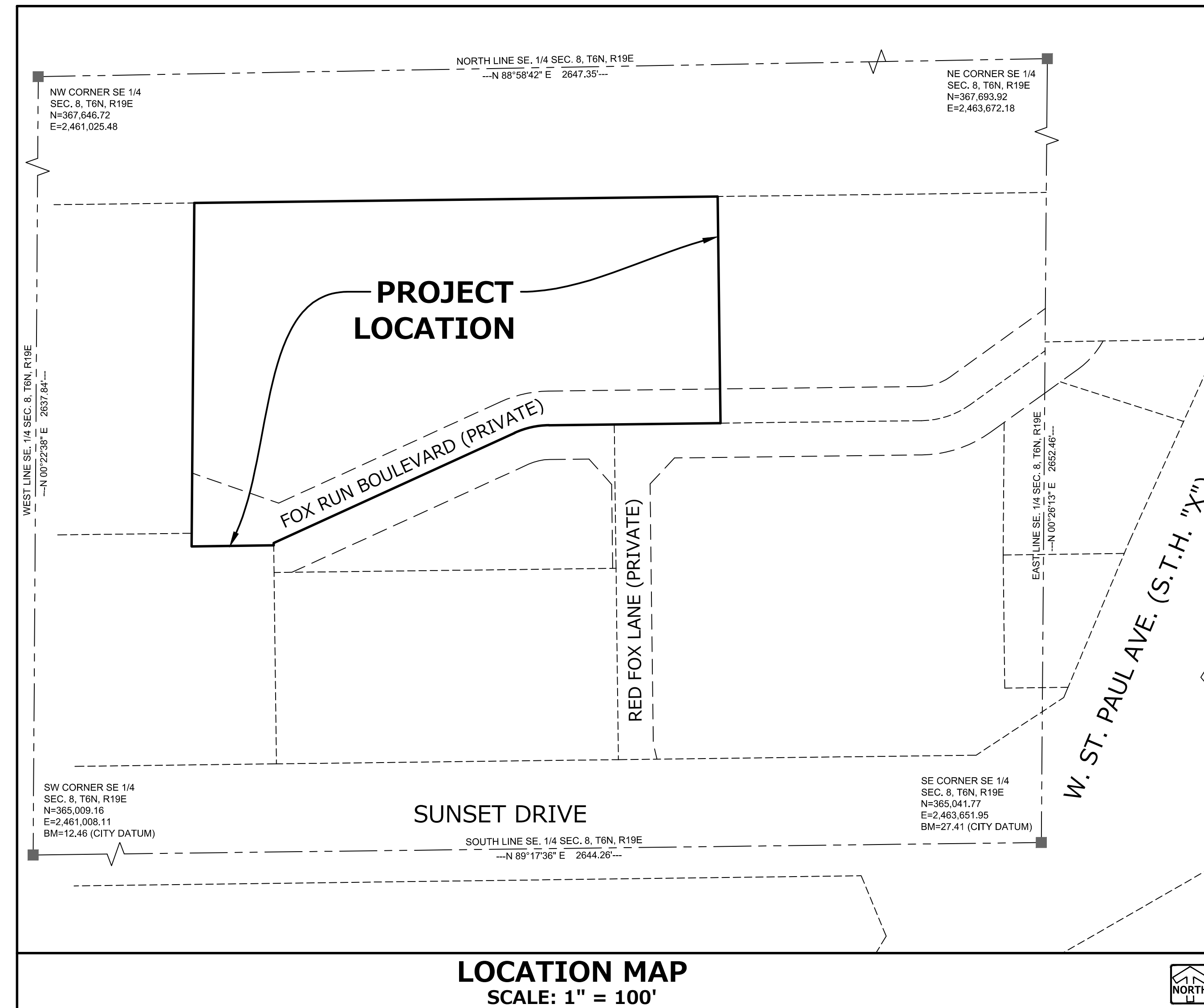


ENGINEERING IMPROVEMENT PLANS FOR FOX DEN APARTMENTS

PART OF THE SE 1/4 OF SECTION 8, T 6 N, R 19 E
CITY OF WAUKESHA, WAUKESHA COUNTY, WISCONSIN

LEGEND:

- BENCHMARK
- EX. MONUMENT
- EX. HYDRANT
- EX. WATER VALVE
- EX. SANITARY MANHOLE
- EX. STORM MANHOLE
- EX. CATCH BASIN ROUND
- EX. CATCH BASIN SQUARE
- EX. ELECTRIC PEDESTAL
- EX. ELECTRIC TRANSFORMER
- EX. TELEPHONE PEDESTAL
- EX. SIGN
- EX. UNDERGROUND WATER
- EX. STORM SEWER
- EX. SANITARY LINE
- EX. UNDERGROUND ELECTRIC
- EX. UNDERGROUND TELEPHONE
- EX. CABLE TV UNDERGROUND
- EX. FENCE LINE



REFERENCE BEARING: THE SOUTH LINE OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 8, TOWN 6 NORTH, RANGE 19 EAST WAS USED AS THE REFERENCE BEARING AND HAS A BEARING OF S 89°17'36" W BASED ON THE WISCONSIN STATE PLANE COORDINATE SYSTEM (SOUTH ZONE).

REFERENCE BENCHMARK: SW CORNER OF THE SE 1/4 OF SECTION 8 CONCRETE MONUMENT WITH A BRASS CAP. ELEV = 12.46 (NGVD-29, SEWRPC CSSD)

SE CORNER OF THE SE 1/4 OF SECTION 8 CONCRETE MONUMENT WITH A BRASS CAP. ELEV = 27.41 (NGVD-29, SEWRPC CSSD)

ALL SITE IMPROVEMENTS AND CONSTRUCTION SHOWN ON THE PLANS SHALL CONFORM TO THE CITY OF WAUKESHA DEVELOPMENT HANDBOOK & INFRASTRUCTURE SPECIFICATIONS. WHERE THE PLANS DO NOT COMPLY, IT SHALL BE THE SOLE RESPONSIBILITY AND EXPENSE OF THE DEVELOPER TO MAKE REVISIONS TO THE PLANS AND/OR CONSTRUCTED INFRASTRUCTURE TO COMPLY.

INDEX OF SHEETS	
C-1	COVER SHEET
C-2	EXISTING SITE PLAN
C-3	PROPOSED SITE PLAN
C-4	GRADING PLAN
C-5	EROSION CONTROL PLAN
C-6	UTILITY PLAN
C-7	CONSTRUCTION DETAILS
L-1 - L-5	CONCEPTUAL LANDSCAPE PLAN

GENERAL NOTES

- THE INTENTION OF THE PLANS AND SPECIFICATIONS IS TO SET FORTH PERFORMANCE AND CONSTRUCTION MATERIAL STANDARDS FOR THE PROPER EXECUTION OF WORK. ALL WORKS CONTAINED WITHIN THE PLANS AND SPECIFICATIONS SHALL BE COMPLETED IN ACCORDANCE WITH ALL REQUIREMENTS FROM LOCAL, STATE, FEDERAL OR OTHER GOVERNING AGENCY'S LAWS, REGULATIONS, JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., AND THE OWNER'S DIRECTION.
- THE CONTRACTOR IS RESPONSIBLE TO REVIEW AND UNDERSTAND ALL COMPONENTS OF THE PLANS AND SPECIFICATIONS, INCLUDING FIELD VERIFYING SOIL CONDITIONS, PRIOR TO SUBMISSION OF A BID PROPOSAL.
- THE CONTRACTOR SHALL PROMPTLY REPORT ANY ERRORS OR AMBIGUITIES LEARNED AS PART OF THEIR REVIEW OF PLANS, SPECIFICATIONS, REPORTS AND FIELD INVESTIGATIONS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE COMPUTATION OF QUANTITIES AND WORK REQUIRED TO COMPLETE THIS PROJECT. THE CONTRACTOR'S BID SHALL BE BASED ON ITS OWN COMPUTATIONS AND IN NO SUCH INSTANCE RELY ON THE ENGINEER'S ESTIMATE.
- QUESTIONS/CLARIFICATIONS WILL BE INTERPRETED BY ENGINEER/OWNER PRIOR TO THE AWARD OF CONTRACT. ENGINEER/OWNER WILL SUBMIT OFFICIAL RESPONSES IN WRITING. INTERPRETATIONS PRESENTED IN OFFICIAL RESPONSES SHALL BE BINDING ON ALL PARTIES ASSOCIATED WITH THE CONTRACT. IN NO WAY SHALL WORD-OF-MOUTH DIALOG CONSTITUTE AN OFFICIAL RESPONSE.
- PRIOR TO START OF WORK, CONTRACTOR SHALL BE COMPLETELY FAMILIAR WITH ALL CONDITIONS OF THE SITE, AND SHALL ACCOUNT FOR CONDITIONS THAT AFFECT, OR MAY AFFECT CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, LIMITATIONS OF WORK ACCESS, SPACE LIMITATIONS, OVERHEAD OBSTRUCTIONS, TRAFFIC PATTERNS, LOCAL REQUIREMENTS, ADJACENT ACTIVITIES, ETC. FAILURE TO CONSIDER SITE CONDITIONS SHALL NOT BE CAUSE FOR CLAIM OF JOB EXTRAS.
- COMMENCEMENT OF CONSTRUCTION SHALL EXPLICITLY CONFIRM THAT THE CONTRACTOR HAS REVIEWED THE PLANS AND SPECIFICATIONS IN ENTIRETY AND CERTIFIES THAT THEIR SUBMITTED BID PROPOSAL CONTAINS PROVISIONS TO COMPLETE THE PROJECT, WITH THE EXCEPTION OF UNFORESEEN FIELD CONDITIONS; ALL APPLICABLE PERMITS HAVE BEEN OBTAINED; AND CONTRACTOR UNDERSTANDS ALL OF THE REQUIREMENTS OF THE PROJECT.
- SHOULD ANY DISCREPANCIES OR CONFLICTS IN THE PLANS OR SPECIFICATIONS BE DISCOVERED AFTER THE AWARD OF CONTRACT, ENGINEER SHALL BE NOTIFIED IN WRITING IMMEDIATELY AND CONSTRUCTION OF ITEMS AFFECTED BY THE DISCREPANCIES/CONFLICTS SHALL NOT COMMENCE, OR CONTINUE, UNTIL A WRITTEN RESPONSE FROM ENGINEER/OWNER IS DISTRIBUTED. IN THE EVENT OF A CONFLICT BETWEEN REFERENCED CODES, STANDARDS, SPECIFICATIONS AND PLANS, THE ONE ESTABLISHING THE MOST STRINGENT REQUIREMENTS SHALL BE FOLLOWED.
- THE CONTRACTOR SHALL, AT ITS OWN EXPENSE, OBTAIN ALL NECESSARY PERMITS AND LICENSES TO COMPLETE THE PROJECT. OBTAINING PERMITS, OR DELAYS, IS NOT CAUSE FOR DELAY OF THE CONTRACT OR SCHEDULE. CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS.
- THE CONTRACTOR SHALL NOTIFY ALL INTERESTED GOVERNING AGENCIES, UTILITY COMPANIES AFFECTED BY THIS CONSTRUCTION PROJECT, AND DIGGER'S HOTLINE IN ADVANCE OF CONSTRUCTION TO COMPLY WITH ALL JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., PERMIT STIPULATIONS, AND OTHER APPLICABLE STANDARDS.
- SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE TO INITIATE, INSTITUTE, ENFORCE, MAINTAIN, AND SUPERVISE ALL SAFETY PRECAUTIONS AND JOB SITE SAFETY PROGRAMS IN CONNECTION WITH THE WORK.
- CONTRACTOR SHALL KEEP THE JOBSITE CLEAN AND ORDERLY AT ALL TIMES. ALL LOCATIONS OF THE SITE SHALL BE KEPT IN A WORKING MANNER SUCH THAT DEBRIS IS REMOVED CONTINUOUSLY AND ALL RESPECTIVE CONTRACTORS OPERATE UNDER GENERAL "GOOD HOUSEKEEPING."
- THE CONTRACTOR SHALL INDEMNIFY THE OWNER, ENGINEER, AND THEIR AGENTS FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.

APPLICANT/ DEVELOPER

FOX RUN 3, LLC
C/O SOMERSTONE LLC
19035 W. CAPITOL DRIVE, SUITE 105
BROOKFIELD, WI 53045

CIVIL ENGINEERING CONTACTS

ANTHONY S. ZANON, P.E.
JOHN P. KONOPACKI, P.L.S.
PINNACLE ENGINEERING GROUP
20725 WATERTOWN ROAD, SUITE 100
BROOKFIELD, WI 53186
(262) 754-8888
tony.zanon@pinnacle-engr.com

PINNACLE ENGINEERING GROUP, LLC
ENGINEER'S LIMITATION

PINNACLE ENGINEERING GROUP, LLC AND THEIR CONSULTANTS DO NOT WARRANT OR GUARANTEE THE ACCURACY AND COMPLETENESS OF THE DELIVERABLES HEREIN BEYOND A REASONABLE DILIGENCE. IF ANY MISTAKES, OMISSIONS, OR DISCREPANCIES ARE FOUND TO EXIST WITHIN THE DELIVERABLES, THE ENGINEER SHALL BE PROMPTLY NOTIFIED PRIOR TO BID SO THAT HE MAY HAVE THE OPPORTUNITY TO TAKE WHATEVER STEPS NECESSARY TO RESOLVE THEM. FAILURE TO PROMPTLY NOTIFY THE ENGINEER OF SUCH CONDITIONS SHALL ABSOLVE THE ENGINEER FROM ANY RESPONSIBILITY FOR THE CONSEQUENCES OF SUCH FAILURE. ACTIONS TAKEN WITHOUT THE KNOWLEDGE AND CONSENT TO THE ENGINEER, OR IN CONTRADICTION TO THE ENGINEER'S DELIVERABLES OR RECOMMENDATIONS, SHALL BECOME THE RESPONSIBILITY NOT OF THE ENGINEER BUT OF THE PARTIES RESPONSIBLE FOR TAKING SUCH ACTION.

FURTHERMORE, PINNACLE ENGINEERING GROUP, LLC IS NOT RESPONSIBLE FOR CONSTRUCTION SAFETY OR THE MEANS AND METHODS OF CONSTRUCTION.

PLAN | DESIGN | DELIVER
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BROOKFIELD, WI 53186
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CHICAGO | MILWAUKEE | NATIONWIDE

FOX DEN APARTMENTS
CITY OF WAUKESHA, WAUKESHA COUNTY, WI

COVER SHEET

REVISIONS	
1	CITY COMMENTS 11-18-20

REG. JOB No.: 2206-00
REG. PH.: ASZ
START DATE: 10-29-20
SCALE: N.T.S.

C-1
C-7

THESE PLANS AND DESIGNATIONS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF PINNACLE ENGINEERING GROUP, LLC

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PROGRESS SET

COVER SHEET

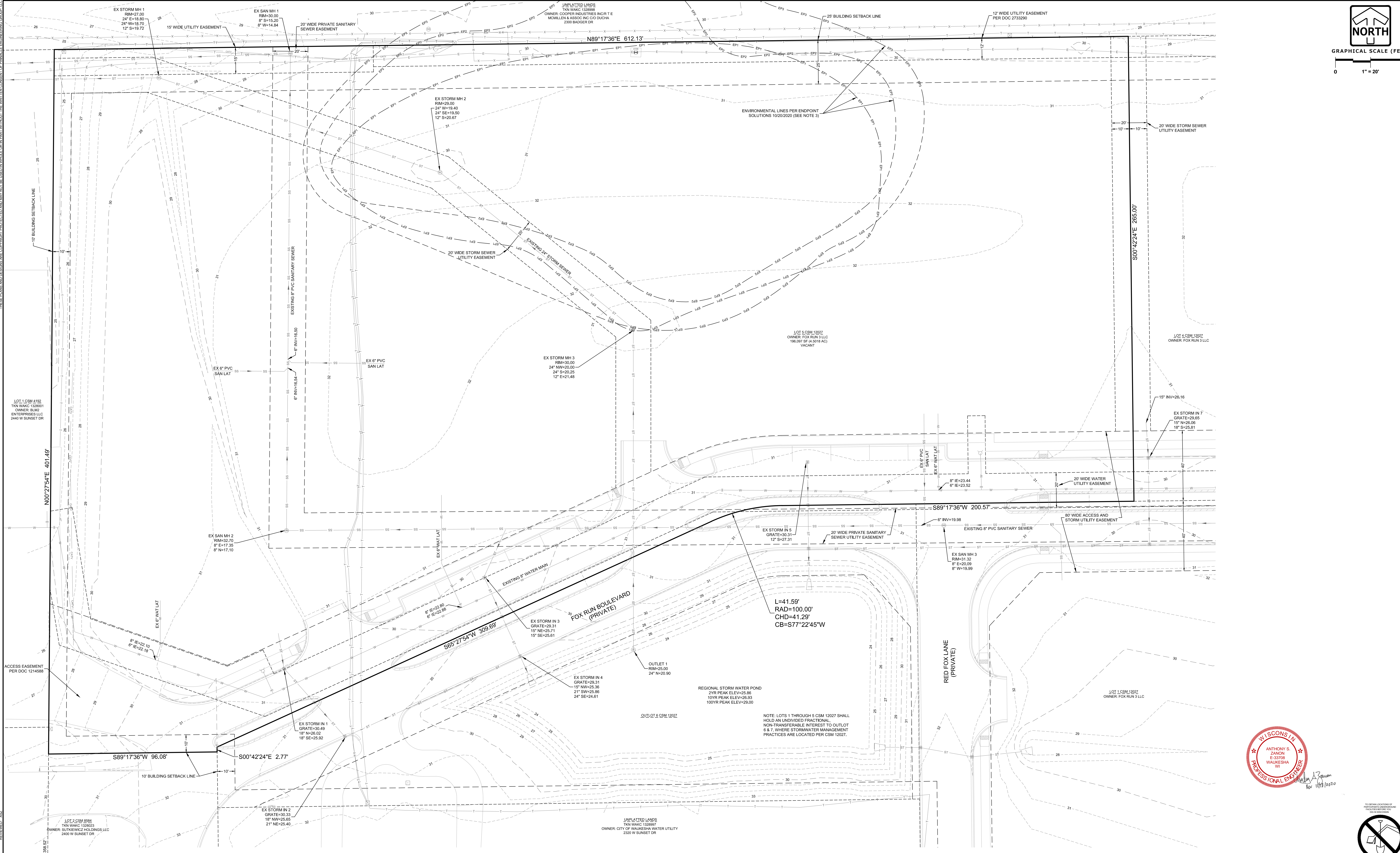


GRAPHICAL SCALE (FEET)
0 1" = 20' 40'

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PROGRESS SET

EXISTING SITE PLAN



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LEGAL DESCRIPTION:
Lot 5 of Certified Survey Map No. 12027 as recorded in Volume 122 on Pages 191-199 as Document No. 4487657, Waukesha County Register of Deeds, being a part of the Southeast Quarter (SE 1/4) of the Southeast Quarter (SE 1/4) of Section 8, Township 6 North, Range 19 East, City of Waukesha, Waukesha County, Wisconsin.

NOTES:

- NO TITLE POLICY PROVIDED. EASEMENTS SHOWN ARE PER CSM NO 12027.
- TOPOGRAPHY AND UTILITIES SHOWN PER THE FOX RUN DEVELOPMENT PLANS PREPARED BY JAHNKE & JAHNKE ASSOCIATES LLC, LAST REVISED 7/9/2020.
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CALL DIGGERS HOTLINE 1-800-942-8511
TOLL FREE
NEVER DIG WITHOUT THE PROPERLY MARKED AND IDENTIFIED UTILITY RECORDS.
MLX AREA 258-1181
NOTE: The location and size of the underground structures and utilities shown herein have been located to a reasonable degree of accuracy, but the Engineer and/or Surveyor does not guarantee their exact location or the location of others not shown.
Contact Diggers Hotline, Inc., Etc.

SW CORNER SE 1/4 SEC. 8, T6N, R19E
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E=2,461,008.11
BM=12.46 (CITY DATUM)

SE CORNER SE 1/4 SEC. 8, T6N, R19E
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E=2,463,651.95
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CHICAGO | MILWAUKEE | NATIONWIDE

FOX DEN APARTMENTS

CITY OF WAUKESHA, WAUKESHA COUNTY, WI

EXISTING SITE PLAN

REVISIONS	
1	CITY COMMENTS 11-18-20

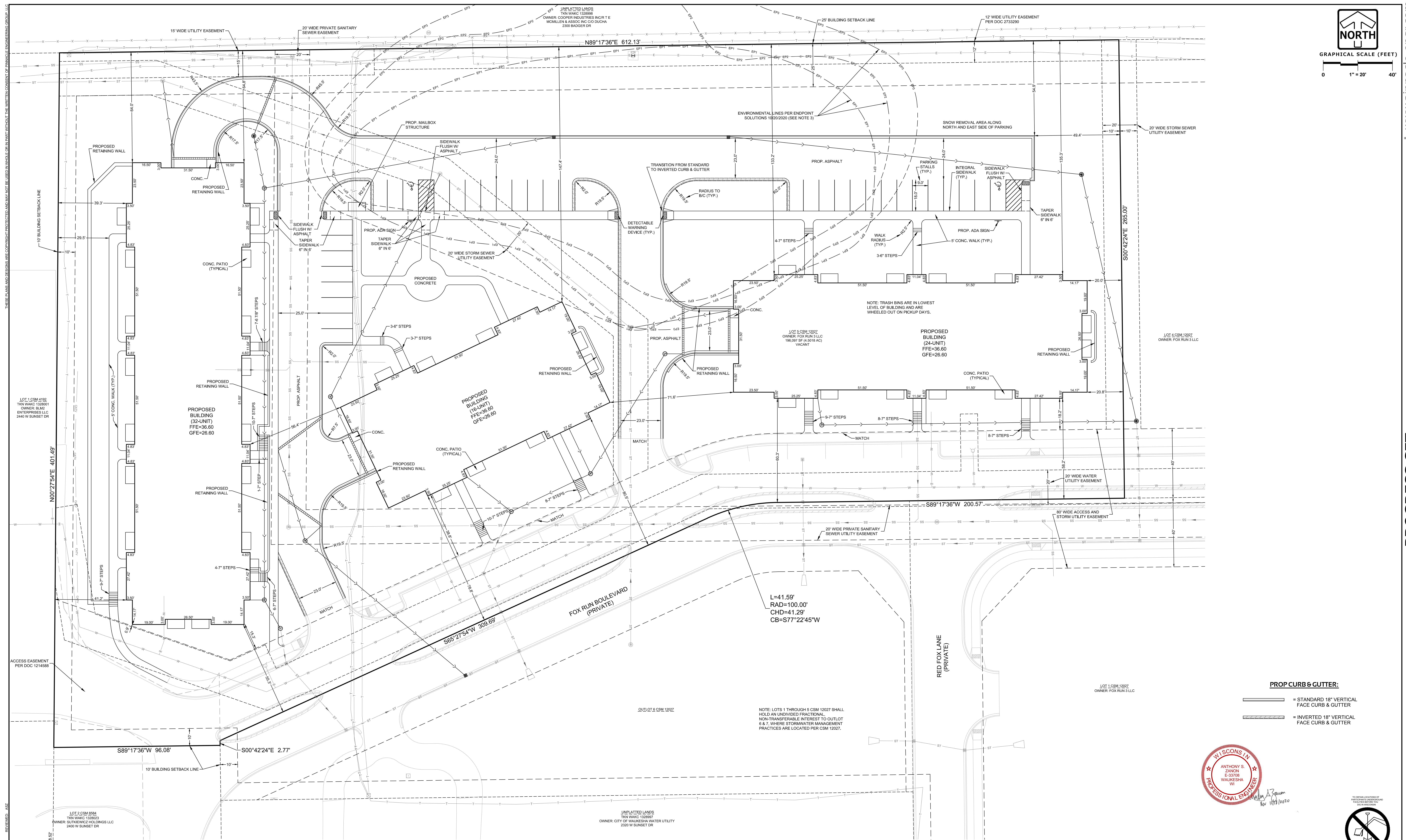
REG. JOB No.: 2206-00
ASZ
START DATE: 10-29-20
SCALE: 1"=20'

C-2
C-7

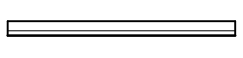



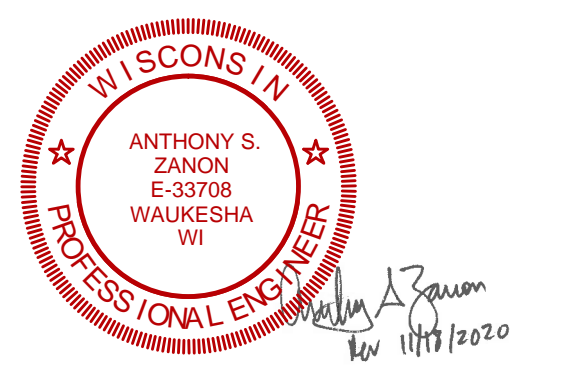
GRAPHICAL SCALE (FEET)
0 1" = 20' 40'

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PROF CURB & GUTTER:

-  = STANDARD 18" VERTICAL FACE CURB & GUTTER
-  = INVERTED 18" VERTICAL FACE CURB & GUTTER



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TOLL FREE 800-942-8511
REGISTRATION NO. 100000000
EXPIRES 12/31/2025
NOTICE TO CONTRACTORS
MILWAUKEE AREA 258-1181

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BROOKFIELD, WI 53186
(262) 754-8888

FOX DEN APARTMENTS

CITY OF WAUKESHA, WAUKESHA COUNTY, WI

PROPOSED SITE PLAN

REVISIONS	
1	CITY COMMENTS 11-18-20

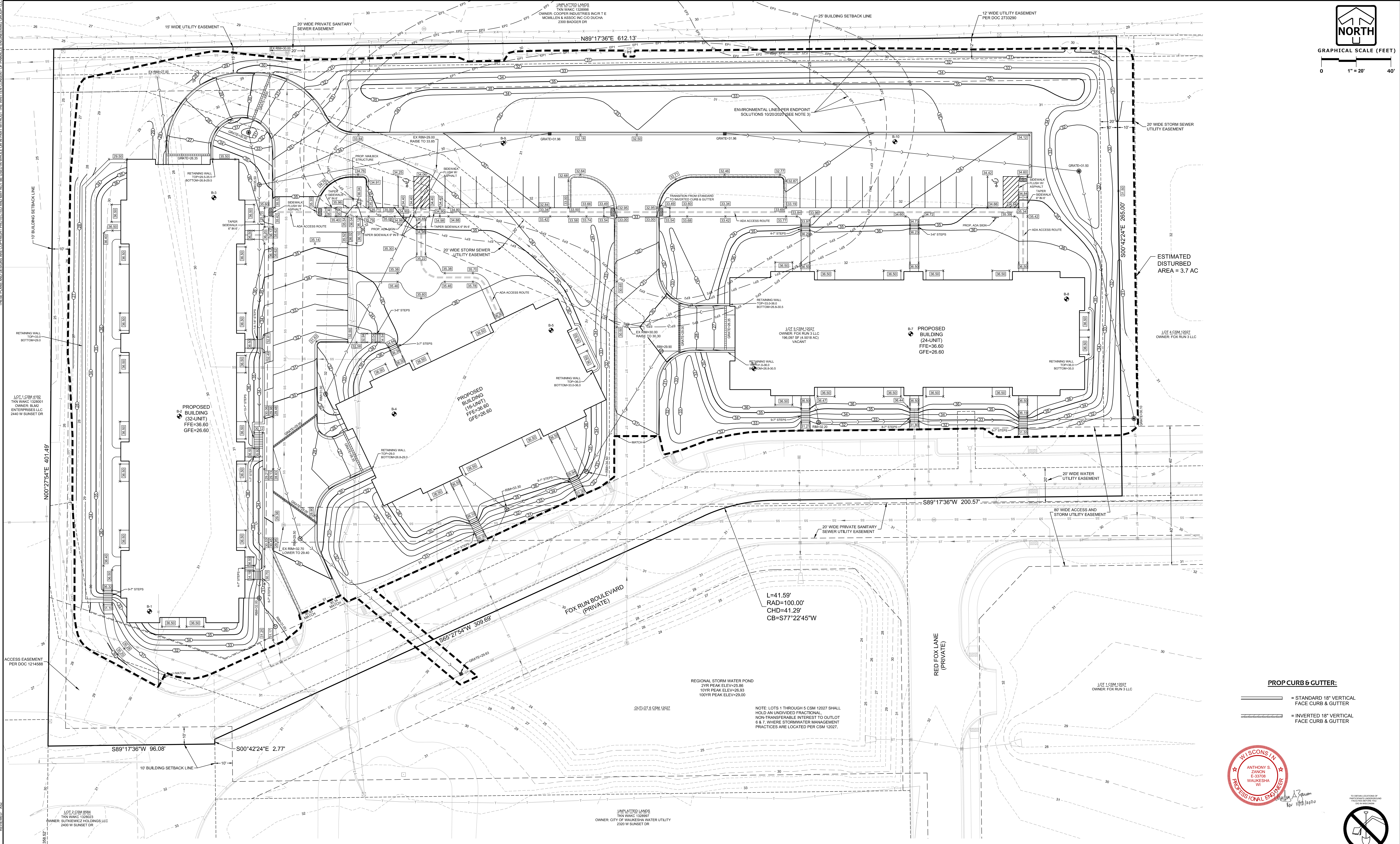
REG. NO. ASZ
SCALE: 1"=20'
START DATE: 10-29-20
C-3
C-7

PROGRESS SET

PROPOSED SITE PLAN



GRAPHICAL SCALE (FEET)
0 1" = 20' 40'



PROP CURB & GUTTER:
= STANDARD 18" VERTICAL FACE CURB & GUTTER
= INVERTED 18" VERTICAL FACE CURB & GUTTER



NOTE: LOTS 1 THROUGH 5 CSM 12027 SHALL HOLD AN UNDIVIDED FRACTIONAL, NON-TRANSFERABLE INTEREST TO OUTLOT 6 & 7, WHERE STORMWATER MANAGEMENT PRACTICES ARE LOCATED PER CSM 12027.

BUILDING	YARD GRADE	MINIMUM BASEMENT ELEVATION	HIGHEST SEASONAL WATER TABLE ELEVATION
32-UNIT	36.60	26.60	24.0 (BORING 1)
16-UNIT	36.60	26.60	25.0 (BORING 5)
24-UNIT	36.60	26.60	24.7 (BORINGS 7 & 8)

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FOX DEN APARTMENTS

CITY OF WAUKESHA, WAUKESHA COUNTY, WI

GRADING PLAN

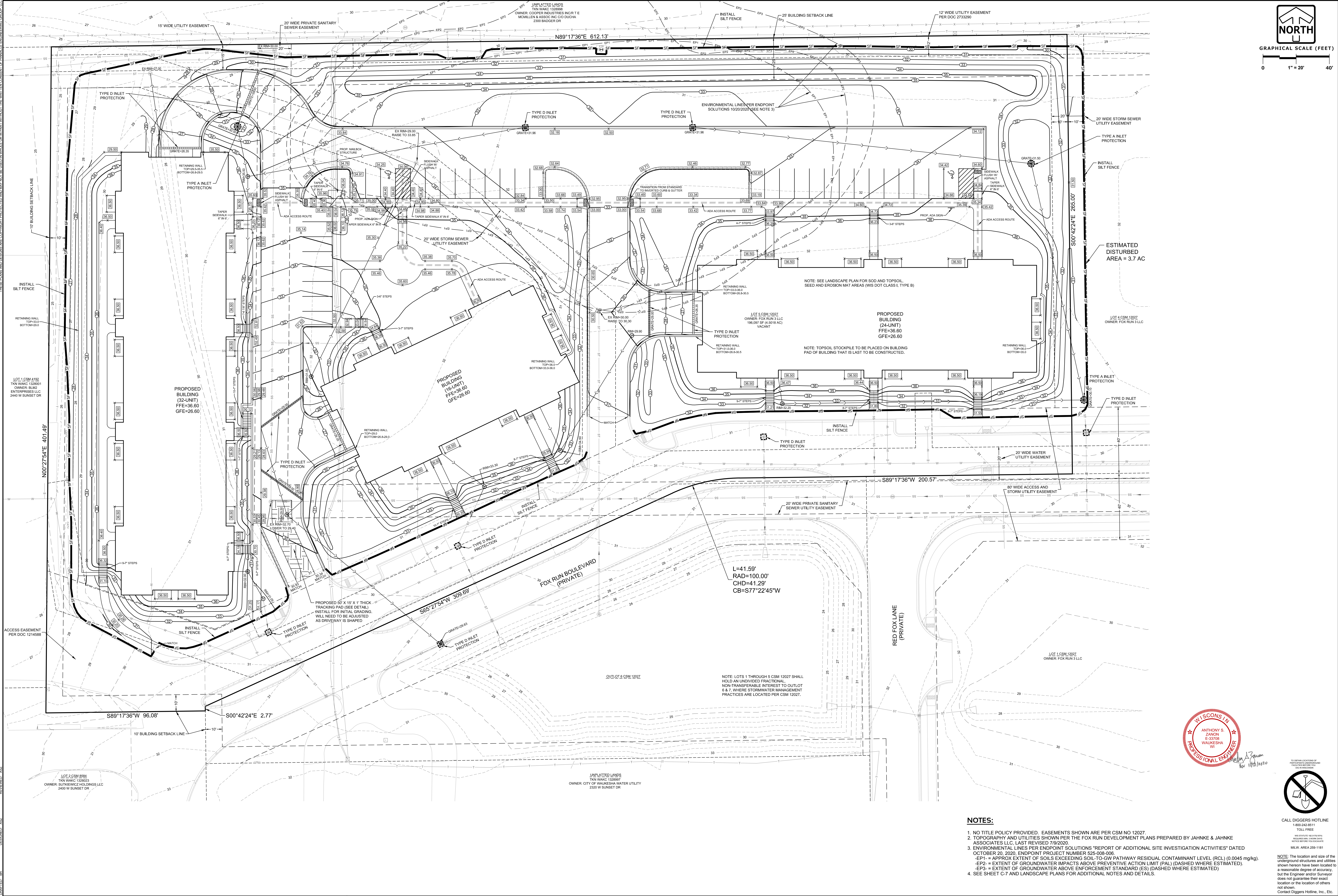
REVISIONS	
1 CITY COMMENTS	11-18-20

REG. NO. 2206-00 ASZ
START DATE 10-29-20
SCALE 1"=20'

C-4
C-7



GRAPHICAL SCALE (FEET)
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CALL DIGGERS HOTLINE
1-800-942-8511
TOLL FREE
MILWAUKEE AREA 259-1151
NOTE: THE LOCATION AND SIZE OF THE UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON HAVE BEEN LOCATED TO A REASONABLE DEGREE OF ACCURACY, BUT THE ENGINEER AND/OR SURVEYOR DOES NOT GUARANTEE THEIR EXACT LOCATION OR THE LOCATION OF OTHERS NOT SHOWN.
Contact Diggers Hotline, Inc., Etc.

PLAN | DESIGN | DELIVER
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FOX DEN APARTMENTS
CITY OF WAUKESHA, WAUKESHA COUNTY, WI

EROSION CONTROL PLAN

REVISIONS	
NO.	DESCRIPTION
1	CITY COMMENTS

REG. JOB NO.: 2206.00
ASZ
START DATE: 10-29-20
SCALE: 1"=20'

C-5
C-7

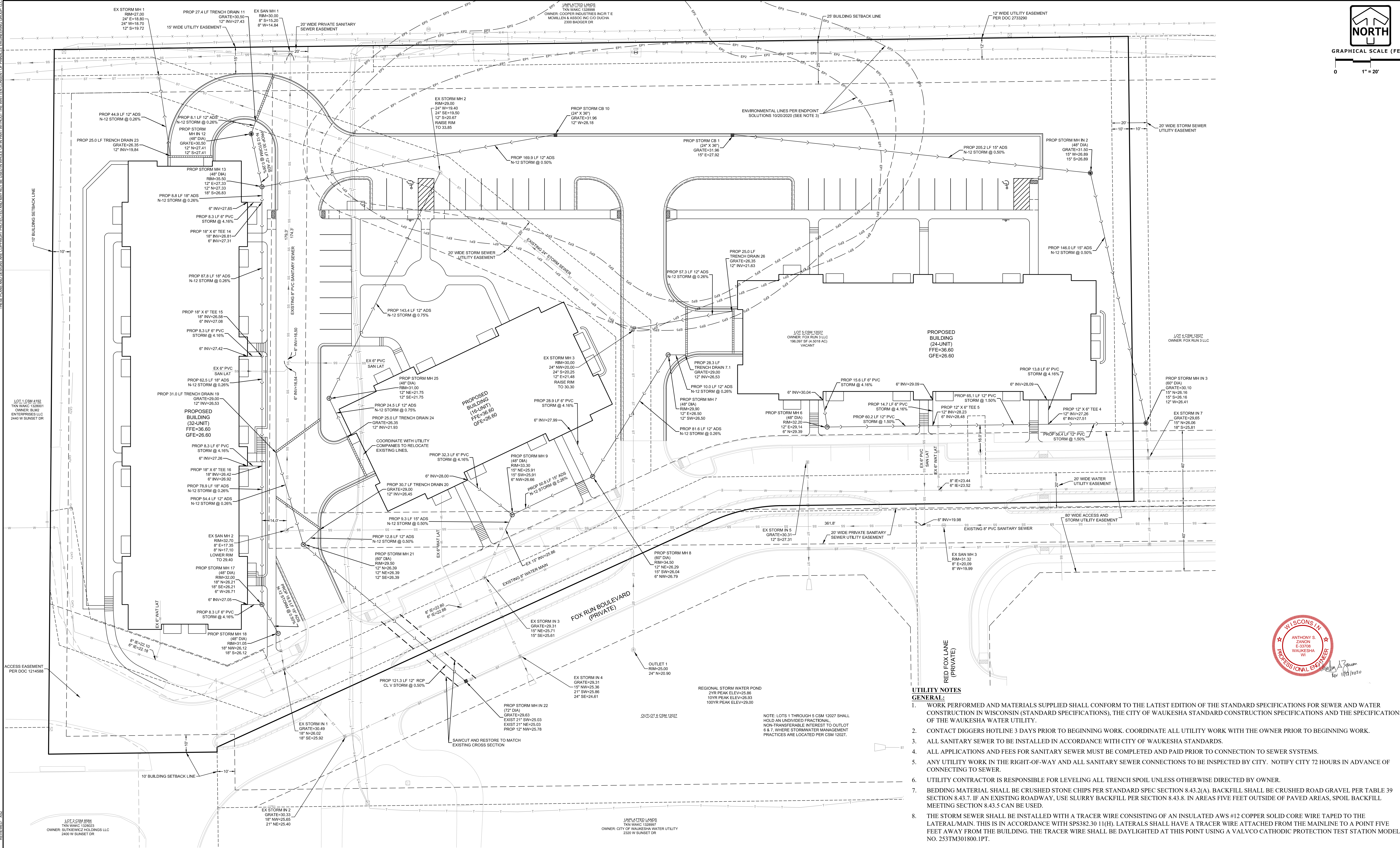


GRAPHICAL SCALE (FEET)
0 1" = 20' 40'

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PROGRESS SET

UTILITY PLAN



- UTILITY NOTES**
- GENERAL:**
1. WORK PERFORMED AND MATERIALS SUPPLIED SHALL CONFORM TO THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (STANDARD SPECIFICATIONS), THE CITY OF WAUKESHA STANDARD CONSTRUCTION SPECIFICATIONS AND THE SPECIFICATIONS OF THE WAUKESHA WATER UTILITY.
 2. CONTACT DIGGERS HOTLINE 3 DAYS PRIOR TO BEGINNING WORK. COORDINATE ALL UTILITY WORK WITH THE OWNER PRIOR TO BEGINNING WORK.
 3. ALL SANITARY SEWER TO BE INSTALLED IN ACCORDANCE WITH CITY OF WAUKESHA STANDARDS.
 4. ALL APPLICATIONS AND FEES FOR SANITARY SEWER MUST BE COMPLETED AND PAID PRIOR TO CONNECTION TO SEWER SYSTEMS.
 5. ANY UTILITY WORK IN THE RIGHT-OF-WAY AND ALL SANITARY SEWER CONNECTIONS TO BE INSPECTED BY CITY. NOTIFY CITY 72 HOURS IN ADVANCE OF CONNECTING TO SEWER.
 6. UTILITY CONTRACTOR IS RESPONSIBLE FOR LEVELING ALL TRENCH SPOIL UNLESS OTHERWISE DIRECTED BY OWNER.
 7. BEDDING MATERIAL SHALL BE CRUSHED STONE CHIPS PER STANDARD SPEC SECTION 8.43.2(A). BACKFILL SHALL BE CRUSHED ROAD GRAVEL PER TABLE 39 SECTION 8.43.7. IF AN EXISTING ROADWAY, USE SLURRY BACKFILL PER SECTION 8.43.8. IN AREAS FIVE FEET OUTSIDE OF PAVED AREAS, SPOIL BACKFILL MEETING SECTION 8.43.5 CAN BE USED.
 8. THE STORM SEWER SHALL BE INSTALLED WITH A TRACER WIRE CONSISTING OF AN INSULATED AWS #12 COPPER SOLID CORE WIRE TAPED TO THE LATERAL/MAIN. THIS IS IN ACCORDANCE WITH SPS382.30 11(H). LATERALS SHALL HAVE A TRACER WIRE ATTACHED FROM THE MAINLINE TO A POINT FIVE FEET AWAY FROM THE BUILDING. THE TRACER WIRE SHALL BE DAYLIGHTED AT THIS POINT USING A VALVCO CATHODIC PROTECTION TEST STATION MODEL NO. 25T3M01800.IPT.

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NOTE: The location and size of the underground structures and utilities shown herein have been located to a reasonable degree of accuracy, but the Engineer and/or Surveyor does not guarantee their exact location or the location of others not shown.

CALL DIGGERS HOTLINE 1-800-242-8511 TOLL FREE.

FOR A COMPLETE LIST OF CONTACTS, VISIT OUR WEBSITE WWW.PINNACLE-ENGR.COM OR CALL 262-591-1181.

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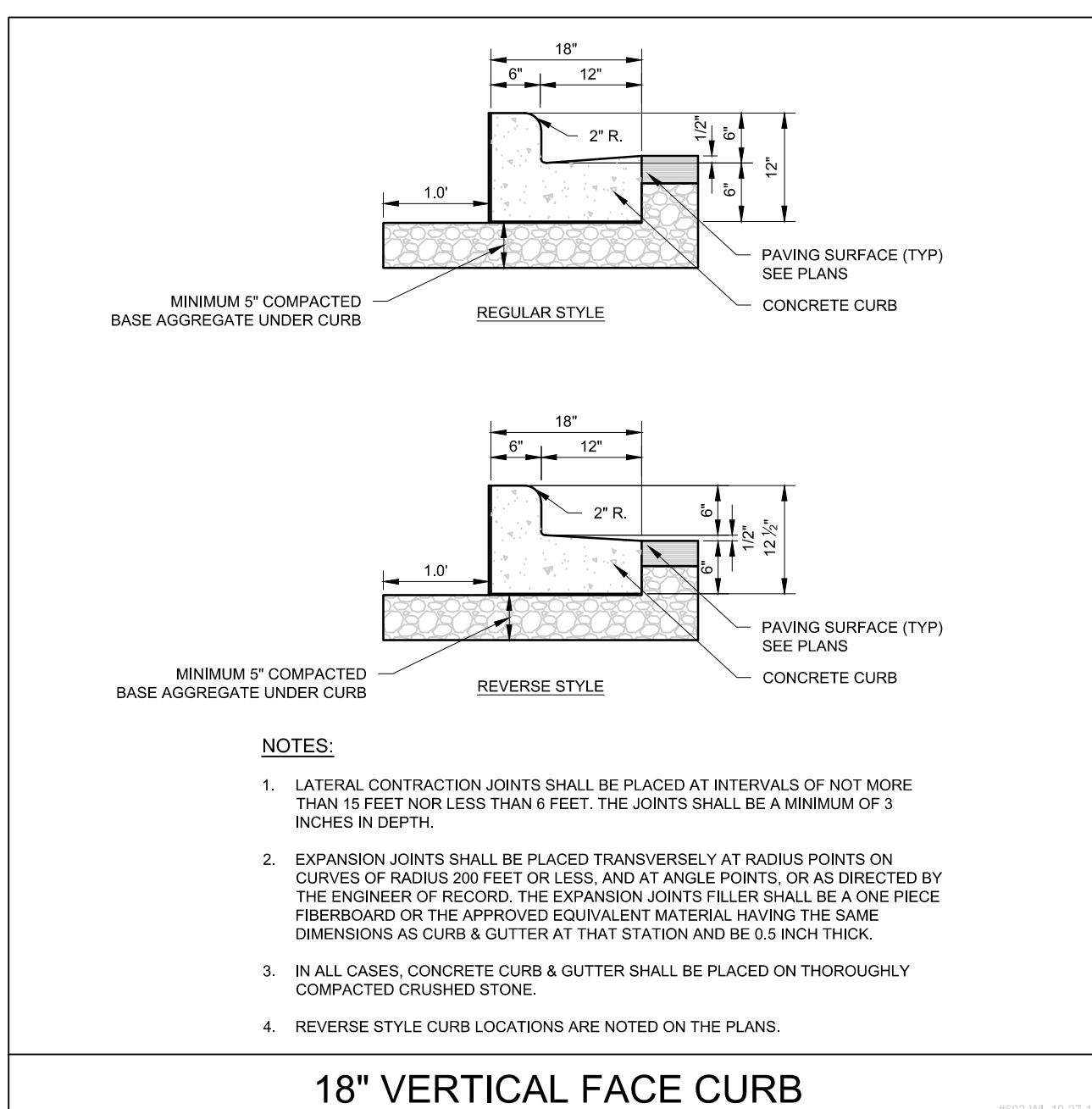
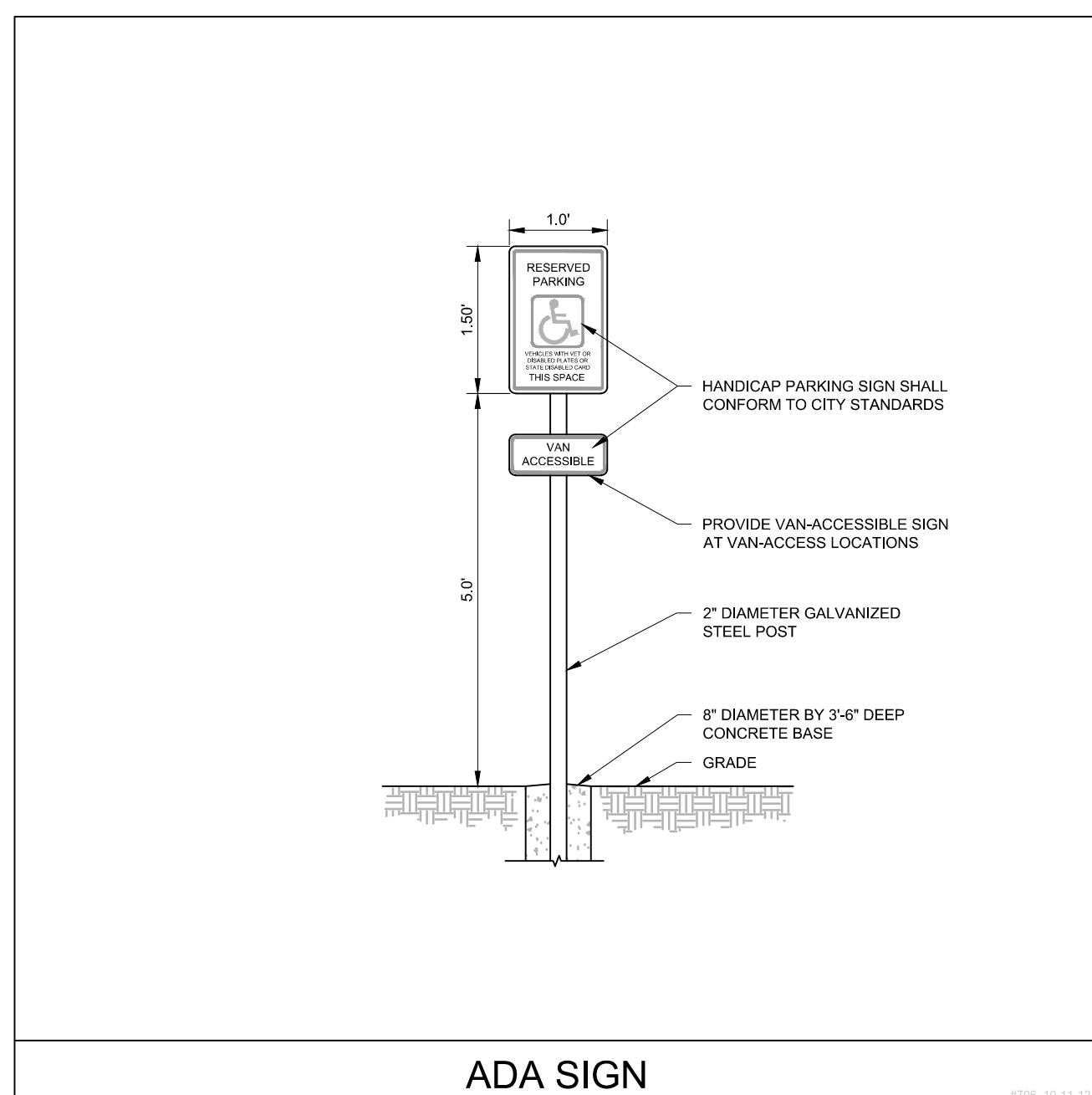
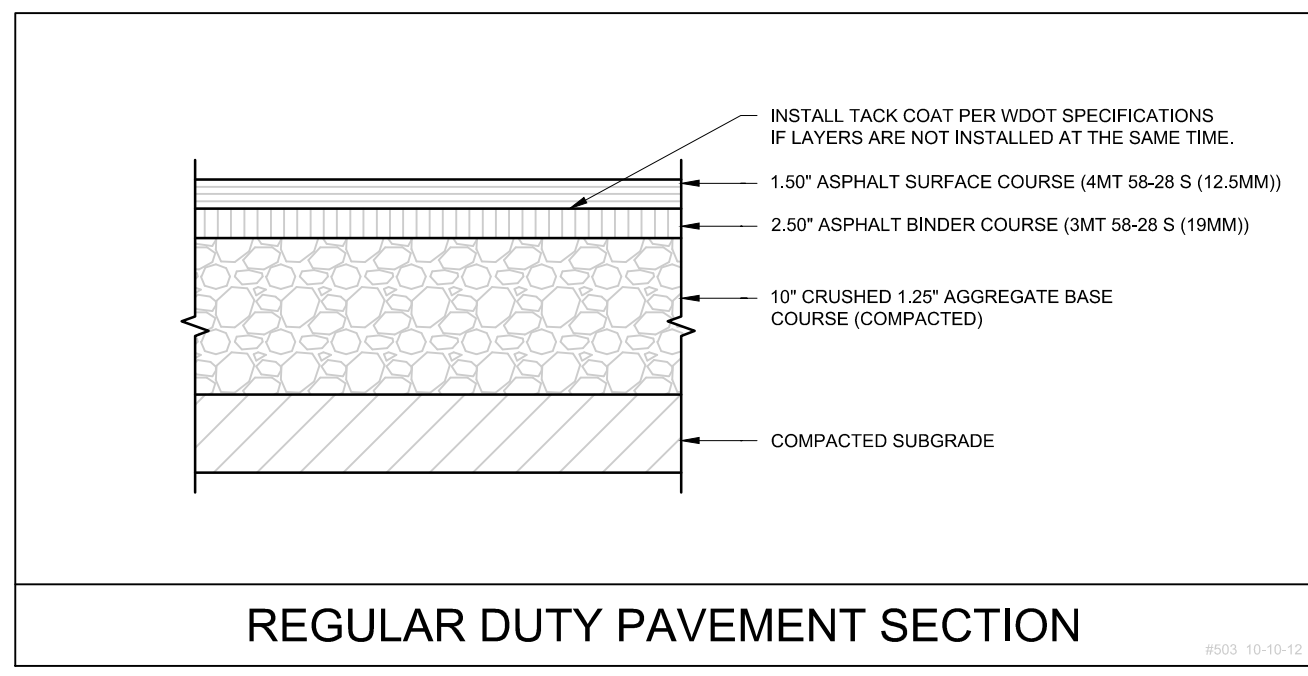
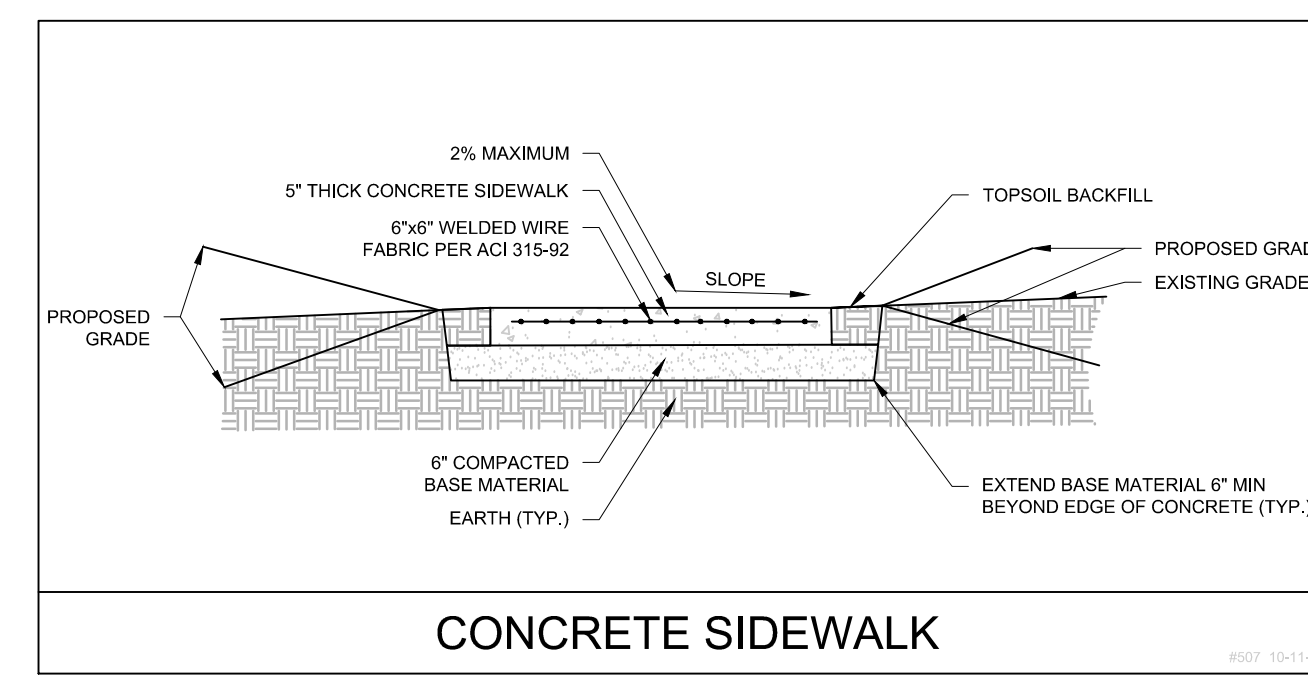
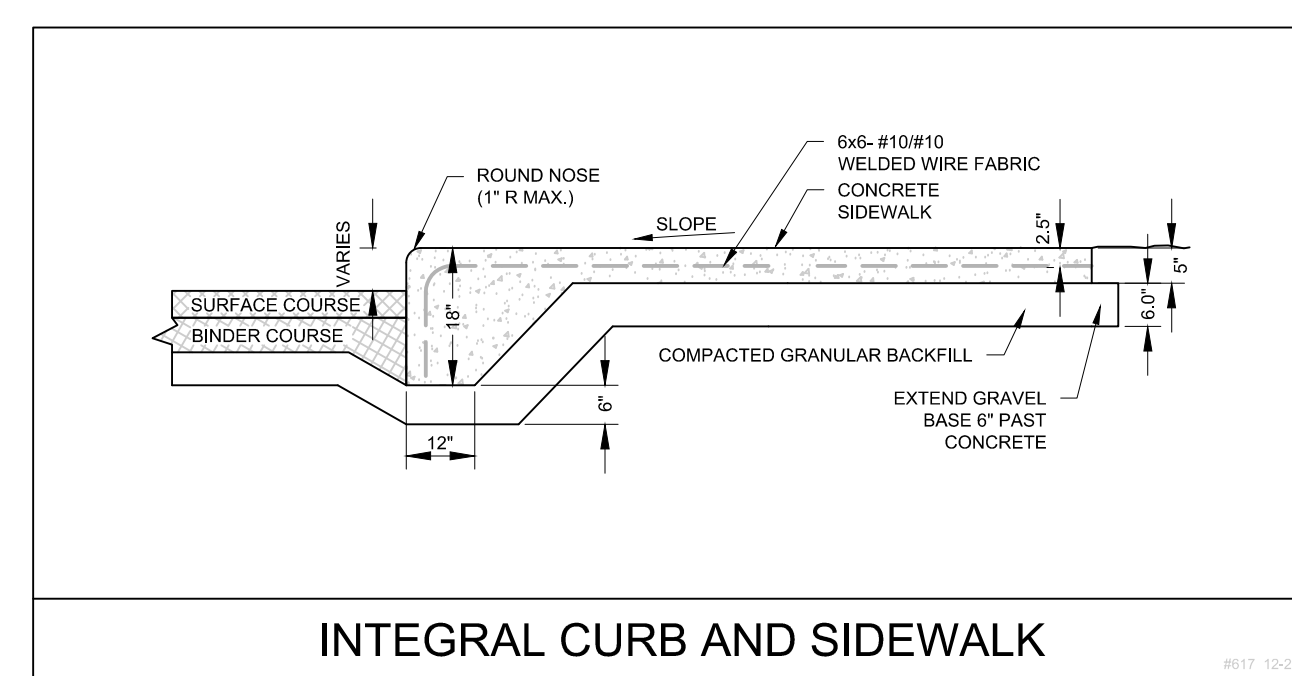
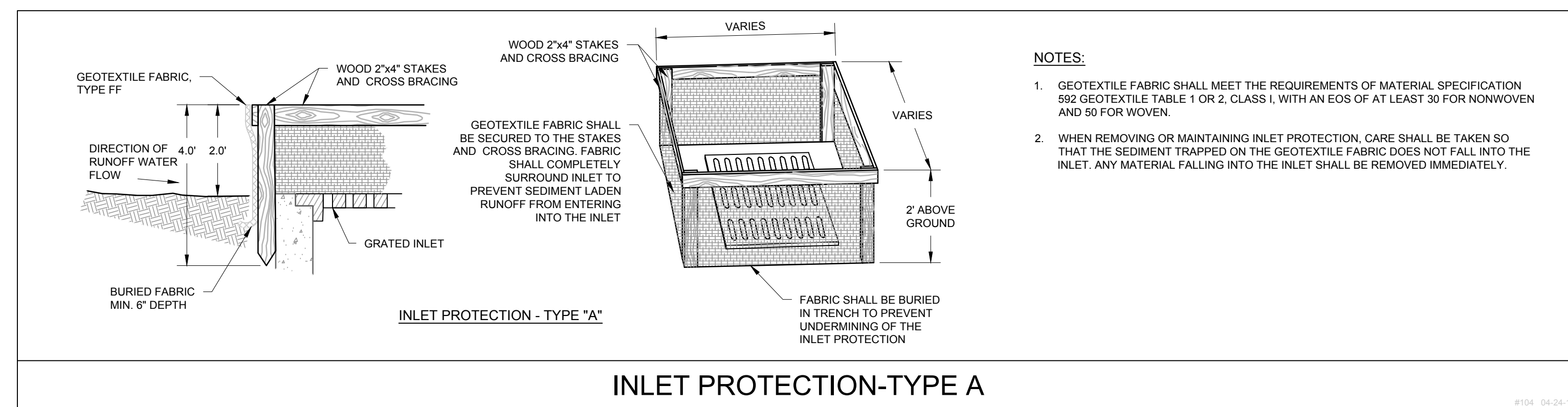
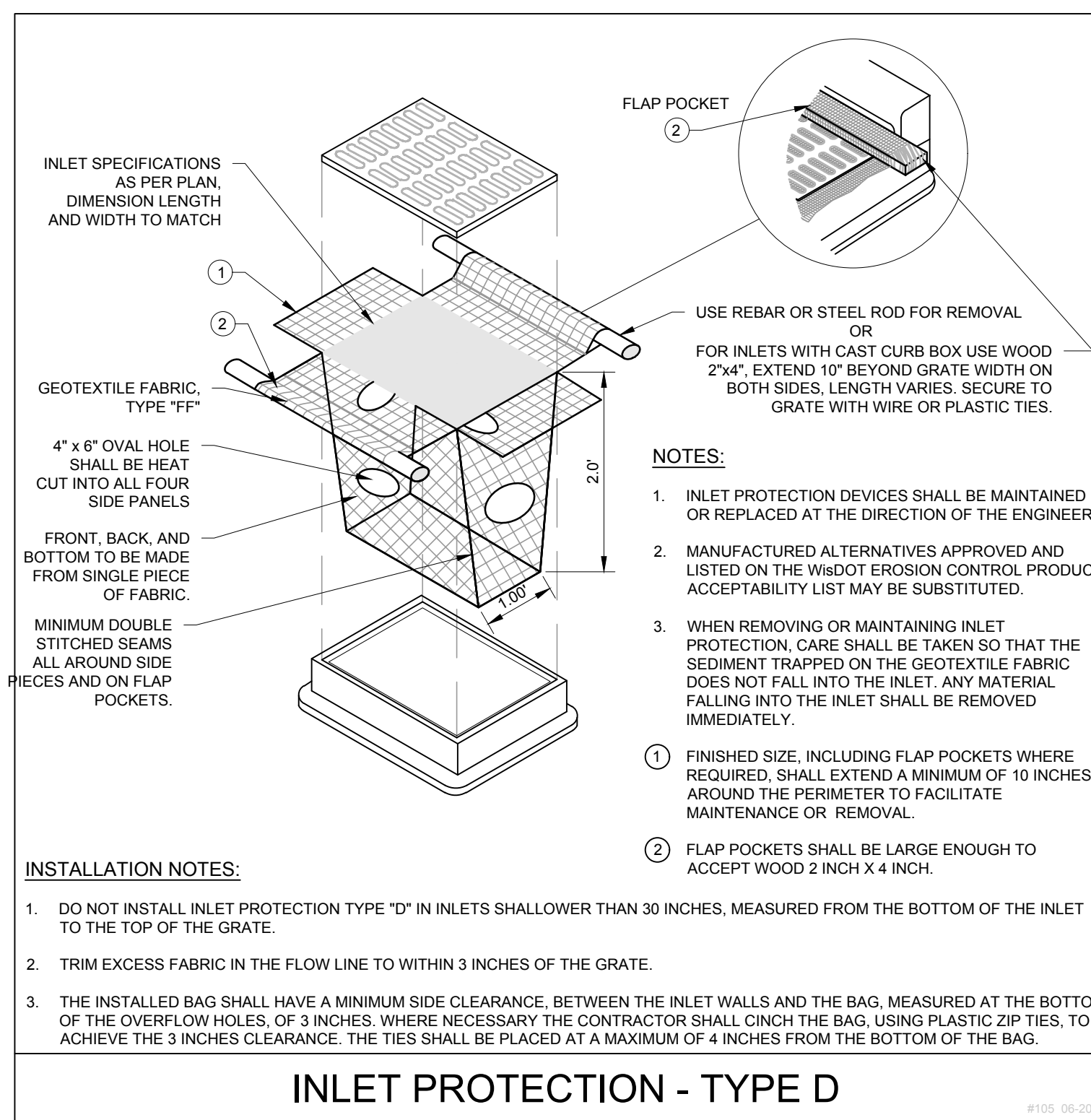
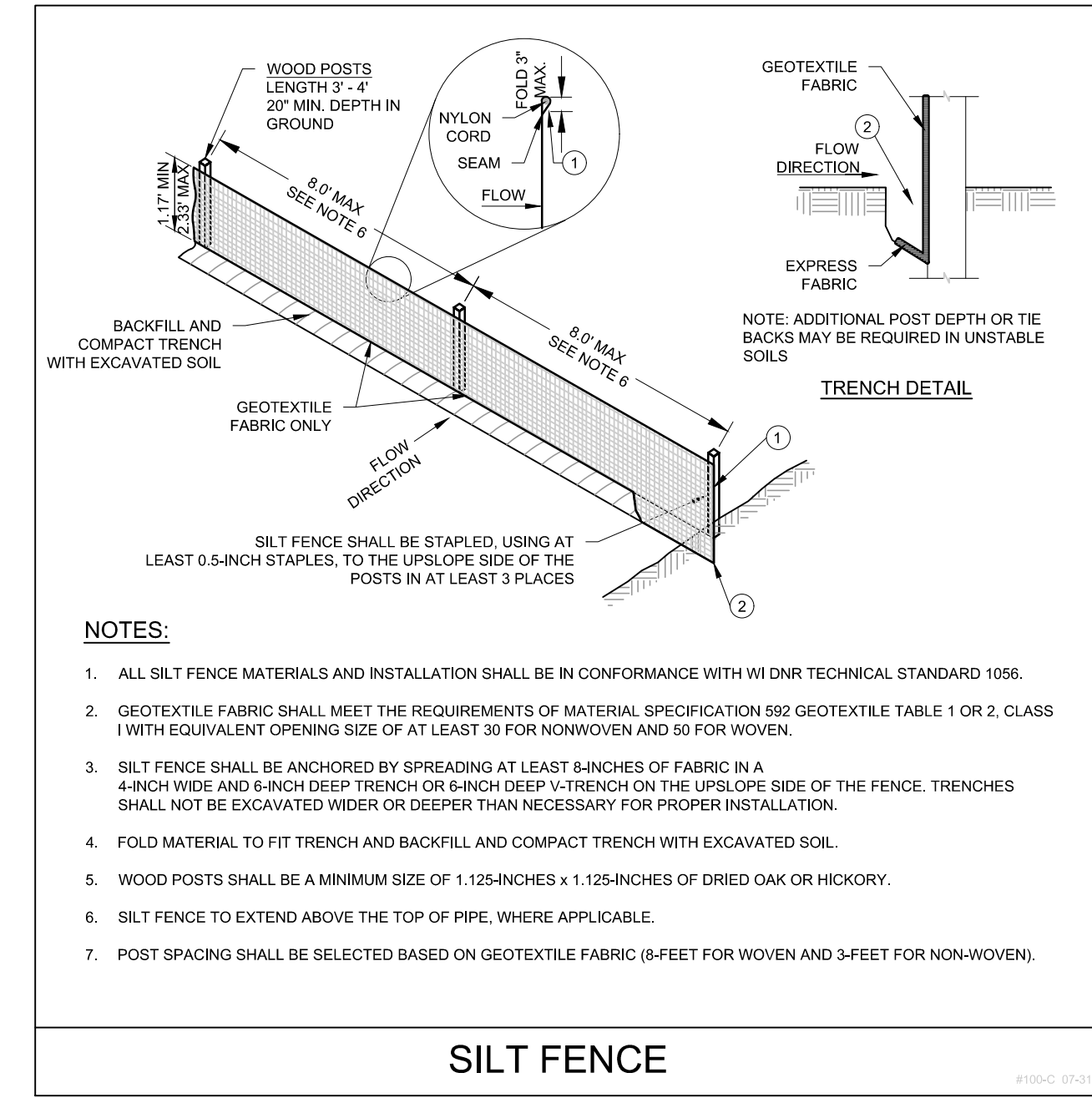
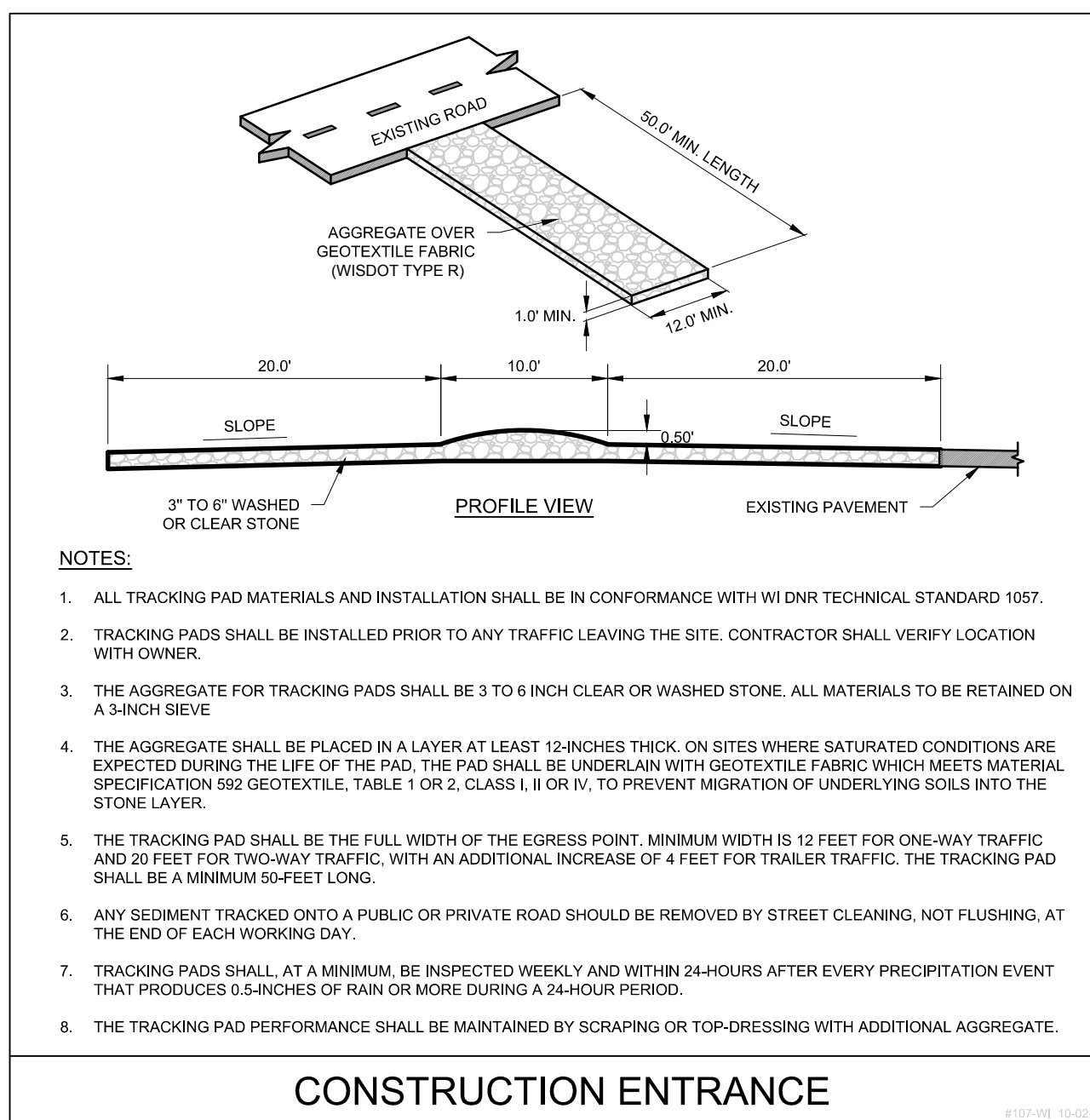
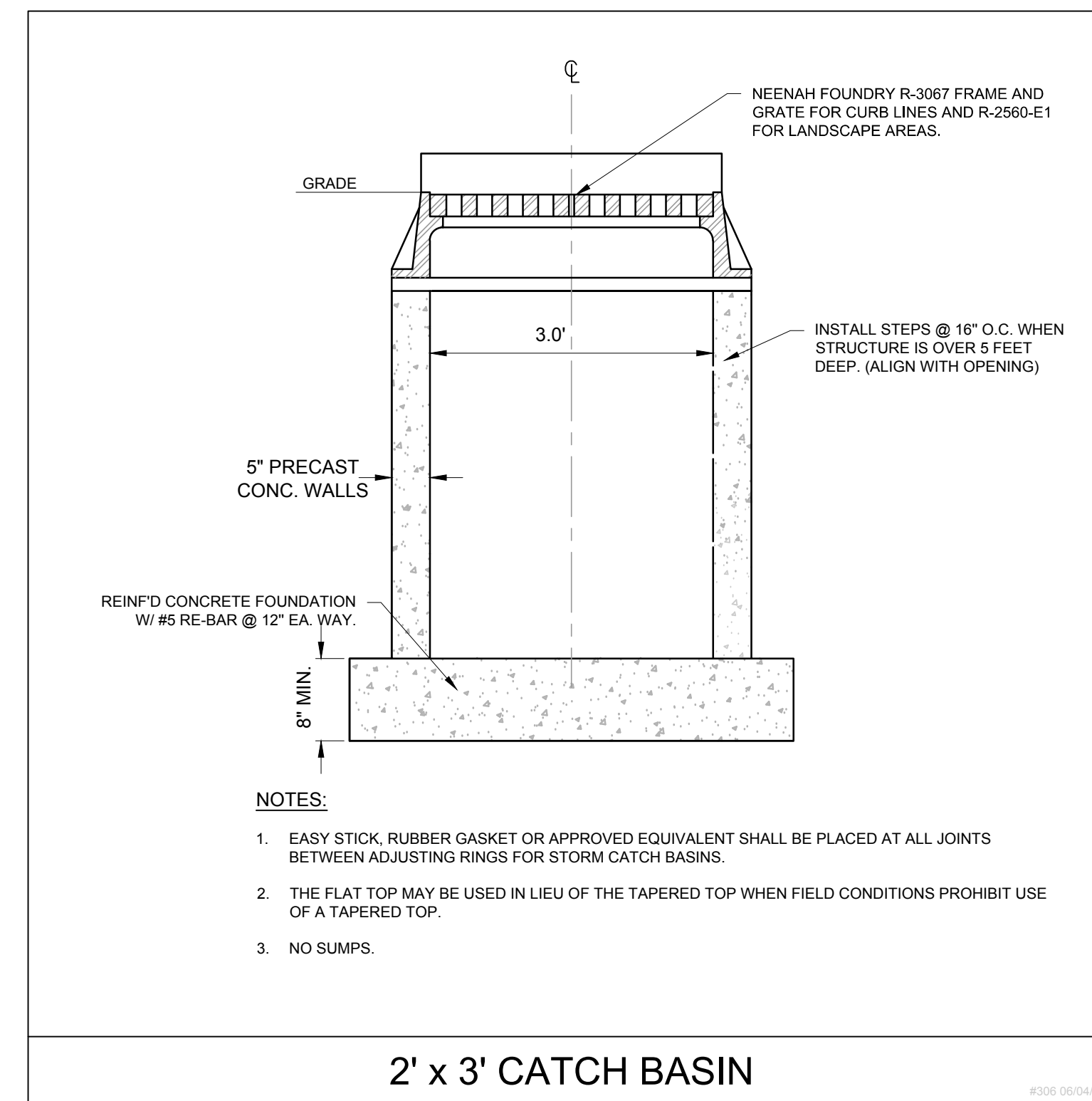
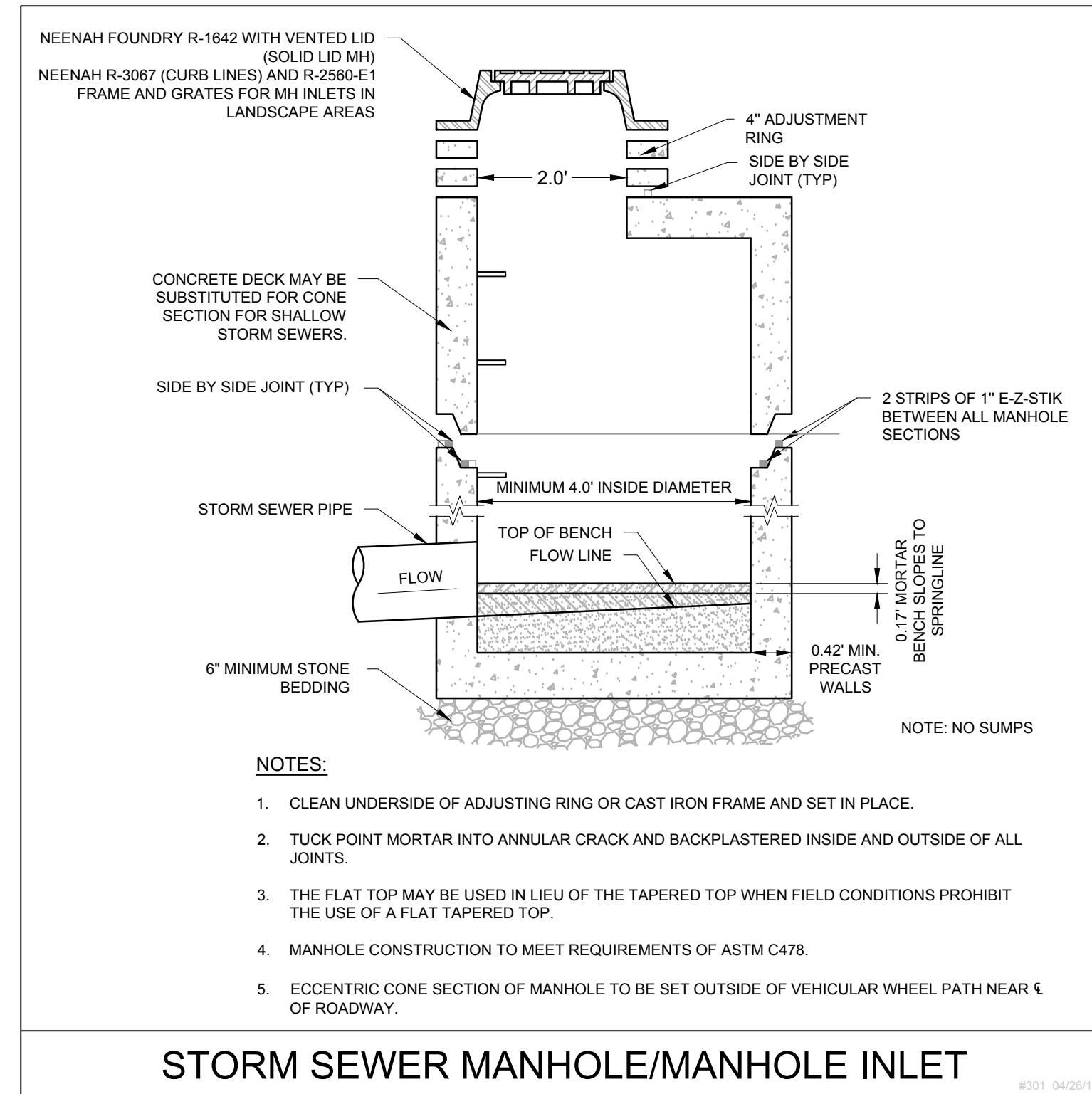
PLAN | DESIGN | DELIVER
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BROOKFIELD, WI 53186
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CHICAGO | MILWAUKEE | NATIONWIDE

FOX DEN APARTMENTS
CITY OF WAUKESHA, WAUKESHA COUNTY, WI

UTILITY PLAN

REVISIONS	
NO.	DESCRIPTION
1	CITY COMMENTS



CONSTRUCTION SEQUENCE:

- INSTALL TRACKING PAD, SILT FENCE AND INLET PROTECTION. CONTINUOUS INSPECTION OF EROSION CONTROL MEASURES THROUGHOUT THE PROJECT. THE GENERAL CONTRACTOR SHALL INSPECT EROSION AND SEDIMENT CONTROL PRACTICES WEEKLY, AND WITHIN 24 HOURS AFTER EVERY RAIN EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE IN A 24 HOUR PERIOD. WRITTEN DOCUMENTATION OF EACH INSPECTION SHALL BE MAINTAINED AT THE CONSTRUCTION SITE AND SHALL INCLUDE THE TIME, DATE AND LOCATION OF INSPECTION, THE PHASE OF LAND DISTURBANCE AT THE CONSTRUCTION SITE, PERSON CONDUCTING THE INSPECTION, ASSESSMENT OF CONTROL PRACTICES, AND DESCRIPTION OF ANY EROSION OR SEDIMENT CONTROL MEASURE INSTALLATION OR MAINTENANCE PERFORMED IN RESPONSE TO THE INSPECTION.
- STRIP TOPSOIL AND BEGIN BUILDING CONSTRUCTION.
- ROUGH GRADE SITE.
- INSTALL UTILITIES.
- FINISH GRADE SITE.
- INSTALL STONE.
- INSTALL CURB & GUTTER AND SIDEWALK.
- PAVE DRIVES AND PARKING.
- RESPIREAD TOPSOIL, SEED, FERTILIZE AND STABILIZE DISTURBED AREAS.
- MAINTAIN EROSION CONTROL MEASURES UNTIL THE SITE IS 80% REVEGETATED. THE CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL TEMPORARY EROSION CONTROL MEASURES. RESTORE ANY DISTURBED AREAS DUE TO EROSION CONTROL MEASURE REMOVAL.

ESTIMATED START DATE: FEBRUARY 2021
ESTIMATED COMPLETION DATE: OCTOBER 2021
ESTIMATED DISTURBED AREA: 3.7 ACRES

GRADING & EROSION CONTROL NOTES:

A. ALL CONSTRUCTION PRACTICES TO COMPLY WITH THE CITY OF WAUKESHA, WISCONSIN DNR AND THE WISCONSIN DNR TECHNICAL STANDARDS.

B. DISTURBED AREAS SHALL BE TOPSOILED (4" THICK), SEEDS AND MULCHED OR SOODED (SEE LANDSCAPE PLAN).

C. TEMPORARY STABILIZATION IS REQUIRED FOR ANY AREA LEFT INACTIVE FOR MORE THAN SEVEN DAYS. TOPSOIL AND SPILL STOCKPILES SHALL BE SEEDS AND MULCHED WITHIN 7 DAYS OF LAYUP USING AGRICULTURAL RYE WITH A SEEDING RATE OF 3 LBS/1000 SQUARE FEET. INSTALL SILT FENCE ON THE DOWNSLOPE SIDE OF THE PILE TO REDUCE SEDIMENT RUNOFF.

D. ALL CONSTRUCTION TRAFFIC IS TO ENTER/EXIT THE SITE OVER THE TRACKING PAD FROM FOX RUN BOULEVARD. THE TRACKING PAD IS PER WISCONSIN DNR TECHNICAL STANDARD 1057. ALL PRIVATE AND PUBLIC STREETS ARE TO BE KEPT CLEAN AT ALL TIMES. NO CONSTRUCTION ACCESS FROM ANY OTHER PUBLIC ROADS.

E. THE PERMANENT SEED MIXTURE SHALL BE WISCONSIN DOT SEED MIXTURE NO. 40 AND SOWN AT THE RATE OF 4 LBS/1000 SQ. FT. SEED MIXTURE NO. 40 CONSISTS OF 35% KENTUCKY BLUEGRASS, 20% RED FESCUE, 20% HARD FESCUE AND 25% IMPROVED FINE PERENNIAL RYEGRASS. THE TEMPORARY SEED MIX SHALL BE WINTER WHEAT.

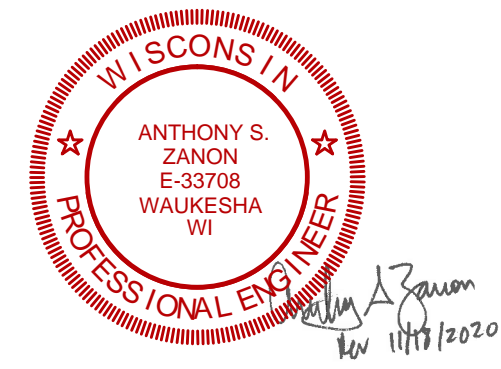
F. FERTILIZE SOIL WITH 10 LBS/1000 SQ. FT. OF 20-0-10 FERTILIZER.

G. ANY DEWATERING THAT MAY BE REQUIRED DUE TO CONSTRUCTION SHALL BE COMPLETED SO THAT THE WATER IS PUMPED INTO A TYPE II GEOTEXTILE BAG ON THE UPSLOPE SIDE OF THE SILT FENCE. THE GEOTEXTILE BAG SHOULD BE PLACED IN A LOCATION THAT ALLOWS THE DISCHARGED WATER TO FLOW OVER A VEGETATIVE COVER. FOLLOW WISCONSIN DNR TECHNICAL STANDARD 1053.

H. ALL BUILDING AND WASTE MATERIAL SHALL BE DISPOSED OF OFF SITE TO PREVENT RUNOFF OF MATERIAL.

I. DUST CONTROL SHOULD BE ADDRESSED PER WISCONSIN DNR TECHNICAL STANDARD 1068. AT A MINIMUM USE WATER. USE POLYMERS, TACKIFIER AND SOIL STABILIZERS IF NEEDED. INSPECT DAILY TO DETERMINE THE NEED TO IMPLEMENT A CONTROL.

J. CONCRETE TRUCKS, IF NEEDED, ARE TO BE WASHED OUT IN PAVEMENT SUB-BASE AREAS.



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