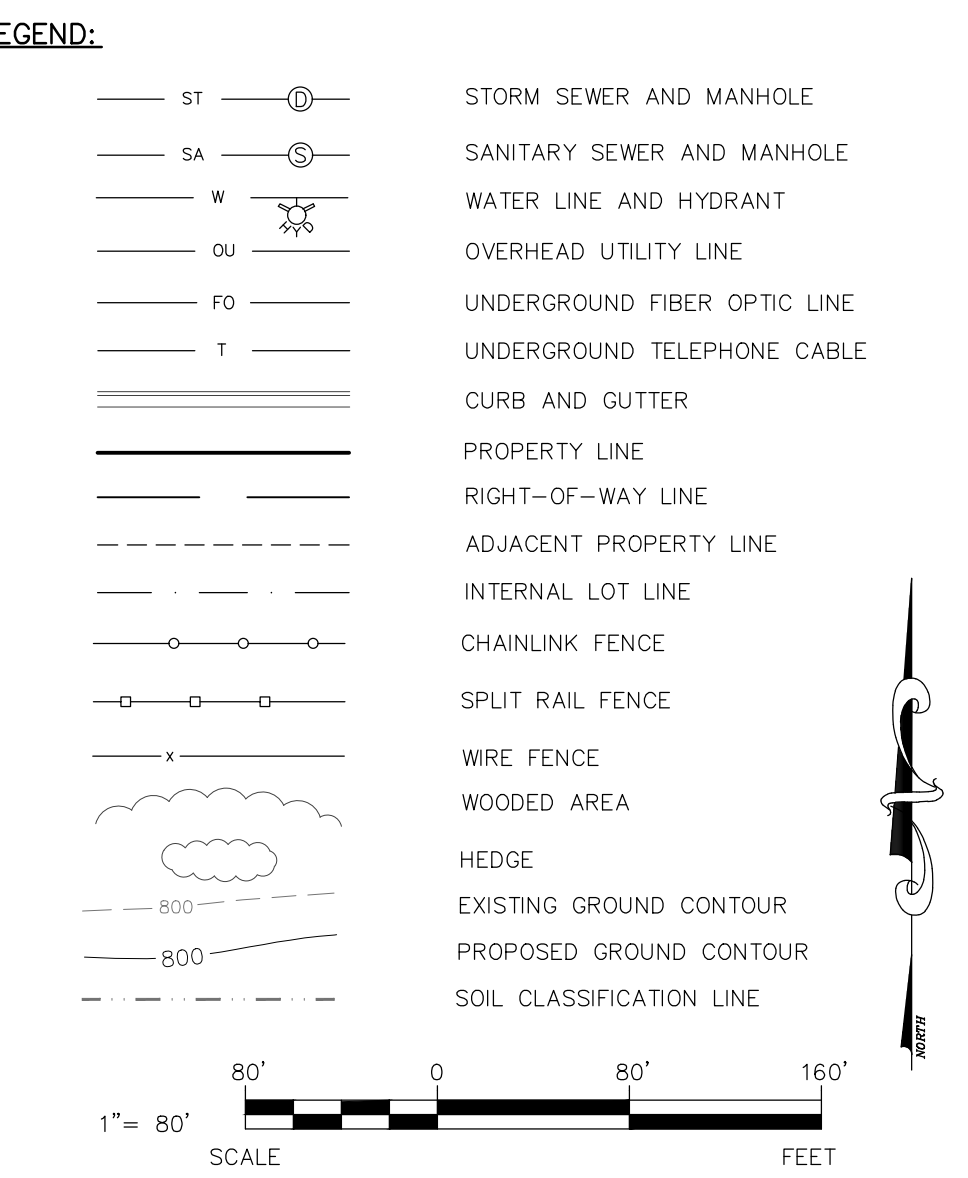
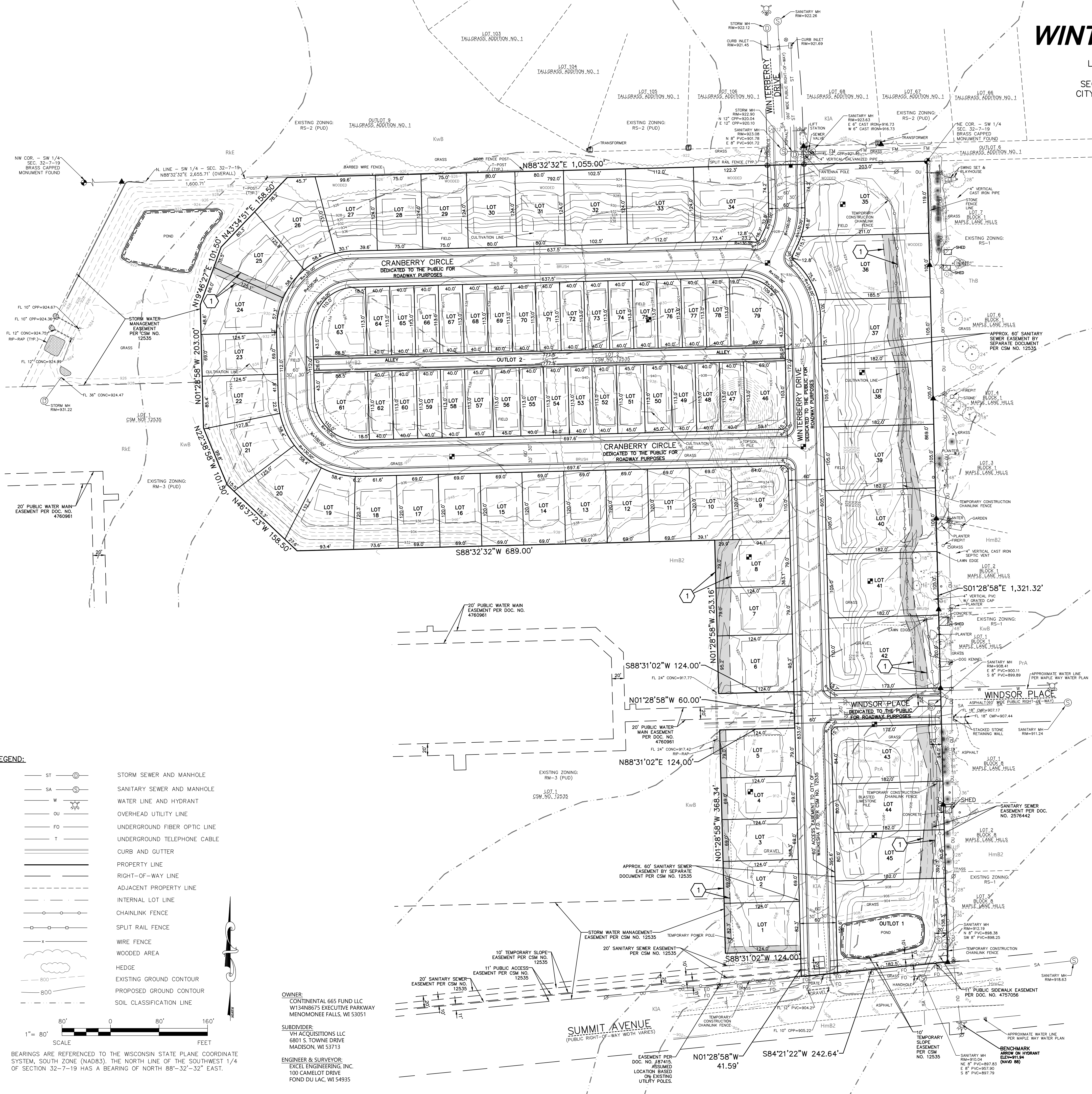


PARCEL TABLE			PARCEL TABLE		
LOT	SQ. FT.	ACRES	LOT	SQ. FT.	ACRES
1	10,210	0.234	41	19,110	0.439
2	8,556	0.196	42	21,819	0.501
3	8,556	0.196	43	17,087	0.392
4	8,556	0.196	44	14,560	0.334
5	9,796	0.225	45	14,560	0.334
6	11,800	0.271	46	7,780	0.179
7	9,796	0.225	47	4,520	0.104
8	9,796	0.225	48	4,520	0.104
9	11,259	0.258	49	4,520	0.104
10	8,280	0.190	50	5,085	0.117
11	8,280	0.190	51	5,085	0.117
12	8,280	0.190	52	4,520	0.104
13	8,280	0.190	53	4,520	0.104
14	8,280	0.190	54	4,520	0.104
15	8,280	0.190	55	4,520	0.104
16	8,280	0.190	56	5,085	0.117
17	8,280	0.190	57	5,085	0.117
18	8,482	0.195	58	4,520	0.104
19	11,357	0.261	59	4,520	0.104
20	10,713	0.246	60	4,520	0.104
21	10,786	0.248	61	8,948	0.205
22	9,477	0.218	62	4,520	0.104
23	8,591	0.197	63	8,948	0.205
24	10,849	0.249	64	4,520	0.104
25	10,937	0.251	65	4,520	0.104
26	11,952	0.274	66	4,520	0.104
27	10,566	0.243	67	4,520	0.104
28	9,300	0.213	68	4,520	0.104
29	9,300	0.213	69	4,520	0.104
30	9,920	0.228	70	4,520	0.104
31	9,920	0.228	71	4,520	0.104
32	12,710	0.292	72	4,520	0.104
33	13,888	0.319	73	4,520	0.104
34	14,892	0.342	74	4,520	0.104
35	24,287	0.558	75	4,520	0.104
36	21,786	0.500	76	4,520	0.104
37	19,144	0.439	77	4,520	0.104
38	19,110	0.439	78	4,520	0.104
39	19,110	0.439	79	9,004	0.207
40	19,110	0.439			

PARCEL TABLE		
OUTLOT	SQ. FT.	ACRES
1	26,379	0.606
2	20,215	0.464



BEARINGS ARE REFERENCED TO THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (NAD83). THE NORTH LINE OF THE SOUTHWEST 1/4 OF SECTION 32-7-19 HAS A BEARING OF NORTH 88°-32'-32" EAST.

OWNER:
CONTINENTAL 665 FUND LLC
W134N8675 EXECUTIVE PARKWAY
MENOMONEE FALLS, WI 53051

SUBDIVIDER:
VH ACQUISITIONS LLC
6801 S. TOWNE DRIVE
MADISON, WI 53713

ENGINEER & SURVEYOR:
EXCEL ENGINEERING, INC.
100 CAMELOT DRIVE
FOND DU LAC, WI 54935

PRELIMINARY PLAT OF WINTERBERRY RESERVE

LOT 2, CSM NO. 12535, LOCATED IN A PART OF THE NE 1/4 & SE 1/4 OF THE SW 1/4 OF SECTION 32, TOWNSHIP 7 NORTH, RANGE 19 EAST, CITY OF WAUKESHA, WAUKESHA COUNTY, WISCONSIN.

I, Ryan Wilgreen, Professional Land Surveyor, hereby certify that this preliminary plat is a true and correct representation of all the adjacent existing land divisions and of the boundary of the preliminary plat and features.

That I have fully complied with the provisions of Chapter 236 of the Wisconsin Statutes and Chapter 23 of the City of Waukesha Subdivision Ordinance in surveying, dividing and mapping of the same.

Ryan Wilgreen, P.L.S. S-2647
ryan.wilgreen@excelengineer.com
Excel Engineering, Inc.
Fond du Lac, Wisconsin 54935
Project No. 230103400

- NOTES:**
- FLOODPLAIN**
-Based upon a review of the Federal Emergency Management Agency Flood Insurance Rate Map No. 55133C0194H with an effective date of October 19, 2023, the property falls within Zone "X" (areas determined to be outside the 0.2% annual chance flood hazard).
- OUTLOTS**
-Outlots 1 and 2 of the plat of Winterberry Reserve are owned and shall be maintained by the Homeowners Association and each individual lot owner shall have an undivided fractional ownership of the outlots and that the City of Waukesha shall not be liable for any fees or special assessments in the event that the City of Waukesha should become the owner of any lot in the subdivision by reason of delinquency. The Homeowners Association shall maintain said outlots in an unobstructed condition so as to maintain its intended purpose. The Homeowners Association grants to the City the right (but not the responsibility) to enter upon these outlots for emergency purposes and in order to inspect, repair or restore said outlots to its intended purpose.
- EXISTING UTILITIES**
-Surface indications of utilities along with Digger's Hotline markings per ticket no. 2024392494 have been shown. Sizes and elevation of underground utilities shown herein are based on field measurements of visible structures in combination with available data provided to Excel Engineering. Excel Engineering makes no guarantee that all the existing utilities in the surveyed area have been shown nor that they are in the exact location indicated. Contractor shall be responsible for verifying the location of all utilities prior to construction. This plan is in no way a substitute for utility locating at the time of excavation.
- DATUMS**
Elevations shown on this survey are based on North American Vertical Datum 1988 (NAVD88). Horizontal coordinates are based on the Wisconsin State Plane Coordinate System, South zone. (North American Datum 1983).

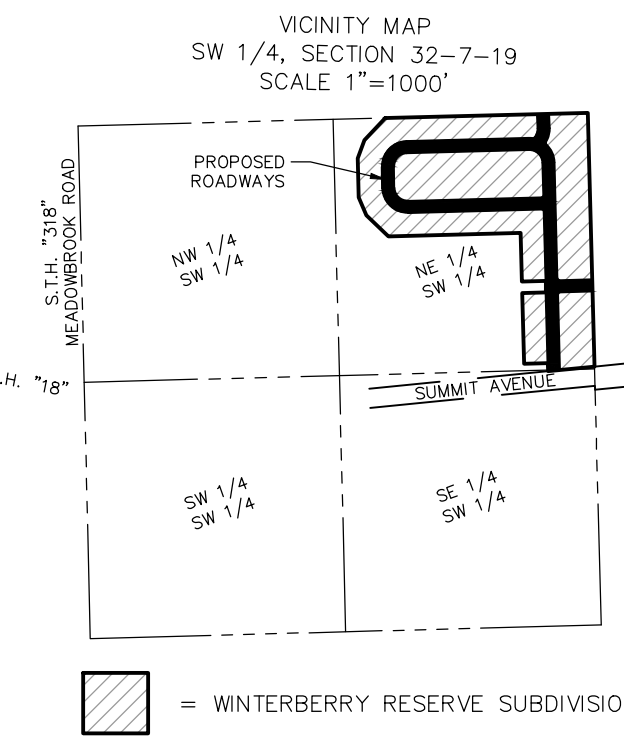
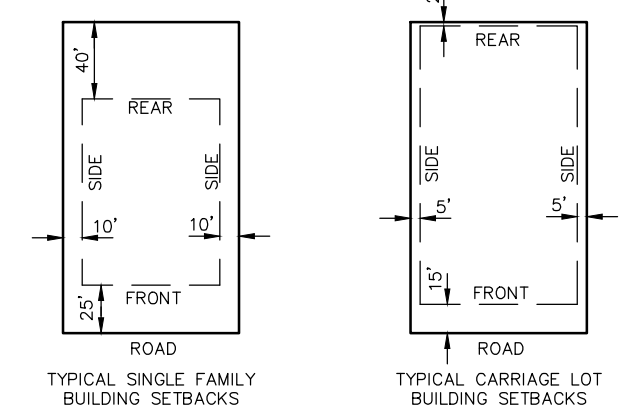
TOTAL AREA
22.206 ACRES
967,303 SQ. FT.

EASEMENT KEYNOTES
1 PROPOSED STORM SEWER & DRAINAGE EASEMENT

CURRENT ZONING: RS-3 Single-Family Residential District
PROPOSED ZONING: RS-3 Single-Family Residential District w/ PUD

Building Setbacks:

Single Family	Carriage Lots
Front: 25 feet	Front: 15 feet
Side: 10 feet	Side: 5 feet
Rear: 40 feet	Rear: 2 feet



EXCEL

Always a Better Plan

100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

PROJECT INFORMATION

PRELIMINARY PLAT
WINTERBERRY RESERVE
SUMMIT AVENUE • WAUKESHA, WI 53186

PROFESSIONAL SEAL

SHEET DATES

ISSUE DATE JAN. 27, 2025

REVISIONS

JOB NUMBER

230103400

SHEET NUMBER

PP