



**TRANSMITTAL**

**To:** City of Waukesha  
201 Delafield Street  
Waukesha, WI 53188

**Project:** Outlot Building  
120 E Sunset Drive  
Waukesha, WI

**Attn:** Mr. Jeff Fortin

**Job No.:** 1607

**Date:** May 9, 2016

**Sent via:** Delivery

**We are sending you**

- Attached       Under separate cover via \_\_\_\_\_ the following items:
- Shop Drawings     Prints/Plans     Samples     Specifications     Change Orders
- Other: Plan Commission Submittal

<b>Copies</b>	<b>Description</b>
1	Application for preliminary site plan review
4	Copies full size copies of the Site Plan submittal (including 1 color copy)
7	Reduced size (11x17) copies of the Site Plan submittal
1	DVD w/ PDF copies of the site plan submittal

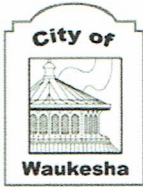
**These are transmitted as checked below:**

- For your use       Approved as submitted     Resubmit     Copies for approval
- As requested       Approved as noted       Submit       Copies for distribution
- For your review       Returned for corrections     Return       Corrected prints

**Remarks:** For final preliminary site plan review. Please let me know if anything further is required.

Signed: \_\_\_\_\_  
Jeffrey M. Stowe, AIA

Copies to: Lockard Waukesha Team



**CITY OF WAUKESHA  
PLAN COMMISSION**

**Application for Review**

Date Submitted \_\_\_\_\_

Name of Project: SUNSET OUT LOT B MULTI-TENANT BUILDING

Address (if no address, location): 120 E SUNSET

**Applicant information:**

Name: JEFF STOWE

Company Name: STO ARCHITECTURE, LLC

Address: 4417 N. MURRAY AVENUE  
SHOREWOOD, WI 53211

Phone: 414-795-1323

**Owner information:**

Name: JAMES FETTKETHER

Company Name: LOCKARD DEVELOPMENT

Address: 4501 PRAIRIE PARKWAY  
CEDAR FALLS, IA 50613

Phone: 319-277-8000

IMPORTANT: A DIGITAL copy must be submitted with this application (JPG and/or PDF) along with 4 full-size (one of which must be in COLOR) and 7 reduced copies unless waived by the department. The reduced set of copies should only include the project location map showing a 1/2 mile radius, a COLORED landscape plan, COLORED building elevations, and exterior light fixture cut sheets.

<u>TYPE OF REVIEW</u>	<u>FEE</u>
<input type="checkbox"/> <b>Rezoning:</b> Attach <u>COPY</u> of rezoning petition <u>along with fee</u> . Original must be submitted to City Clerk.	\$350
<input type="checkbox"/> <b>Certified Survey Map</b>	\$150 + \$50/lot
<input type="checkbox"/> <b>Plat Review - Plat Reviews</b> are held until next meeting. 9 copies must be submitted. You must also submit 4 to the County and 2 to State. (Check appropriate box)	<input type="checkbox"/> <b>prelim.:</b> \$500 + \$10/lot <input type="checkbox"/> <b>final:</b> \$300 + \$10/lot
<input checked="" type="checkbox"/> <b>** Site Plan &amp; Arch. Review -</b> Architectural changes do not need preliminary review. (Check appropriate box)	<input checked="" type="checkbox"/> <b>prelim.:</b> \$300 + \$15/1000 sq.ft. or res. unit <input type="checkbox"/> <b>final:</b> \$200 + \$10/1000 sq.ft. or res. unit
<input type="checkbox"/> <b>** Conditional Use with Site Plan</b> (Check appropriate box)	<input type="checkbox"/> <b>prelim.:</b> \$300 + \$15/1000 sq.ft. or res. unit <input type="checkbox"/> <b>final:</b> \$200 + \$10/1000 sq.ft. or res. unit
<input type="checkbox"/> <b>Conditional Use (No Site Plan)</b>	\$200
<input type="checkbox"/> <b>** Airport Hangar Review</b>	\$300
<input type="checkbox"/> <b>Home Industry (Attach info sheet.)</b>	\$100
<input type="checkbox"/> <b>House Move</b>	\$150
<input type="checkbox"/> <b>Street Vacation</b>	\$150
<input type="checkbox"/> <b>Other (specify):</b> _____	\$100
<input type="checkbox"/> <b>** PUD Review</b>	\$400 added to S.P.A.R. fee
<input type="checkbox"/> <b>PUD Amendment</b>	\$100
<input type="checkbox"/> <b>Annexations and/or Attachments - Original must be submitted to City Clerk.</b>	No Fee
<input type="checkbox"/> <b>Resubmittal</b>	\$150

6,447<sup>sf</sup>

\*\* Please attach to this form a Review Checklist if it involves an architectural and/or site plan review.

**DEADLINE FOR THE SUBMITTAL IS THE MONDAY FOUR WEEKS BEFORE THE MEETING BY 4:00 P.M.**

INTERNAL USE ONLY

Amount Due: \$ 396.<sup>70</sup> Check #: \_\_\_\_\_ Amount Paid: \_\_\_\_\_ Rec'd By: \_\_\_\_\_

Rev. 03/2015



LEGAL DESCRIPTION

PARCEL 1: All that part of the Southwest 1/4 of Section 11, Town 6 North, Range 19 East, City of Waukesha, County of Waukesha, State of Wisconsin, bounded and described as follows: Commencing at the Southwest corner of said Section 11; thence North 0° 03' 15" West along the West line of said Section 11, 280.02 feet; thence North 88° 30' East, 33.02 feet to the East right-of-way line of South East Avenue (C.T.H. 'F'); said point being the point of beginning of the lands herein to be described; thence continuing North 88° 30' East, 140.00 feet; thence South 0° 03' 15" East, 220.00 feet to the North right-of-way line of Sunset Drive (C.T.H. 'A'); thence North 88° 30' East along said North right-of-way line, 828.00 feet; thence North 0° 03' 15" West, 562.06 feet to the former South line of the City of Waukesha School property; thence South 88° 19' 04" West along said South line and South line extended, 968.08 feet to the East right-of-way line of South East Avenue (C.T.H. 'F'); thence South 0° 03' 15" East along said East right-of-way line 338.98 feet to the point of beginning.

The above described land may also be described as follows: All that part of the Southwest 1/4 of Section 11, Town 6 North, Range 19 East, City of Waukesha, County of Waukesha, State of Wisconsin, bounded and described as follows: Commencing at the Southwest corner of said Section 11; thence North 0° 06' 09" West along the West line of said Section 11, 280.02 feet; thence North 88° 27' 25" East, 33.01 feet to the East right-of-way line of South East Avenue (C.T.H. 'F'); said point being the point of beginning of the lands herein to be described; thence continuing North 88° 27' 25" East, 140.00 feet; thence South 0° 06' 09" East, 220.00 feet to the North right-of-way line of Sunset Drive (C.T.H. 'A'); thence North 88° 27' 25" East along said North right-of-way line, 828.00 feet; thence North 0° 06' 09" West, 562.06 feet to the former South line of the City of Waukesha School property; thence South 88° 15' 29" West along said South line and South line extended, 968.08 feet to the East right-of-way line of South East Avenue (C.T.H. 'F'); thence South 0° 06' 09" East along said East right-of-way line 338.98 feet to the point of beginning.

PARCEL 2: Non-exclusive easement for the benefit of Parcel 1, created by Cross Easement Agreement entered into by and between W. T. Corporation, a Wisconsin corporation, and Marion August, as Trustee of Trust No. 108, dated August 4, 1969 and recorded October 22, 1969 in Volume 1175 of Deeds on Page 644, as Document No. 749972, as amended by Document No. 1142201 and Document No. 1325590 and Document No. 1979306 and Document No. 1980304, for ingress and egress as provided for therein.

PARCEL 3: Non-exclusive easement for the benefit of Parcel 1, created by cross easement agreement dated April 25, 1980 and recorded on October 29, 1980, in Reel 429, Image 997, as Document No. 1142201, for parking as provided for therein.

Address: 120 E. Sunset Drive, Waukesha, WI  
Tax Key No: WAKC 1339 972

Note 1: The property hereon described is the same as the pertinent property as described in First American Title Insurance Company, Commitment No. NCS-611467-MKE; Commitment Date: May 30, 2013.

Note 2: Survey closure meets 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys as adopted by American Land Title Association and National Society of Professional Surveyors.

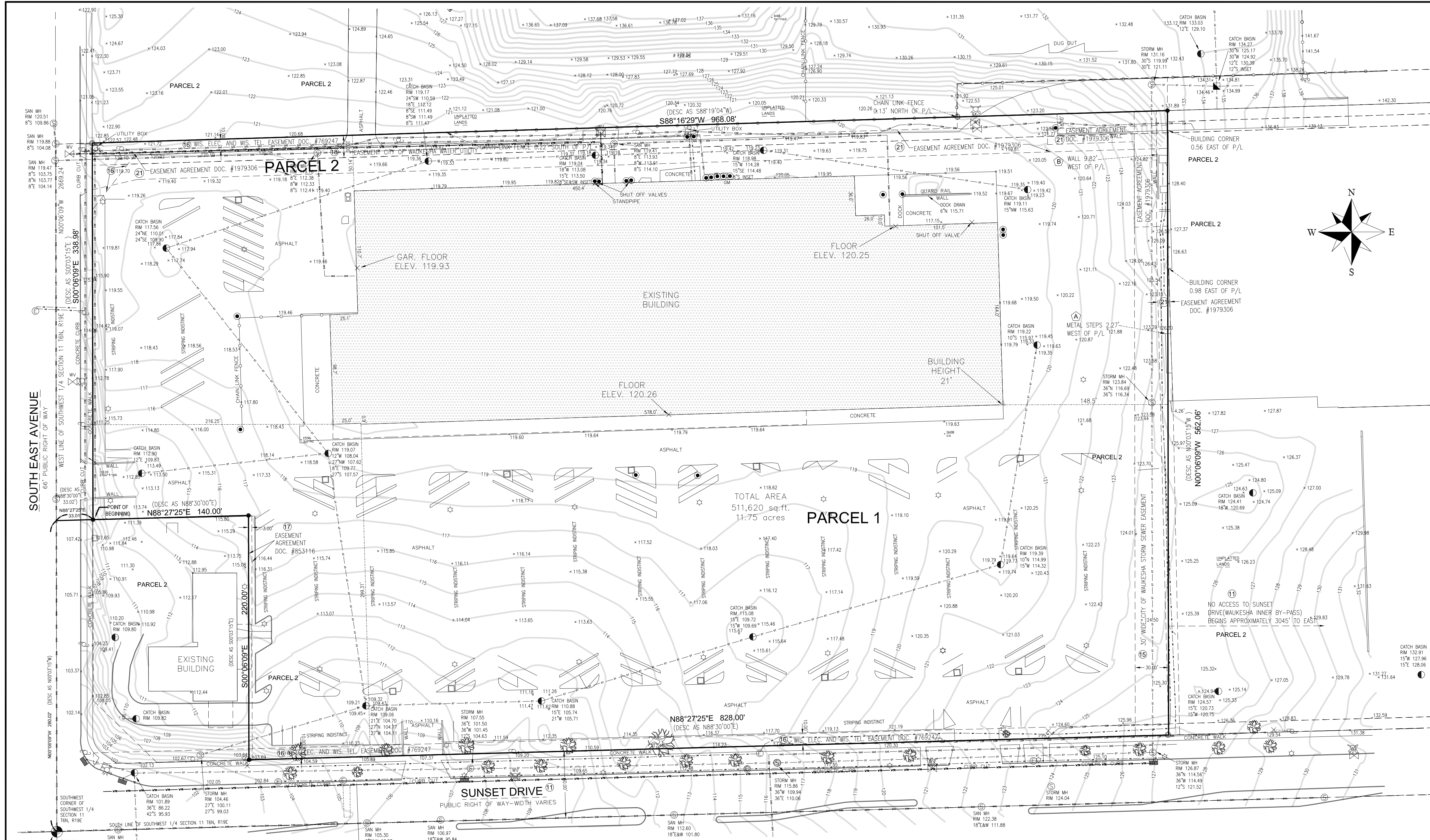
Note 3: The underground utilities shown have been located from field survey information. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities.

Note 4: The above Parcel 3 is the same Document No. 1142201 as listed in Items Corresponding to Schedule B, Item 20 and is general in nature and could not be plotted.

Note 5: The easements referenced in Item 14 of the Schedule B of the Commitment will terminate upon the merger of the fee simple estate with the leasehold estate.

ITEMS CORRESPONDING TO SCHEDULE B

- 11. Access restrictions set forth in Award of Damages recorded on November 20, 1962, in Volume 933, Page 119, as Document No. 577472.
- 14. Terms, provisions, conditions and restrictions set forth in Cross Easement Agreement dated August 4, 1969 and recorded on October 22, 1969, in Volume 1175, Page 644, as Document No. 749972. Amendment to Cross Easement Agreement dated November 13, 1985 and recorded on December 17, 1985, in Reel 722, Image 912, as Document No. 1325590. Amendment to Cross Easement Agreement dated July 1, 1994 and recorded on July 14, 1994, in Reel 1962, Image 733, as Document No. 1980394.
- 15. Easement granted to the City of Waukesha for construction and maintenance of a storm sewer set forth in instrument dated March 10, 1970 and recorded on April 10, 1970, in Volume 1168, Page 452, as Document No. 758237.
- 16. Easement granted to Wisconsin Electric Power Company and Wisconsin Telephone Company by instrument recorded on September 17, 1970, in Volume 1205, Page 269, as Document No. 769247.
- 17. Terms and provisions of Easement Agreement dated March 21, 1973 and recorded on June 11, 1973, in Reel 42, Image 1089, as Document No. 853116.
- 18. Easement granted to the City of Waukesha Water Utility by instrument dated September 7, 1979 and recorded on October 12, 1979, in Reel 382, Image 651, as Document No. 1110097.
- 20. Terms, provisions and conditions set forth in Cross Parking Agreement dated April 25, 1980 by and between W. T. Corporation, Wienn Properties, Massachusetts Mutual Life Insurance Company and K Mart Corporation, recorded on October 29, 1980, in Reel 429, Image 997, as Document No. 1142201. (General in Nature, Cannot be Plotted.)
- 21. Term, provisions, conditions and easements set forth in Easement Agreement dated June 29, 1994 by and between W. T. Corporation, Wienn Properties and K Mart Corporation, recorded on July 12, 1995, in Reel 1960, Image 1144, as Document No. 1979306.
- 24. Any facts, rights, interests or claims that may exist or arise by reason of the following matters disclosed by an ALTA/ACSM survey may be key by Engineering Group Ltd. on June 17, 2013, designated Job Number 2304010. A. Encroachment onto the Land by wall appurtenant to the property on the east by up to 9.82 feet. B. Encroachment onto the Land by metal steps appurtenant to the property on the east by up to 2.27 feet. D. Apparent easement for ingress/egress onto the land by asphalt drive appurtenant to property adjacent on the north. E. Sanitary sewer lines, storm sewer lines, gas lines, communication lines and water lines located in areas not provided for by recorded easements.



LEGEND

- - DENOTES FOUND IRON PIPE
- - DENOTES SET IRON STAKE
- ⊗ - DENOTES WATER VALVE
- ⊕ - DENOTES CATCH BASIN
- ⊙ - DENOTES HYDRANT
- ⊖ - DENOTES SEWER MANHOLE
- ⊗ - DENOTES GAS METER
- ⊙ - DENOTES BOLLARD
- ⊖ - DENOTES CATCH BASIN
- ⊗ - DENOTES ELECTRIC MANHOLE
- ⊙ - DENOTES LIGHT POLE
- ⊕ - DENOTES GAS VALVE
- ⊖ - DENOTES UTILITY POLE
- ⊙ - DENOTES SIGN
- ⊗ - DENOTES COMMUNICATION MANHOLE
- ⊙ - DENOTES SCHEDULE B ITEM
- ⊕ - DENOTES ENCROACHMENT ITEM

FLOOD NOTE: By graphic plotting only, this property is in Zone(s) X of the Flood Insurance Rate Map, Community Panel No. 55133C0326P, which bears an effective date of Nov. 19, 2008, and is not in a Special Flood Hazard Area. By telephone call dated 11/14/14 to the National Flood Insurance Program (800-638-6620) we have learned this community does currently participate in the program. No field surveying was performed to determine this zone and an elevation certificate may be needed to verify this determination or apply for a variance from the Federal Emergency Management Agency.

STATEMENT OF ENCROACHMENTS

- (A) METAL STEPS ON EAST PROPERTY LINE.
- (B) WALL ON EAST PROPERTY LINE.

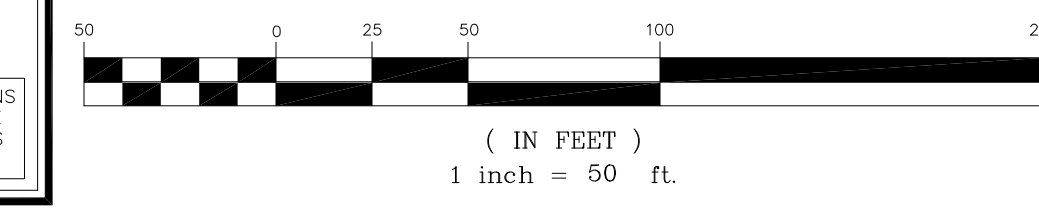
PARKING NOTE

STRIPING IS FADED AND NOT WELL DEFINED.

ZONING DATA

B-5 (PUD), Community Business District  
Building Height: Subject to paragraph (4) of Chapter 22.37 of the City of Waukesha Code, no principal building or parts of a principal building shall exceed 55 feet in height. No accessory building shall exceed 15 feet in height.  
Area: Lots shall have a minimum area of 10,000 square feet and shall be not less than 75 feet in width.  
Setbacks: Front: 50 feet minimum from right-of-ways of all streets; Side: Not less than 10 feet on each side of all buildings; Rear: Not less than 25 feet.  
PUD: The restrictions on lot area, lot width, building height, setbacks, and yard may be reduced or increased if the property is part of a Planned Unit Development Overlay District in accordance with Section 22.52.  
(Source: City of Waukesha, Dept. City Planner, 262-524-3750; www.ci.waukesha.wi.us)

GRAPHIC SCALE



NOTES:  
1. THERE IS NO OBSERVABLE EVIDENCE OF BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS. EARTH MOVING WORK HAS NOT BEEN DONE RECENTLY.  
2. THERE ARE NO KNOWN CHANGES IN RIGHT OF WAY OR EVIDENCE OF STREET OR SIDEWALK CONSTRUCTION OR REPAIR.  
3. NO OBSERVABLE EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.

TO OBTAIN LOCATIONS OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN  
MEMBER  
DIGGERS HOTLINE  
CALL DIGGERS HOTLINE 1-800-242-8511 TOLL FREE  
WISCONSIN STATUTE 182.075 (1974) REQUIRES MIN. 3 WORK DAY NOTICE BEFORE YOU EXCAVATE  
THE LOCATIONS OF THE EXISTING UTILITY INSTALLATIONS AS SHOWN ON THE PLANS ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

REVISION NO.	DESCRIPTION	DATE	BY	DESIGNED BY	DATE
1	REVISION FOR TITLE	12/10/14	JTY		
2	REVISION FOR TITLE	12/12/14	JTY	DRAWN BY DW	DATE 6/17/13
3	REVISION FOR TITLE	12/15/14	JTY		
4	BOUNDARY - METES AND BOUNDS LEGAL	3/5/14	JTY		

CADFILE  
DREF  
LMAN

ALTA/ACSM LAND TITLE SURVEY  
120 EAST SUNSET DRIVE  
VACANT COMMERCIAL BUILDING  
WAUKESHA, WI

"THE INFORMATION SHOWN ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATIONS AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO."  
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WISCONSIN  
FREDERICK W. SHIBLSKI  
S-1154  
WAUKESHA, WI  
LAND SURVEYOR  
Frederick W. Shibleski  
Registered Land Surveyor S-1154  
State of Wisconsin  
KEY ENGINEERING GROUP LTD.  
735 NORTH WATER STREET, SUITE 1000  
MILWAUKEE, WI 53202  
414.224.8300 (cell) - 414.224.8383 (fax)  
KEY PROJECT NUMBER 2304010  
PROJECT SCALE 1" = 50'  
SHEET NUMBER C-1

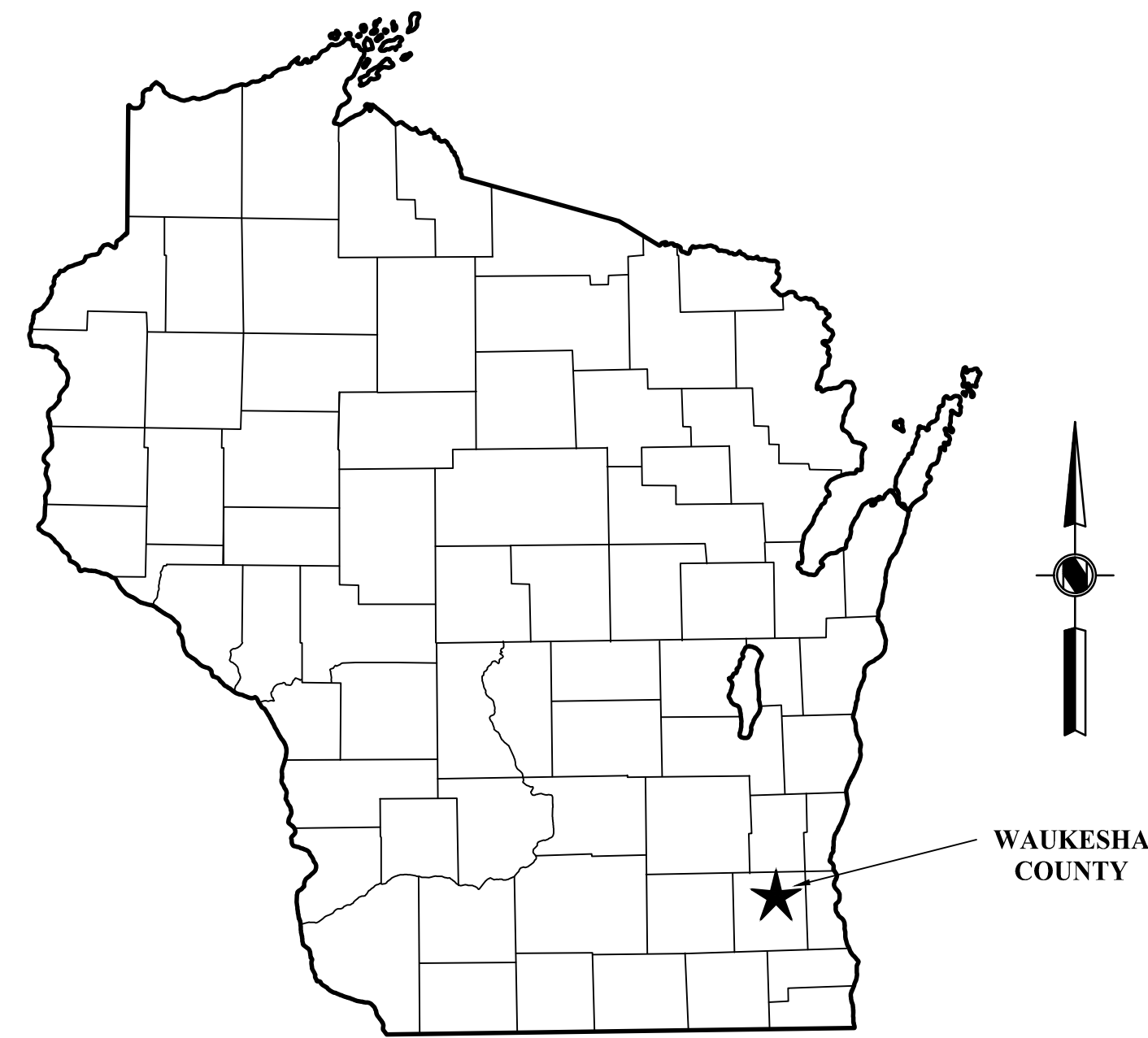


# SUNSET CROSSING OUTLOT

for

## LOCKARD CONSTRUCTION

### Waukesha, Wisconsin

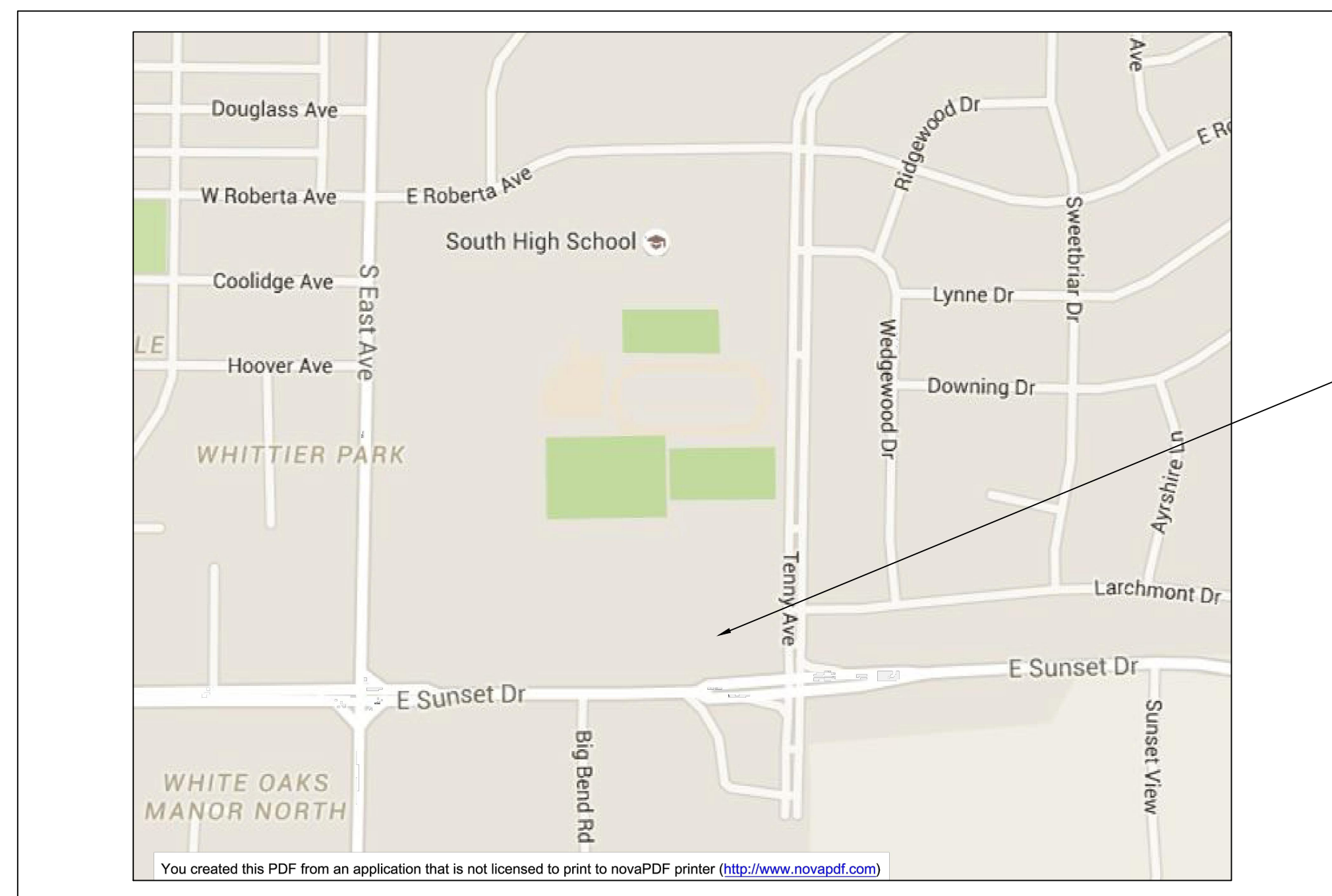


WAUKESHA COUNTY

SITE LOCATION

SHEET INDEX

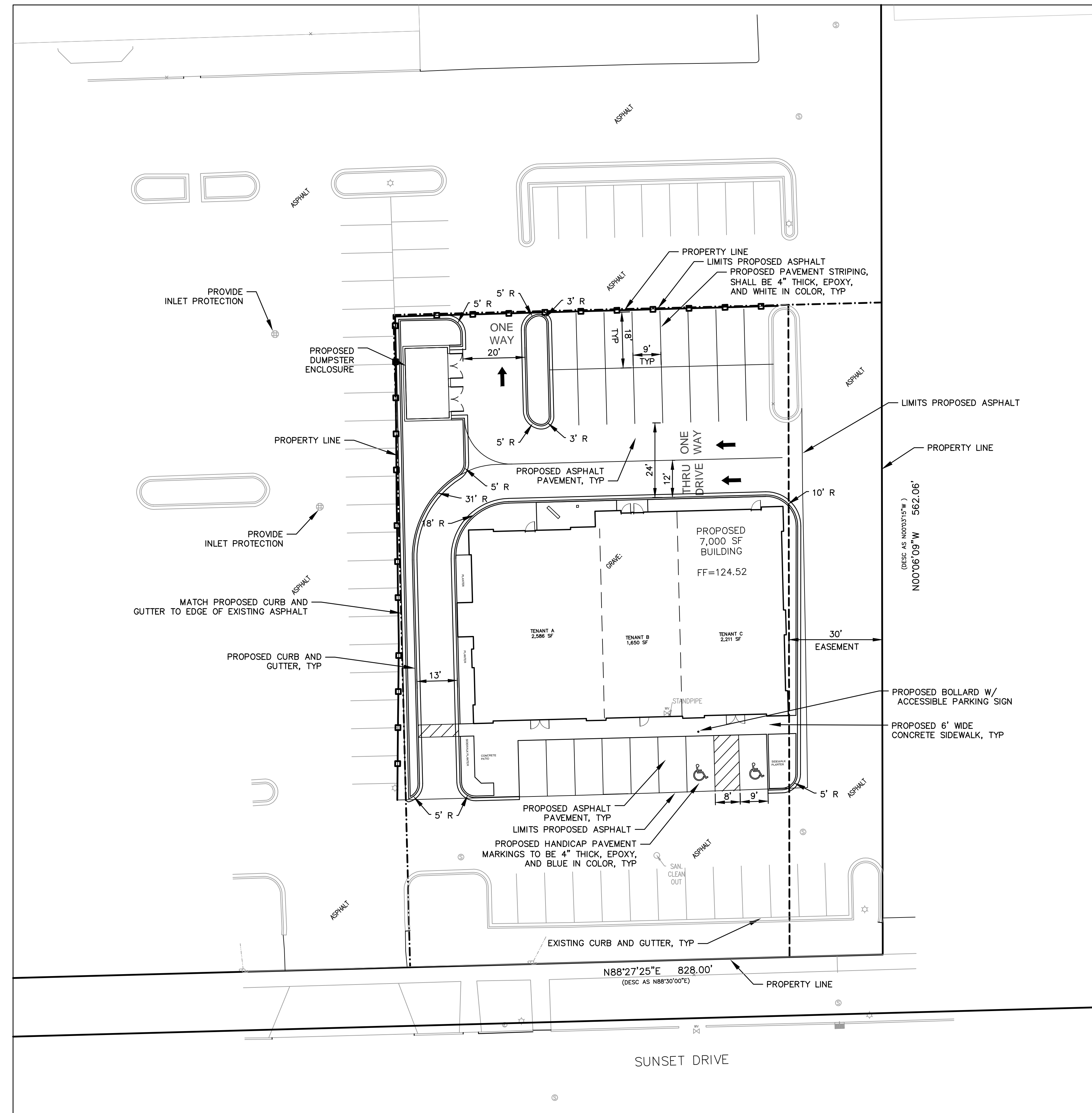
SHEET NO.	TITLE
C-1	SITE PLAN
C-2	GRADING AND EROSION CONTROL PLAN
C-3	PAVING AND UTILITY PLAN
C-4	STANDARD DETAILS



SITE LOCATION

VICINITY MAP  
NOT TO SCALE

- NOTES:
- 1.) ALL EROSION CONTROL DEVICES SHALL BE IN PLACE PRIOR TO ANY LAND DISTURBANCE ACTIVITIES. DEVICES SHALL BE INSTALLED AND MAINTAINED PER WISCONSIN DEPARTMENT OF NATURAL RESOURCES BEST MANAGEMENT PRACTICES (BMPs), TECHNICAL STANDARDS.
  - 2.) ALL DIMENSIONS ARE TO FACE OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
  - 3.) CONTRACTOR SHALL COORDINATE ALL UTILITY WORK WITH APPROPRIATE PUBLIC UTILITY COMPANIES.



**LEGEND**

- (ST) STORM SEWER MANHOLE
- (S) STORM SEWER INLET
- (S) SANITARY SEWER MANHOLE
- (L) LIGHT POLE
- (H) HYDRANT
- (WV) WATER VALVE
- (PP) POWER POLE

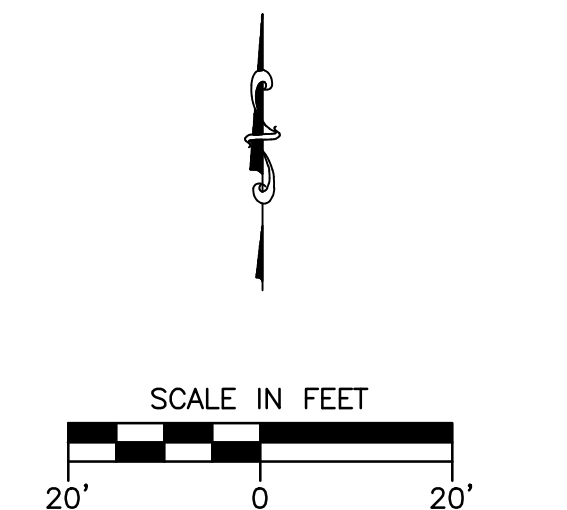
TO OBTAIN LOCATIONS OF PARTICIPANT'S UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

**MEMBER**

**ONE-CALL SYSTEMS INTERNATIONAL**

**CALL DIGGERS HOTLINE**  
1-800-242-8911  
TOLL FREE

WIS STATUTE 182.0175(1974) REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE  
MILW. AREA 259-1181



REVISION NO.	DESCRIPTION	DATE	BY	DESIGNED BY	DATE
				JBM	05/09/16
				JBM	05/09/16
				JBM	05/09/16
				CADFILE	
				XREF	
				LMAN	

**SITE PLAN  
SUNSET CROSSING OUTLOT  
LOCKARD CONSTRUCTION  
WAUKESHA, WISCONSIN**

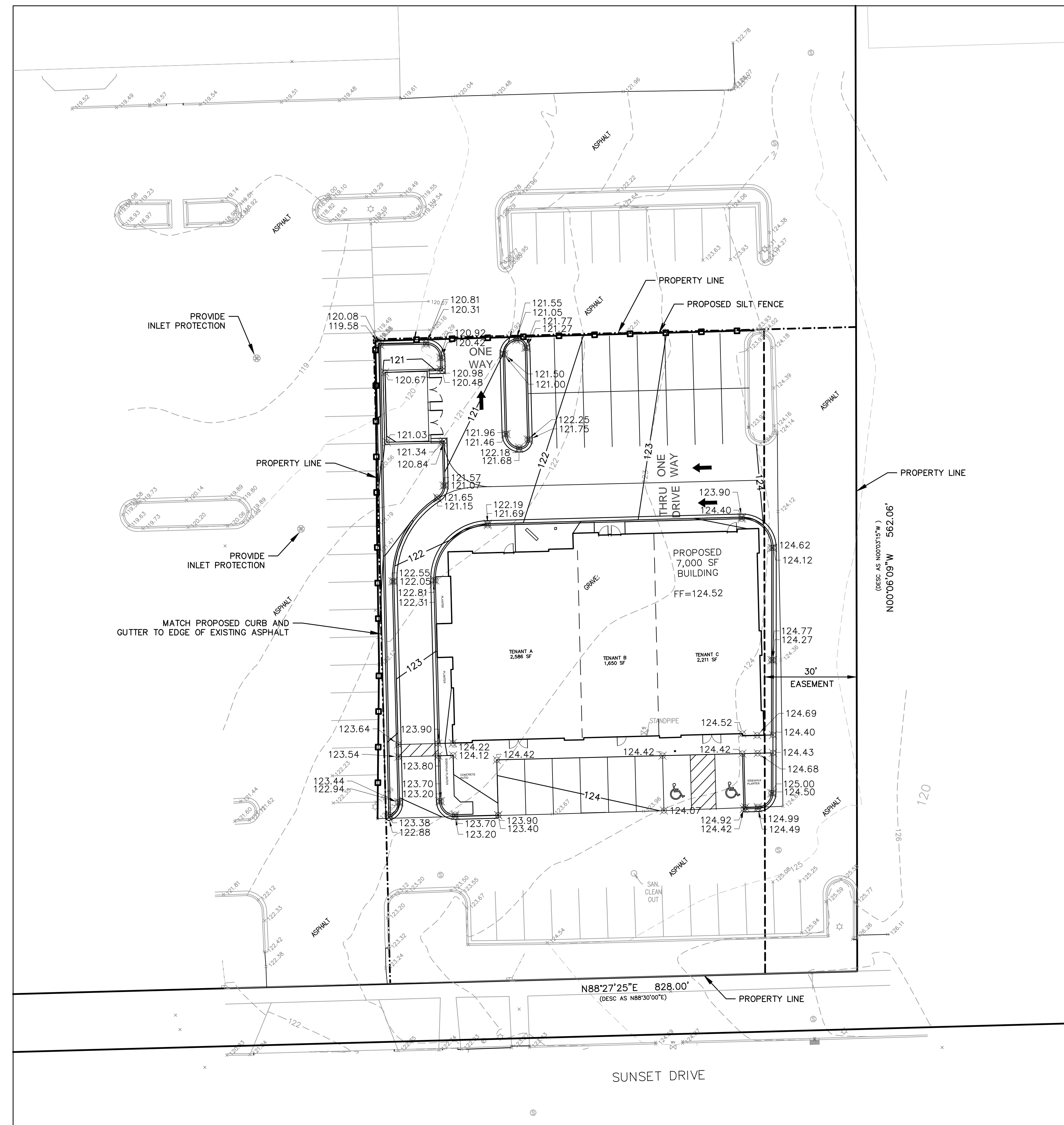
"THE INFORMATION SHOWN ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATIONS AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO."



KEY PROJECT NUMBER	2604012
PROJECT SCALE	1" = 20'
SHEET NUMBER	C-1

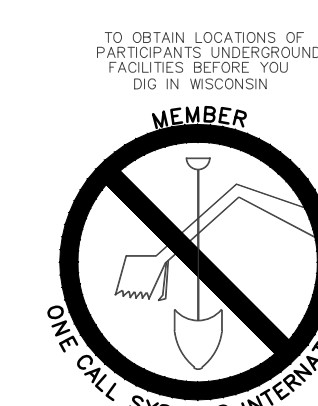
NOTES:

- 1.) ALL EROSION CONTROL DEVICES SHALL BE IN PLACE PRIOR TO ANY LAND DISTURBANCE ACTIVITIES. DEVICES SHALL BE INSTALLED AND MAINTAINED PER WISCONSIN DEPARTMENT OF NATURAL RESOURCES BEST MANAGEMENT PRACTICES (BMPs), TECHNICAL STANDARDS.
- 2.) ALL DIMENSIONS ARE TO FACE OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- 3.) CONTRACTOR SHALL COORDINATE ALL UTILITY WORK WITH APPROPRIATE PUBLIC UTILITY COMPANIES.
- 4.) CONTRACTOR TO DECIDE TRACKING PAD LOCATION.

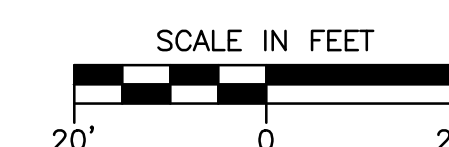


LEGEND

- (ST) STORM SEWER MANHOLE
- (S) STORM SEWER INLET
- (S) SANITARY SEWER MANHOLE
- ☼ LIGHT POLE
- ⊕ HYDRANT
- WV WATER VALVE
- 656 — PROPOSED CONTOUR
- - - 656 - - - EXISTING CONTOUR
- x 120.00 EXISTING SPOT GRADE
- x 660.14 PROPOSED SPOT GRADE



TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN  
**MEMBER**  
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**CALL DIGGERS HOTLINE**  
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 REQUIRES MIN. 3 WORK DAYS  
 NOTICE BEFORE YOU EXCAVATE  
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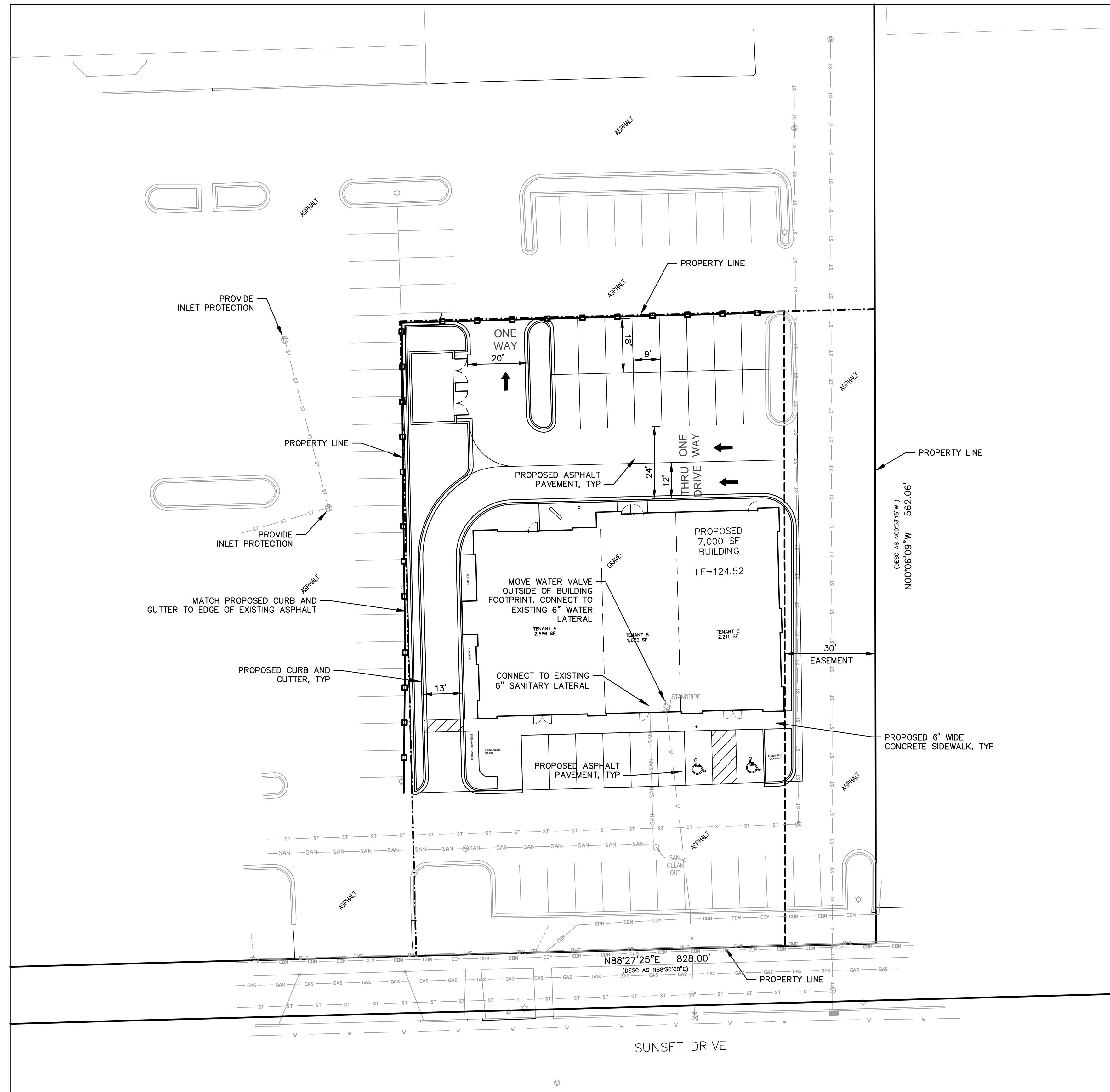
REVISION NO.	DESCRIPTION	DATE	BY	DESIGNED BY	DATE
				JBM	05/09/16
				JBM	05/09/16
				JBM	05/09/16
				CADFILE	
				WREF	
				LMAN	

**GRADING AND EROSION CONTROL PLAN**  
**SUNSET CROSSING OUTLOT**  
 LOCKARD CONSTRUCTION  
 WAUKESHA, WISCONSIN

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KEY PROJECT NUMBER  
 2604012  
 PROJECT SCALE  
 1" = 20'  
 SHEET NUMBER  
**C-2**



- NOTES:
- 1.) ALL EROSION CONTROL DEVICES SHALL BE IN PLACE PRIOR TO ANY LAND DISTURBANCE ACTIVITIES. DEVICES SHALL BE INSTALLED AND MAINTAINED PER WISCONSIN DEPARTMENT OF NATURAL RESOURCES BEST MANAGEMENT PRACTICES (BMPs), TECHNICAL STANDARDS.
  - 2.) CONTRACTOR SHALL VERIFY ALL ELEVATIONS IN FIELD PRIOR TO START OF CONSTRUCTION.
  - 3.) ALL WORK WITHIN PUBLIC RIGHT OF WAY SHALL BE COORDINATED WITH THE CITY OF WAUKESHA.
  - 4.) CONTRACTOR SHALL COORDINATE ALL UTILITY WORK WITH APPROPRIATE PUBLIC UTILITY COMPANIES.

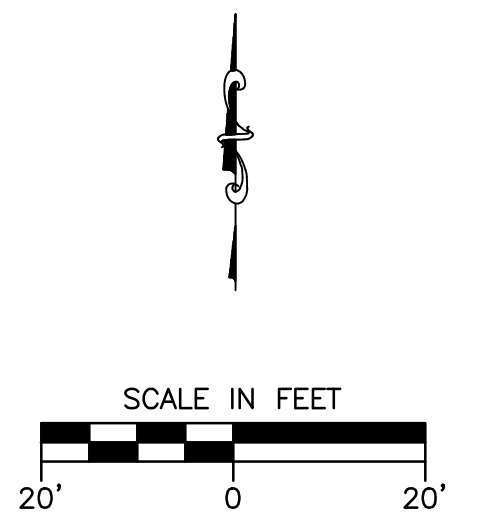
- LEGEND
- ⊙ ST STORM SEWER MANHOLE
  - STORM SEWER INLET
  - ⊙ S SANITARY SEWER MANHOLE
  - ⊙ LIGHT POLE
  - ⊙ HYDRANT
  - ⊙ WV WATER VALVE
  - 656 — PROPOSED CONTOUR
  - - 656 - - EXISTING CONTOUR
  - +121.00 EXISTING SPOT GRADE
  - ⊗ 660.14 PROPOSED SPOT GRAD
  - ST — ST EXISTING STORM SEWER
  - SAN — SAN EXISTING SANITARY SEWER
  - W — W EXISTING WATER MAIN
  - GAS — GAS EXISTING GAS MAIN
  - COM — COM EXISTING COM LINE
  - OHE — EXISTING OVERHEAD ELECTRIC LINE

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				JBM	05/09/16
				CADFILE	
				XREF	
				LMAN	

**PAVING AND UTILITY PLAN**  
**SUNSET CROSSING OUTLOT**  
 LOCKARD CONSTRUCTION  
 WAUKESHA, WISCONSIN

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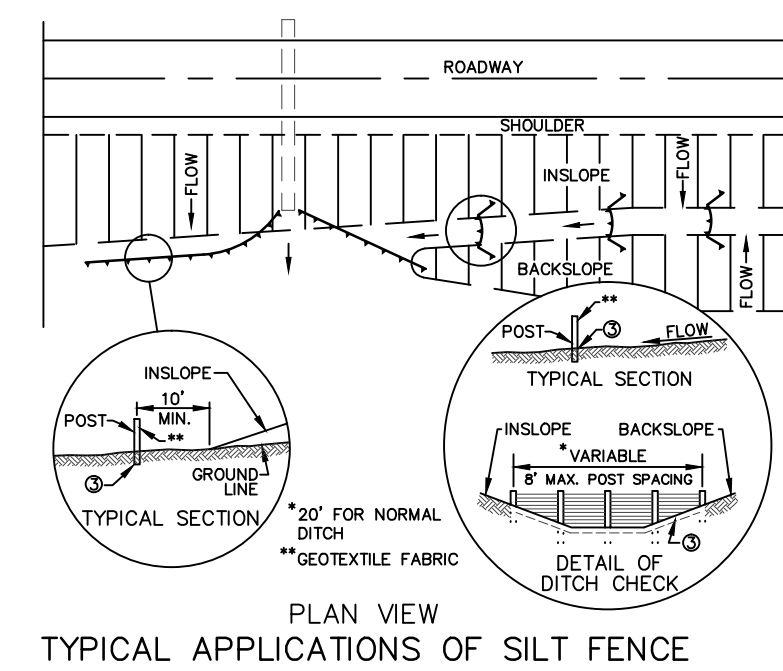
**KEY ENGINEERING GROUP LTD.**  
 735 NORTH WATER STREET, SUITE 510  
 MILWAUKEE, WI 53202  
 414.224.8300 (tel) - 414.224.8385 (fax)

KEY PROJECT NUMBER	2604012
PROJECT SCALE	1" = 20'
SHEET NUMBER	C-3

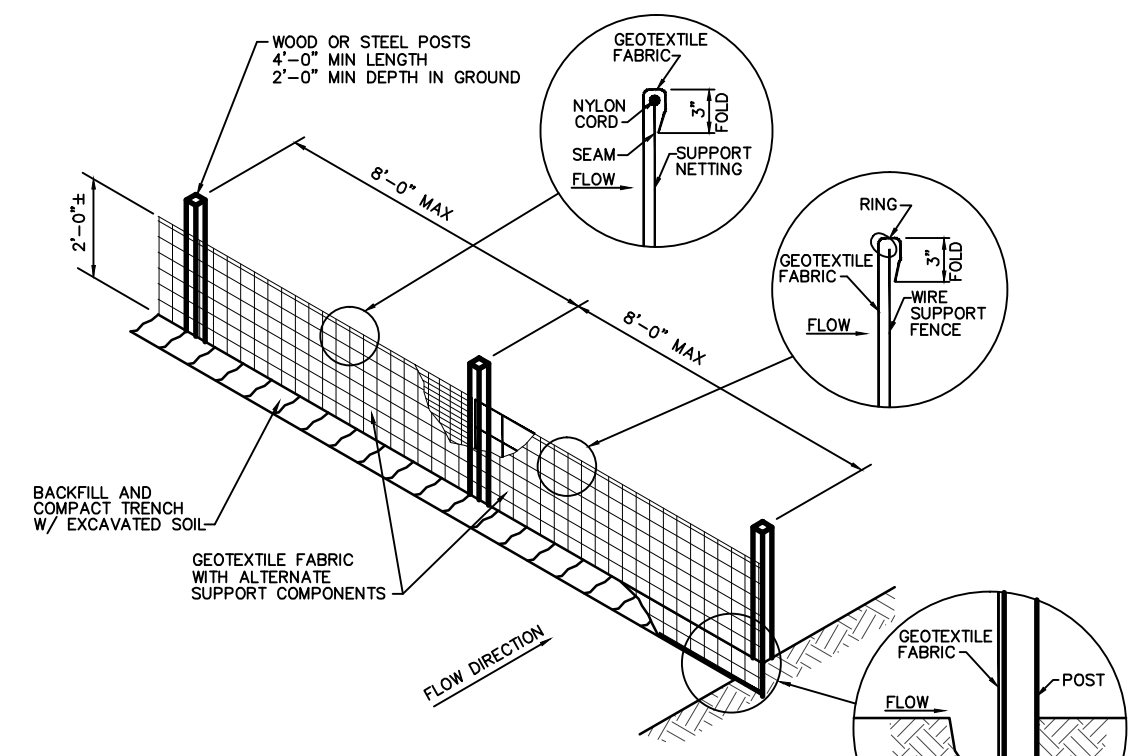


**SILT FENCE GENERAL NOTES:**

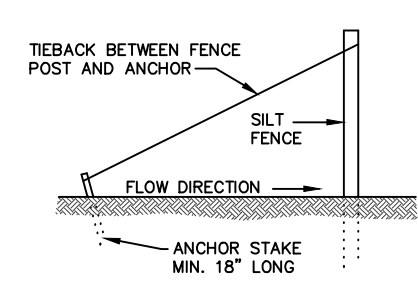
- DETAIL OF CONSTRUCTION NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND APPLICABLE SPECIAL PROVISIONS.
- WHEN POSSIBLE THE SILT FENCE SHOULD BE CONSTRUCTED IN AN ARC OR HORSESHOE SHAPE, WITH THE ENDS POINTING UPSLOPE TO MAXIMIZE BOTH STRENGTH AND EFFECTIVENESS.
- CROSS BRACE WITH 2" x 4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS AS DIRECTED BY THE ENGINEER.
  - MINIMUM 14 GAGE WIRE REQUIRED; FOLD FABRIC 3" OVER THE WIRE AND STAPLE OR PLACE WIRE RINGS ON 12" C-C.
  - EXCAVATE A TRENCH A MINIMUM OF 4" WIDE AND 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC; FOLD MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL.
  - WIRE SUPPORT FENCE SHALL BE 14 GAGE MINIMUM WOVEN WIRE WITH A MAXIMUM MESH SPACING OF 6". SECURE TOP OF GEOTEXTILE FABRIC TO TOP OF FENCE WITH STAPLES OR WIRE RINGS AT 12" C-C.
  - GEOTEXTILE FABRIC SHALL BE REINFORCED WITH AN INDUSTRIAL POLY-PROPYLENE NETTING WITH A MAXIMUM MESH SPACING OF 3/4" OR EQUAL. A HEAVY DUTY NYLON TOP SUPPORT CORD OR EQUIVALENT IS REQUIRED.
  - STEEL POSTS SHALL BE STUDDED "TEE" OR "U" TYPE WITH A MINIMUM HEIGHT OF 1.25 DIA./FT. (WITHOUT ANCHOR). FR ANCHORS SUFFICIENT TO RESIST POST MOVEMENT ARE REQUIRED. WOOD POSTS SHALL BE A MINIMUM SIZE OF 4" DIA. OR 1-1/2" x 3-1/2" EXCEPT WOOD POSTS FOR GEOTEXTILE FABRIC REINFORCED WITH NETTING SHALL BE A MINIMUM SIZE OF 1-1/8" x 1-1/8" OAK OR HICKORY.
- ALTERNATIVES A AND B ARE EQUAL AND EITHER MAY BE USED.



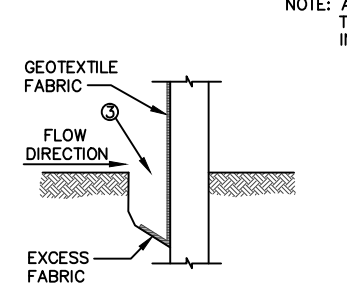
TYPICAL APPLICATIONS OF SILT FENCE



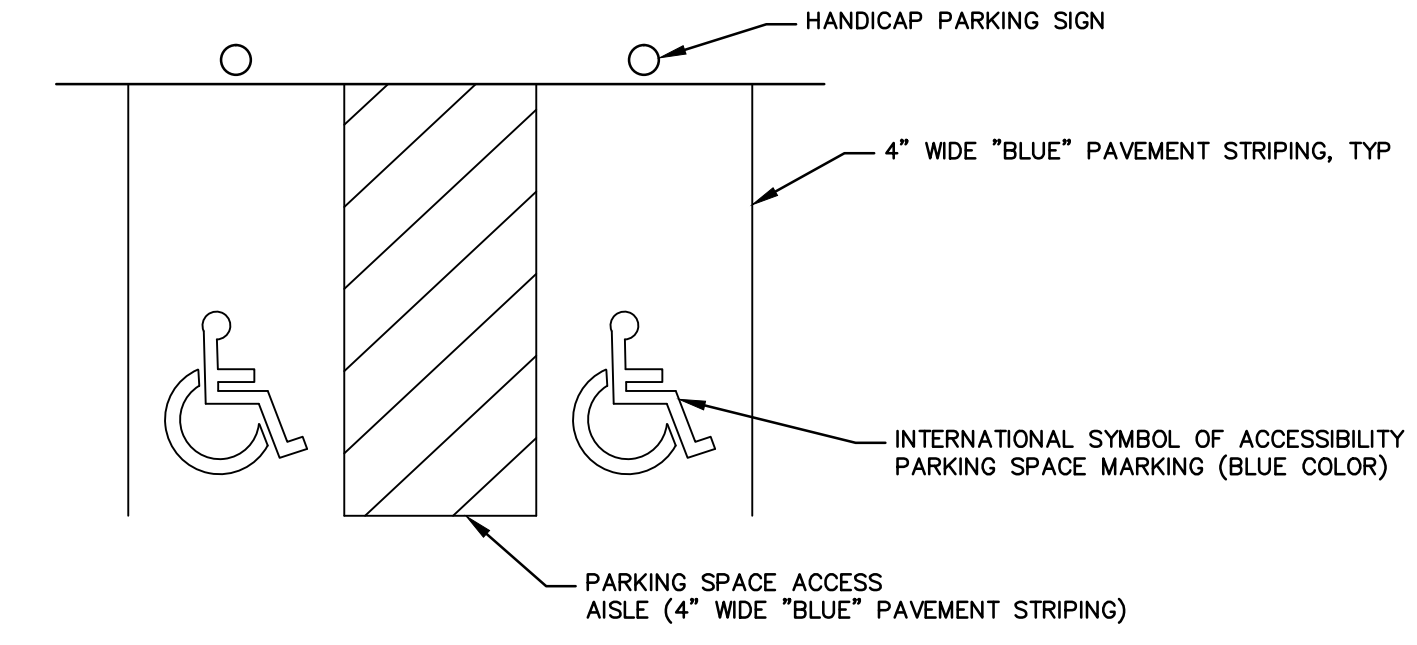
SILT FENCE - ALTERNATE "A"



SILT FENCE TIE BACK (WHEN REQUIRED BY THE ENGINEER)

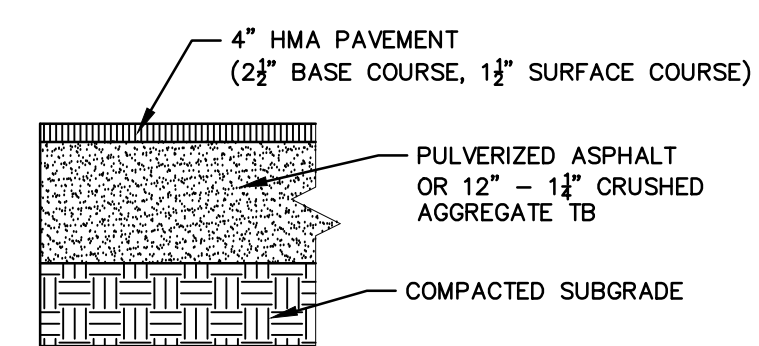


TRENCH DETAIL

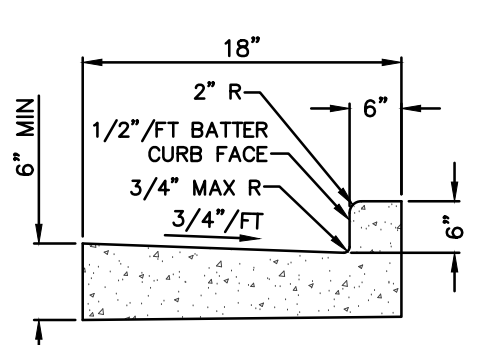


HANDICAP PAVEMENT MARKING DETAIL NOT TO SCALE

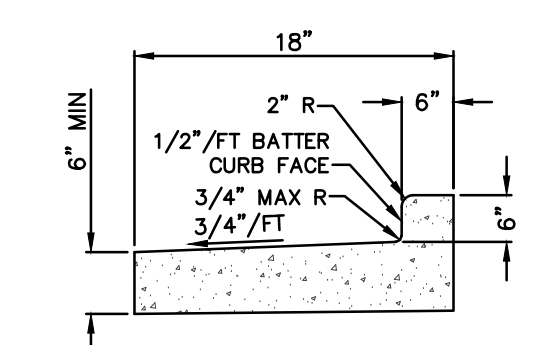
SILT FENCE INSTALLATION DETAIL NOT TO SCALE



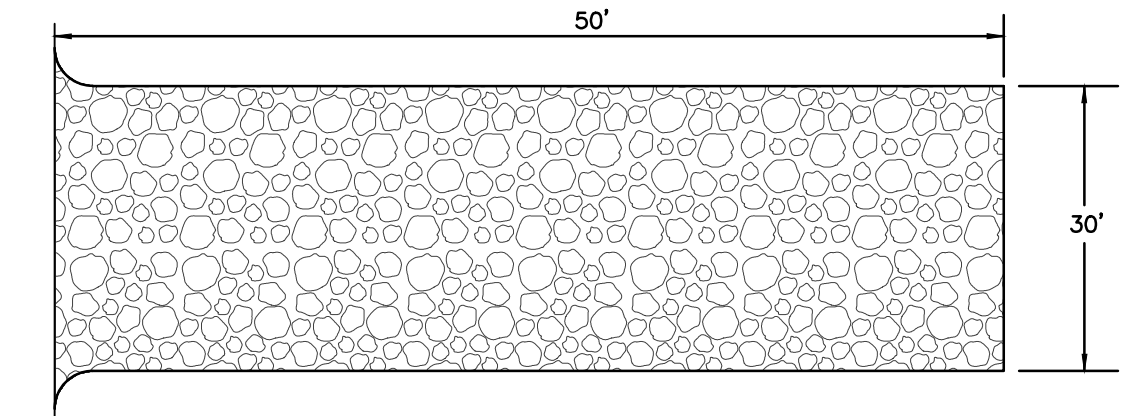
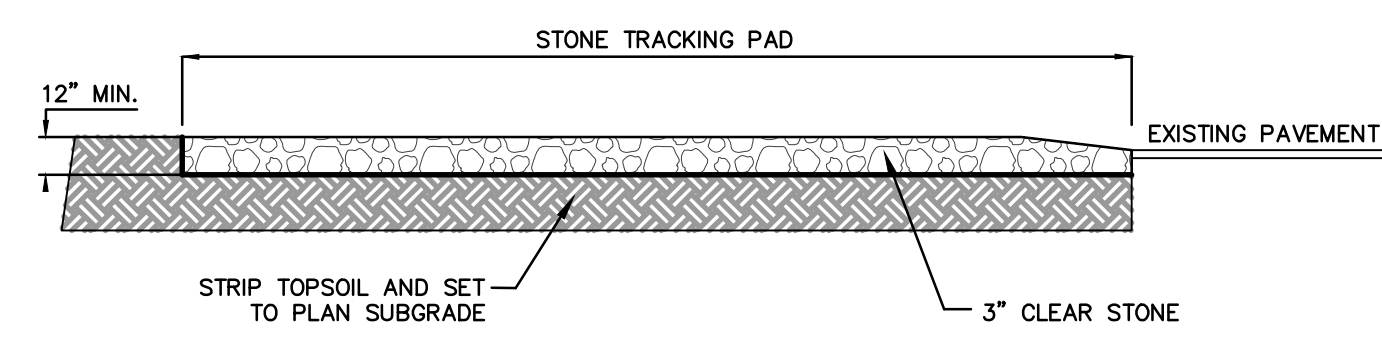
ASPHALT PAVEMENT NOT TO SCALE



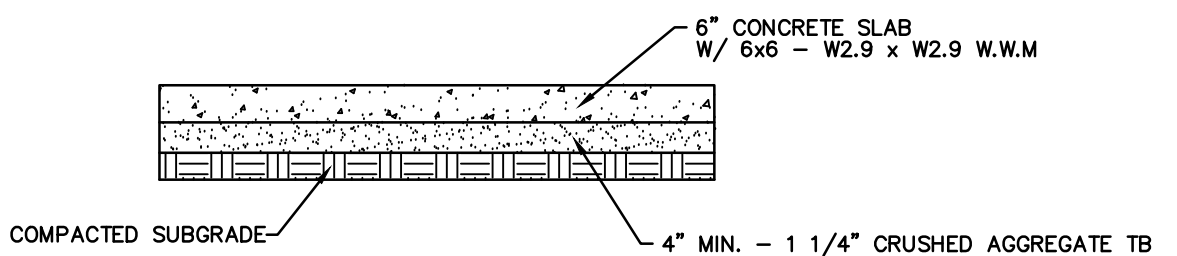
18" CURB & GUTTER NOT TO SCALE



18" REJECT CURB & GUTTER NOT TO SCALE



STONE TRACKING PAD NOT TO SCALE



CONCRETE PAVEMENT DETAIL NOT TO SCALE

REVISION NO.	DESCRIPTION	DATE	BY	DESIGNED BY	DATE
				JBM	05/09/16
				JBM	05/09/16
				JBM	05/09/16

CADFILE G:\Projects\2604012 - Sunset Crossings Strip Center\C-4.dwg  
 VREF  
 LMAN

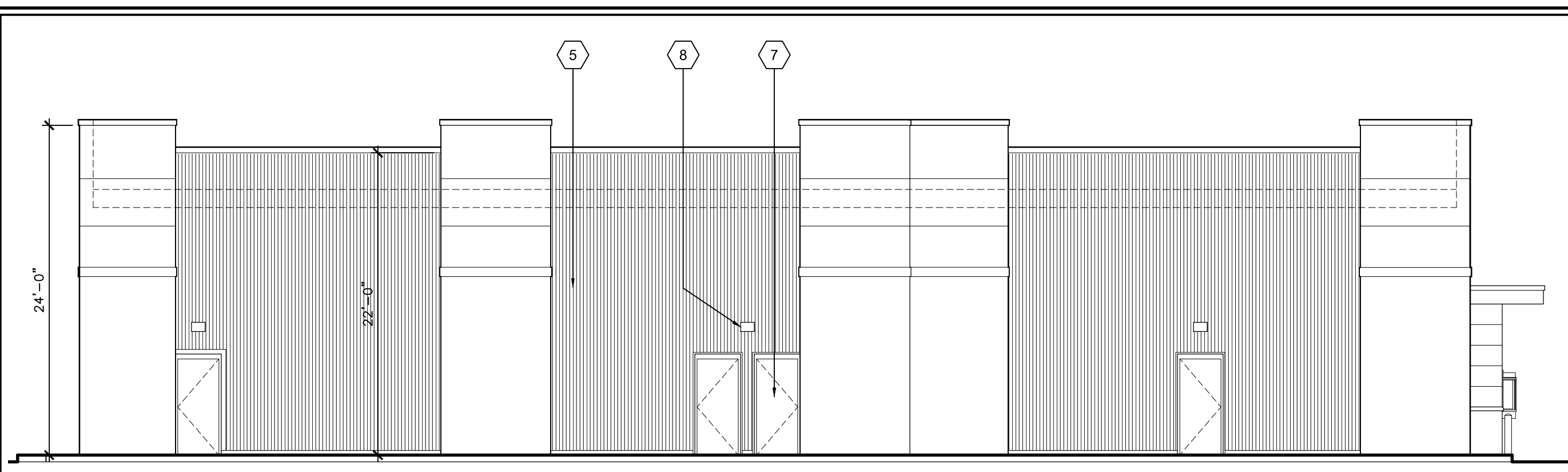
**STANDARD DETAILS  
 SUNSET CROSSING OUTLOT  
 LOCKARD CONSTRUCTION  
 WAUKESHA, WISCONSIN**

"THE INFORMATION SHOWN ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATIONS AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO."  
 © 2005 Key Engineering Group Ltd.



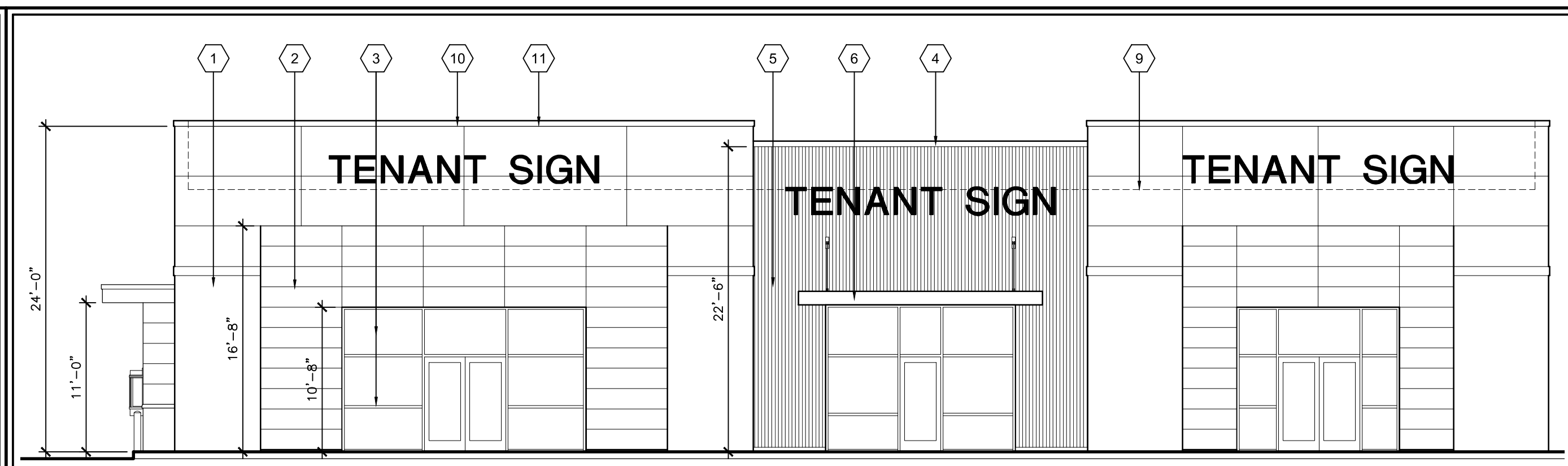
KEY PROJECT NUMBER 2604012
PROJECT SCALE NOT TO SCALE
SHEET NUMBER C-4





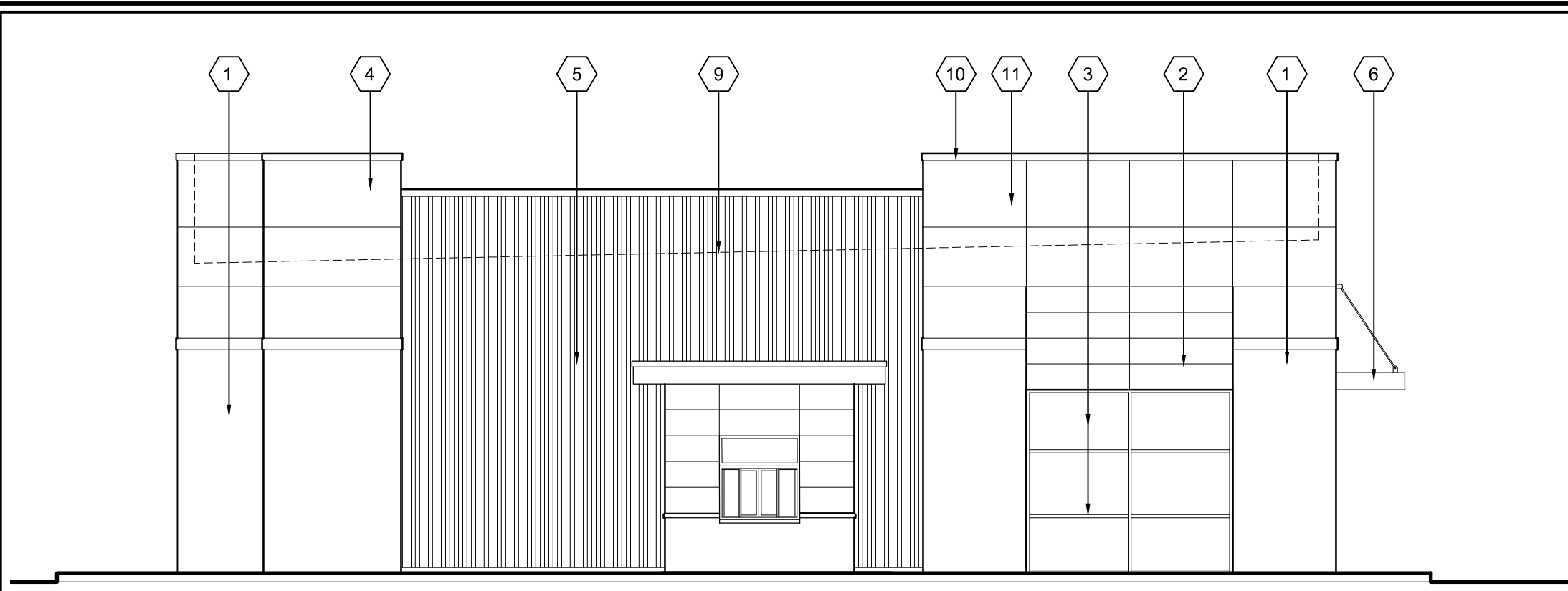
**3 NORTH ELEVATION**

1/8"=1'-0" NOTE:



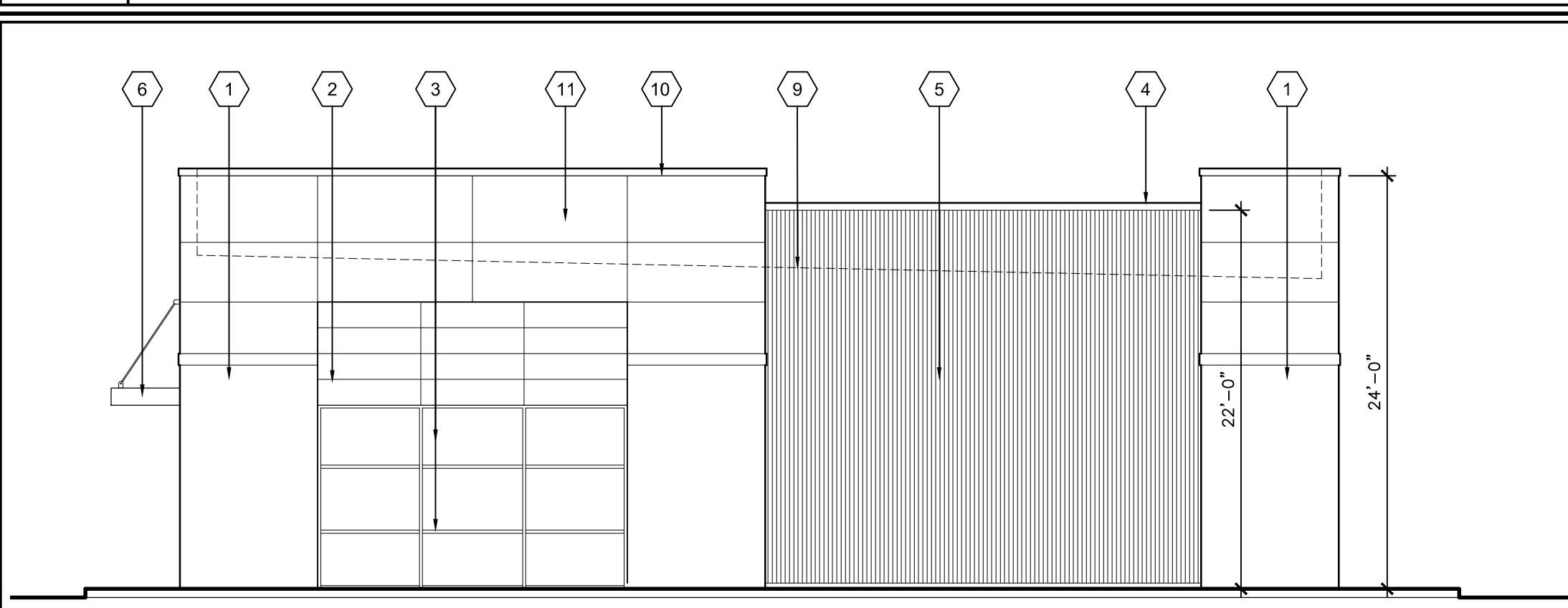
**2 SOUTH ELEVATION**

1/8"=1'-0" NOTE:



**4 WEST ELEVATION**

1/8"=1'-0" NOTE:

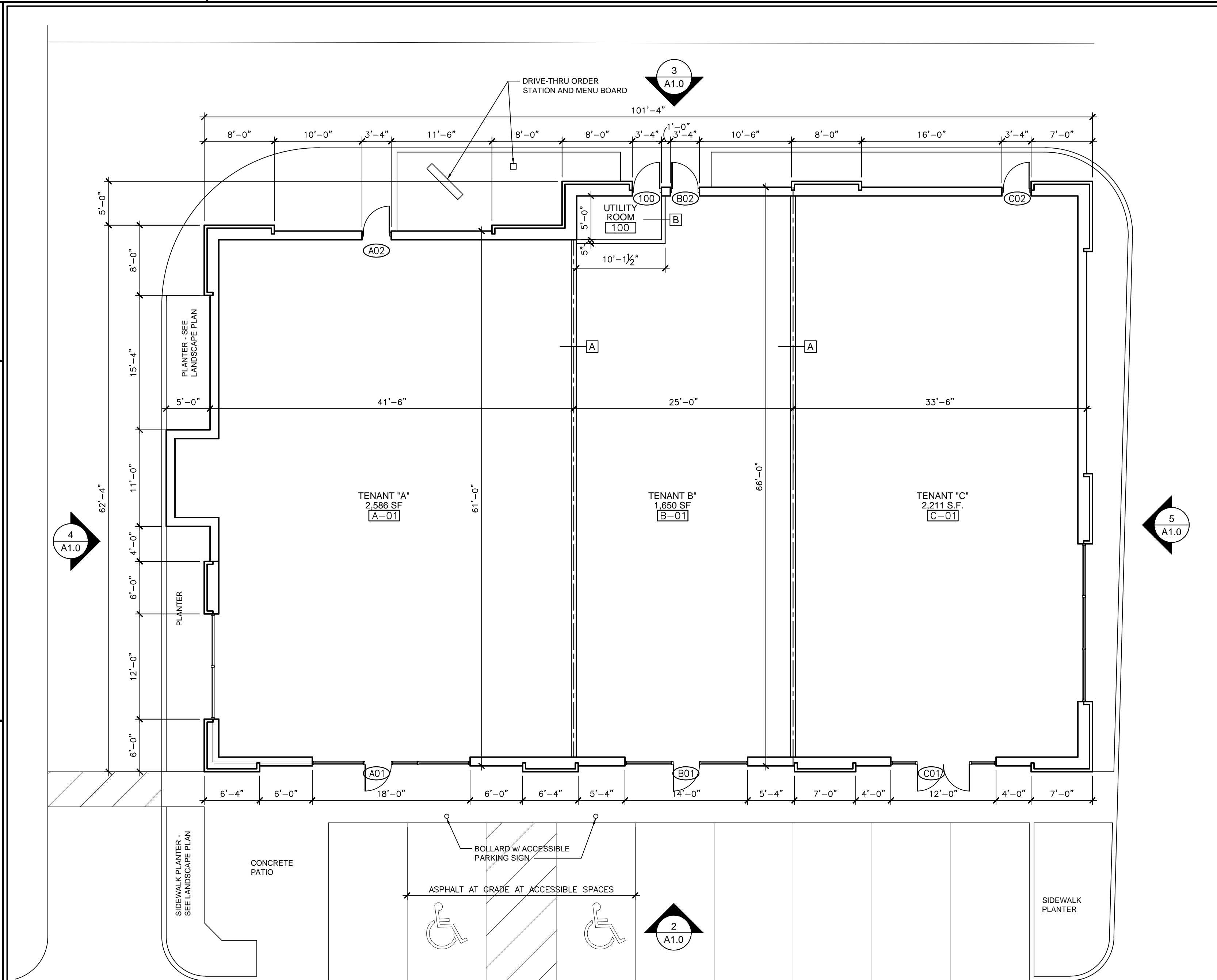


**5 EAST ELEVATION**

1/8"=1'-0" NOTE:

**ELEVATION MATERIAL KEYNOTES -SEE SHEET DE-1 FOR COLOR ELEVATIONS**

- 1 UTILITY SIZE BRICK - HEBRON BRICK COMPANY; COLOR SEA GREY #6
- 2 FIBER CEMENT PANELS - NICHHA ARCHITECTURAL BLOCK; COLOR - NICHA
- 3 ALUMINUM STORE FRONT & GLAZING SYSTEM - BLACK ANODIZED ALUMINUM w/ 1" LOW-E, CLEAR, INSULATED GLAZING
- 4 METAL TRIM - COPING, COLOR CHARCOAL GREY
- 5 CORRUGATED METAL PANEL - GALVALUME FINISH
- 6 METAL CANOPY/FASCIA; COLOR CHARCOAL GREY
- 7 H.M. INSULATED DOOR, PAINT TO MATCH ADJACENT BUILDING MATERIAL
- 8 EXTERIOR LIGHT FIXTURE, CUT-OFF TYPE WALL PACK
- 9 ROOF LINE BEYOND
- 10 PRE-FINISHED METAL COPING - COLOR SIERRA TAN
- 11 DRYVIT EXTERIOR INSULATION FINISH SYSTEM (E.I.F.S.) FINISH - SANDPEBBLE; COLOR - CANVAS



**1 FLOOR AND HARDSCAPE PLAN**

1/8"=1'-0" NOTE:

NO.	DATE	BY	DESCRIPTION
1	05/09/16	JMS	SUBMITTED FOR PRELIMINARY P.C.
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			

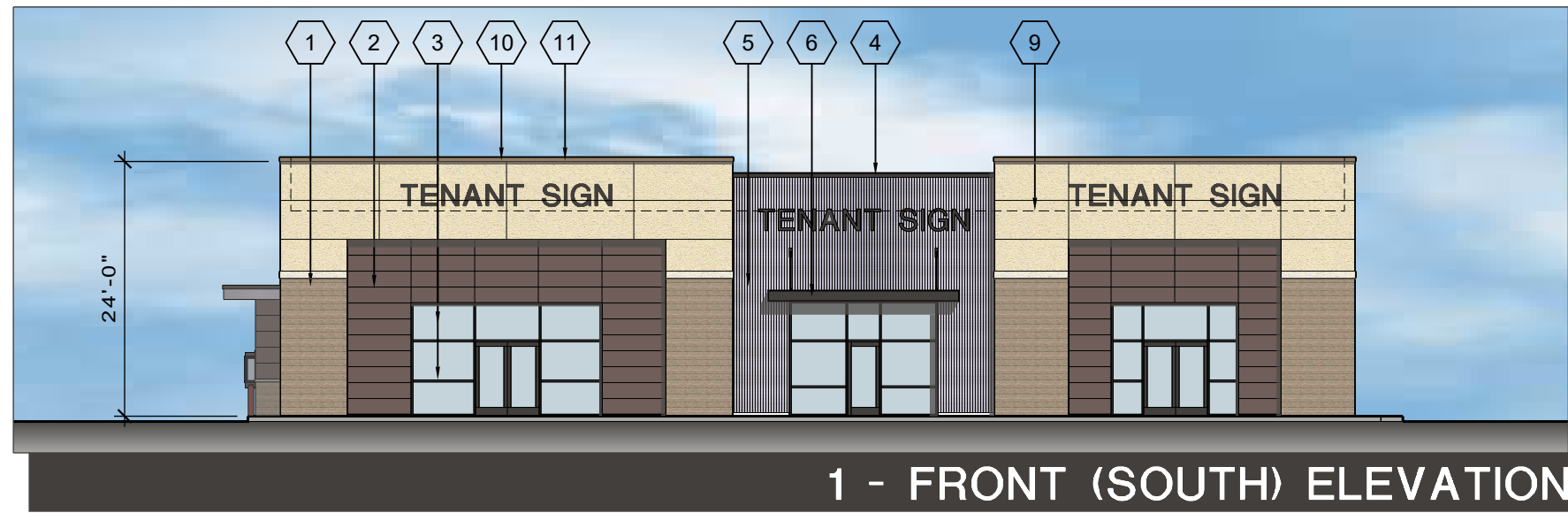
**FLOOR PLAN**

SCALE: SHEET:  
PROJECT #: 1607  
DRWN BY: JMS CHKD BY: JMS  
DATE: 05/09/16

**A1.0**

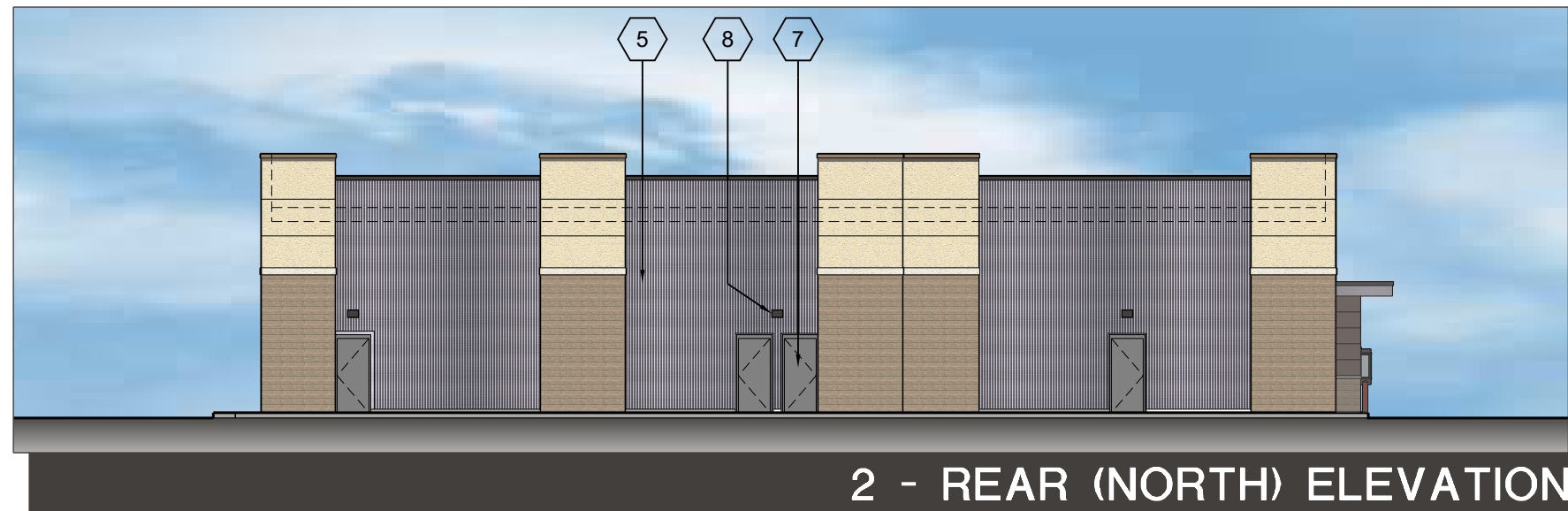
- 1 UTILITY SIZE BRICK - HEBRON BRICK COMPANY; COLOR SEA GREY #6
- 2 FIBER CEMENT PANELS - NICHIIA ARCHITECTURAL BLOCK. COLOR - MOCHA
- 3 ALUMINUM STORE FRONT & GLAZING SYSTEM - BLACK ANODIZED ALUMINUM w/ 1" LOW-E, CLEAR, INSULATED GLAZING
- 4 METAL TRIM - COPING; COLOR CHARCOAL GREY
- 5 CORRUGATED METAL PANEL - GALVALUME FINISH
- 6 METAL CANOPY/FASCIA; COLOR CHARCOAL GREY
- 7 H.M. INSULATED DOOR, PAINT TO MATCH ADJACENT BUILDING MATERIAL
- 8 EXTERIOR LIGHT FIXTURE, CUT-OFF TYPE WALL PACK
- 9 ROOF LINE BEYOND
- 10 PRE-FINISHED METAL COPING - COLOR SIERRA TAN
- 11 DRYVIT EXTERIOR INSULATION FINISH SYSTEM (E.I.F.S.);FINISH - SANDPEBBLE; COLOR - CANVAS

**NOTES & MATERIALS**



**1 - FRONT (SOUTH) ELEVATION**

SCALE: 1/16" = 1'-0"



**2 - REAR (NORTH) ELEVATION**

SCALE: 1/16" = 1'-0"



**3 - SIDE (WEST) ELEVATION**

SCALE: 1/16" = 1'-0"



**4 - SIDE (EAST) ELEVATION**

SCALE: 1/16" = 1'-0"