

PROJECT INFORMATION:

CLIENT:	HVAC CONTRACTOR:
JBR PRECAST CONCRETE OF WISCONSIN 1410 ELLIS STREET WAUKESHA, WI 53186 BILL PRINGLE 262-210-7009 JBRPRECAST@GMAIL.COM	TBD
GENERAL CONTRACTOR:	ELECTRICAL CONTRACTOR:
PRECISION WALL SYSTEMS 122 REED STREET PLYMOUTH, WI 53073 BILL PRINGLE 262-210-7009 BILLPRINGLE@WI.rr.COM	TBD
	PLUMBING CONTRACTOR:
	TBD

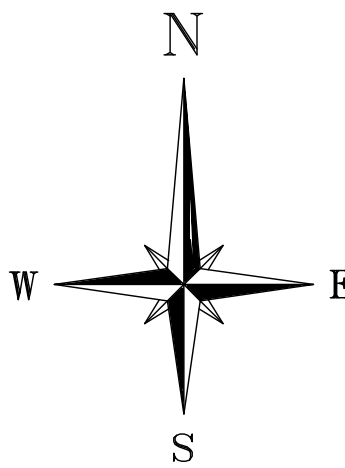
SCOPE OF WORK:

THIS PROJECT INVOLVES A MASONRY AND STEEL FRAMED SINGLE STORY ADDITION. SITE IMPROVEMENTS WILL BE MADE TO THE NORTHERN PORTION OF THE PROPERTY.



Vicinity Map :

NOT TO SCALE



GENERAL NOTES :

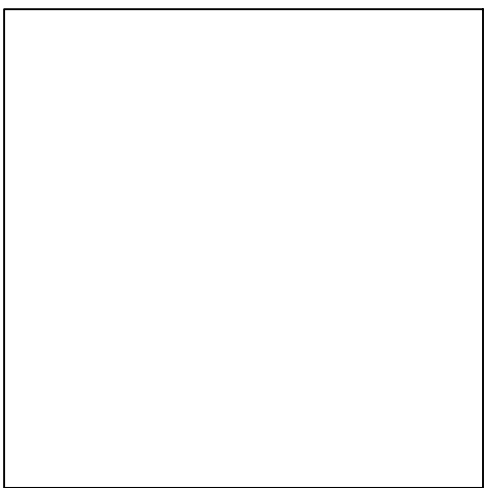
- THE ARCHITECT / ENGINEER MAINTAINS NO RESPONSIBILITY FOR THE GENERAL CONTRACTOR, SUBCONTRACTORS OR THOSE WORKING IN SUCH CAPACITIES, FOR THE MEANS OR METHODS USED, OR LACK THEREOF, IN THE EXECUTION OF THE WORK AND SAFETY PROCEDURES AND PRECAUTIONS TAKEN AT THE PROJECT SITE.
- ALL CONSTRUCTION SHALL BE PERFORMED IN STRICT CONFORMANCE WITH ALL APPLICABLE STATE AND LOCAL BUILDING CODES.
- CONTRACTORS SHALL COMPLY WITH THE LATEST (OSHA) OCCUPATIONAL SAFETY AND HEALTH ACT REQUIREMENTS.
- CONTRACTORS SHALL ASSUME FULL RESPONSIBILITY - UNRELIEVED BY REVIEW OF SHOP DRAWINGS NOR BY SUPERVISION OR PERIODIC OBSERVATION OF CONSTRUCTION FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS - FOR DIMENSIONS TO BE CONFIRMED AND CORRELATED ON THE JOB SITE AND BETWEEN INDIVIDUAL DRAWINGS OR SETS OF DRAWINGS; FOR FABRICATION PROCESSES AND CONSTRUCTION TECHNIQUES (INCLUDING EXCAVATION, SHORING, BRACING, SCAFFOLDING, FORMWORK ERECTION, ETC.); FOR COORDINATION OF THE VARIOUS TRADES; FOR SAFE CONDITIONS ON THE JOB SITE; AND FOR PROTECTION OF THE PEOPLE AND PROPERTY AT THE JOB SITE.
- VARIATIONS IN FIELD CONDITIONS RELATIVE TO THE CONTRACT DOCUMENTS SHALL BE REPORTED TO THE ARCHITECT / ENGINEER. WORK SHALL NOT PROGRESS UNTIL WRITTEN PERMISSION FROM THE ARCHITECT / ENGINEER IS OBTAINED.
- THE INFORMATION CONTAINED ON THE DRAWINGS IS IN ITSELF INCOMPLETE, AND VOID UNLESS USED IN CONJUNCTION WITH ALL THE SPECIFICATIONS, TRADE PRACTICES, APPLICABLE STANDARDS, CODES, ETC., INCORPORATED THEREIN BY REFERENCE, OF WHICH THE CONTRACTOR CERTIFIES KNOWLEDGE BY SIGNING THE CONTRACT.
- UNLESS OTHERWISE NOTED, ALL DETAILS, SECTIONS AND NOTES ON THE DRAWINGS ARE INTENDED TO BE TYPICAL FOR SIMILAR SITUATIONS AND CONDITIONS ELSEWHERE.
- DRAWINGS ARE NOT TO BE USED FOR SHOP DETAILING OR FOR CONSTRUCTION UNLESS SPECIFICALLY STAMPED BY THE ARCHITECT / ENGINEER ON THE DRAWINGS "FOR DETAILING" OR "FOR CONSTRUCTION". THESE DRAWINGS ARE NOT TO BE REPRODUCED FOR THE PURPOSE OF USING THEM AS SHOP DRAWINGS.
- ARCHITECT / ENGINEER'S REVIEW OF DRAWINGS PREPARED BY THE CONTRACTORS, SUPPLIERS, ETC., ARE ONLY FOR CONFORMANCE WITH THE DESIGN CONCEPT. CONSTRUCTION SHALL NOT START WITHOUT SAID REVIEW, AND ONLY SHOP DRAWINGS STAMPED BY THE ARCHITECT / ENGINEER WILL BE ALLOWED AT THE JOB SITE.
- SEE ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL OPENINGS, SLEEVES, EQUIPMENT PADS, DEPRESSIONS, CURBS, INSERTS, FLOOR FINISHES AND OTHER EMBEDDED ITEMS.
- UNLESS OTHERWISE NOTED OR SHOWN, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE LOCATION AND PLACEMENT OF ANY INSERTS, HANGERS, ANCHOR BOLTS, HOLES OR PIPE SLEEVES THAT ARE REQUIRED BY THE MECHANICAL, ELECTRICAL OR PLUMBING EQUIPMENT.
- ALL DIMENSIONS ON STRUCTURAL DRAWINGS ARE TO BE CHECKED BY THE CONTRACTORS AGAINST ARCHITECTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS. CONTRACTORS SHALL BE FULLY RESPONSIBLE FOR CONFIRMING AND CORRELATING ALL DIMENSIONS ON THE JOB SITE AND BETWEEN INDIVIDUAL DRAWINGS AND RESPECTIVE TRADES.
- THIS PROJECT IS BEING DESIGNED AND CONSTRUCTED UTILIZING A DESIGN / BUILD DELIVERY PROCESS FOR THE MAJOR SUBCONTRACTOR TRADES OF MECHANICAL (HVAC), ELECTRICAL, PLUMBING AND FIRE PROTECTION SYSTEMS. EACH SUBCONTRACTOR IS RESPONSIBLE TO SUBMIT PLANS AND OBTAIN PERMITS FOR THEIR RESPECTIVE SPECIALTY TRADES. GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL COORDINATE ALL WORK WITHIN THE SCOPE OF THIS PROJECT FOR SYSTEMS INSTALLATION, INTERFERENCE CONTROL AND PROJECT CONSTRUCTION SCHEDULE.
- INTERIOR WALL AND CEILING FINISH MATERIALS SHALL BE CLASSIFIED IN ACCORDANCE WITH ASTM E 84 OR UL 723. THEIR FLAME SPREAD AND SMOKE-DEVELOPED INDEXES SHALL BE:
CLASS A: FLAME SPREAD INDEX 0-25;
SMOKE-DEVELOPED INDEX 0-450.
CLASS B: FLAME SPREAD INDEX 26-75;
SMOKE-DEVELOPED INDEX 0-450.
CLASS C: FLAME SPREAD INDEX 76-200;
SMOKE DEVELOPED INDEX 0-450.
- INTERIOR WALL AND CEILING FINISHES SHALL COMPLY WITH TABLE 803.9 WITH A MINIMUM RATING OF CLASS C.
- INTERIOR FLOOR FINISH AND FLOOR COVERING MATERIALS SHALL COMPLY WITH THE DOC FF-1 "FILL TEST".
- FIRE EXTINGUISHERS WITH A MINIMUM 2A, 10-B-C RATING PER NFPA 10 SHALL BE PROVIDED, INSTALLED AND MAINTAINED AS REQUIRED BY LOCAL GOVERNING CODES. THE NUMBER AND TYPE OF EXTINGUISHER SHALL BE DETERMINED BY THE LOCAL FIRE DEPARTMENT AND THE LANDLORD'S INSURANCE CARRIER. MAXIMUM TRAVEL DISTANCE TO EXTINGUISHERS SHALL BE 75 FEET. FIRE EXTINGUISHERS SHALL BE FURNISHED AND INSTALLED BY THE GENERAL CONTRACTOR.

CODE INFORMATION :

REFERENCED CODES ARE: IBC 2015; IEBC 2015; IECC 2015; ICC/ANSI A117.1-2009			
USE AND OCCUPANCY CLASSIFICATION:			
FACTORY:	GROUP F-2 (LOW HAZARD)	SECTION 306	
TYPE OF CONSTRUCTION: (CHAPTER 6 - IBC)			
EXISTING BUILDING	TYPE VB		
CLASSIFICATION OF WORK:			
NEW CONSTRUCTION (IBC)			
BUILDING WILL <u>NOT</u> BE EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM.			
ALLOWABLE BUILDING HEIGHT (TABLE 504.3 & 504.4):			
FACTORY	GROUP F-2 (TYPE VB)	40 FEET/ 2 STORIES	ABOVE GRADE PLANE
ALLOWABLE BUILDING AREA (TABLE 506.2):			
FACTORY	GROUP F-2	TYPE VB CONSTRUCTION	13,000 SQ. FT. OF FLOOR AREA PER STORY
ACTUAL BUILDING AREA:			
FIRST FLOOR:	1,912 GROSS SQ. FT.		
LOWER LEVEL:	1,912 GROSS SQ. FT.		
ADDITION LOWER LEVEL:	1,850 GROSS SQ. FT.		
TOTAL FLOOR AREA:	5,744 GROSS SQ. FT.		
FIRE-RESISTANCE RATING REQUIREMENTS FOR NEW CONSTRUCTION (TABLES 601 & 602)			
PRIMARY STRUCTURAL FRAME		0 HOUR RATING	
BEARING WALLS (EXTERIOR)		0 HOUR RATING	
BEARING WALLS (INTERIOR)		0 HOUR RATING	
NON-BEARING WALLS & PARTITIONS (EXTERIOR)			
FIRE SEPARATION DISTANCE 0-5 FT.		1 HOUR RATING (GROUP R-2, S-2 & B)	
FIRE SEPARATION DISTANCE 5-10 FT.		1 HOUR RATING (GROUP R-2, S-2 & B)	
FIRE SEPARATION DISTANCE 10-30 FT.		0 HOUR RATING (GROUP R-2, S-2 & B)	
FIRE SEPARATION DISTANCE 30+ FT.		0 HOUR RATING (GROUP R-2, S-2 & B)	
NON-BEARING WALLS & PARTITIONS (INTERIOR)			
FLOOR CONSTRUCTION & SECONDARY MEMBERS		0 HOUR RATING	
ROOF CONSTRUCTION & SECONDARY MEMBERS		0 HOUR RATING	
OCCUPANT LOAD: (ACTUAL NUMBER OF PERSONS)			
FIRST FLOOR =		1 OCCUPANTS	
LOWER LEVEL =		2 OCCUPANTS	
ADDITION LOWER LEVEL =		2 OCCUPANTS	
TOTAL =		5 OCCUPANTS	
*OCCUPANT LOAD PER TABLE 1004.1.2 (INDUSTRIAL AREAS) 1850 GSF / 100 GSF = 19 OCCUPANTS			
**REVIEW OCCUPANCY WITH AHJ.			

SHEET INDEX:

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C1.0	EXISTING & PROPOSED SITE PLANS
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A1.2	DEMOLITION PLAN (LOWER LEVEL)
A1.3	PROPOSED LOWER LEVEL FOUNDATION PLAN
A1.4	PROPOSED LOWER LEVEL FLOOR PLAN
A2.0	EXISTING ELEVATIONS
A2.1	PROPOSED ELEVATIONS



* PLAN COMMISSION REVIEW SET - (12-27-22)*

LOWER LEVEL ADDITION FOR:

1410 ELLIS STREET

WAUKESHA, WISCONSIN 53186

Project:

Sheet Title:
TITLE SHEET

Revisions:

Date: 12/27/22

Job No. 22-131

Sheet No.

T1.0

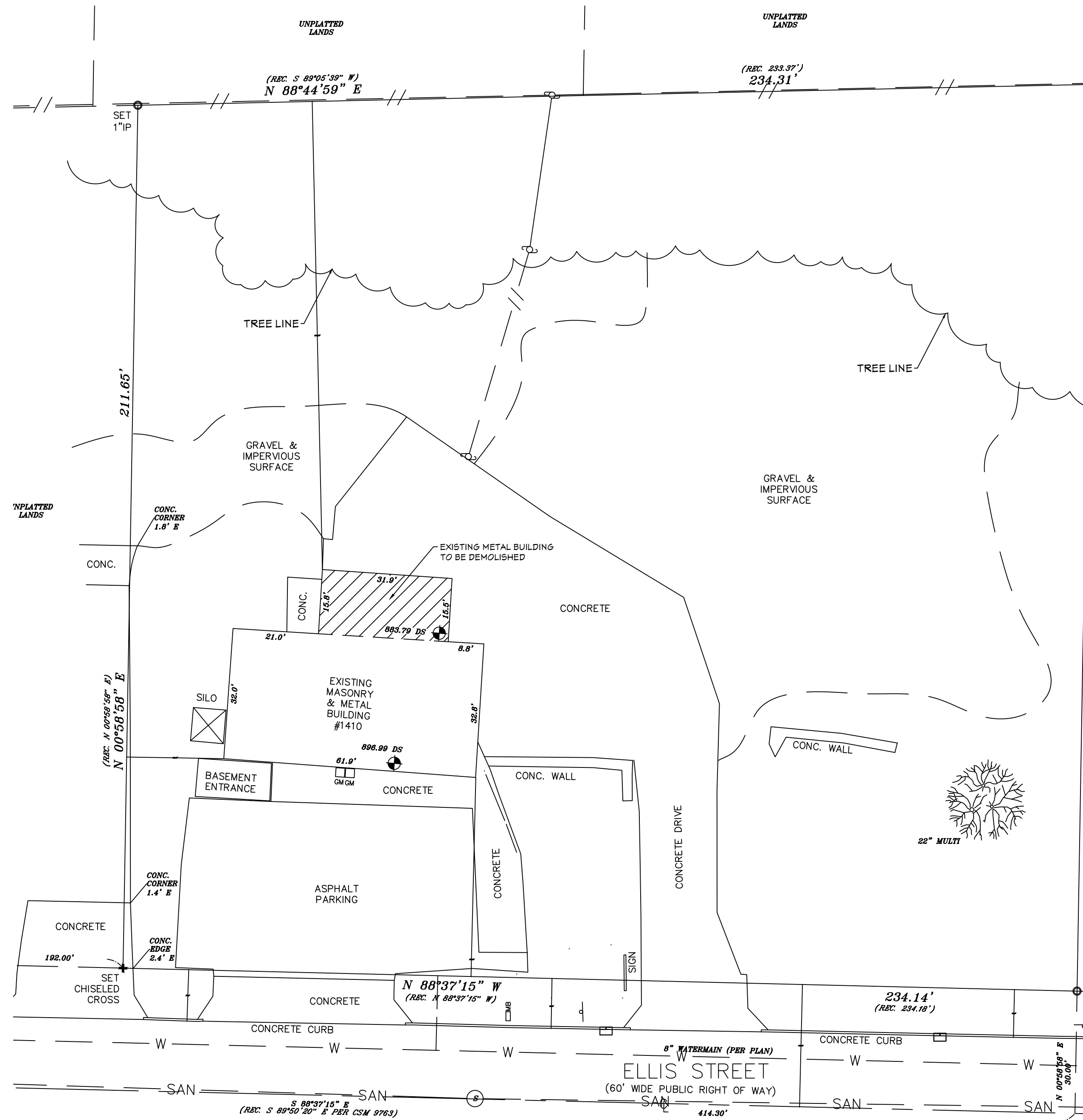
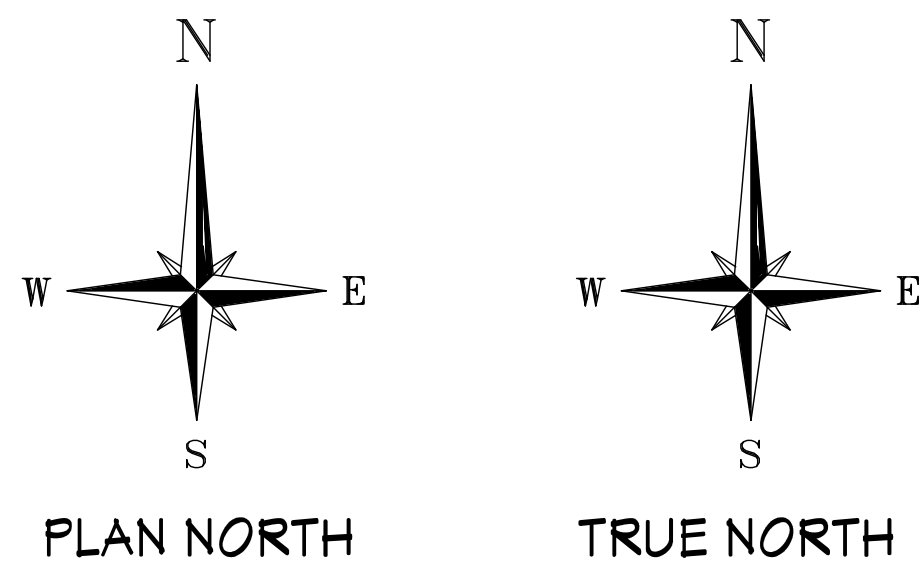
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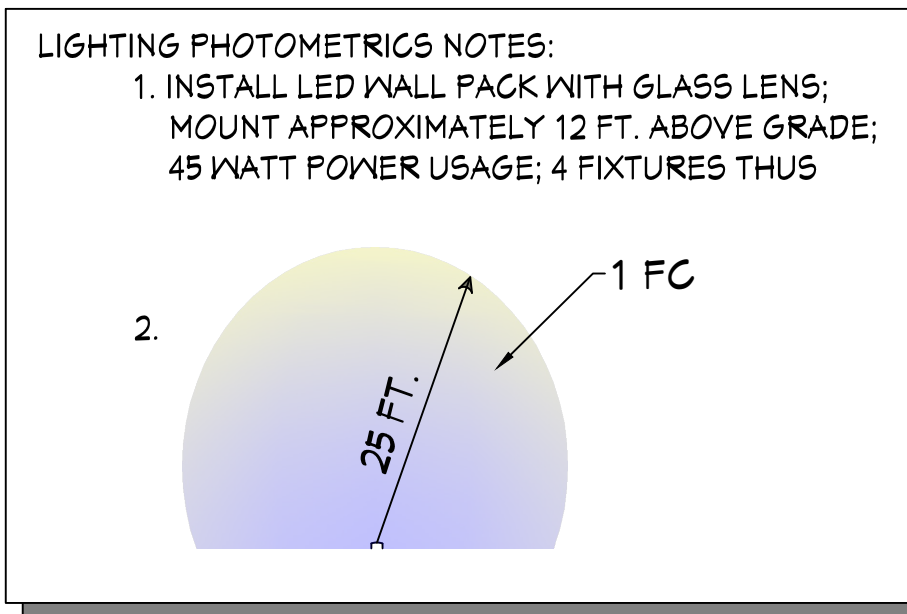
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1 EXISTING SITE PLAN
C1.0 1" = 20'-0"



2 PROPOSED SITE PLAN
C1.0 1" = 20'-0" (INCLUDES LIGHTING PHOTOMETRICS)



* PLAN COMMISSION REVIEW SET - (12-27-22) *

Project: LOWER LEVEL ADDITION FOR:

1410 ELLIS STREET

WAUKESHA, WISCONSIN 53186

Sheet Title:

EXISTING & PROPOSED SITE PLANS

Revisions:

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Job No. 22-131

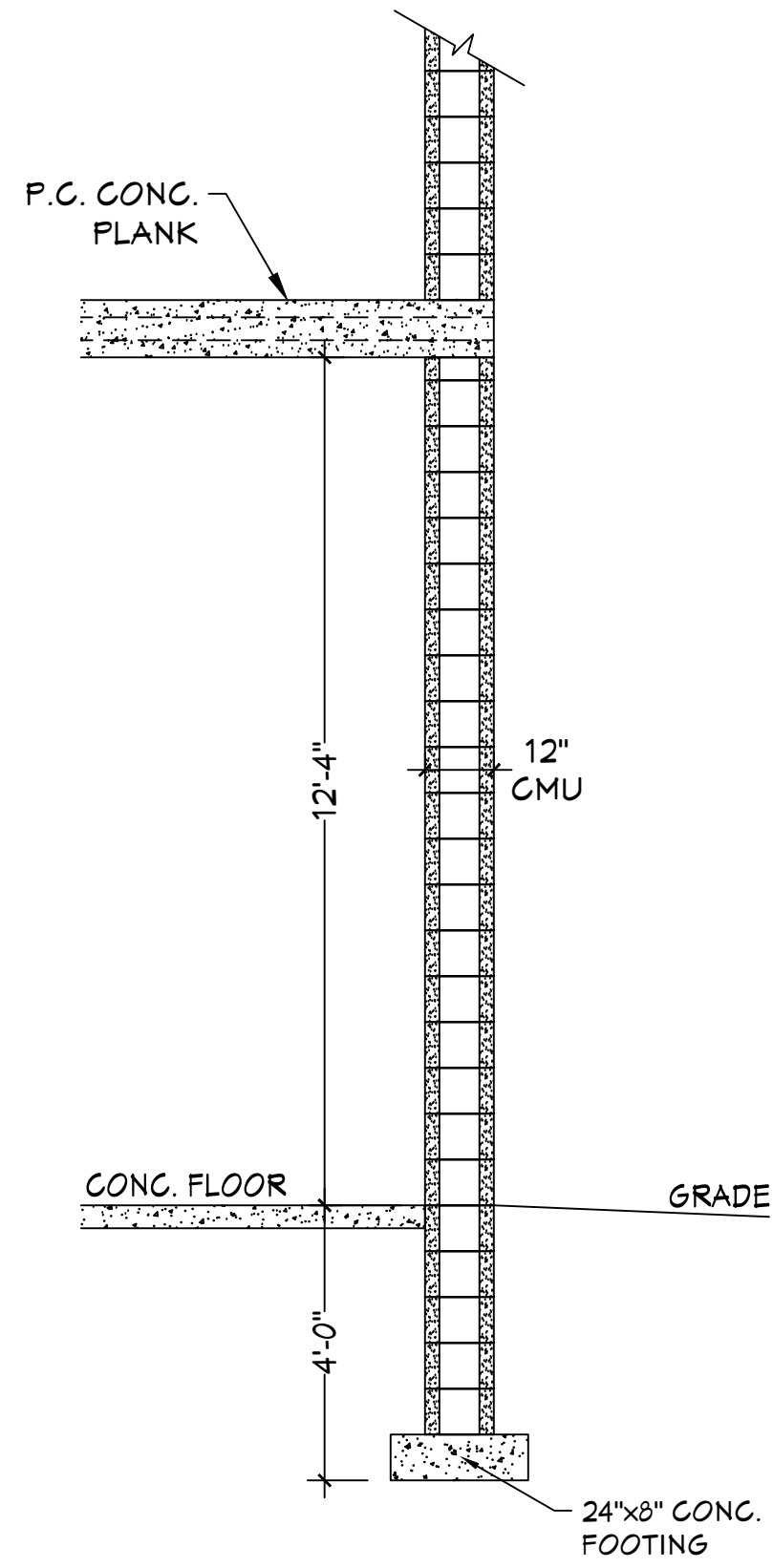
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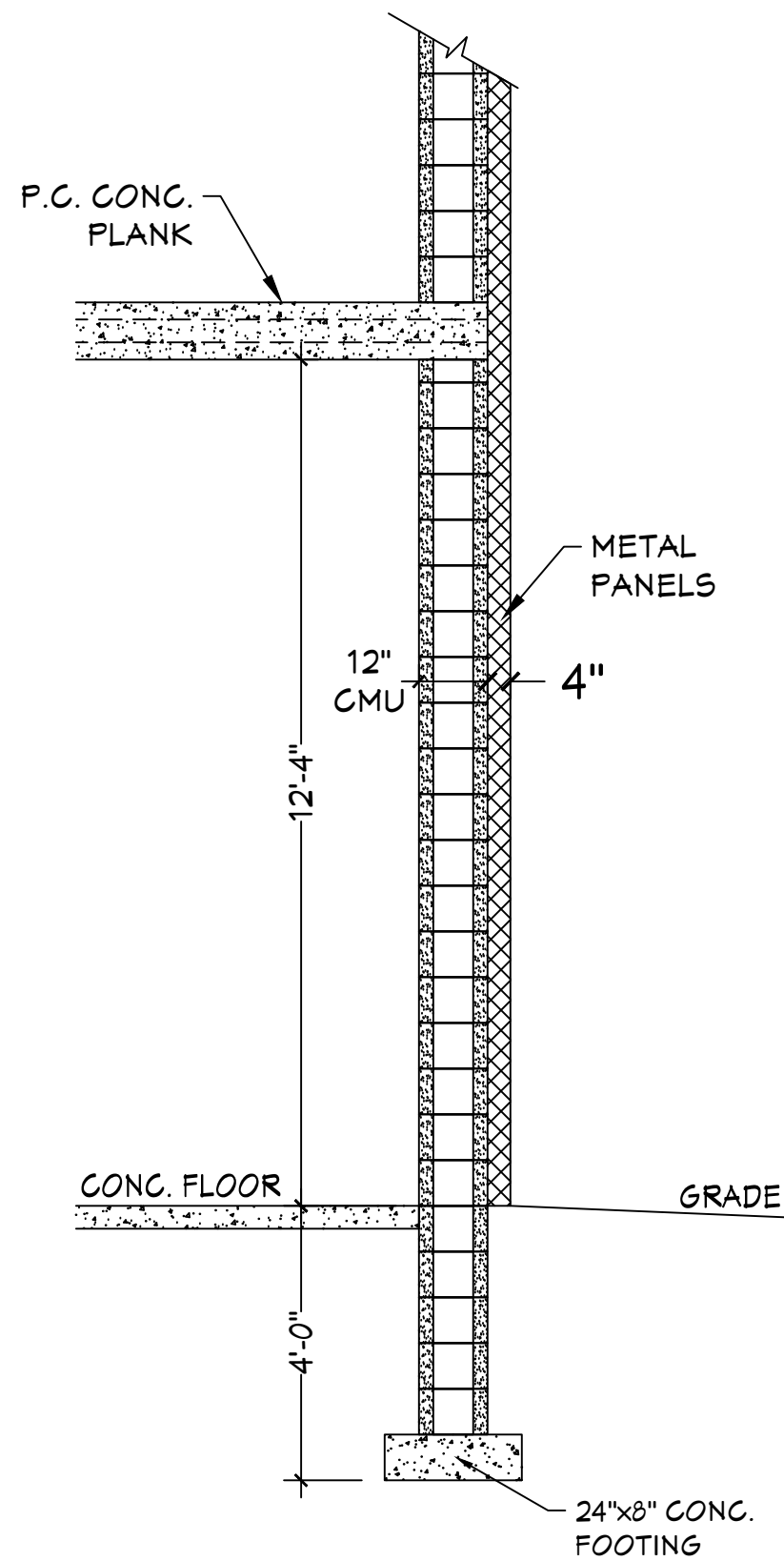


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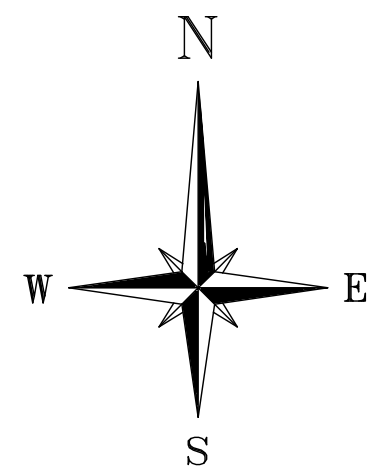
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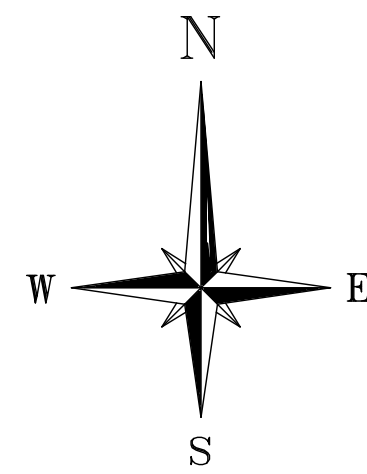
2 WALL SECTION (EXTERIOR CMU WALL)
A1.1 3/8" = 1'-0"



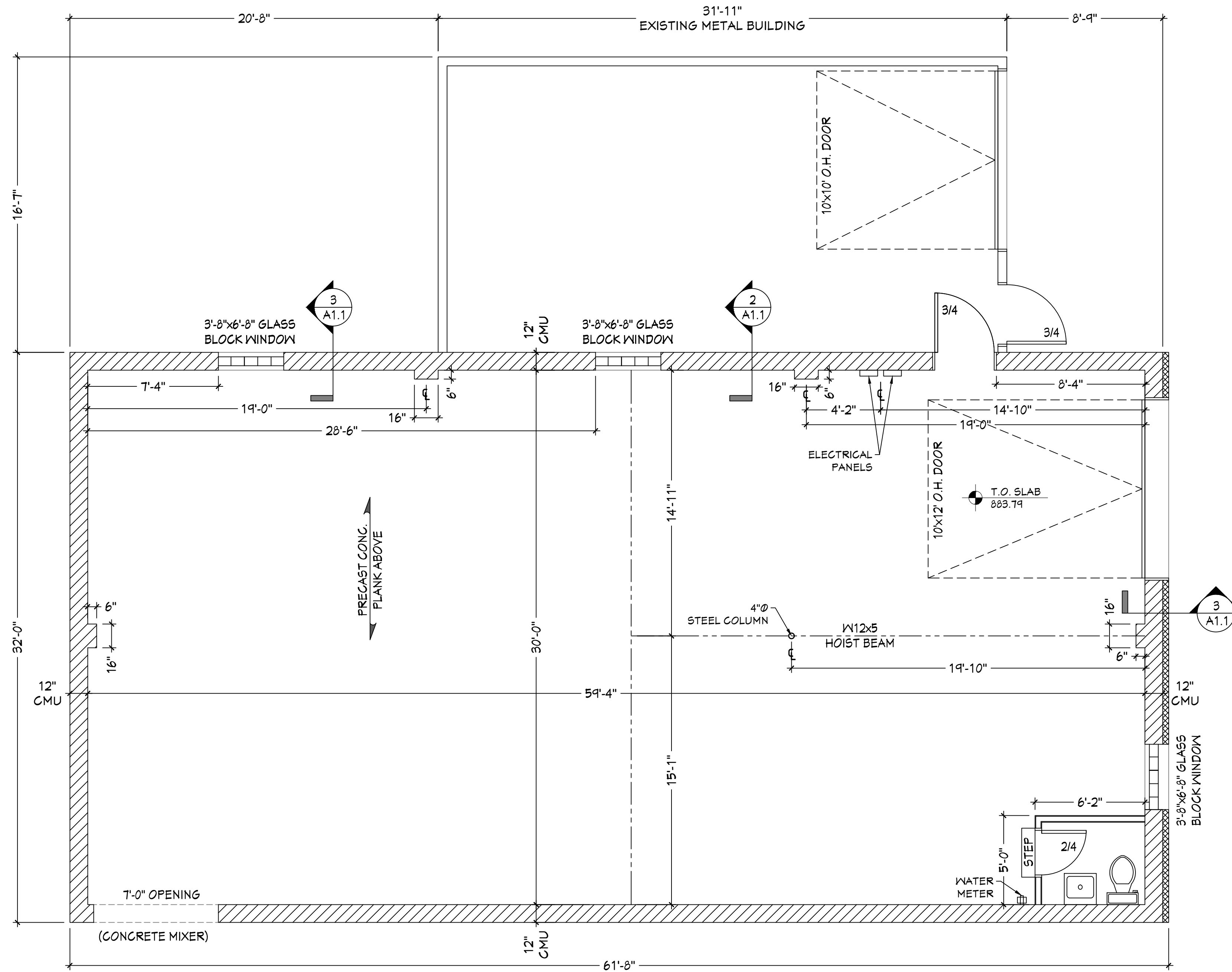
3 WALL SECTION (EXTERIOR CMU WALL W/ METAL PANELS)
A1.1 3/8" = 1'-0"



PLAN NORTH



TRUE NORTH



1 EXISTING LOWER LEVEL FLOOR PLAN
A1.1 1/4" = 1'-0"

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Sheet Title:

EXISTING LOWER
LEVEL FLOOR
PLAN

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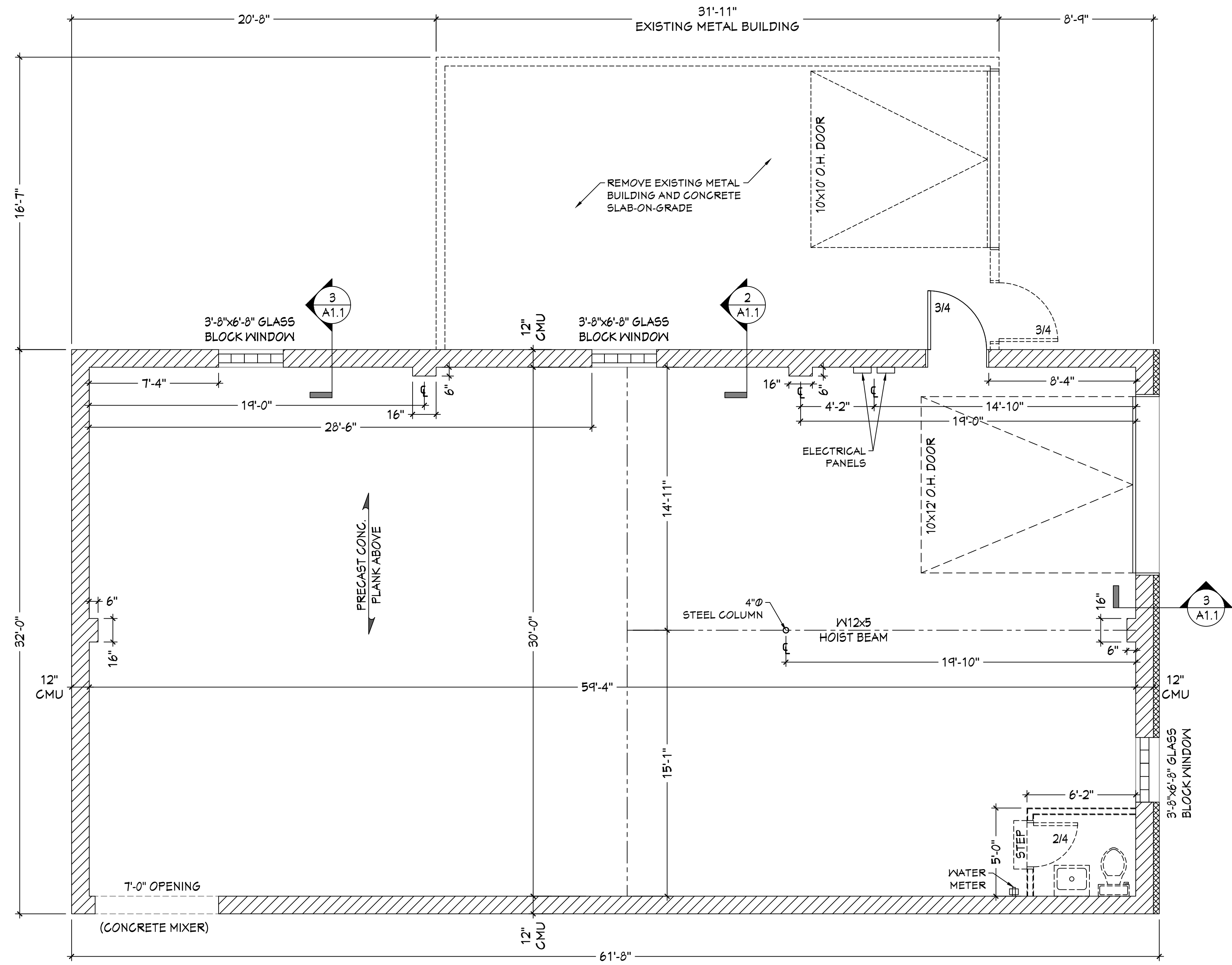
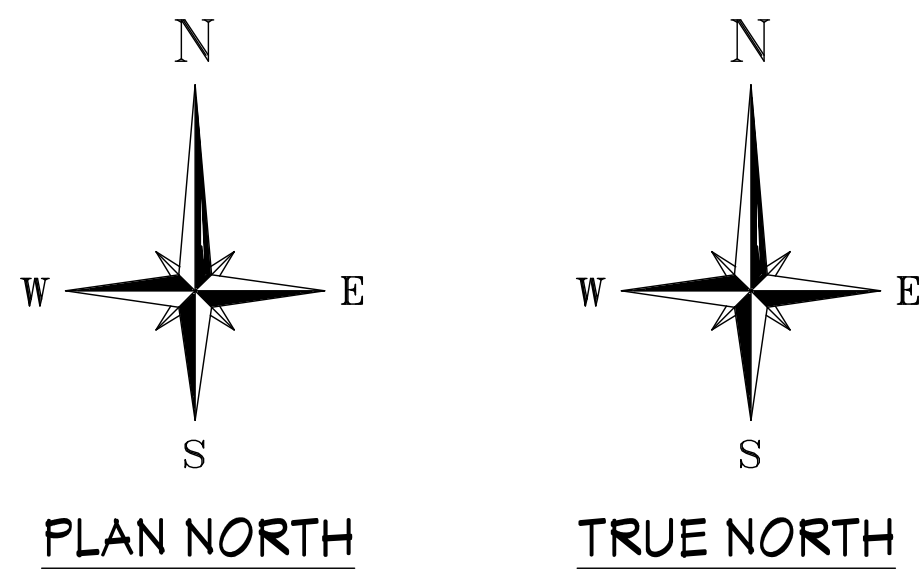
A1.1

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1 A1.2 DEMOLITION PLAN (LOWER LEVEL)
1/4" = 1'-0"

- LEGEND:
- WALLS TO REMAIN
 - - - - - WALLS TO BE REMOVED

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LOWER LEVEL ADDITION FOR:
1410 ELLIS STREET
WAUKESHA, WISCONSIN 53186

Project:

Sheet Title:
**DEMOLITION
PLAN (LOWER
LEVEL)**

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Job No. 22-131
Sheet No.

A1.2

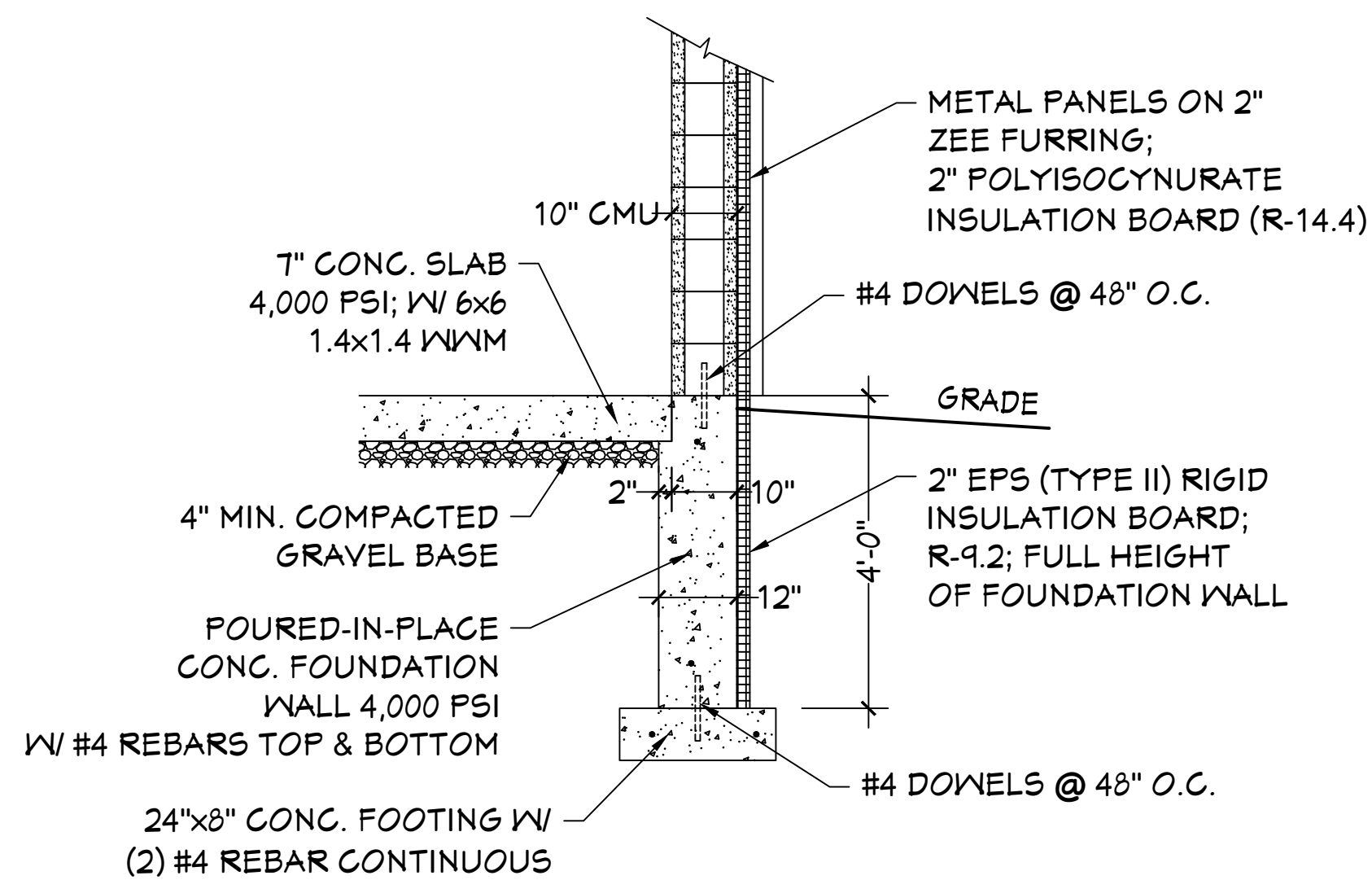
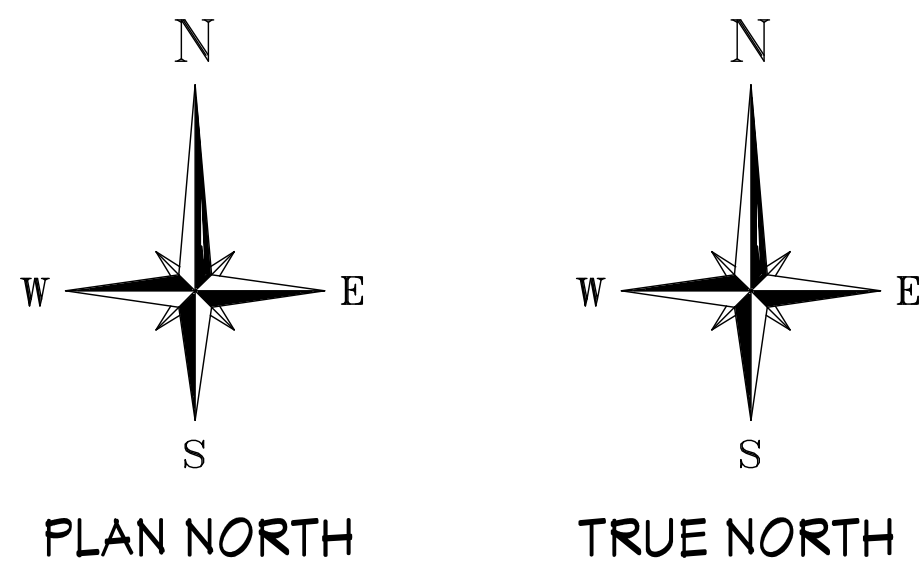
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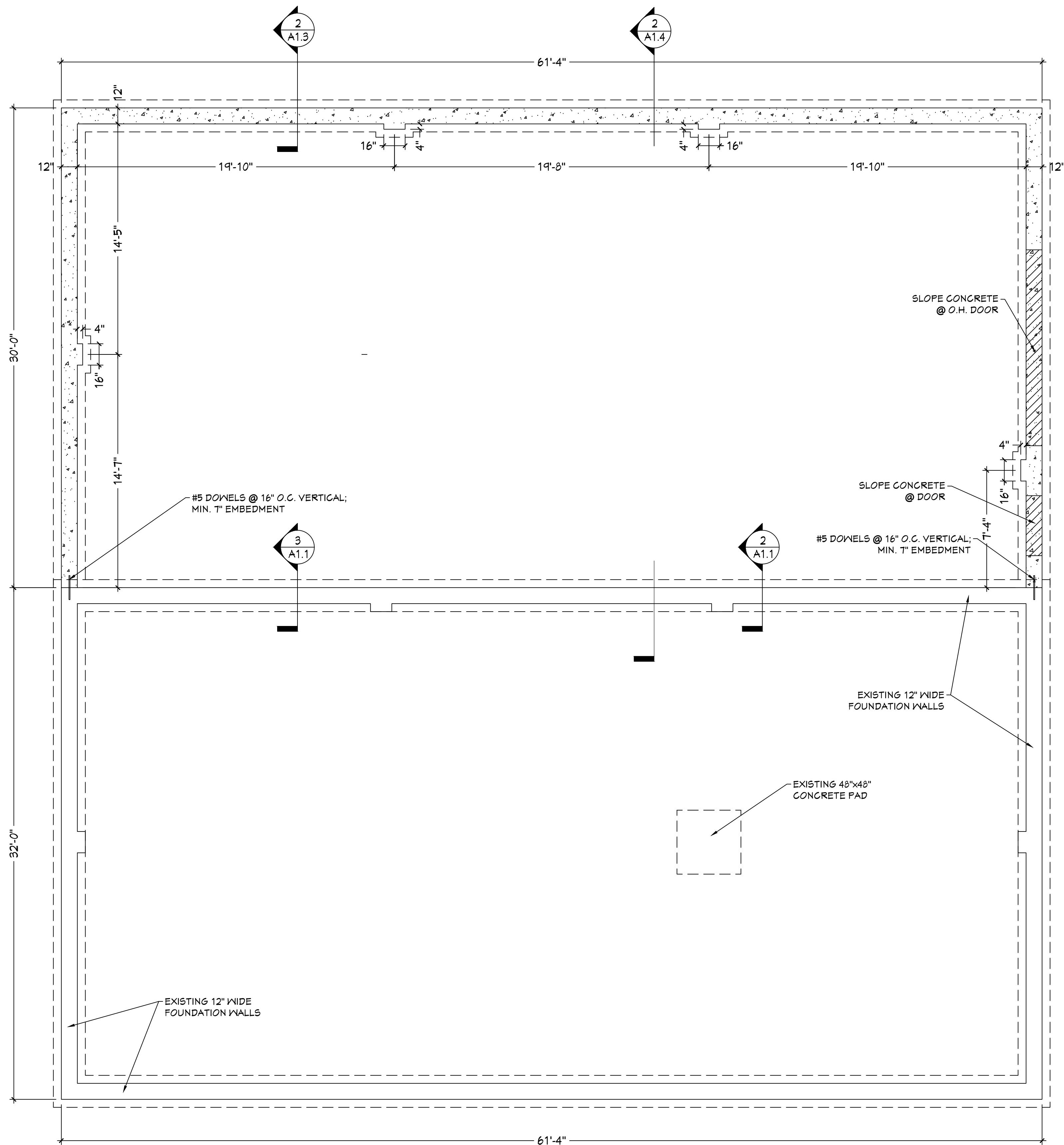
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2
A1.3
PROPOSED FOUNDATION DETAIL
1/2" = 1'-0"



1
A1.3
PROPOSED LOWER LEVEL FOUNDATION PLAN
3/4" = 1'-0"

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LOWER LEVEL ADDITION FOR:

1410 ELLIS STREET

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PROPOSED
LOWER LEVEL
FOUNDATION
PLAN

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A1.3



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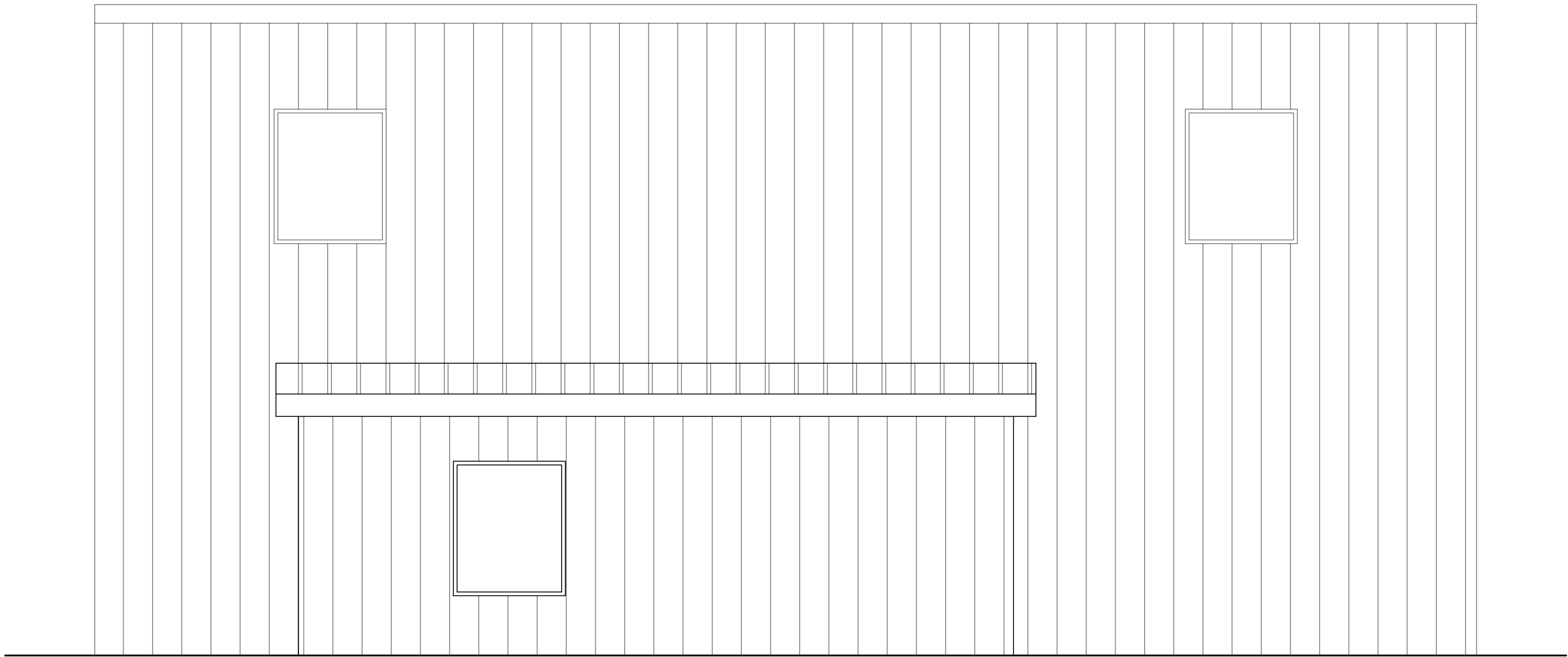
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A1.4

SECOND FLOOR
129'-0"

B.O. EAVES
110'-8"

LOWER LEVEL
100'-0"

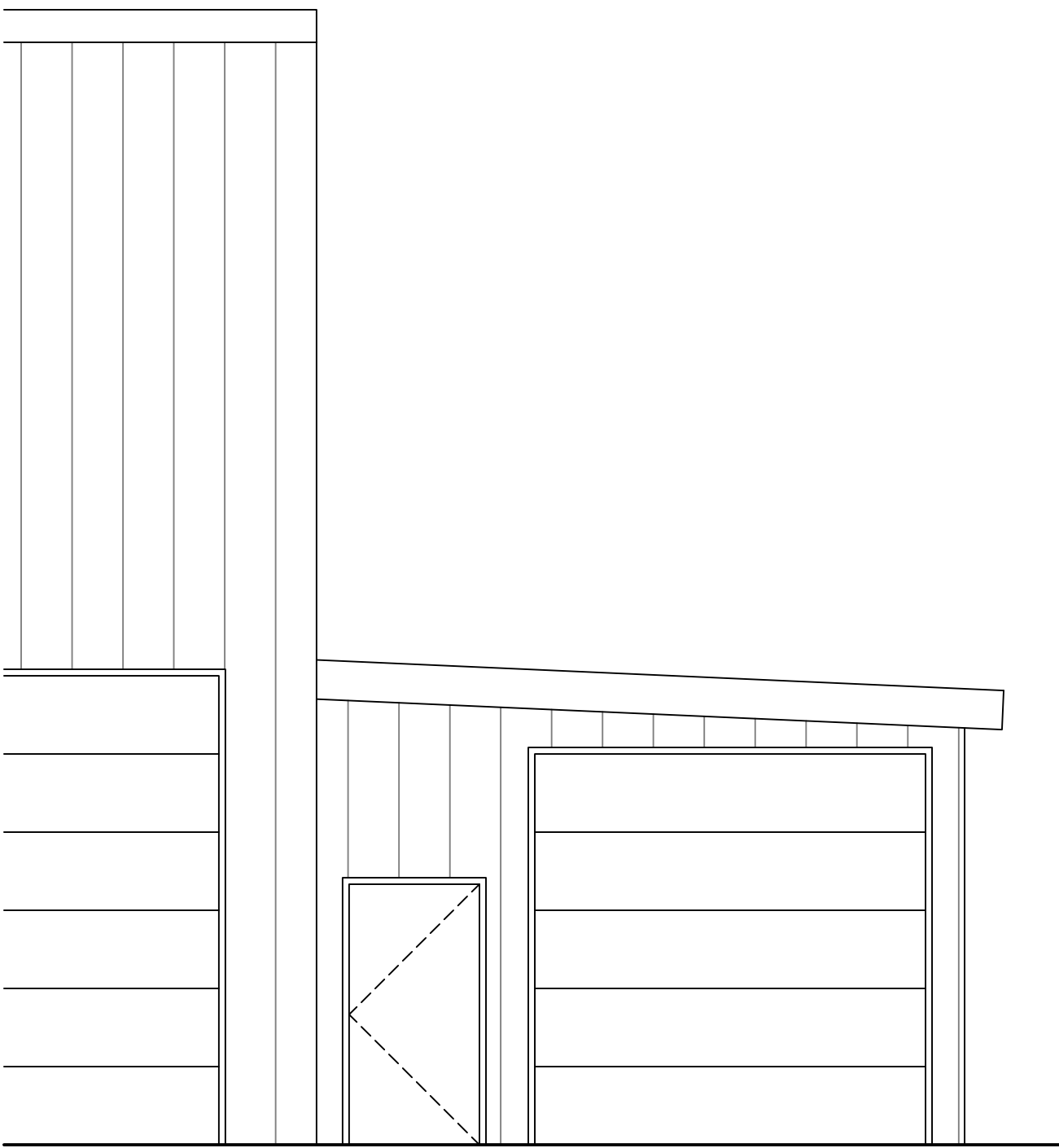


1
A2.0
EXISTING NORTH ELEVATION
1/4" = 1'-0"

SECOND FLOOR
129'-0"

B.O. EAVES
110'-8"

LOWER LEVEL
100'-0"

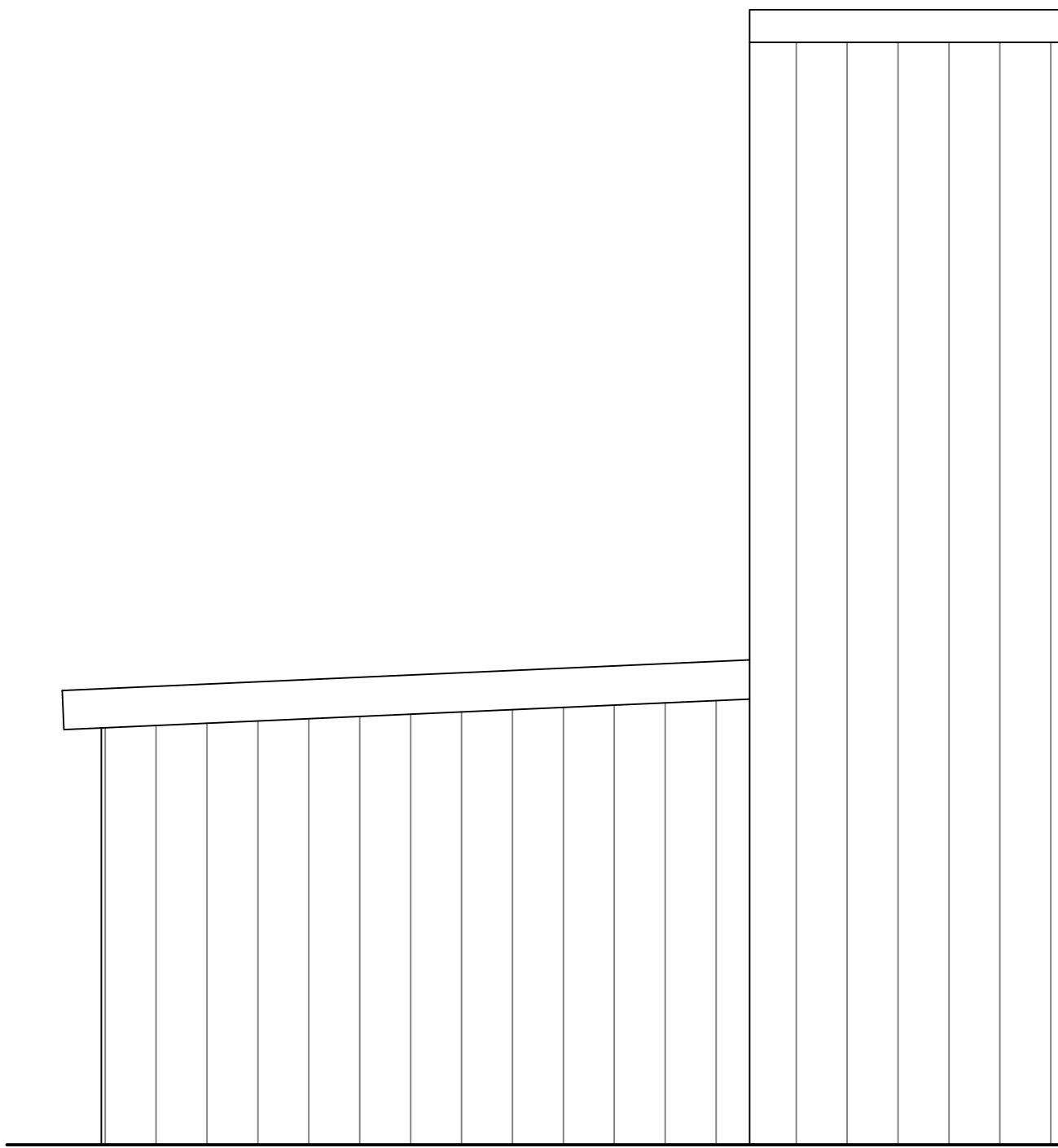


2
A2.0
EXISTING EAST ELEVATION
1/4" = 1'-0"

SECOND FLOOR
129'-0"

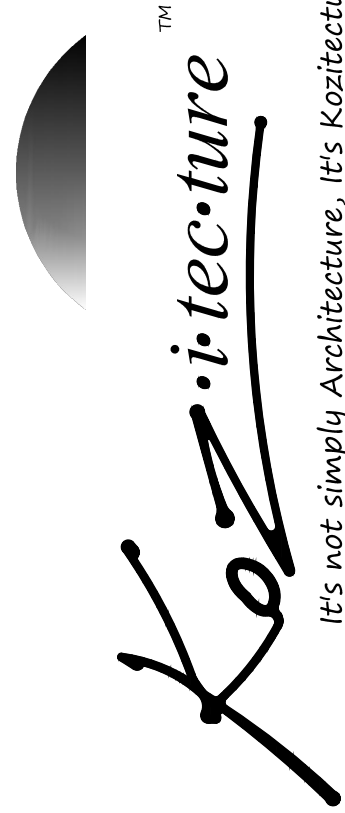
B.O. EAVES
110'-8"

LOWER LEVEL
100'-0"



3
A2.0
EXISTING WEST ELEVATION
1/4" = 1'-0"

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LOWER LEVEL ADDITION FOR:
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WAUKESHA, WISCONSIN 53186

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EXISTING
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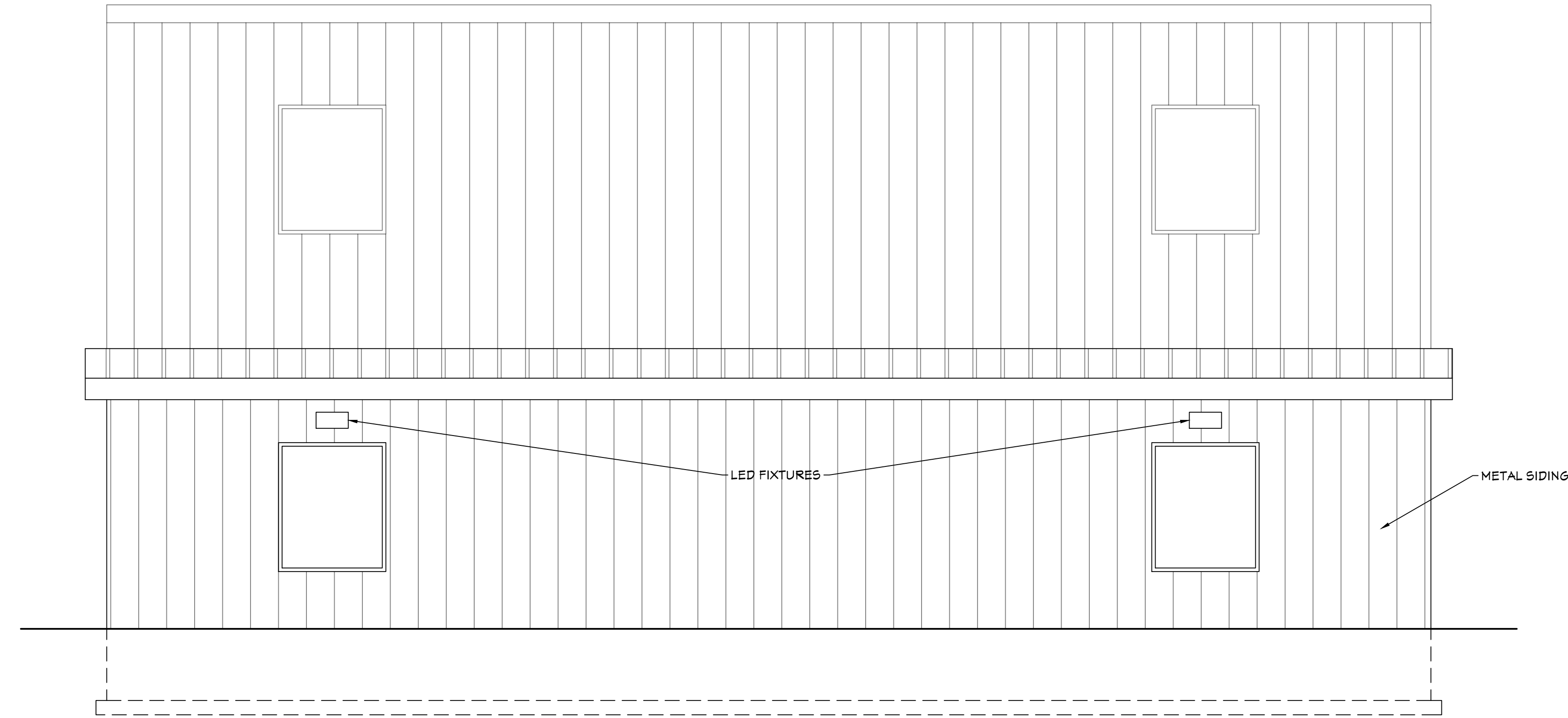
A2.0

SECOND FLOOR
129'-0"

B.O. EAVES
110'-8"

LOWER LEVEL
100'-0"

B.O. FOOTING
96'-0"



1
A2.0
PROPOSED NORTH ELEVATION
1/4" = 1'-0"

SECOND FLOOR
129'-0"

SECOND FLOOR
129'-0"

B.O. EAVES
110'-8"

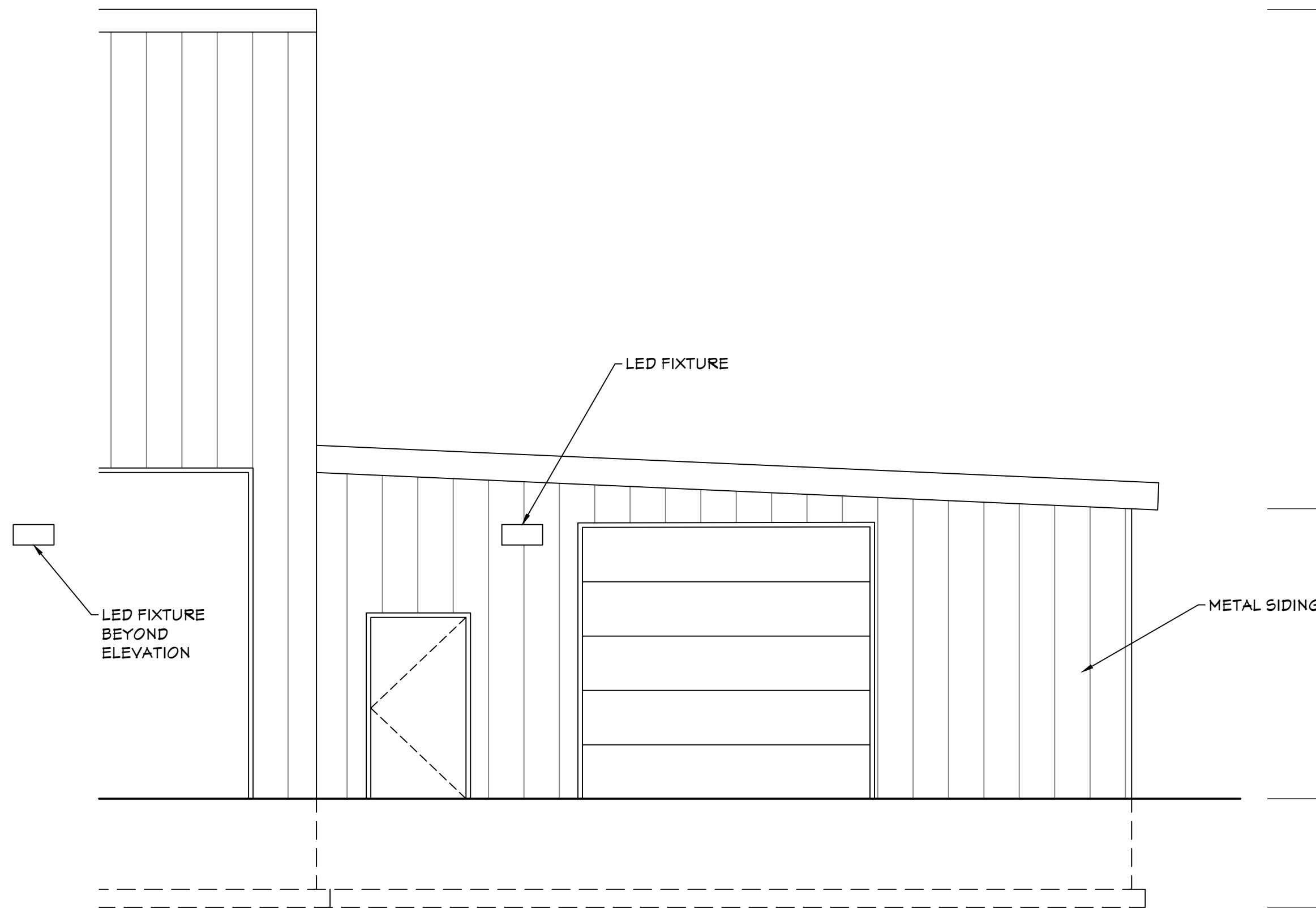
B.O. EAVES
110'-8"

LOWER LEVEL
100'-0"

LOWER LEVEL
100'-0"

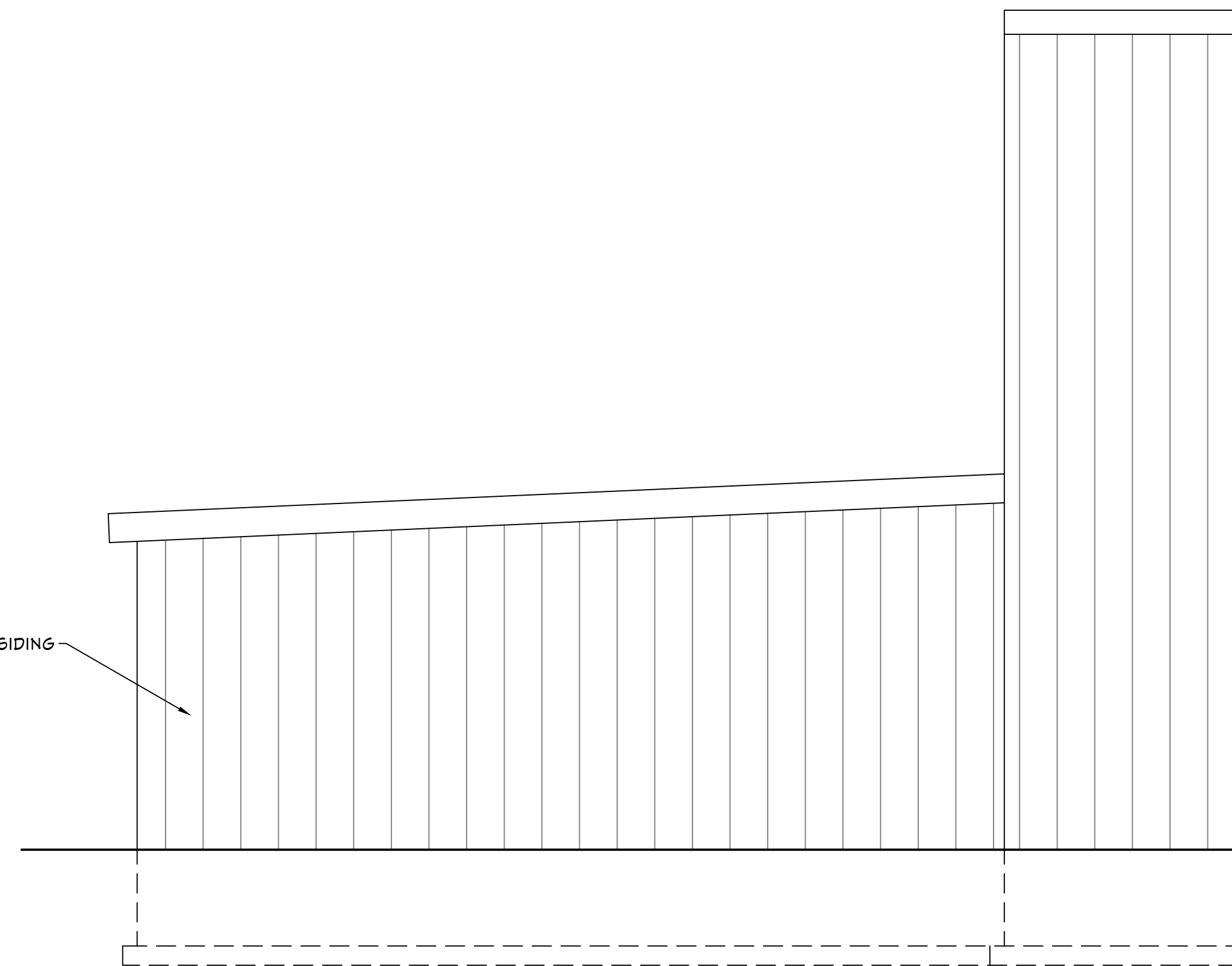
B.O. FOOTING
96'-0"

B.O. FOOTING
96'-0"



2
A2.0
PROPOSED EAST ELEVATION
1/4" = 1'-0"

METAL SIDING



3
A2.0
PROPOSED WEST ELEVATION
1/4" = 1'-0"

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PROPOSED ELEVATIONS

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A2.1