

GENERAL NOTES AND SPECIFICATIONS

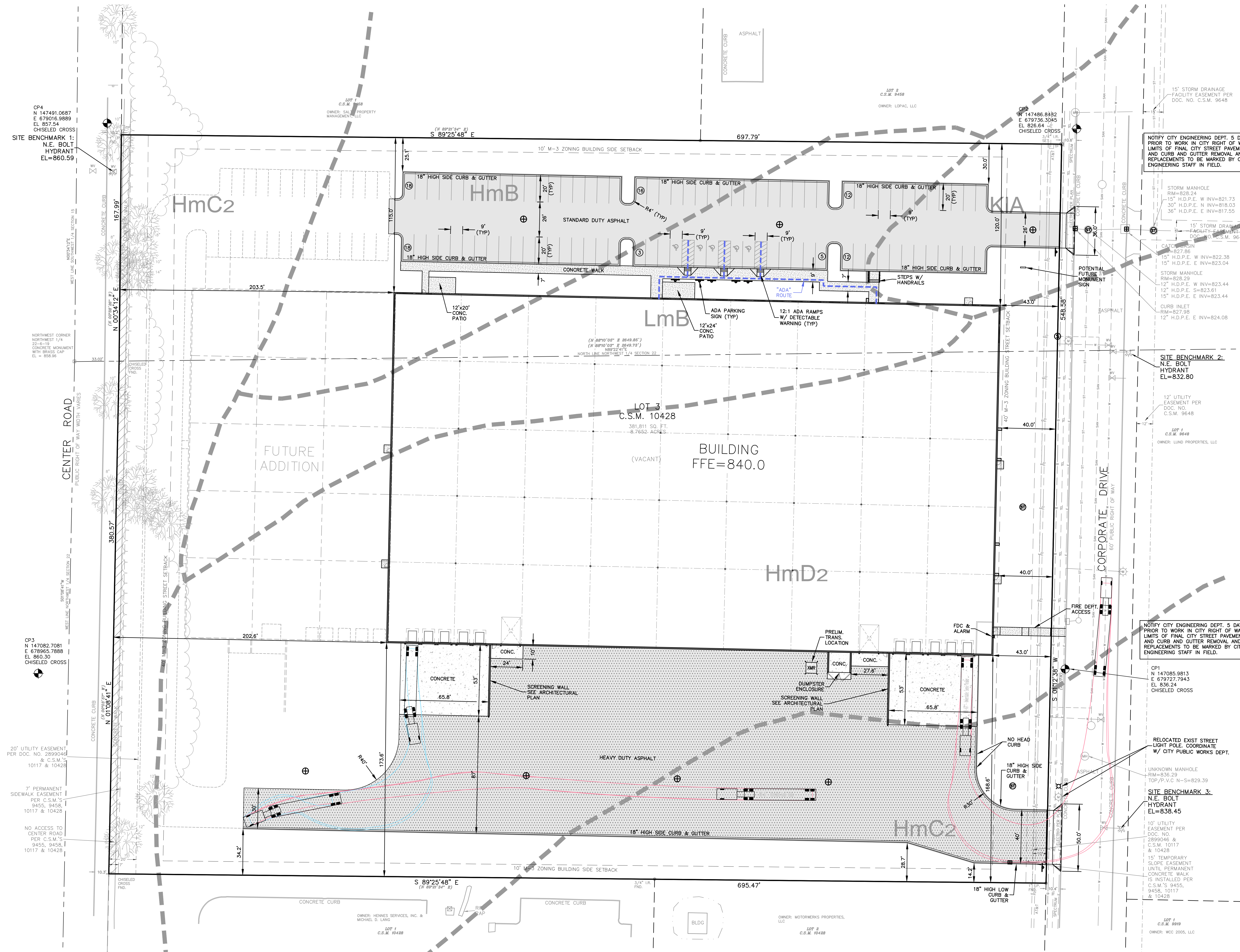
- THE INTENTION OF THE PLANS AND SPECIFICATIONS IS TO SET FORTH PERFORMANCE AND CONSTRUCTION MATERIAL STANDARDS FOR THE PROPER EXECUTION OF WORK. ALL WORKS CONTAINED WITHIN THE PLANS AND SPECIFICATIONS SHALL BE COMPLETED IN ACCORDANCE WITH ALL REQUIREMENTS FROM LOCAL, STATE, FEDERAL OR OTHER GOVERNING AGENCY'S LAWS, REGULATIONS, JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., AND THE OWNER'S DIRECTION.
- THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING ANY ADDITIONAL SOILS INVESTIGATIONS THEY FEEL IS NECESSARY FOR THE PROPER EVALUATION OF THE SITE FOR PURPOSES OF PLANNING, BIDDING, OR CONSTRUCTING THE PROJECT AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE TO REVIEW AND UNDERSTAND ALL COMPONENTS OF THE PLANS AND SPECIFICATIONS INCLUDING FIELD VERIFYING SOIL CONDITIONS, PRIOR TO SUBMISSION OF A BID PROPOSAL.
- THE CONTRACTOR SHALL PROMPTLY REPORT ANY ERRORS OR AMBIGUITIES DISCOVERED AS PART OF THEIR REVIEW OF PLANS, SPECIFICATIONS, REPORTS AND FIELD INVESTIGATIONS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE COMPUTATION OF QUANTITIES AND WORK REQUIRED TO COMPLETE THIS PROJECT. THE CONTRACTOR'S BID SHALL BE BASED ON THEIR OWN COMPUTATIONS AND UNDER NO CIRCUMSTANCES BE BASED ON THE ENGINEER'S ESTIMATE.
- QUESTIONS/CLARIFICATIONS WILL BE INTERPRETED BY ENGINEER/OWNER PRIOR TO THE AWARD OF CONTRACT. ENGINEER/OWNER WILL SUBMIT OFFICIAL RESPONSES IN WRITING. INTERPRETATIONS PRESENTED IN OFFICIAL RESPONSES SHALL BE BINDING ON ALL PARTIES ASSOCIATED WITH THE CONTRACT. IN NO WAY SHALL WORD-OF-MOUTH DIALOG CONSTITUTE AN OFFICIAL RESPONSE.
- PRIOR TO START OF WORK, CONTRACTOR SHALL BE COMPLETELY FAMILIAR WITH ALL CONDITIONS OF THE SITE, AND SHALL ACCOUNT FOR CONDITIONS THAT AFFECT, OR MAY AFFECT, THE PROJECT. CONTRACTOR SHALL BE LIMITED TO LIMITATIONS OF WORK ACCESS, SPACE LIMITATIONS, OVERHEAD OBSTRUCTIONS, TRAFFIC PATTERNS, LOCAL REQUIREMENTS, ADJACENT ACTIVITIES, ETC. FAILURE TO CONSIDER SITE CONDITIONS SHALL NOT BE CAUSE FOR CLAIM OF JOB EXTRAS.
- COMMENCEMENT OF CONSTRUCTION SHALL EXPLICITLY CONFIRM THAT THE CONTRACTOR HAS REVIEWED THE PLANS AND SPECIFICATIONS IN THEIR ENTIRETY AND CERTIFIES THAT THEIR SUBMITTED BID PROPOSAL CONTAINS PROVISIONS TO COMPLETE THE PROJECT WITH THE EXCEPTION OF UNFORESEEN FIELD CONDITIONS, ALL APPLICABLE PERMITS HAVE BEEN OBTAINED; AND CONTRACTOR UNDERSTANDS ALL OF THE REQUIREMENTS OF THE PROJECT'S ESTIMATE.
- SHOULD ANY DISCREPANCIES OR CONFLICTS IN THE PLANS OR SPECIFICATIONS BE DISCOVERED AFTER THE AWARD OF CONTRACT, ENGINEER SHALL BE NOTIFIED IN WRITING IMMEDIATELY AND CONSTRUCTION OF ITEMS AFFECTED BY THE DISCREPANCIES/CONFLICTS SHALL NOT COMMENCE, OR CONTINUE, UNTIL A WRITTEN RESPONSE FROM ENGINEER/OWNER IS DISTRIBUTED. IN THE EVENT OF A CONFLICT BETWEEN REFERENCED CODES, STANDARDS, SPECIFICATIONS AND PLANS, THE ONE ESTABLISHING THE MOST STRINGENT REQUIREMENTS SHALL BE FOLLOWED.
- THE CONTRACTOR SHALL, AT ITS OWN EXPENSE, OBTAIN ALL NECESSARY PERMITS AND LICENSES TO COMPLETE THE PROJECT, OBTAINING PERMITS, OR DELAYS IN OBTAINING PERMITS IS NOT CAUSE FOR DELAY OF THE CONTRACT OR SCHEDULE REQUIREMENTS. CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS.
- THE CONTRACTOR SHALL NOTIFY ALL INTERESTED GOVERNING AGENCIES, UTILITY COMPANIES AFFECTED BY THIS CONSTRUCTION PROJECT, AND "DIGGERS' HOTLINE" IN ADVANCE OF CONSTRUCTION TO COMPLY WITH ALL JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., PERMIT STIPULATIONS, AND OTHER APPLICABLE STANDARDS. CONTRACTOR IS RESPONSIBLE TO DETERMINE WHICH ORDINANCES/CODES/RULES/ETC. ARE APPLICABLE.
- SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE TO INITIATE, INSTITUTE, ENFORCE, MAINTAIN, AND SUPERVISE ALL SAFETY PRECAUTIONS AND JOB SITE SAFETY PROGRAMS IN CONNECTION WITH THE WORK.
- CONTRACTOR SHALL KEEP THE JOBSITE CLEAN AND ORDERLY AT ALL TIMES. ALL LOCATIONS OF THE SITE SHALL BE KEPT IN A WORKING MANNER SUCH THAT DEBRIS IS REMOVED CONTINUOUSLY AND ALL RESPECTIVE CONTRACTORS OPERATE UNDER GENERAL "GOOD HOUSEKEEPING".
- THE CONTRACTOR SHALL INDEMNIFY THE OWNER, BRIOHN DESIGN GROUP, AND THEIR AGENTS FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.
- ALL FIELD/DRAIN TILE ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE IMMEDIATELY REPORTED TO ENGINEER/OWNER. TILES ORIGINATING OUTSIDE THE PROJECT LIMITS SHALL BE REQUESTED OR REQUESTED TO MAINTAIN DRAINAGE. ENGINEER/OWNER SHALL DETERMINE THE MOST FAVORABLE METHOD OF RE-ESTABLISHMENT OF OFFSITE DRAINAGE. IF TILE IS ENCOUNTERED DURING TRENCH EXCAVATIONS, RE-ESTABLISHING THE FUNCTIONALITY SHALL BE CONSIDERED AN INCIDENTAL EXPENSE.
- SITE WORK MUST CONFORM TO CIT OF WAUKESHA STANDARD SPECIFICATIONS FOR LAND DEVELOPMENT, LATEST EDITION.
- ALL WORK WITHIN CITY RIGHT OF WAY AND CITY EASEMENTS TO BE IN ACCORDANCE WITH CURRENT CITY STANDARD SPECIFICATIONS AND DETAILS.
- NOTIFY CITY ENGINEERING DEPT. 5 DAYS PRIOR TO WORK IN CITY RIGHT OF WAY.
- LIMITS OF FINAL CITY STREET PAVEMENT AND CURB AND GUTTER REMOVAL AND REPLACEMENTS TO BE MARKED BY CITY ENGINEERING STAFF IN FIELD.

PAVING NOTES

- ALL PAVING SHALL CONFORM TO STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION AND APPLICABLE CITY OF WAUKESHA ORDINANCES.
- CONCRETE PAVING SPECIFICATIONS -
CODES AND STANDARDS - THE PLACING, CONSTRUCTION AND COMPOSITION OF THE CONCRETE PAVEMENT SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 415 AND 416 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, CURRENT EDITION, HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS STATE HIGHWAY SPECIFICATIONS.
CRUSHED AGGREGATE BASE COURSE - THE BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS. CLEAN RECYCLED CRUSHED CONCRETE MAY BE USED IF APPROVED BY GEOTECHNICAL ENGINEER OF RECORD.
SURFACE PREPARATION - NOTIFY CONTRACTOR OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.
- ASPHALTIC CONCRETE PAVING SPECIFICATIONS -
CODES AND STANDARDS - THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND ASPHALTIC CONCRETE SURFACING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460 AND 465 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, EDITION OF 2005, HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS STATE HIGHWAY SPECIFICATIONS.
WEATHER LIMITATIONS - APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50° F (10° C) AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35° F (1° C) FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS EXCESS AMOUNTS OF MOISTURE. CONSTRUCT ASPHALTIC CONCRETE SURFACE COURSE WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40° F (4° C) AND WHEN BASE IS DRY. AND WHEN WEATHER IS NOT RAINY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30° F (1° C).
GRADE CONTROL - ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.
CRUSHED AGGREGATE BASE COURSE - THE TOP LAYER OF BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS. CLEAN RECYCLED CRUSHED CONCRETE MAY BE USED IF APPROVED BY GEOTECHNICAL ENGINEER OF RECORD.
BINDER COURSE AGGREGATE - THE AGGREGATE FOR THE BINDER COURSE SHALL CONFORM TO SECTIONS 460.2.7 AND 315, STATE HIGHWAY SPECIFICATIONS.
SURFACE COURSE AGGREGATE - THE AGGREGATE FOR THE SURFACE COURSE SHALL CONFORM TO SECTIONS 460.2.7 AND 465, STATE HIGHWAY SPECIFICATIONS.
ASPHALTIC MATERIALS - THE ASPHALTIC MATERIALS SHALL CONFORM TO SECTION 455 AND 460, STATE HIGHWAY SPECIFICATIONS.
SURFACE PREPARATION - NOTIFY CONTRACTOR OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.

PAVEMENT STRIPING NOTES

- CONTRACTOR SHALL CONSULT STRIPING COLOR WITH OWNER PRIOR TO CONSTRUCTION.
- PROVIDE CONTRACTOR GRADE ACRYLIC, STRIPING PAINT FOR NEW ASPHALT OR COATED ASPHALT. ALL STRIPING SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- THOROUGHLY CLEAN SURFACES FREE OF DIRT, SAND, GRAVEL, OIL AND OTHER FOREIGN MATTER. CONTRACTOR RESPONSIBLE TO INSPECT PAVEMENT SURFACES FOR CONDITIONS AND DEFECTS THAT WILL ADVERSELY AFFECT QUALITY OF WORK, AND WHICH CANNOT BE PUT INTO AN ACCEPTABLE CONDITION THROUGH NORMAL PREPARATORY WORK AS SPECIFIED.
- DO NOT PLACE MARKING OVER UNSOUND PAVEMENTS. IF THESE CONDITIONS EXIST, NOTIFY OWNER. STARTING INSTALLATION CONSTITUTES CONTRACTOR'S ACCEPTANCE OF SURFACE AS SUITABLE FOR INSTALLATION.
- LAYOUT MARKINGS USING GUIDE LINES, TEMPLATES AND FORMS. STENCILS AND TEMPLATES SHALL BE PROFESSIONALLY MADE TO INDUSTRY STANDARDS. "FREE HAND" PAINTING OF ARROWS, SYMBOLS, OR WORDING SHALL NOT BE ALLOWED. APPLY STRIPES STRAIGHT AND EVEN.
- PROTECT ADJACENT CURBS, WALKS, FENCES, AND OTHER ITEMS FROM RECEIVING PAINT.
- APPLY MARKING PAINT AT A RATE OF ONE (1) GALLON PER THREE TO FOUR HUNDRED (300-400) LINEAL FEET OF FOUR (4) INCH WIDE STRIPES. (OR TO MFG. SPECIFICATIONS)
- BARRICADE MARKED AREAS DURING INSTALLATION AND UNTIL THE MARKING PAINT IS DRIED AND READY FOR TRAFFIC.
- ALL HANDICAPPED ACCESSIBLE PARKING SHALL BE LOCATED PER 2009 IBC 1106.6



PAVEMENT THICKNESS NOTES

- ALL PAVING SHALL CONFORM TO STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION - CURRENT EDITION AND ADDENDUM, APPLICABLE CITY OF WAUKESHA CODES.
- MINIMUM PAVEMENT STRUCTURE**
- CONCRETE PAVEMENT (TRUCK DOCK, APRON ETC.)
 - 8" CONCRETE
 - 6" CRUSHED AGGREGATE BASE COURSE
 - CLEAN RECYCLED CRUSHED CONCRETE MAY BE USED IF APPROVED BY GEOTECH ENGINEER OF RECORD.
 - CONCRETE STOOPS AND WALK
 - 5" CONCRETE
 - 6" CRUSHED AGGREGATE BASE COURSE
 - CLEAN RECYCLED CRUSHED CONCRETE MAY BE USED IF APPROVED BY GEOTECH ENGINEER OF RECORD.
 - STANDARD DUTY ASPHALT PAVEMENT
 - 3-1/2" ASPHALTIC CONCRETE (2 LIFTS)
 - 1-1/2" SURFACE LAYER
 - 2" BINDER LAYER
 - 6" CRUSHED AGGREGATE BASE COURSE
 - CLEAN RECYCLED CRUSHED CONCRETE MAY BE USED IF APPROVED BY GEOTECH ENGINEER OF RECORD.
 - HEAVY DUTY ASPHALT PAVEMENT
 - 4-1/2" ASPHALTIC CONCRETE (2 LIFTS)
 - 2 SURFACE LAYER
 - 2-1/2" BINDER LAYER
 - 10" CRUSHED AGGREGATE BASE COURSE
 - CLEAN RECYCLED CRUSHED CONCRETE MAY BE USED IF APPROVED BY GEOTECH ENGINEER OF RECORD.

SITE DATA TABLE

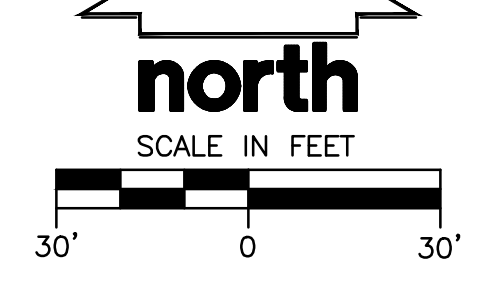
PRE-DEVELOPMENT:	IMPERVIOUS AREA	PERVIOUS AREA	% GREEN SPACE
BUILDING	2,675 SF (0.061 AC)	379,136 SF (8.70 AC)	99.3%
POST-DEVELOPMENT: <th>IMPERVIOUS AREA</th> <th>PERVIOUS AREA</th> <th>% OF GREEN SPACE</th>	IMPERVIOUS AREA	PERVIOUS AREA	% OF GREEN SPACE
BUILDING	210,137 SF (4.82 AC)	117,000 SF	93.137 SF
PAVEMENT	89,844.5 ADA (4 REQ'D)	171,674 SF (3.94 AC)	45.0%
FUTURE DEVELOPMENT: <th>IMPERVIOUS AREA</th> <th>PERVIOUS AREA</th> <th>% OF GREEN SPACE</th>	IMPERVIOUS AREA	PERVIOUS AREA	% OF GREEN SPACE
BUILDING	286,087 SF (6.57 AC)	156,000 SF	130,087 SF
PAVEMENT	118,113+5 ADA (5 REQ'D)	95,742 SF (2.20 AC)	25.1%

THE PROPERTY ZONED TO M-3 LIMITED BUSINESS AND INDUSTRIAL PARK AND HAS THE FOLLOWING BUILDING SETBACKS AND RESTRICTIONS, PER CITY CODE 22.40:

- BUILDING SETBACKS/RESTRICTIONS:**
- FRONT (STREET): 40'
 - REAR: 10'
 - BUILDING MIN. DIST. 100' FROM RESIDENTIAL DISTRICT
 - MAX HEIGHT: 40' (CONDITIONAL USES) 22.40.4.1
 - MIN GREEN SPACE: 25%

SHEET INDEX

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C2.0	SITE GRADING PLAN
C2.1	SITE EROSION CONTROL PLAN
C3.0	SITE UTILITY PLAN
C4.0	SITE NOTES AND DETAILS
C4.1	SITE NOTES AND DETAILS



LEGEND

— SAN	— SANITARY SEWER	— ST	— STORM SEWER	— TEL	— BURIED TELEPHONE LINE	— CATV	— BURIED CABLE TELEVISION LINE	— FIB	— BURIED FIBER OPTIC LINE	— OUL	— OVERHEAD UTILITY LINES	— WOOD FENCE	— METAL FENCE	— E	— EDGE OF TREES AND BRUSH	— D	— DRIVE SILL ELEVATION	— F	— FIRE DEPARTMENT CONNECTION
— E	— ELECTRIC TRANSFORMER	— E	— ELECTRIC METER	— E	— ELECTRIC POSTAL	— E	— ELECTRIC BOX AT GRADE	— E	— TELEPHONE POSTAL	— M	— MANHOLE	— S	— STORM MANHOLE	— C	— CATCH BASIN	— S	— CURB SLEET	— M	— METAL LIGHT POLE
— W	— WATER MAIN	— E	— ELECTRIC BOX AT GRADE	— T	— TV PEDestal	— G	— GAS METER	— A	— AIR CONDITIONER	— U	— UTILITY POLE	— W	— WOOD SIGN	— M	— METAL SIGN	— W	— WOOD LIGHT POLE	— M	— METAL SIGN
—	— CONCRETE PAVEMENT	—	— CRUSHED AGGREGATE BASE COURSE	—	— CLEAN RECYCLED CRUSHED CONCRETE	—	— CONCRETE STOOPS AND WALK	—	— STANDARD DUTY ASPHALT PAVEMENT	—	— HEAVY DUTY ASPHALT PAVEMENT	—	— CONCRETE CURB	—	— ASPHALT	—	— ASPHALT	—	— ASPHALT

EXISTING SURVEY AND SITE CONDITION SHOWN ON ALTA/HSPS LAND TITLE SURVEY BY CAPITOL SURVEY ENTERPRISES (CSE) DATED JAN. 8, 2025



BRIOHN DESIGN GROUP
3400 N. BROOKFIELD ROAD, SUITE 200
BROOKFIELD, WISCONSIN 53005-1900
(262) 780-0200 PHONE
(262) 780-0205 FAX

SITE GRADING PLAN

SHEET TITLE

PROPOSED BUILDING FOR:
BRIOHN LAND DEVELOPMENT LLC
CORPORATE DRIVE
CITY OF WAUKESHA, WISCONSIN

DATE	02-26-2025
REVISION	
CITY SPAR COMMENTS #1	

DATE: 02-26-2025
DRAWN: RWJ
CHECKED: BDG
DATE: 01-24-2025

SHEET: **C2.0**

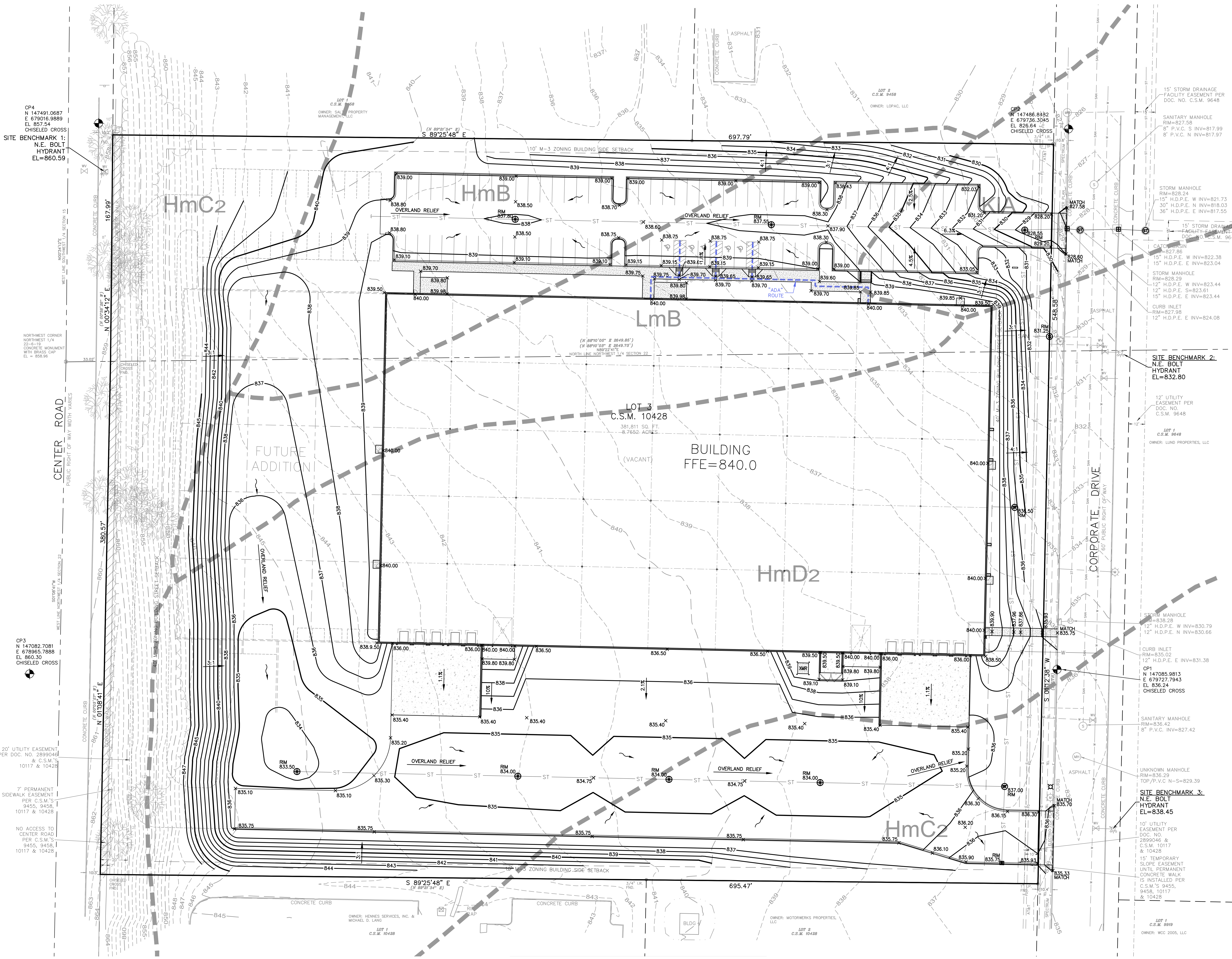
GRADING NOTES

- CONTRACTOR SHALL VERIFY ALL GRADES. ENSURE ALL AREAS DRAIN PROPERLY AND REPORT ANY DISCREPANCIES TO BRIOHN DESIGN GROUP (BDG), PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
- ALL EXISTING CONTOURS REPRESENT EXISTING SURFACE GRADES UNLESS OTHERWISE NOTED. ALL PROPOSED GRADES SHOWN ARE FINISH SURFACE GRADES UNLESS OTHERWISE NOTED.
- ALL EXCAVATIONS AND MATERIAL PLACEMENT SHALL BE COMPLETED TO DESIGN ELEVATIONS AS DEPICTED IN THE PLANS.
 - CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATION(S) OF ALL GRADING QUANTITIES WHILE BDG ATTEMPTS TO PROVIDE COST EFFECTIVE APPROACH TO BALANCE EARTHWORK. GRADING DESIGN IS BASED ON MANY FACTORS INCLUDING SAFETY, AESTHETICS, AND COMMON ENGINEERING STANDARDS OF CARE. THEREFORE NO GUARANTEE CAN BE MADE FOR A BALANCED SITE.
 - THE CONTRACTOR MAY SOLICIT APPROVAL FROM ENGINEER/OWNER TO ADJUST FINAL GRADES FROM DESIGN GRADES TO PROVIDE AN OVERALL SITE BALANCE AS A RESULT OF FIELD CONDITIONS.
- GRADING ACTIVITIES SHALL BE IN A MANNER TO ALLOW POSITIVE DRAINAGE ACROSS DISTURBED SOILS, WHICH MAY INCLUDE EXCAVATION OF TEMPORARY DITCHES TO PREVENT PONDING, AND IF NECESSARY PUMPING TO ALLEVIATE PONDING. CONTRACTOR SHALL PREVENT SURFACE WATER FROM ENTERING INTO EXCAVATIONS. IN NO WAY SHALL OWNER BE RESPONSIBLE FOR REMEDIATION OF UNSUITABLE SOILS CREATED/ORIGINATED AS A RESULT OF IMPROPER SITE GRADING OR SEQUENCING. CONTRACTOR SHALL SEQUENCE GRADING ACTIVITIES TO LIMIT EXPOSURE OF DISTURBED SOILS DUE TO WEATHER.
- THE CONTRACTOR IS RESPONSIBLE FOR MEETING MINIMUM COMPACTION STANDARDS AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER. CONTRACTOR SHALL REFER TO THE GEOTECHNICAL ENGINEERING SERVICES REPORT PREPARED BY [REDACTED] AND DATED [REDACTED], 2022 FOR SITE COMPACTION REQUIREMENTS. THE CONTRACTOR SHALL NOTIFY ENGINEER/OWNER IF PROPER COMPACTION CANNOT BE OBTAINED. THE PROJECT'S GEOTECHNICAL CONSULTANT SHALL DETERMINE WHICH IN-SITU SOILS ARE TO BE CONSIDERED UNSUITABLE SOILS. THE ENGINEER/OWNER AND GEOTECHNICAL TESTING CONSULTANT WILL DETERMINE IF REMEDIAL MEASURES WILL BE NECESSARY.
- IN THE EVENT THAT ANY MOISTURE-DENSITY TEST(S) FAIL TO MEET SPECIFICATION REQUIREMENTS, THE CONTRACTOR SHALL PERFORM CORRECTIVE WORK AS NECESSARY TO BRING THE MATERIAL INTO COMPLIANCE AND RETEST THE FAILED AREA AT NO COST TO THE OWNER.
- WITH THE AUTHORIZATION OF THE ENGINEER/OWNER, MATERIAL THAT IS TOO WET TO PERMIT PROPER COMPACTION SHALL BE SPREAD ON FILL AREAS IN AN EFFORT TO DRY. CONTRACTOR SHALL CLEARLY FIELD MARK THE EXTERIOR LIMITS OF SPREAD MATERIAL WITH PAINTED LATH AND SUBMIT A PLAN TO THE ENGINEER/OWNER THAT IDENTIFIES THE LIMITS. UNDER NO CIRCUMSTANCES SHALL THE SPREAD MATERIAL DEPTH EXCEED THE MORE RESTRICTIVE OF: THE IMMEDIATE TREATMENT DEPTH OF MACHINERY THAT WILL BE USED TO TURNOVER THE SPREAD MATERIAL; OR THE MAXIMUM COMPACTION LIFT DEPTH.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER/OWNER IF GROUNDWATER IS ENCOUNTERED DURING EXCAVATION.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ADEQUATE AND SAFE TEMPORARY SHORING, BRACING, RETENTION STRUCTURES, AND EXCAVATIONS.
- THE SITE SHALL BE COMPLETED TO WITHIN 0.10-FT (+/-) OF THE PROPOSED GRADES AS INDICATED WITHIN THE PLANS. PRIOR TO PLACEMENT OF TOPSOIL OR STONE, CONTRACTOR IS ENCOURAGED TO SEQUENCE CONSTRUCTION SUCH THAT THE SITE IS DIVIDED INTO SMALLER AREAS TO ALLOW STABILIZATION OF DISTURBED SOILS IMMEDIATELY UPON COMPLETION OF INDIVIDUAL SMALLER AREAS.
- CONTRACTOR SHALL CONTACT "DIGGER'S HOTLINE" FOR LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES AND SHALL BE RESPONSIBLE FOR PROTECTING SAID UTILITIES FROM ANY DAMAGE DURING CONSTRUCTION.
- CONTRACTOR SHALL PROTECT INLETS AND ADJACENT PROPERTIES WITH SILT FENCING OR APPROVED EROSION CONTROL METHODS UNTIL CONSTRUCTION IS COMPLETED. CONTRACTOR SHALL PLACE SILT FENCING AT DOWN SLOPE SIDE OF GRADING LIMITS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY EXISTING FACILITIES OR UTILITIES. ANY DAMAGE SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.
- WORK WITHIN ANY ROADWAY RIGHT-OF-WAY SHALL BE COORDINATED WITH THE APPROPRIATE MUNICIPAL OFFICIAL PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FEES. GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SAID OFFICIALS. RESTORATION OF RIGHT-OF-WAY IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF GRADING. RESTORATION SHALL INCLUDE ALL ITEMS NECESSARY TO RESTORE RIGHT-OF-WAY IN-KIND INCLUDING LANDSCAPING.
- CONTRACTOR SHALL COMPLY WITH ALL CITY AND/OR STATE CONSTRUCTION STANDARDS/ORDINANCES.

CONSTRUCTION SITE SEQUENCING

- INSTALL PERIMETER SILT FENCE, EXISTING INLET PROTECTION, AND TEMPORARY CONSTRUCTION ENTRANCE.
- STRIP AND STOCKPILE TOPSOIL, INSTALL SILT FENCE AROUND PERIMETER OF STOCKPILE.
- CONDUCT ROUGH GRADING EFFORTS.
- INSTALL UTILITY PIPING AND STRUCTURES, IMMEDIATELY INSTALL INLET PROTECTION.
- COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF CURBS, PAVEMENTS, WALKS, ETC.
- PLACE TOPSOIL AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROLS.
- EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER THAT MEETS OR EXCEEDS THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES DEFINITION OF "FINAL STABILIZATION".

CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM #1 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.



LEGEND	
— SAN	SANITARY SEWER
— ST	STORM SEWER
— WM	WATER MAIN
— G	GAS LINE
— TEL	BURIED TELEPHONE LINE
— E	BURIED ELECTRIC LINE
— FO	BURIED FIBER OPTIC LINE
— U	OVERHEAD UTILITY LINES
— CATV	BURIED CABLE TELEVISION LINE
— COMB	COMBINATION SEWER
— WOOD	WOOD FENCE
— METAL	METAL FENCE
— EDG	EDGE OF TREES AND BRUSH
— 20	20' UTILITY EASEMENT
— 10	10' UTILITY EASEMENT
— 5	5' UTILITY EASEMENT
— 3	3' UTILITY EASEMENT
— 2	2' UTILITY EASEMENT
— 1	1' UTILITY EASEMENT
— 0	0' UTILITY EASEMENT
— 10	10' PERMANENT SIDEWALK EASEMENT
— 20	20' PERMANENT SIDEWALK EASEMENT
— 30	30' PERMANENT SIDEWALK EASEMENT
— 40	40' PERMANENT SIDEWALK EASEMENT
— 50	50' PERMANENT SIDEWALK EASEMENT
— 60	60' PERMANENT SIDEWALK EASEMENT
— 70	70' PERMANENT SIDEWALK EASEMENT
— 80	80' PERMANENT SIDEWALK EASEMENT
— 90	90' PERMANENT SIDEWALK EASEMENT
— 100	100' PERMANENT SIDEWALK EASEMENT
— 110	110' PERMANENT SIDEWALK EASEMENT
— 120	120' PERMANENT SIDEWALK EASEMENT
— 130	130' PERMANENT SIDEWALK EASEMENT
— 140	140' PERMANENT SIDEWALK EASEMENT
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— 380	380' PERMANENT SIDEWALK EASEMENT
— 390	390' PERMANENT SIDEWALK EASEMENT
— 400	400' PERMANENT SIDEWALK EASEMENT
— 410	410' PERMANENT SIDEWALK EASEMENT
— 420	420' PERMANENT SIDEWALK EASEMENT
— 430	430' PERMANENT SIDEWALK EASEMENT
— 440	440' PERMANENT SIDEWALK EASEMENT
— 450	450' PERMANENT SIDEWALK EASEMENT
— 460	460' PERMANENT SIDEWALK EASEMENT
— 470	470' PERMANENT SIDEWALK EASEMENT
— 480	480' PERMANENT SIDEWALK EASEMENT
— 490	490' PERMANENT SIDEWALK EASEMENT
— 500	500' PERMANENT SIDEWALK EASEMENT
— 510	510' PERMANENT SIDEWALK EASEMENT
— 520	520' PERMANENT SIDEWALK EASEMENT
— 530	530' PERMANENT SIDEWALK EASEMENT
— 540	540' PERMANENT SIDEWALK EASEMENT
— 550	550' PERMANENT SIDEWALK EASEMENT
— 560	560' PERMANENT SIDEWALK EASEMENT
— 570	570' PERMANENT SIDEWALK EASEMENT
— 580	580' PERMANENT SIDEWALK EASEMENT
— 590	590' PERMANENT SIDEWALK EASEMENT
— 600	600' PERMANENT SIDEWALK EASEMENT
— 610	610' PERMANENT SIDEWALK EASEMENT
— 620	620' PERMANENT SIDEWALK EASEMENT
— 630	630' PERMANENT SIDEWALK EASEMENT
— 640	640' PERMANENT SIDEWALK EASEMENT
— 650	650' PERMANENT SIDEWALK EASEMENT
— 660	660' PERMANENT SIDEWALK EASEMENT
— 670	670' PERMANENT SIDEWALK EASEMENT
— 680	680' PERMANENT SIDEWALK EASEMENT
— 690	690' PERMANENT SIDEWALK EASEMENT
— 700	700' PERMANENT SIDEWALK EASEMENT
— 710	710' PERMANENT SIDEWALK EASEMENT
— 720	720' PERMANENT SIDEWALK EASEMENT
— 730	730' PERMANENT SIDEWALK EASEMENT
— 740	740' PERMANENT SIDEWALK EASEMENT
— 750	750' PERMANENT SIDEWALK EASEMENT
— 760	760' PERMANENT SIDEWALK EASEMENT
— 770	770' PERMANENT SIDEWALK EASEMENT
— 780	780' PERMANENT SIDEWALK EASEMENT
— 790	790' PERMANENT SIDEWALK EASEMENT
— 800	800' PERMANENT SIDEWALK EASEMENT
— 810	810' PERMANENT SIDEWALK EASEMENT
— 820	820' PERMANENT SIDEWALK EASEMENT
— 830	830' PERMANENT SIDEWALK EASEMENT
— 840	840' PERMANENT SIDEWALK EASEMENT
— 850	850' PERMANENT SIDEWALK EASEMENT
— 860	860' PERMANENT SIDEWALK EASEMENT
— 870	870' PERMANENT SIDEWALK EASEMENT
— 880	880' PERMANENT SIDEWALK EASEMENT
— 890	890' PERMANENT SIDEWALK EASEMENT
— 900	900' PERMANENT SIDEWALK EASEMENT
— 910	910' PERMANENT SIDEWALK EASEMENT
— 920	920' PERMANENT SIDEWALK EASEMENT
— 930	930' PERMANENT SIDEWALK EASEMENT
— 940	940' PERMANENT SIDEWALK EASEMENT
— 950	950' PERMANENT SIDEWALK EASEMENT
— 960	960' PERMANENT SIDEWALK EASEMENT
— 970	970' PERMANENT SIDEWALK EASEMENT
— 980	980' PERMANENT SIDEWALK EASEMENT
— 990	990' PERMANENT SIDEWALK EASEMENT
— 1000	1000' PERMANENT SIDEWALK EASEMENT

EXISTING SURVEY AND SITE CONDITION BASED ON ALTA/HSPS LAND TITLE SURVEY BY CAPITOL SURVEY ENTERPRISES (CSE) DATED JAN. 8, 2025

