PLAN AND R.C.P. FOR DETAILS.
3	CORRIDOR HANDRAIL SYSTEM. SEE DETAIL 24/A4.5 AND FINISH SCHEDULE. TYP. AT ALL CORRIDORS.
4	SEE FOOD SERVICE PLANS AND SPEC FOR LAYOUT AND REQUIREMENTS.
5	CONCRETE STOOP. SEE STRUCTURAL.
6	CONCRETE WALK. SEE CIVIL.
7	1x8 WOOD TRIM BOARD CONTINUOUS ON THIS WALL. SEE 24/A4.5 FOR TRIM BOARD DETAIL.
8	WRAP 1x8 TRIM AROUND CORNER AND TERMINATE AT UNIT ENTRANCE WALL. HANDRAIL STOPS AT CORNER. TYPICAL.
9	AUTOMATIC OPERATOR ACTUATOR - SURFACE MOUNTED.
10	INZL MULTIMEDIA SYSTEM BY OWNER. COORDINATE POWER REQUIREMENTS.
11	MAGNETIC HOLD OPEN - SURFACE MOUNTED.
12	DASHED WALLS SHOW LOCATION OF PHASE 2' CONSTRUCTION.
13	PROVIDE HEADER FOR PHASE 2' DOOR. SEE STRUCTURAL.
14	

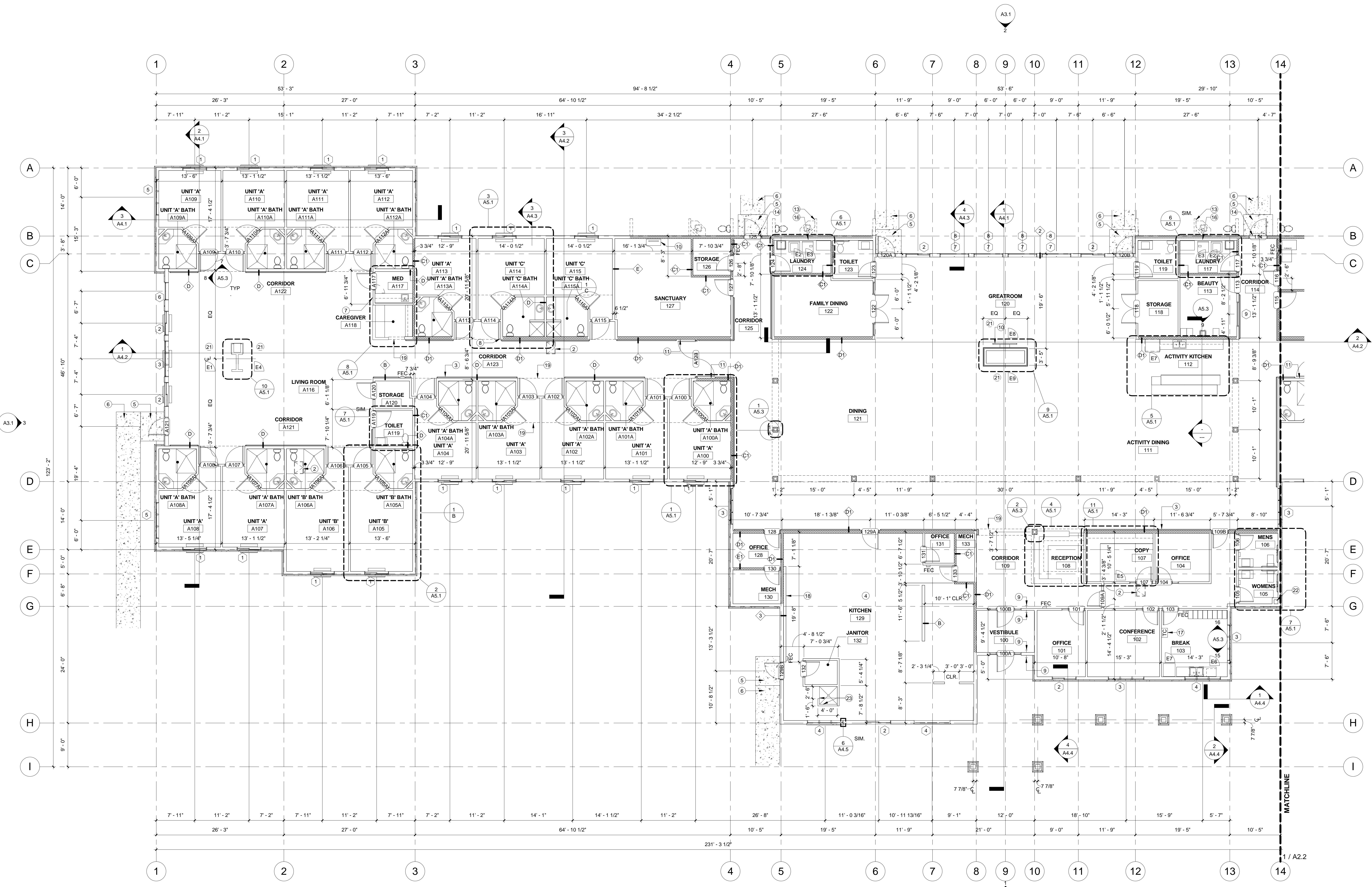
PLAN NOTES	
KEY	NOTE
16	MECHANICAL DESIGNER TO DESIGN RESIDENTIAL DRYER EXHAUST DUCTS IN COMPLIANCE WITH, BUT NOT LIMITED TO IMC 504 / IFGC 813.
17	ELECTRICAL DESIGNER TO PROVIDE CAT V CABELING FOR WALL MOUNTED TIME CLOCK.
18	2x6 STEEL STUD FURRING WALL. WALL TO EXTEND FROM FLOOR TO BOTTOM OF ROOF TRUSSES. INSTALL DRYWALL OVER WOOD STUD WALL AND FIRE TAPE PRIOR TO INSTALLING 2x6 STUD WALL. SEE WALL TYPES FOR MORE INFORMATION.
19	ALL SOFFITS OF CONCEALED SPACES ARE TO BE FRAMED WITH NON-COMBUSTIBLE, LIGHT GAUGE STEEL FRAMING. ADJACENT WALLS AND CEILING SHALL BE FINISHED PRIOR TO INSTALLATION OF STEEL FRAMING SO AS TO SEPERATE THESE SPACES FROM ALL COMBUSTIBLE MATERIALS. THIS INCLUDES, BUT IS NOT LIMITED TO, RESIDENT ROOM ENTRIES, INSIDE RESIDENT ROOM ENTRIES, CAREGIVER STATION, AND RECEPTION DESK.
21	ELECTRICIAN TO PROVIDE FLOOR OUTLETS PER FURNITURE LAYOUT.
22	FRAME OUT WALLS AROUND SPRINKLER DRAIN LINE. APPROX 12"X12". PROVIDE ACCESS PANEL FOR VALVE ACCESS. COORDINATE WITH SPRINKLER CONTRACTOR FOR SIZE AND LOCATION. PAINT TO MATCH WALL.
23	4"x4" CONCRETE CURB. SLOPE FLOOR TO DRAIN. FINISH WITH EPOXY FLOORING TO MATCH KITCHEN.

EQUIPMENT SCHEDULE	
KEY	NOTE
E1	TELEVISION
E2	RESIDENTIAL WASHING MACHINE
E3	RESIDENTIAL ELECTRIC DRYER
E4	RECESSED TV MONITOR - TO MIMIC FIREPLACE
E5	COPY MACHINE
E6	MICROWAVE
E7	REFRIGERATOR
E8	INZL VIDEO SYSTEM
E9	WATERWALL WATER FEATURE

GENERAL NOTES	
1.	SEE LIFE SAFETY PLAN FOR LOCATION OF FIRE AND SMOKE RATINGS.
2.	SEE ENLARGED FLOOR PLANS FOR DIMENSIONS NOT SHOWN ON THESE PLANS.
3.	SEE STRUCTURAL FOR SHEAR WALL TYPES AND LOCATIONS.
4.	ALL EQUIPMENT WILL BE PURCHASED DIRECT BY THE OWNER - PROVIDE MECHANICAL, ELECTRICAL AND PLUMBING CONNECTS PER MANUFACTURERS SPECIFICATIONS.



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1 FLOOR PLAN AREA 'A'
1/8" = 1'-0"

PROJECT NO. 16-232

TENDER REFLECTIONS
E. BROADWAY AND
REMPE DRIVE
WAUKESHA,
WISCONSIN 53186

ICM
Innovative Construction Management, LLC
4311 FSP Street
Chilwaukee Park, WI 53129
Tel: 715-726-9339
www.icmwi.com

CITY
SUBMITTAL

RELEASE DATE
CITY SUBMITTAL 05-25-2017

FLOOR PLAN
AREA 'A'

A2.1

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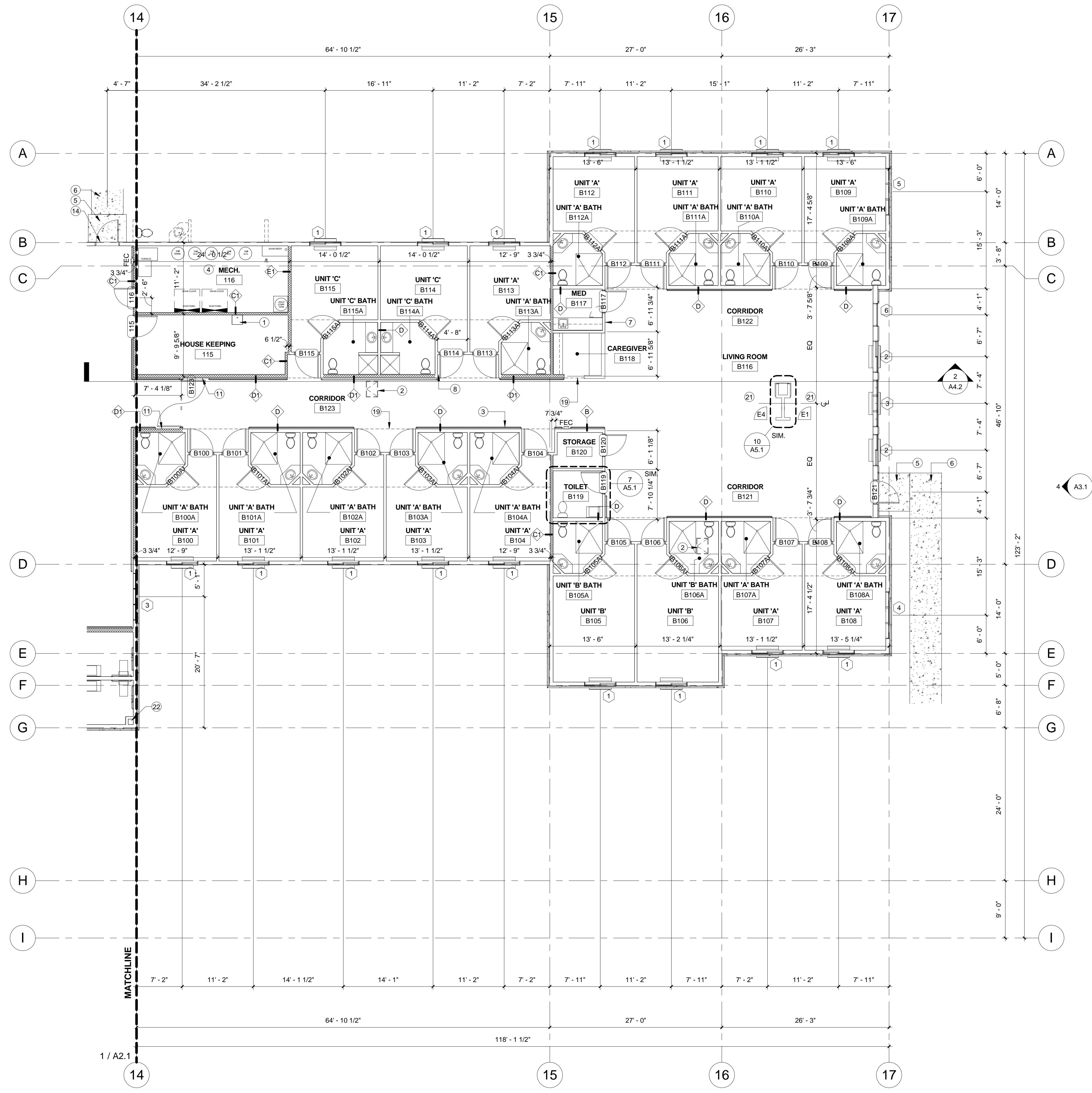
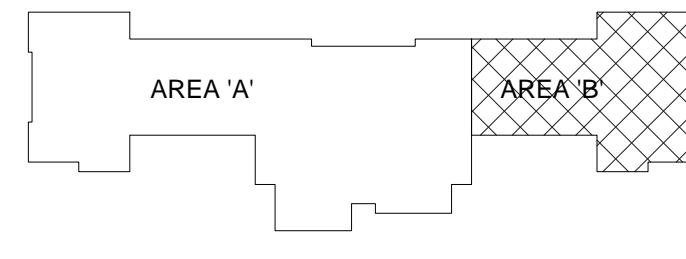
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	FEC

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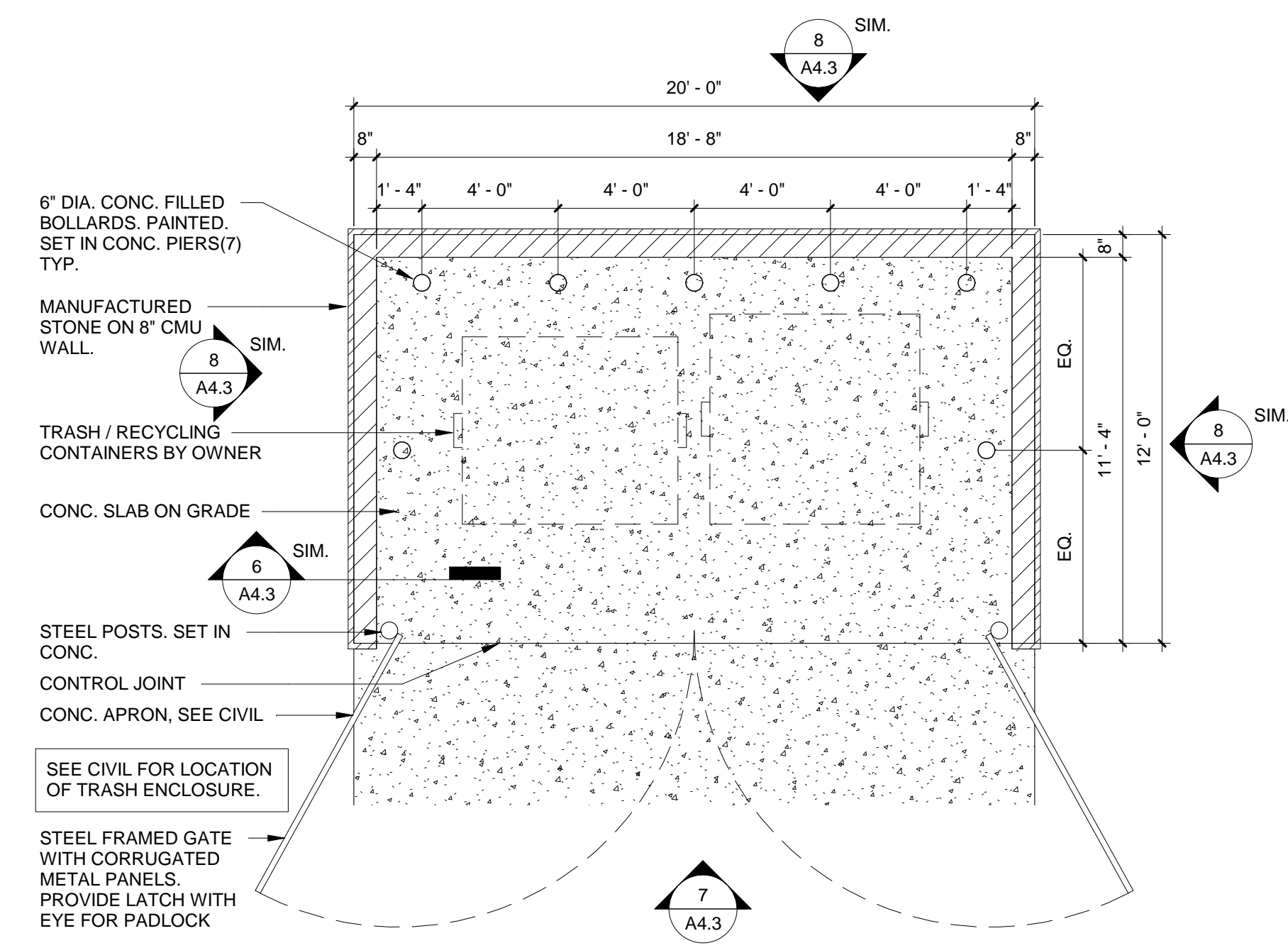


1 FLOOR PLAN AREA 'B'
1/8" = 1'-0"

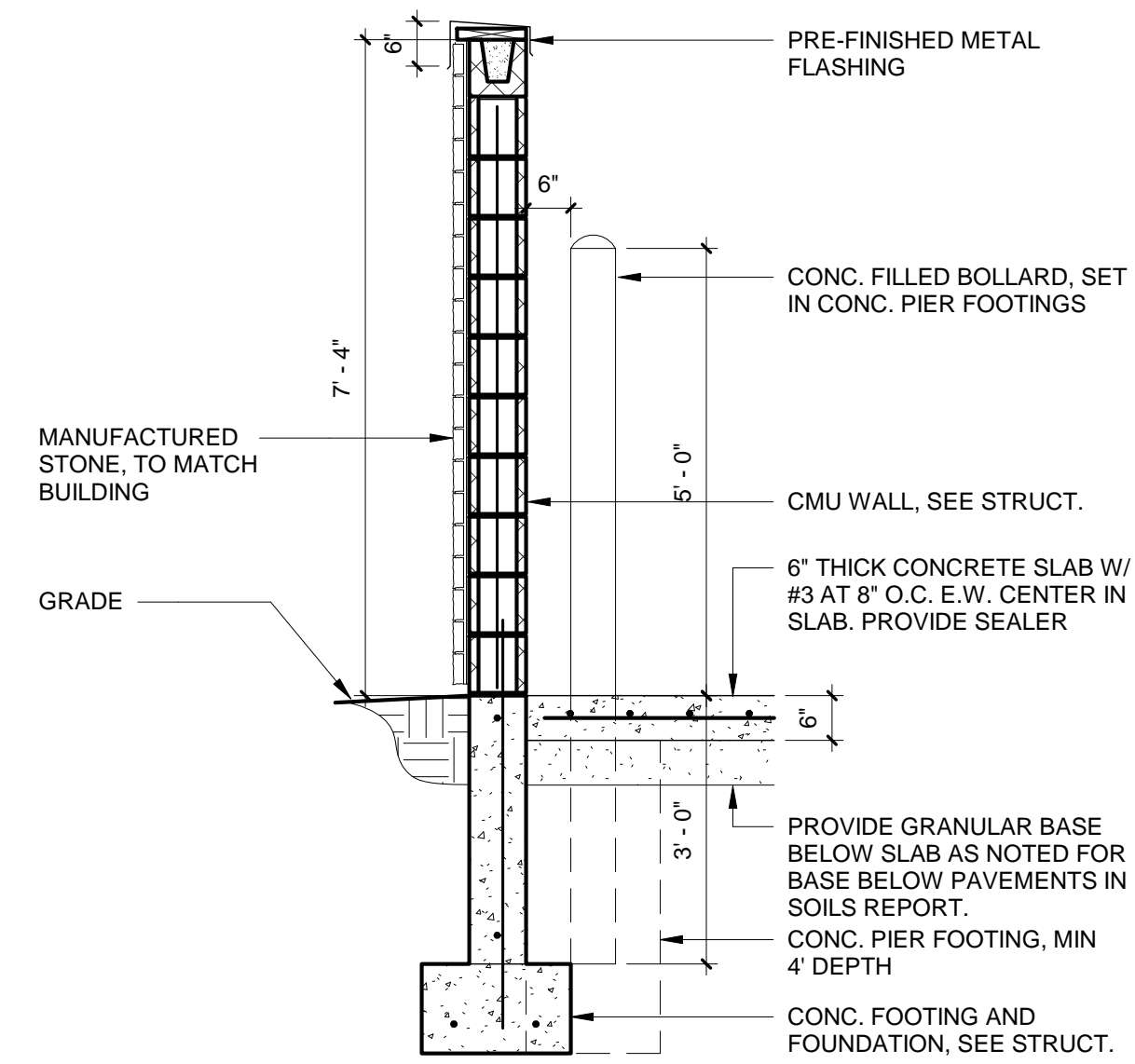
RELEASE	DATE
CITY SUBMITTAL	05-25-2017



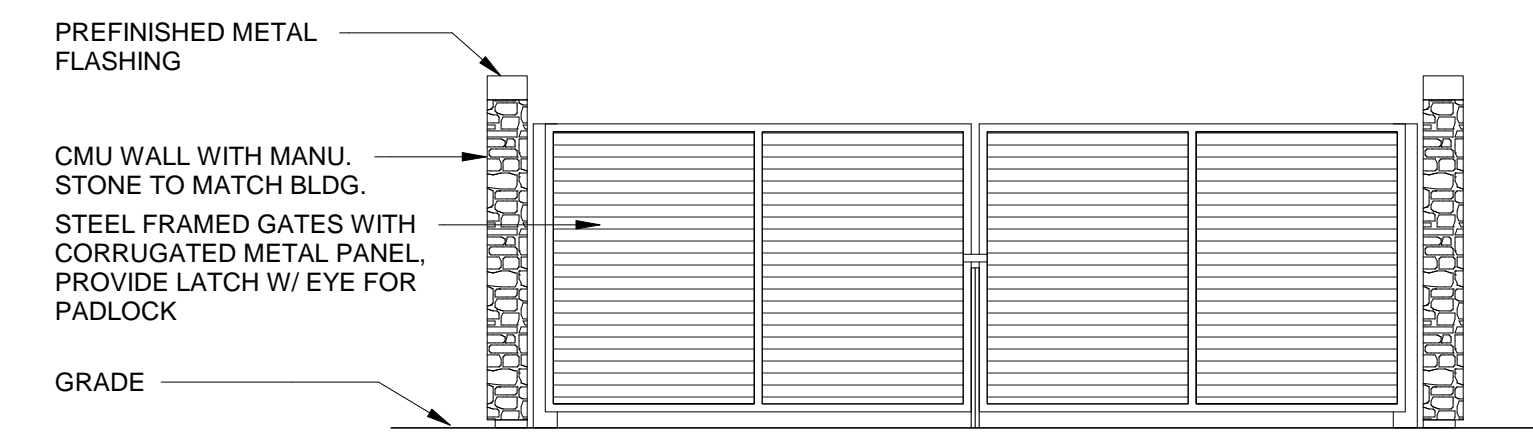
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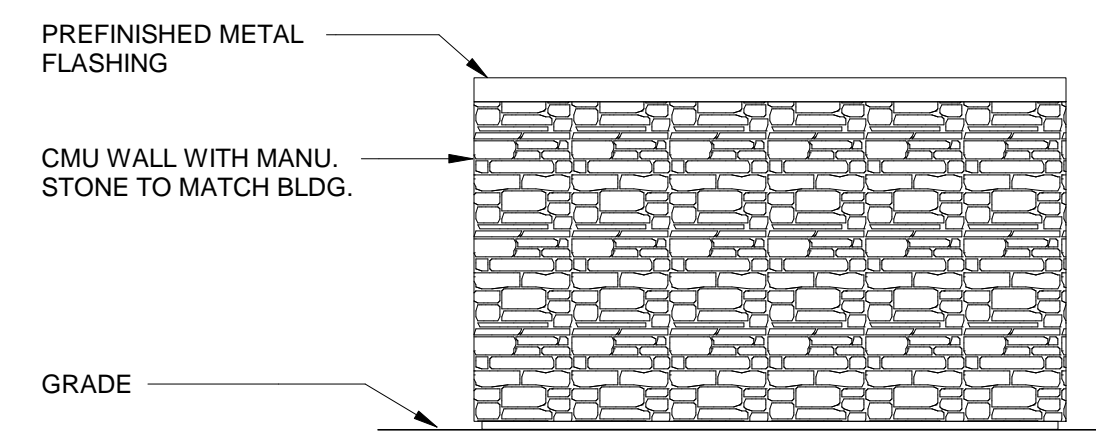
5 DUMPSTER ENCLOSURE
1/4" = 1'-0"



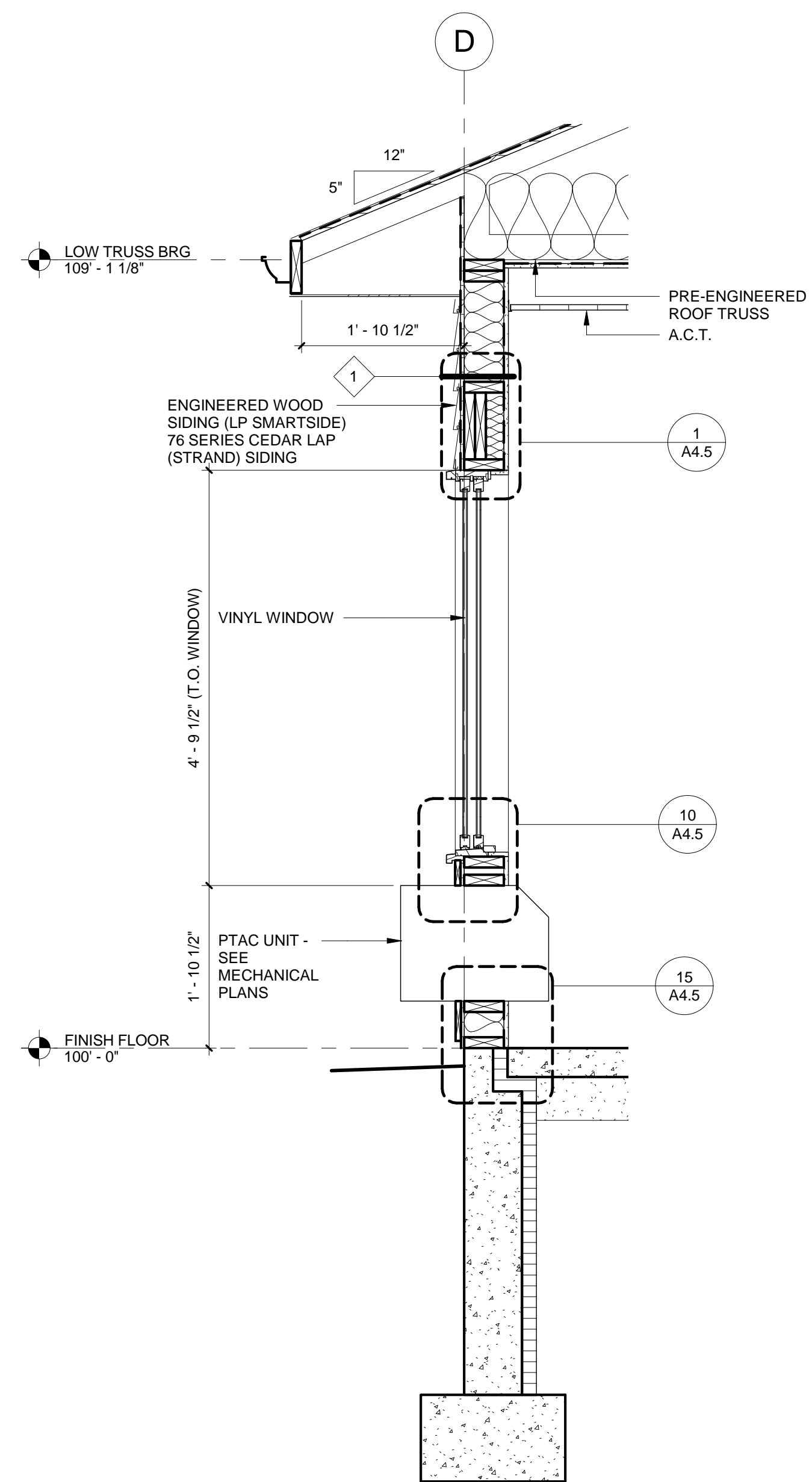
6 ENCLOSURE SECTION
1/2" = 1'-0"



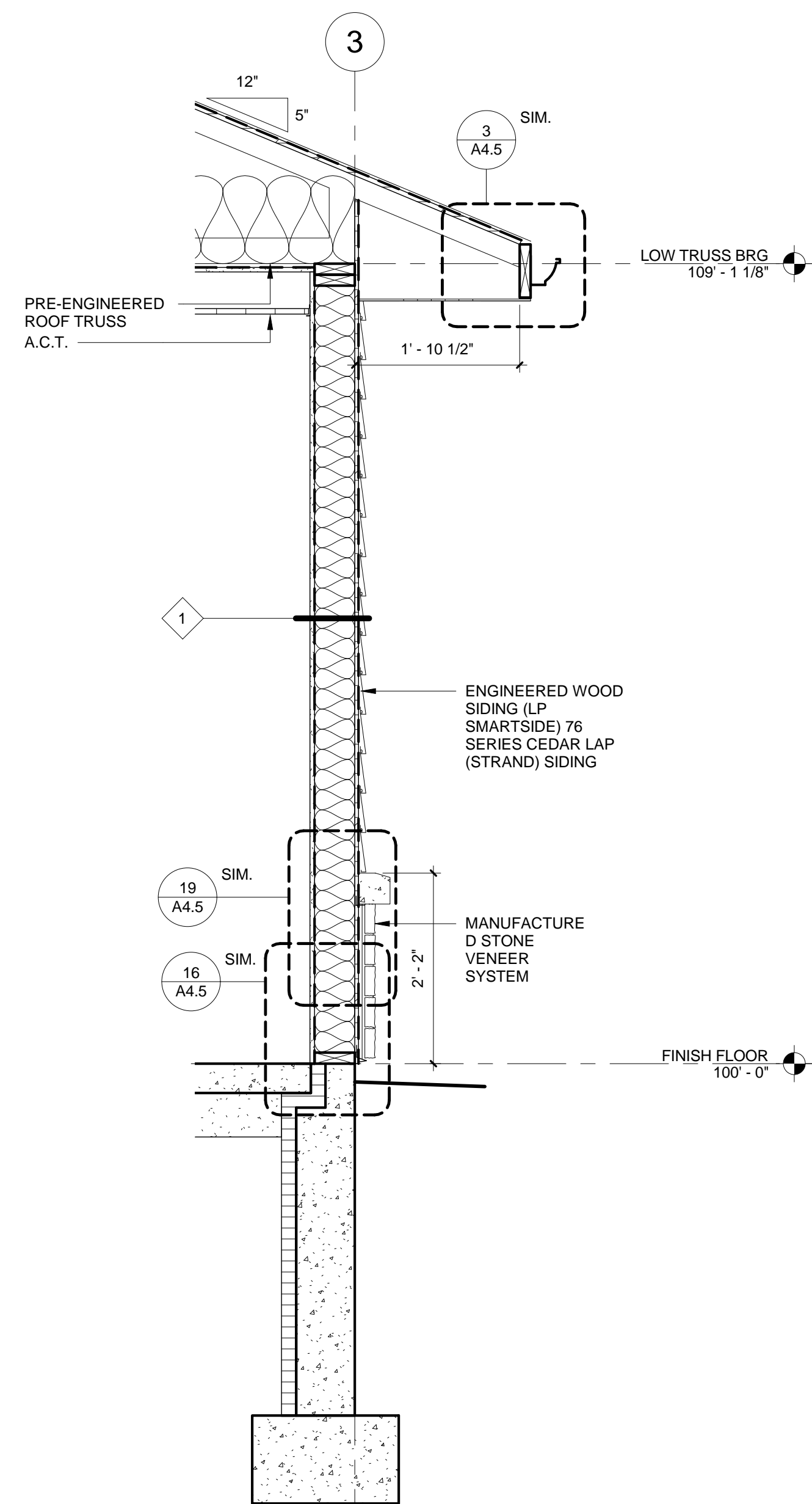
7 ENCLOSURE ELEVATION
1/4" = 1'-0"



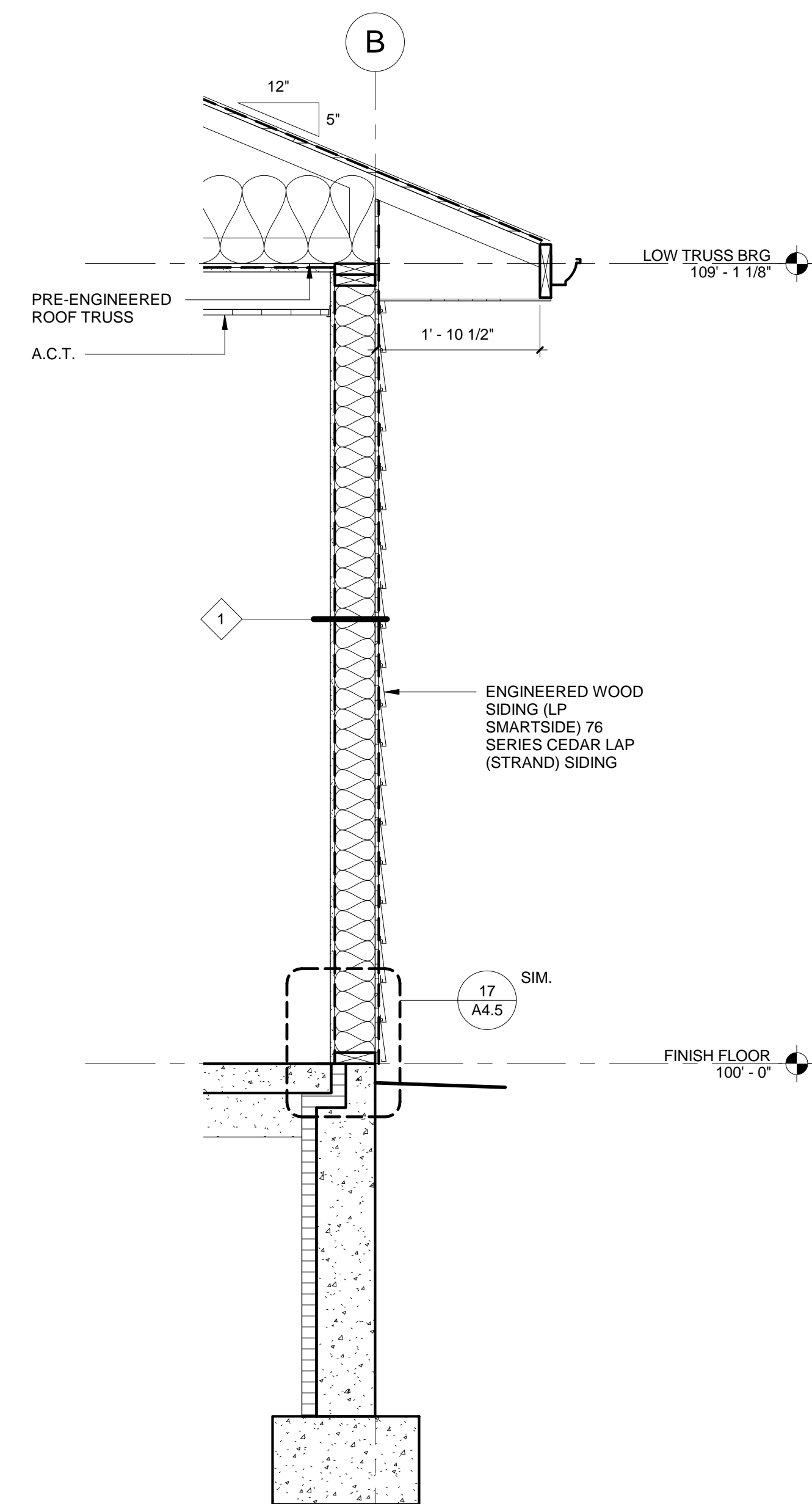
8 ENCLOSURE ELEVATION
1/4" = 1'-0"



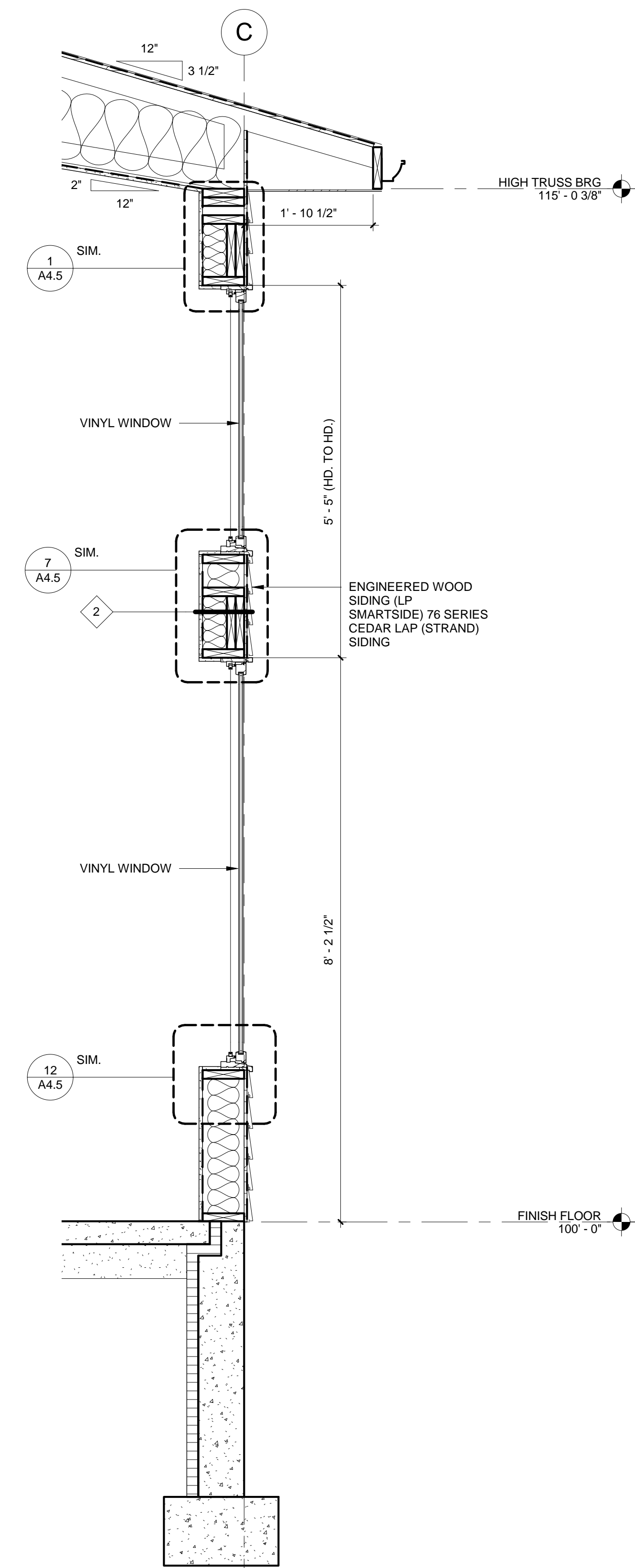
1 WALL SECTION
3/4" = 1'-0"



2 WALL SECTION
3/4" = 1'-0"



3 WALL SECTION
3/4" = 1'-0"

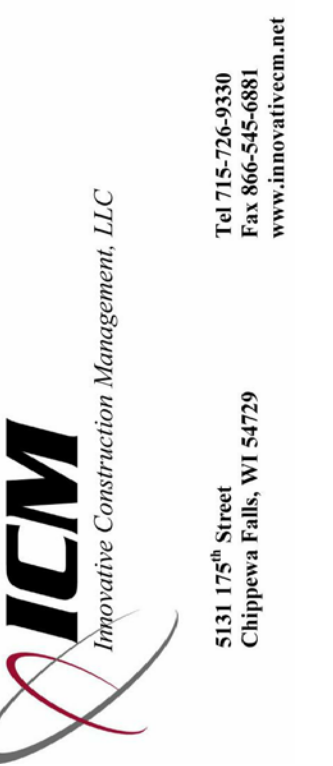


4 WALL SECTION
3/4" = 1'-0"

PROJECT NO. 16-202

TENDER REFLECTIONS

E. BROADWAY AND
REMPÉ DRIVE
WAUKESHA,
WISCONSIN 53186



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RELEASE DATE
CITY SUBMITTAL 05-25-2017

WALL SECTIONS /
TRASH
ENCLOSURE

A4.3

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