



City of Waukesha Application for Development Review

Last Revision
Date:
February 2024

City of Waukesha Community Development Department - 201 Delafield Street, Waukesha, WI 53188 262-524-3750
City of Waukesha Department of Public Works Engineering Division—201 Delafield Street, Waukesha, WI 53188 262-524-3600
www.waukesha-wi.gov

APPLICANT INFORMATION

Applicant Name: Stephen Siodlarz / Nicole Jensen _____
Applicant Company Name: Waukesha County _____
Address: 515 W. Moreland Blvd., Rm AC230 _____
City, State: Waukesha, WI _____ Zip: 53188 _____
Phone: 262-548-7793 / 262-548-7805 _____
E-Mail: ssiodlarz@waukesha.wi.gov / njensen@waukesha.wi.gov _____

PROPERTY OWNER INFORMATION

Applicant Name: Stephen Siodlarz / Nicole Jensen _____
Applicant Company Name: Waukesha County _____
Address: 515 W. Moreland Blvd. _____
City, State: Waukesha, WI _____ Zip: 53188 _____
Phone: 262-548-7793 / 262-548-7805 _____
E-Mail: ssiodlarz@waukesha.wi.gov / njensen@waukesha.wi.gov _____

ARCHITECT/ENGINEER/SURVEYOR INFORMATION

Name: _____
Company Name: Keeper Goals _____
Address: 12400 Silver Spring Dr. _____
City, State: Butler, WI _____ Zip: 53007 _____
Phone: _____
E-Mail: _____

PROJECT & PROPERTY INFORMATION

Project Name: Moor Downs Infrastructure Improvement _____
Property Address: 438 Prospect Avenue / 615 W. Moreland Blvd. _____
Tax Key Number(s): WAKC1000982, WAKC1000983, WAKC1000984 _____
Zoning: I-1, P-1, B-1 _____
Total Acreage: 98.7 _____ Existing Building Square Footage: 312,740 _____
Proposed Building/Addition Square Footage: N/A _____
Current Use of Property: Government, Golf Course, Wellness Center _____

PROJECT SUMMARY (Please provide a brief project description.)

Moor Downs Golf Course Infrastructure Improvements: 1) 360 lineal feet of 30' high protective netting and 2) 1,500 square feet of pavement for cart staging.

All submittals require a complete scaled set of digital plans (Adobe PDF) and shall include a project location map showing a 1/2 mile radius, a COLOR landscape plan, COLOR building elevation plans, and exterior lighting photometric maps and cut sheets. A pre-application meeting is required prior to submittal of any applications for Subdivisions, Planned Unit Developments, and Site and Architectural Plan Review. **The deadline for all applications requiring Plan Commission Reviews is Monday at 4:00 P.M, 30 days prior to the meeting date. The Plan Commission meets the Fourth Wednesday of each month.**

APPLICATION ACKNOWLEDGEMENT AND SIGNATURES

I hereby certify that I have reviewed the City of Waukesha Development Handbook, City Ordinances, Submittal Requirements and Checklists and have provided one PDF of all required information. Any missing or incomplete information may result in a delay of the review of your application. By signing this I also authorize The City of Waukesha or its agents to enter upon the property for the purpose of reviewing this application.

Applicant Signature SS _____
Applicant Name (Please Print) Stephen Siodlarz / Nicole Jensen _____
Date: February 23, 2024 _____

For Internal Use Only:
Amount Due (total from page 3): _____ Amount Paid: _____ Check #: _____
Trakit ID(s) _____ Date Paid: _____

Naming Conventions for Plan Commission Files/Submissions

Digital files submitted for Plan Commission will need to be labeled with one of the naming conventions below. For example, if the applicant is submitting a plan for landscaping on a project, **please label the PDF as Landscape Plan followed by the business name, address and date (month and year)** Files that do not have names or only include PDF numbers will be returned to the applicant to rename.

Community Development

- Elevations and Architectural Plans– **Project Name, address**
- Site Plans
- Landscape Plans
- Plan Commission Application
- Renderings
- Certified Survey Map– CSM
- Lighting and Photometrics
- Signs
- PUD
- Easements
- Rezoning
- Preliminary Plat
- Final Plat

Engineering & Other Departments

- Site Engineering and grading
- Stormwater Management Plan
- Traffic Study
- Erosion Control
- Wetland Delineation
- Utility Plans
- Flood Plain
- Maintenance Agreements
- Development Review Checklist

Example: **Site Plans– City of Waukesha City Hall Project, 201 Delafield Street, July 12, 2023**

City of Waukesha Application for Development Review

TYPE OF APPLICATION & FEES (CHECK ALL THAT APPLY) Please note that each application type has different submittal requirements. Detailed submittal checklists can be found in Appendix A of the Development Handbook.

FEES

- Plan Commission Consultation **\$200** _____
 - Traffic Impact Analysis _____
 - Commercial, Industrial, Institutional, and Other Non-Residential **\$480**
 - Residential Subdivision or Multi-Family **\$480**
 - Resubmittal (3rd and all subsequent submittals) **\$480**
- ONE OF THE THREE FOLLOWING ITEMS IS REQUIRED FOR SITE PLAN & ARCHITECTURAL REVIEWS (*):**
- * **Preliminary Site Plan & Architectural Review** _____
 - Level 1: Buildings/additions less than 10,000 sq.ft. or sites less than 1 acre **\$2,200**
 - Level 2: Buildings/additions between 10,001-50,000 sq.ft. or sites between 1.01 and 10 acres **\$2,320**
 - Level 3: Buildings/additions between 50,001-100,000 sq.ft. or sites between 10.01 and 25 acres **\$2,440**
 - Level 4: Buildings/additions over 100,001 sq.ft. or sites greater than 25.01 acres. **\$2,560**
 - Resubmittal Fees (after 2 permitted reviews) **\$750**
 - * **Final Site Plan & Architectural Review** _____
 - Level 1: Buildings/additions less than 10,000 sq.ft. or sites less than 1 acre **\$1,320**
 - Level 2: Buildings/additions between 10,001-50,000 sq.ft. or sites between 1.01 and 10 acres **\$1,440**
 - Level 3: Buildings/additions between 50,001-100,000 sq.ft. or sites between 10.01 and 25 acres **\$1,560**
 - Level 4: Buildings/additions over 100,001 sq.ft. or sites greater than 25.01 acres. **\$1,680**
 - Resubmittal Fees (3rd and all subsequent submittals) **\$750** **\$330**
 - * **Minor Site Plan & Architectural Review (total site disturbance UNDER 3,000 total square feet)** _____
 - Projects that do not require site development plans **\$330**
 - Resubmittal Fees (3rd and all subsequent submittals) **\$330**
 - Certified Survey Map (CSM) _____
 - 1-3 Lots **\$500**
 - 4 lots or more **\$560**
 - Resubmittal (3rd and all subsequent submittals) **\$180**
 - Extra-territorial CSM **\$260**
 - Preliminary Subdivision Plat (Preliminary Site Plan Review is also required.) _____
 - Up to 12 lots **\$1,270**
 - 13 to 32 lots **\$1,390**
 - 36 lots or more **\$1,510**
 - Resubmittal (3rd and all subsequent submittals) **\$630**
 - Final Subdivision Plat (Final Site Plan Review is also required.) _____
 - Up to 12 lots **\$660**
 - 13 to 32 lots **\$780**
 - 36 lots or more **\$900**
 - Resubmittal (3rd and all subsequent submittals) **\$480**
 - Extra-territorial Plat **\$540**
 - Rezoning and/or Land Use Plan Amendment _____
 - Rezoning **\$630**
 - Land Use Plan Amendment: **\$630**
 - Conditional Use Permit _____
 - Conditional Use Permit with no site plan changes **\$480**
 - Conditional Use Permit with site plan changes **\$480** plus applicable preliminary and final site plan fees above _____
 - Planned Unit Development or Developer's Agreement (Site Plan Review is also required) _____
 - New Planned Unit Development or Developer's Agreement **\$1,760**
 - Planned Unit Development or Developer's Agreement Amendment **\$610**
 - Annexation **NO CHARGE**
 - House/Building Move **\$150**
 - Street or Alley Vacations **\$150**

TOTAL APPLICATION FEES:

\$330

City of Waukesha

Development Review Submittal Requirements

PLAN COMMISSION CONSULTATION SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

A Plan Commission Consultation may be submitted for review and comment for the owner/developer to ascertain the feasibility of a proposed project. A consultation is not required but may be submitted in advance of an actual submittal for a preliminary plat, CSM, Planned Unit Development, rezoning, conditional use or site plan. The Plan Commission will only provide feedback, no approvals will be given. Prior to applying for a Plan Commission Consultation you must discuss your project with the Planning Division to determine if a Plan Commission Consultation is recommended.

Review Time: Approximately 30 days

Reviewing Departments: Community Development Planning Division, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission (optional)

In addition to this application and corresponding application fee you will also need:

- One (1) digital (PDF) copy of the plans you want conceptual review of
- Attachment A: Development Review Checklist. You should also review all other corresponding checklists that relate to the project that you are seeking conceptual review of and include as much information as possible.
- Cover letter outlining project details.

TRAFFIC IMPACT ANALYSIS SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

A Traffic Impact Analysis is required for projects that meet certain criteria. Please refer to the Developer's Handbook Section 4.4 to determine if your project requires a Traffic Impact Analysis

Review Time: Approximately 30 days

Reviewing Departments: Public Works Engineering Division

Reviewing Boards: None, however the Plan Commission may require a copy as part of site plan review process.

In addition to this application and corresponding application fee you will also need:

- One (1) digital (PDF) copy of the Traffic Impact Analysis

PRELIMINARY SITE PLAN & ARCHITECTURAL REVIEW SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

Preliminary site and architectural plans are required for any new residential development with 4 or more units and all non-residential developments. Preliminary site plan approval is also required for additions or modifications to existing developments and projects where a stormwater management plan is needed. Preliminary approval is required unless it is determined by City staff in the Pre-Application meeting that the project only needs Final Site and Architectural Review.

Review Time: Approximately 30 days (45 if Common Council review is needed)

Reviewing Departments: Community Development Planning Division, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission. Common Council and Board of Public Works review may be required for certain projects.

In addition to this application and corresponding application fee you will also need:

- One (1) digital (PDF) that includes of items listed below
 - Cover letter outlining project details.
 - Color architectural elevations of all sides of the building and color perspective renderings
 - Conceptual Landscape Plan
 - Attachment A: Development Review Checklist
 - Site Plan (see Attachment B: Engineering Plan Checklist)
 - Grading Plan (see Attachment C: Site Grading and Drainage Plan Checklist)
 - Stormwater Management Plan (see Attachment D: Stormwater Management Plan Checklist)
 - Utility Plans (see Attachment H: Sewer Plan Review Checklist)
 - Any other attachments as applicable.

FINAL SITE PLAN & ARCHITECTURAL REVIEW PLAN SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

Final site and architectural plans are submitted only after the Plan Commission has approved Preliminary Site Plans for any new residential development with 4 or more units and all non-residential developments, including modifications to existing developments. Some projects may bypass Preliminary approval but only if it is determined by City staff in the Pre-Application meeting.

Review Time: Approximately 30 days (45 if Common Council review is needed)

Reviewing Departments: Community Development Planning Division, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission. Common Council and Board of Public Works review may be required for certain projects.

In addition to this application and corresponding application fee you will also need:

- One (1) digital (PDF) that includes of items listed below
 - Cover letter outlining project details.
 - Color architectural elevations of all sides of the building and color perspective renderings
 - Landscape Plan (see Attachment I: Landscape Plan Checklist)
 - Attachment A: Development Review Checklist
 - Site Plan (see Attachment B: Engineering Plan Checklist)
 - Grading Plan (see Attachment C: Site Grading and Drainage Plan Checklist)
 - Stormwater Management Plan (see Attachment D: Stormwater Management Plan Checklist)
 - Utility Plans (see Attachment H: Sewer Plan Review Checklist)

MINOR SITE PLAN & ARCHITECTURAL REVIEW SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

Minor Site and Architectural review is intended for projects that may not need the extensive submittal requirements for Preliminary and Final Site Plan approval. Projects that qualify for Minor Site Plan submittal may include landscape, façade and building changes or minor site modifications that don't result in the addition of impervious surface.

Review Time: Approximately 30 days (45 if Common Council review is needed)

Reviewing Departments: Community Development Planning Division, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission. Common Council and Board of Public Works review may be required for certain projects.

In addition to this application and corresponding application fee you will also need:

- One (1) digital (PDF) that includes of items listed below
 - Cover letter outlining project details.
 - Architectural elevations of all sides of the building being modified
- In addition, depending on the type of project, you may also need the following items:
 - Site Plan (see Attachment B: Engineering Plan Checklist)
 - Landscape Plan (see Attachment I: Landscape Plan Checklist)

CERTIFIED SURVEY MAP SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

A Certified Survey Map may be used to divide up to eight (8) lots in Commercial, Industrial, and Mixed Use zoning districts and up to four (4) lots in all other zoning districts.

Review Time: Approximately 45-60 days. An extension letter will be required if the approval process will take more than 90 days.

Reviewing Departments: Community Development Planning Division, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission. Common Council and Board of Public Works review may be required for certain projects.

In addition to this application and corresponding application fee you will also need:

- One (1) digital (PDF) that includes of items listed below
 - Attachment E: Certified Survey Map Checklist
 - Attachment A: Development Review Checklist and other attachments as applicable.

**Please note If any exterior architectural, landscape, or site plan changes are required you must also go through Site Plan Review and meet all of those submittal requirements.*

PRELIMINARY PLAT SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

A Preliminary Plat shall be used to subdivide land in the City. The applicant is responsible for submitting the Preliminary Plat to Waukesha County and the State of Wisconsin for review.

Review Time: Approximately 45-60 days. An extension letter will be required if the approval process will take more than 90 days.

Reviewing Departments: Community Development Planning Division, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission. Common Council and Board of Public Works review may be required for certain projects.

In addition to this application and corresponding application fee you will also need:

- One (1) digital (PDF) that includes of items listed below
 - Attachment F: Preliminary Plat Checklist
 - Cover letter outlining project details.
 - Attachment A: Development Review Checklist and other attachments as applicable
 - Stormwater Management Plan (see Attachment D: Stormwater Management Plan Checklist)

FINAL PLAT SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

A Final plat shall be used to subdivide land in the City. The applicant is responsible for submitting the Final Plat to Waukesha County and the State of Wisconsin for review.

Review Time: Approximately 45-60 days. An extension letter will be required if the approval process will take more than 90 days.

Reviewing Departments: Community Development Planning Division, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission. Common Council and Board of Public Works review may be required for certain projects.

In addition to this application and corresponding application fee you will also need:

- One (1) digital (PDF) that includes of items listed below
 - Attachment G: Final Plat Checklist
 - Cover letter outlining project details.
 - Attachment A: Development Review Checklist and other attachments as applicable.
 - Stormwater Management Plan (see Attachment D: Stormwater Management Plan Checklist)

REZONING & COMPREHENSIVE PLAN AMENDMENT SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

This review is for any requests to rezone land or amend the City’s Comprehensive Master Plan. For rezonings all property owners within 300 feet of the property will be notified of your request.

Review Time: 45-60 Days

Reviewing Departments: Community Development Planning & Building Inspection Divisions, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission, Common Council

Additional Information: Rezonings must be done in accordance with the Comprehensive Plan. Please consult with Planning staff to determine if a Comprehensive Plan Amendment is also required prior to submitting a rezoning application.

In addition to this application and corresponding application fee you will also need:

- One (1) digital (PDF) that includes of items listed below
 - Cover letter outlining project details and rationale for rezoning
 - Rezoning Form including legal description and notarized owner(s) signatures (rezoning applications only)
 - Conceptual Plan (if applicable)

**Please note this application fee only covers the rezoning and/or Comprehensive Plan Amendment. If you are proposing site plan changes or are subdividing land you will also need to meet the applicable submittal requirements for those proposals.*

CONDITIONAL USE PERMIT SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

Any use listed as a Conditional Use in Chapter 22 (Zoning Code) requires a Public Hearing in front of the Plan Commission prior to building or occupancy permits being issued. All property owners within 300 feet of the property will be notified of your request.

Review Time: 30-45 days

Reviewing Departments: Community Development Planning & Building Inspection Divisions, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission

In addition to this application and corresponding application fee you will also need:

- One (1) digital (PDF) that includes of items listed below
 - Conditional Use Permit Application

**Please note If any exterior architectural, landscape, or site plan changes are required you must also go through Site Plan Review and meet all of those submittal requirements.*

PLANNED UNIT DEVELOPMENT OR DEVELOPER'S AGREEMENT SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

The PUD Overlay District is intended to permit development that will, over a period of time, be enhanced by coordinated area site planning, diversified location of structures, diversified building heights and types, and/or mixing of compatible uses. The PUD Overlay District under this Chapter will allow for flexibility of overall development design with benefits from such design flexibility intended to be derived by both the developer and the community, while at the same time maintaining insofar as possible the standards or use requirements set forth in the underlying basic zoning district.

Developer's Agreements are used for any project that require public infrastructure improvements (sewer, storm sewer, sidewalks, etc) and other off-site improvements such as median openings, traffic signals, street widening, etc..

Review Time: 45-60 days

Reviewing Departments: Community Development Planning & Building Inspection Divisions, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission, Common Council. Some projects will also require Board of Public Works review.

In addition to this application and corresponding application fee you will also need:

- One (1) digital (PDF) that includes of items listed below
 - Cover letter/statement that outlining project details and all of the required information set forth in the Zoning Ordinance Section 22.52 (4)(a)
 - Rezoning Form including legal description and notarized owner(s) signatures (rezoning applications only)
 - General Development Plan
 - Proposed Supplemental Design Elements (required for all PUDs under the minimum required acreage)

**Please note in addition to the PUD submittal requirements your project will also need additional application fees and submittal materials based on the project type. This may include Preliminary and Final Plats, Preliminary and Final Site and Architectural Plans, Certified Survey Maps, Traffic Impact Analysis. Staff will inform you of any additional submittal requirements at the Pre-Application meeting, which is required prior to submitting your application.*

ANNEXATION SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

Requests for annexation as permitted under Section 66.0217 Wisconsin Statutes.

Review Time: 45-60 days

Reviewing Departments: Community Development Planning & Building Inspection Divisions, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission, Common Council

In addition to this application and corresponding application fee you will also need:

- One (1) digital (PDF) that includes of items listed below
 - Copy of your State of Wisconsin Request for Annexation Review Application
 - Signed City of Waukesha Direct Annexation Petition
 - Map of property of property to be annexed.
 - A boundary description (legal description of property to be annexed)
 - Any additional information on the annexation.

HOUSE/BUILDING MOVE SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

Any application to move a home or building from one location to another in the City requires review by staff and the Plan Commission.

Review Time: 30-45 days

Reviewing Departments: Community Development Planning & Building Inspection Divisions, Public Works Engineering Division, Fire Department, Water Utility, Police Department, Any affected Public Utilities

Reviewing Boards: Plan Commission

In addition to this application and corresponding application fee you will also need:

- One (1) digital (PDF) that includes of items listed below
 - Address of existing structure and address of final destination for structure
 - Site Plan showing location of house/building at the new location
 - Proposed route for moving structure. Should also include any overhead wires, mailboxes, or other obstructions that will need to be temporarily relocated to allow for the house/building to get to the new site.

STREET VACATIONS

Street Vacations must be reviewed and approved by the Plan Commission.

Review Time: 45-60 days

Reviewing Departments: Community Development Planning & Building Inspection Divisions, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission, Common Council

In addition to this application and corresponding application fee you will also need:

- One (1) digital (PDF) that includes a map and legal description of the areas to be vacated.



Waukesha County

Department of Parks and Land Use

City of Waukesha
201 Delafield Street
Waukesha, WI 53188

Plan Commission,

Waukesha County is requesting Development Review through a Minor Site Plan submittal for our Moor Downs Golf Course Infrastructure Improvement project that consists of two separate sites within the golf course and on adjacent Waukesha County government properties:

Site 1 – Protective Netting: Project Manager: Stephen Siodlarz

The purpose of this project is to provide a safer environment to the employees and patrons of the Waukesha Employee Health and Wellness Clinic, located at 615 W. Moreland Boulevard, which is adjacent to the fifth hole of Moor Downs Golf Course, located at 438 Prospect Avenue. The proposed project will install 360 lineal feet of protective netting system to a height of 30 vertical feet above the existing grade. Seven posts, direct buried into concrete foundations, will divide the netting system into six sections 60 feet in length. The netting system will extend across three properties owned by Waukesha County: the government center (WAKC1000982, Zoned I-1), Moor Downs Golf Course (WAKC1000983, Zoned P-1), and the wellness center (WAKC1000984, Zoned B-1).

Posts:

- 10" SCH 40 (10.750" O.D. x 0.365" Wall) Steel Pipe (A500C, Fy=50 KSI)
- Powder-coated Black finish

Netting:

- 930 Polyester Netting
- 1" square mesh, knotless, black, 116 LB break strength

Netting Skirt (at bottom):

- 2'-6" high, 930 Polyester, 1" square mesh with chain weight

Foundations:

- 36" diameter, reinforced, concrete drilled piers

Netting system posts and foundations designed to withstand 105 MPH (ASCE 7-10) wind event (Occupancy CAT. 1, Exposure C)

Site 2 – Golf Cart Staging Area: Project Manager: Nicki Jensen

The purpose of this project is to provide a more sustainable surface for storage of golf carts. The add alternate projects have the same purpose for walking carts and golf bags. This project is located on the west side of the golf course property, across the drive from the clubhouse- 438 Prospect Ave, Waukesha, WI 53188. The proposed project will include the grading and preparation for, and placement of, approximately 1500 sf of paved surface as the base bid for the project. The alternates will add approximately 204 sf of paved surface to the project should budget allow.

Park System



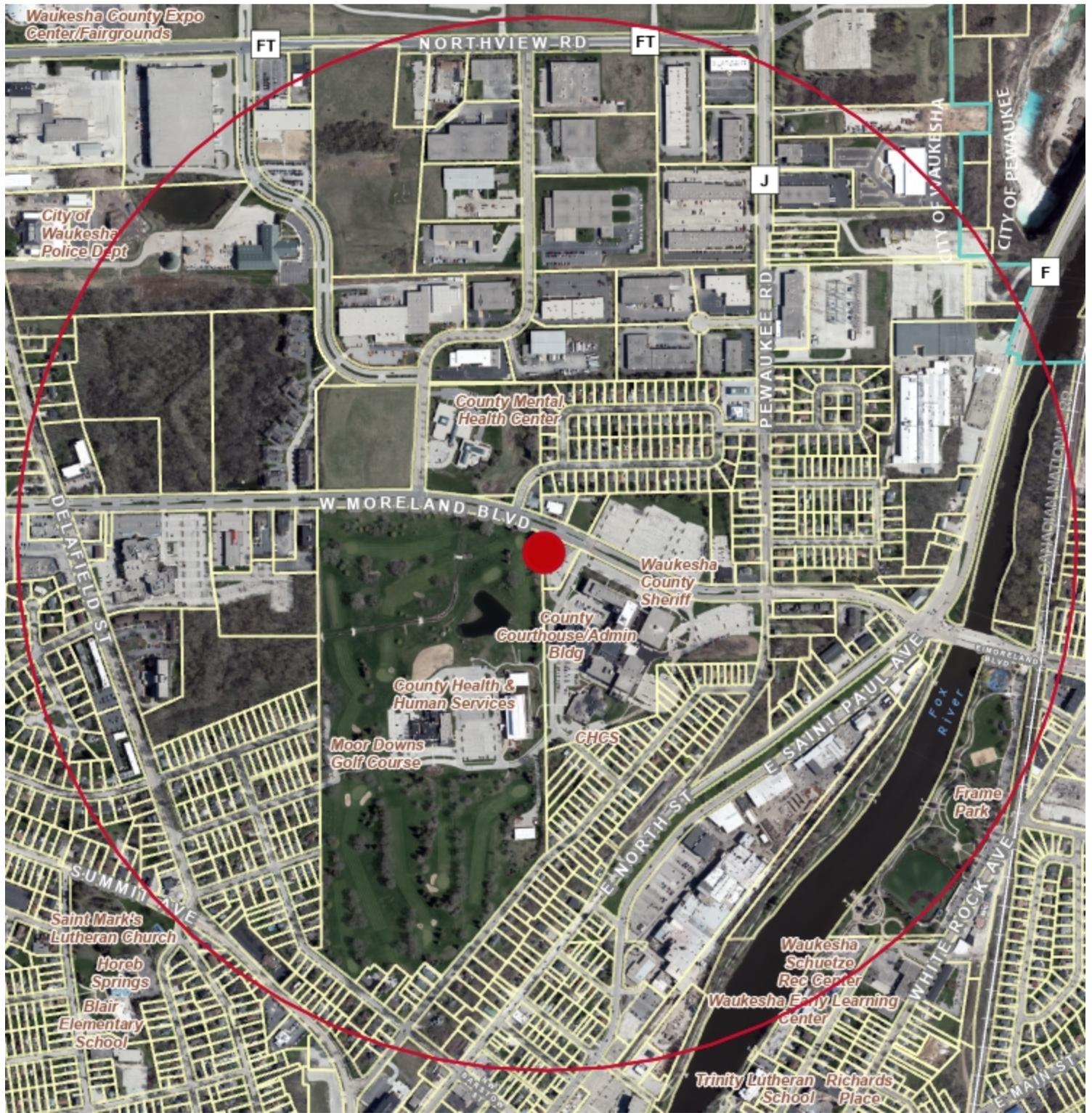
A tree will also be planted as part of the project, to replace a tree that needs to be removed for site preparation. The proposed project will be constructed entirely on Waukesha County – Moor Downs Golf Course property. We submit the enclosed materials to fulfill the requirements of the Minor Site Plan and Architectural Review. If there is additional information that is required, please let us know. Thank you in advance for your assistance.

Sincerely,

Stephen Siodlarz, Senior Landscape Architect
 Waukesha County Parks and Land Use
 515 W. Moreland Blvd, Room AC230
 Waukesha, WI 53188

Nicki Jensen, Senior Landscape Architect
 Waukesha County Parks and Land Use
 515 W. Moreland Blvd, Room AC230
 Waukesha, WI 53188

Project Location Map



0 818.77 Feet

Notes: 1/2 Mile Radius

The information and depictions herein are for informational purposes and Waukesha County specifically disclaims accuracy in this reproduction and specifically admonishes and advises that if specific and precise accuracy is required, the same should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means. Waukesha County will not be responsible for any damages which result from third party use of the information and depictions herein, or for use which ignores this warning.



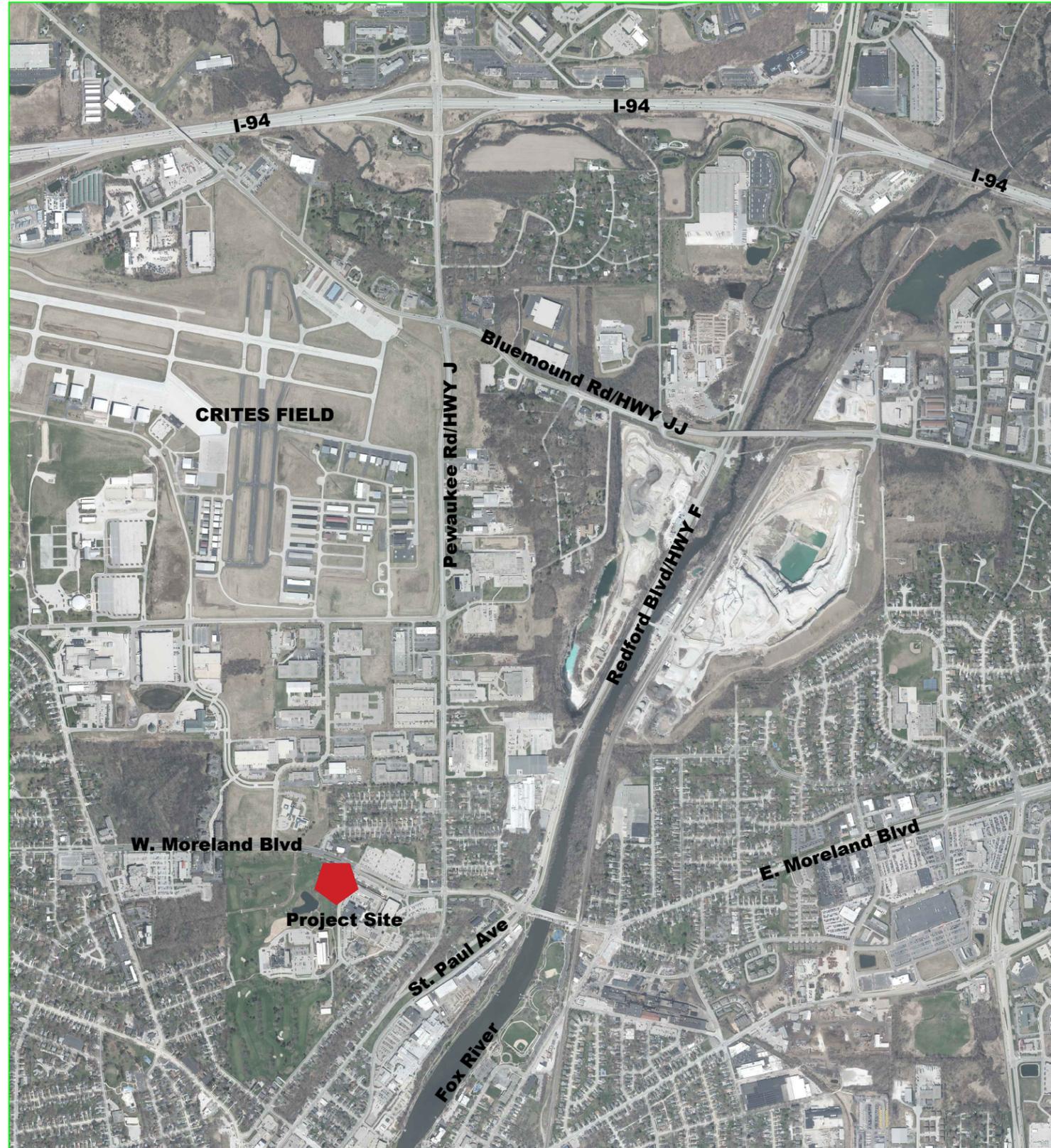
PROTECTIVE NETTING SYSTEM MOOR DOWNS GOLF COURSE WAUKESHA COUNTY PLU #24-02 February 27, 2024

Owner:
Waukesha County
515 W. Moreland Blvd
Waukesha, WI 53188

Engineer:
Keeper Goals
12400 Silver Spring Dr
Butler, WI 53007

Site Address:
615 W. Moreland Blvd
Waukesha, WI 53188

SHEET NUMBER	DRAWING TITLE
1	TITLE SHEET/SITE LOCATION
2	SITE PLAN
E1	LAYOUT/ELEVATION PLAN
CD1	CABLE DETAILS
5/6	NETTING DETAILS



Waukesha County Department of Parks and Land Use



Waukesha County
Park System
515 W. Moreland Blvd AC230 Waukesha, WI 53188
P: (262) 548-7790 F: (262) 896-8071
www.waukeshacountyparks.com

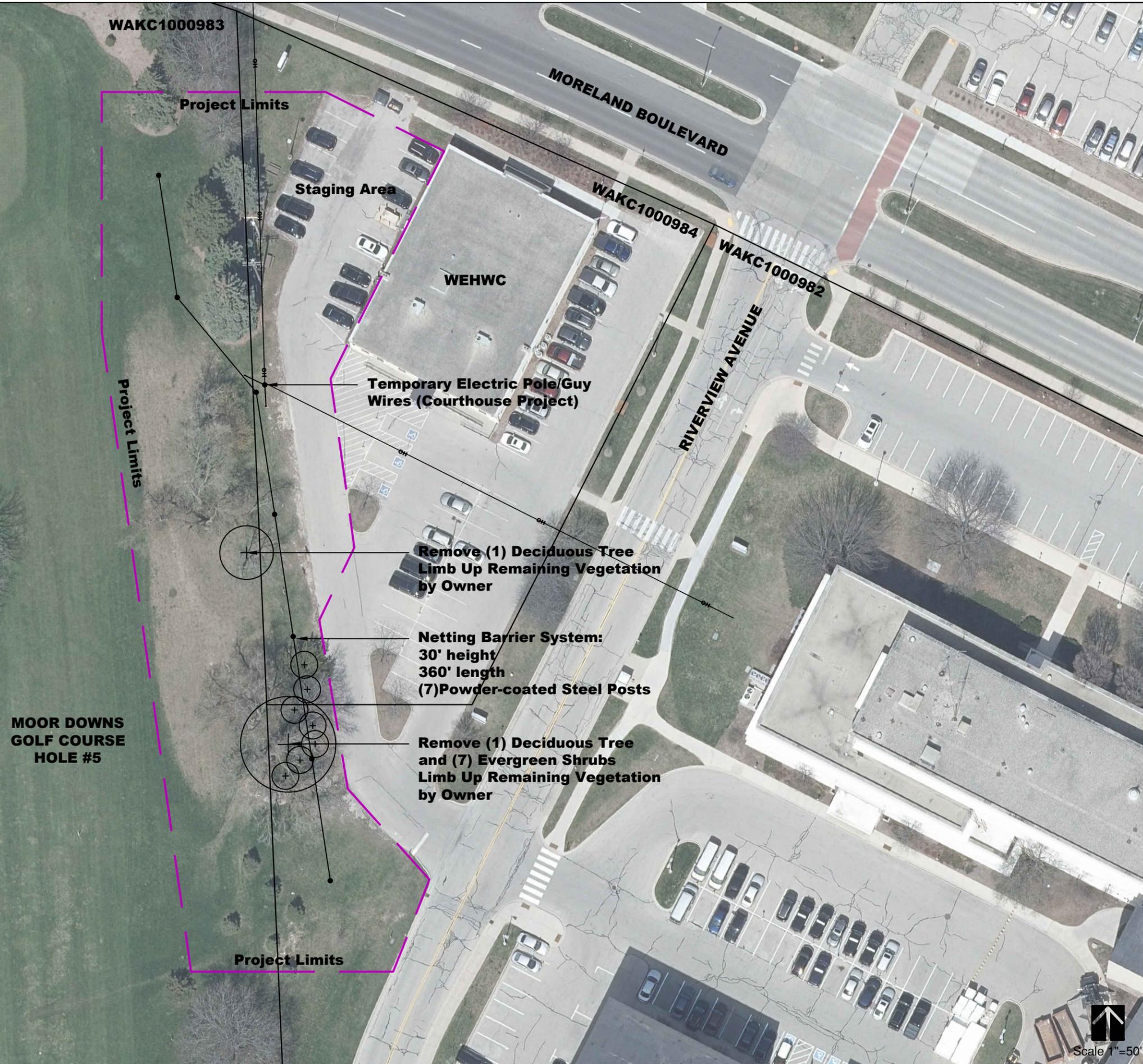
PROTECTIVE NETTING SYSTEM
MOOR DOWNS GOLF COURSE
TITLE/SITE LOCATION

Date: 2/27/2024
Drawn by:
Checked by:
Revisions Date

Project No.
PLU #24-02

Sheet No.
1

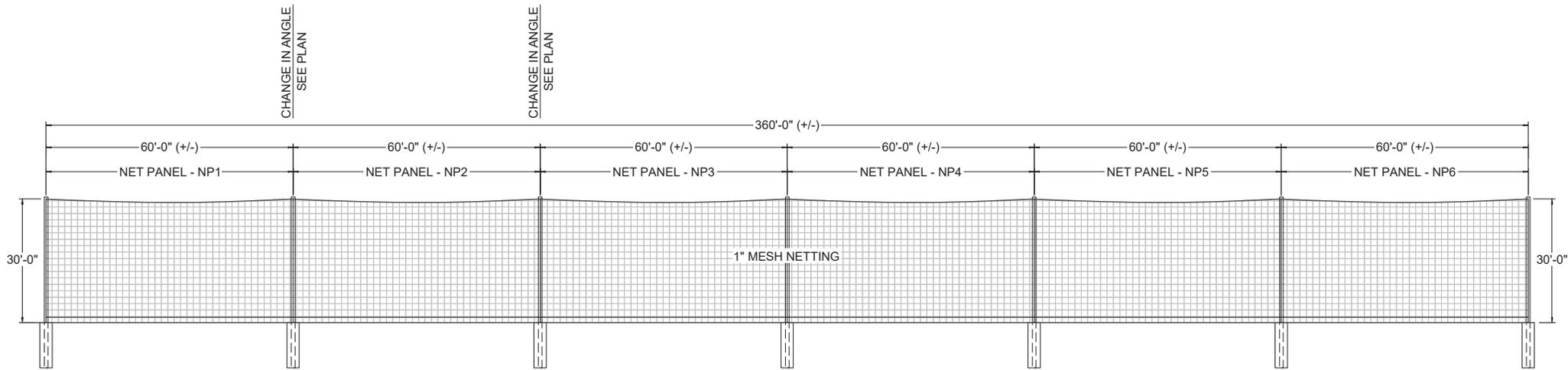
- PLAN NOTES:**
1. THE CONTRACTOR SHALL KEEP ALL PUBLIC STREETS, DRIVEWAYS, PARKING LOT, AND PATHWAYS CLEAR OF DEMOLITION AND CONSTRUCTION RELATED DIRT/DEBRIS.
 2. ALL DEBRIS FROM CONSTRUCTION SHALL BE TAKEN OFFSITE AND DISPOSED OF PROPERLY. MATERIALS SHALL NOT BE STOCKPILED ON SITE.
 3. THE CONTRACTOR SHALL SUPPLY AND BE RESPONSIBLE FOR MAINTAINING ANY AND ALL TRAFFIC CONTROL DEVICES DURING CONSTRUCTION OPERATIONS WITHIN OR NEAR THE PUBLIC ROADWAY.
 4. ANY DAMAGE TO COUNTY OWNED PROPERTY DURING CONSTRUCTION OPERATIONS WILL REQUIRE RESTORATION TO PRE-CONSTRUCTION CONDITIONS. THE CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL COSTS ASSOCIATED WITH THESE RESTORATIONS.
 5. WISCONSIN STATUTE 182.0175 (1974) REQUIRES A MINIMUM OF 3 WORK DAYS NOTICE TO DIGGER'S HOTLINE BEFORE YOU EXCAVATE.
 6. CONTRACTOR WILL BE ALLOWED TO PARK IN THE STAGING AREA AS SHOWN. CONTRACTOR WILL BE RESPONSIBLE FOR BARRICADING THE AREA AS NECESSARY AND PROTECTING THE AREA FROM ANY DAMAGE.
 7. TREE CLEARING PRIOR TO CONSTRUCTION BY WAUKESHA COUNTY PARKS.
 8. ALL WORK WITHIN PUBLIC RIGHT-OF-WAY OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH ANY APPLICABLE WISCONSIN STATE CODES AND STANDARDS OR PUBLIC WORKS DEPARTMENT REQUIREMENTS. ANY DAMAGES TO PUBLIC PROPERTY MUST BE REPAIRED IN KIND AT THE EXPENSE OF THE CONTRACTOR.
 9. ALL CONSTRUCTION AND SITE WORK MUST BE PERFORMED TO THE COUNTY ORDINANCES AND SPECIFICATIONS.



Waukesha Co. CADD Sheet - NEW-ENGLISH-PLAN-PROOF Drawing File: 2024-02-27 MDC Netting Barrier.dwg

**NETTING BARRIER SYSTEM
MOOR DOWNS GOLF COURSE
SITE PLAN**

Date: 2/27/2024
 Drawn by:
 Checked by:
 Revisions Date



BARRIER NETTING ELEVATION

- NETTING: 930 POLYESTER NETTING - 1" SQUARE MESH, KNOTLESS, BLACK, 116 LB BREAK STRENGTH
- NETTING SKIRT AT BOTTOM: 2'-6" HIGH, 930 POLYESTER - 1" SQUARE MESH WITH CHAIN WEIGHT

- PROPOSED POSTS: 10" SCH 40 (10.750" O.D. x 0.365" WALL) STEEL PIPE (A500C, Fy = 50 KSI), DIRECT BURY INTO FOUNDATION, POWDER COATED BLACK FINISH

- PROPOSED FOUNDATIONS: 36" DIAMETER, REINFORCED, CONCRETE DRILLED PIERS

NETTING SYSTEM POSTS AND FOUNDATIONS DESIGNED (STAMPED BY WI P.E.) TO WITHSTAND 105 MPH (ASCE 7-10) WIND EVENT (OCCUPANCY CAT I, EXPOSURE C)

*** SIZES OF NETTING POLES AND FOUNDATIONS WILL BE DETERMINED ONCE SOIL BORINGS ARE PERFORMED AND A GEOTECHNICAL REPORT WITH DESIGN RECOMMENDATIONS IS PROVIDED. ***



Keeper Goals, A Division of D & P Parts, Inc.
 12400 Silver Spring Drive, Butler, Wisconsin 53007
 800-594-5126 | 262-781-7800 | Fax: 262-781-9230
 info@keepergoals.com
 www.keepergoals.com

Moor Downs Golf Course - Barrier Netting

FILE: Cad Drawings Shared\Back-up netting\Moor Downs Golf Course

INFO: Layout and Elevation

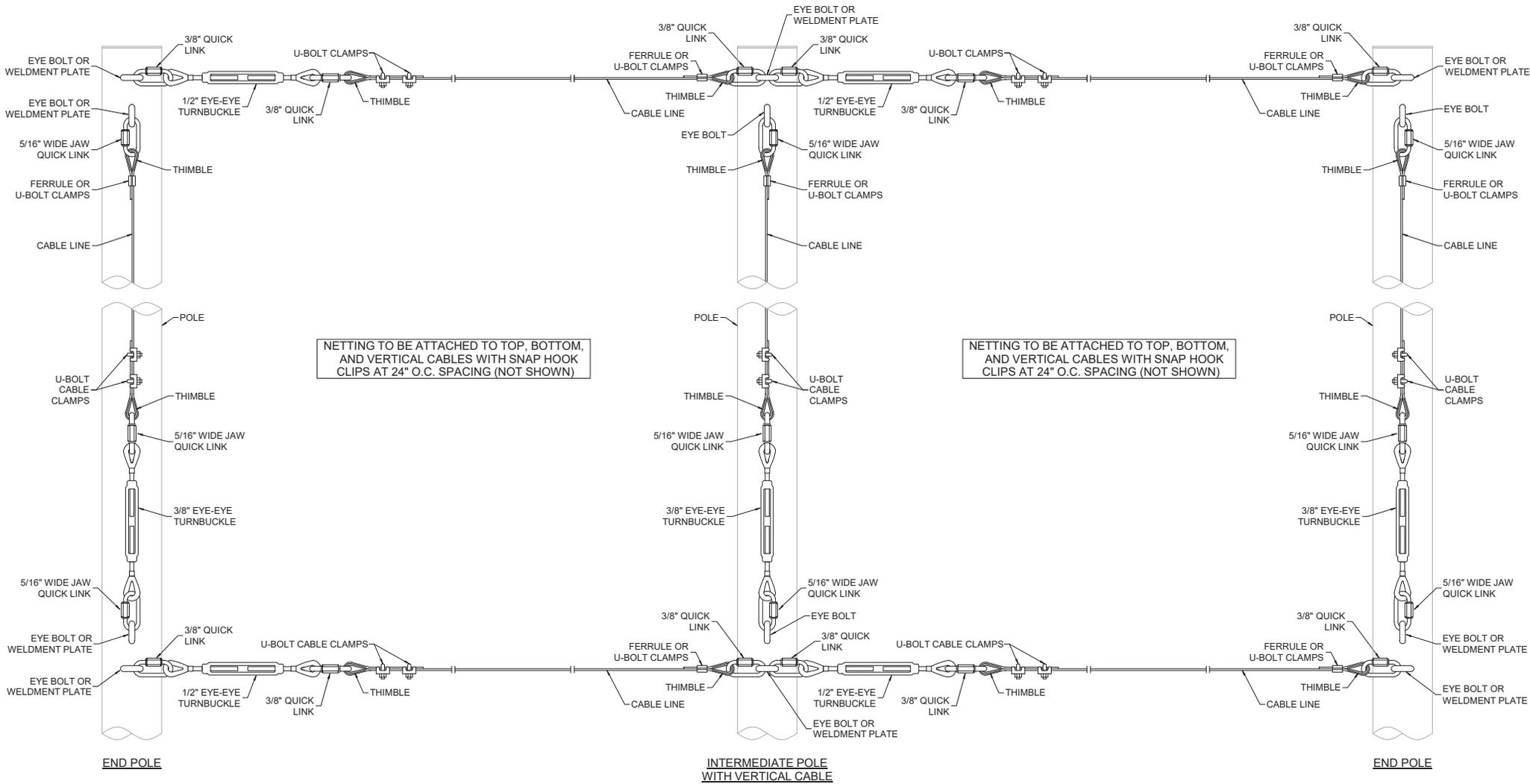
DATE: 01-19-2024

DRAWN BY: CJB

SHEET

E1

Drawing Not To Scale



CABLE ASSEMBLIES

Keeper Goals, A Division of D & P Parts, Inc.
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Moor Downs Golf Course - Barrier Netting

FILE: Cad Drawings Shared\Back-up netting\Moor Downs Golf Course

INFO: Cable Details

DATE: 01-19-2024

DRAWN BY: CJB

SHEET

CD1

Drawing Not To Scale

#930 POLYESTER NETTING

Redden Nets #930

Golf Range Netting System Specifications

Component Specification/Tolerance

Netting Component

- Redden Nets #930 polyester netting, 1" mesh
- Long stitch knotless join
- U.V. treated yarn
- Resin dye and bonding treatment
- 116.7 lb. average single mesh break strength¹
- Weight factor: 40.0 square feet = 1 lb

Attachment Twine/Hanging Twine

- #48 braided polyester twine
- 375 lb. tensile strength
- Dye treated

Perimeter Border Ropes & Riblines

- Braided synthetic cover
- Parallel synthetic core
- 3,500 lb. tensile strength
- 2,455 wet abrasion cycles

Warranty

- Ten year warranty²

1. Mesh strength based upon most recent independent lab testing reports. Report copies are available upon request. Testing conducted per ISO 1806 methodology.
2. Some exclusions and limitations do apply. Warranty document is available upon request.

Netting: Redden Nets #930 polyester golf range netting with average 116.7 lb. mesh breaking strength, 2-½" stretched mesh; 1" single bar measure, four needle raschel knotless construction, manufactured with U.V. treated yarn and additionally coated with a black resin dye and bonding treatment. Mesh break strength determined by an independent laboratory per ISO 1806.

All sections of netting component to be constructed to a 3/8" braided black perimeter rope, minimum 3,500 lb. breaking strength. Additionally, net panels shall have internally constructed vertical and horizontal ropes of the same material. All rope locations on the net panels shall correspond to the as-built net panel suspension and support cables constructed to pole structures. All net panels shall be custom fabricated to as-built measurements of the pole/cable structure to provide a taut panel upon completion.

Attachment of net and rope components shall be made with #48 braided polyester twine, minimum 375 lb. tensile strength, treated black. The attachment twine shall continually encompass the netting component and be tied to the rope component via a clove and one-half hitch knot +/- 6 inches on center, never to exceed 8 inches on center.

Finished net panels shall be suspended from cables by the rope component via a 9/32" cadmium plated steel carabiner attachment snap, minimum 1,140 lb. breaking strength. The interior of the snap shall encompass only the rope and cable components when suspension is completed. The interval between snap to cable attachment points shall not exceed 3 feet on center (snap size may vary to fit cable size(s) specified).

Netting system shall be accompanied by a ten year manufacturer's warranty. Netting system is available from LFS Inc., Bellingham, Washington, 800-426-8864, or engineers approved equal.



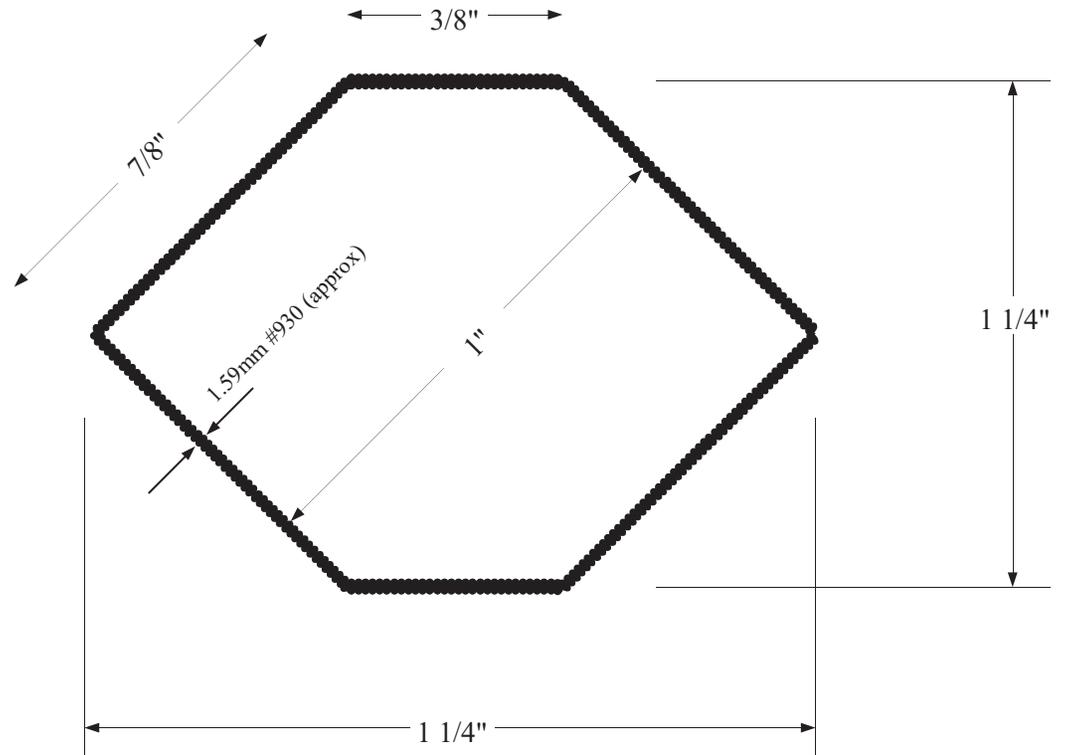
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(P) 262-781-7800 / (F) 800-594-5126
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#930 POLYESTER BARRIER NETTING

Mesh Properties

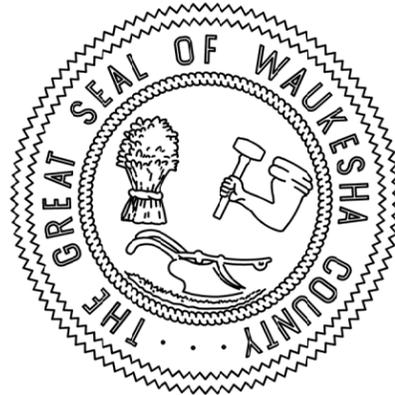




VIEW FROM #5 FAIRWAY



VIEW FROM RIVERVIEW AVENUE



WAUKESHA COUNTY PAVED GOLF CART STORAGE AREA MOOR DOWNS GOLF COURSE

MARCH 2024

Waukesha County Department of Parks and Land Use-Parks System Division

SHEET INDEX

<u>SHEET NUMBER</u>	<u>DRAWING TITLE</u>
1	Existing Conditions and Site Prep
2	Site Layout and Planting Plan
3	Site Grading Plan
4	Construction Details



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**Waukesha County
Park System**
515 W. Moreland Blvd AC230 Waukesha, WI 53188
P: (262) 548-7790 F: (262) 896-8071
www.waukeshacountyparks.com

WAUKESHA COUNTY
MOOR DOWNS GOLF COURSE
PAVED GOLF CART STORAGE AREA

Date: 2-23-2024

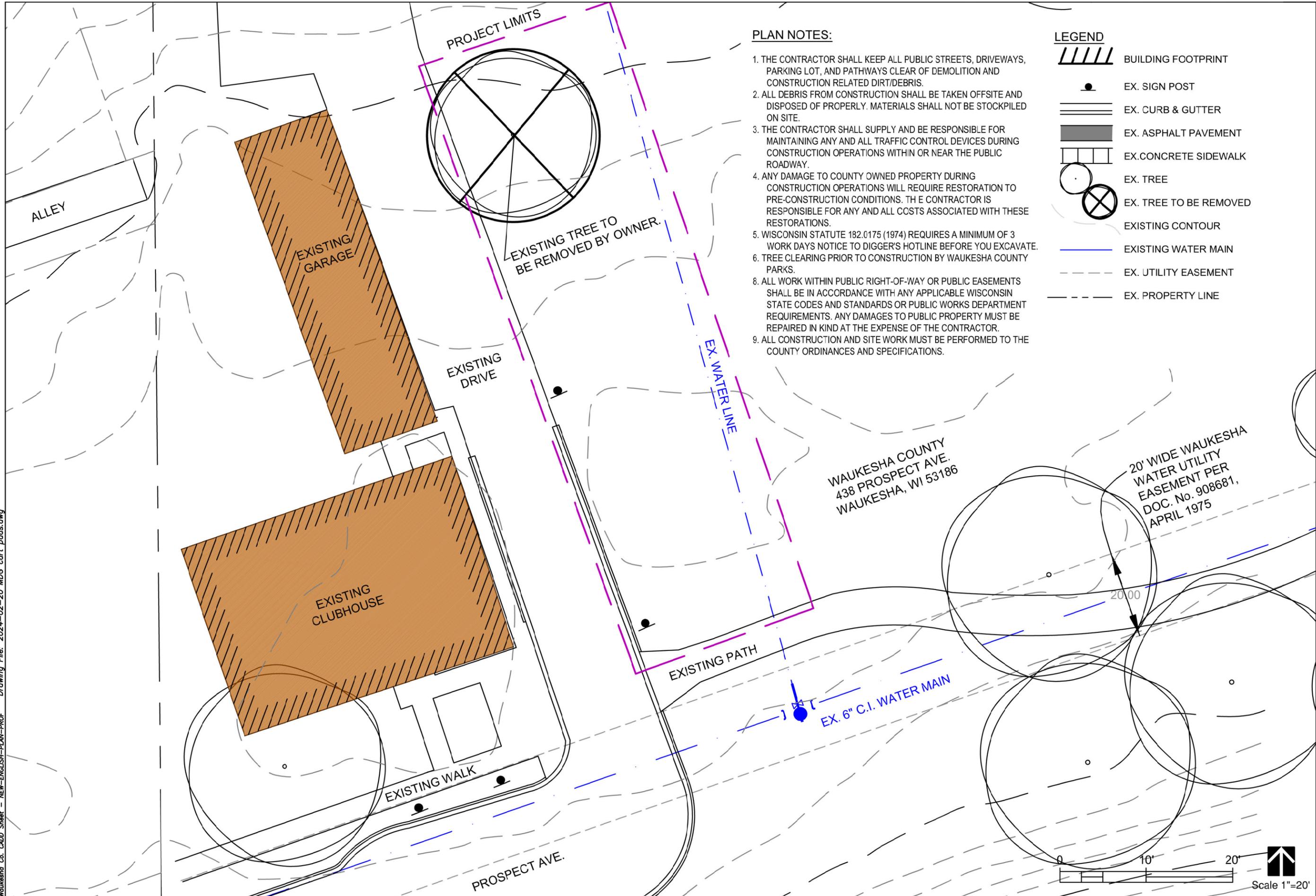
Drawn by: NCJ

Checked by:

Revisions Date

Project No.
202208

Waukesha Co. CADD Sheet - NEW-ENGLISH-PLAN-PROF Drawing File: 2024-02-20 MDG cart pads.dwg



PLAN NOTES:

1. THE CONTRACTOR SHALL KEEP ALL PUBLIC STREETS, DRIVEWAYS, PARKING LOT, AND PATHWAYS CLEAR OF DEMOLITION AND CONSTRUCTION RELATED DIRT/DEBRIS.
2. ALL DEBRIS FROM CONSTRUCTION SHALL BE TAKEN OFFSITE AND DISPOSED OF PROPERLY. MATERIALS SHALL NOT BE STOCKPILED ON SITE.
3. THE CONTRACTOR SHALL SUPPLY AND BE RESPONSIBLE FOR MAINTAINING ANY AND ALL TRAFFIC CONTROL DEVICES DURING CONSTRUCTION OPERATIONS WITHIN OR NEAR THE PUBLIC ROADWAY.
4. ANY DAMAGE TO COUNTY OWNED PROPERTY DURING CONSTRUCTION OPERATIONS WILL REQUIRE RESTORATION TO PRE-CONSTRUCTION CONDITIONS. THE CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL COSTS ASSOCIATED WITH THESE RESTORATIONS.
5. WISCONSIN STATUTE 182.0175 (1974) REQUIRES A MINIMUM OF 3 WORK DAYS NOTICE TO DIGGER'S HOTLINE BEFORE YOU EXCAVATE.
6. TREE CLEARING PRIOR TO CONSTRUCTION BY WAUKESHA COUNTY PARKS.
8. ALL WORK WITHIN PUBLIC RIGHT-OF-WAY OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH ANY APPLICABLE WISCONSIN STATE CODES AND STANDARDS OR PUBLIC WORKS DEPARTMENT REQUIREMENTS. ANY DAMAGES TO PUBLIC PROPERTY MUST BE REPAIRED IN KIND AT THE EXPENSE OF THE CONTRACTOR.
9. ALL CONSTRUCTION AND SITE WORK MUST BE PERFORMED TO THE COUNTY ORDINANCES AND SPECIFICATIONS.

LEGEND

- BUILDING FOOTPRINT
- EX. SIGN POST
- EX. CURB & GUTTER
- EX. ASPHALT PAVEMENT
- EX. CONCRETE SIDEWALK
- EX. TREE
- EX. TREE TO BE REMOVED
- EXISTING CONTOUR
- EXISTING WATER MAIN
- EX. UTILITY EASEMENT
- EX. PROPERTY LINE

Date: 2-23-2023
Drawn by: NCJ
Checked by:

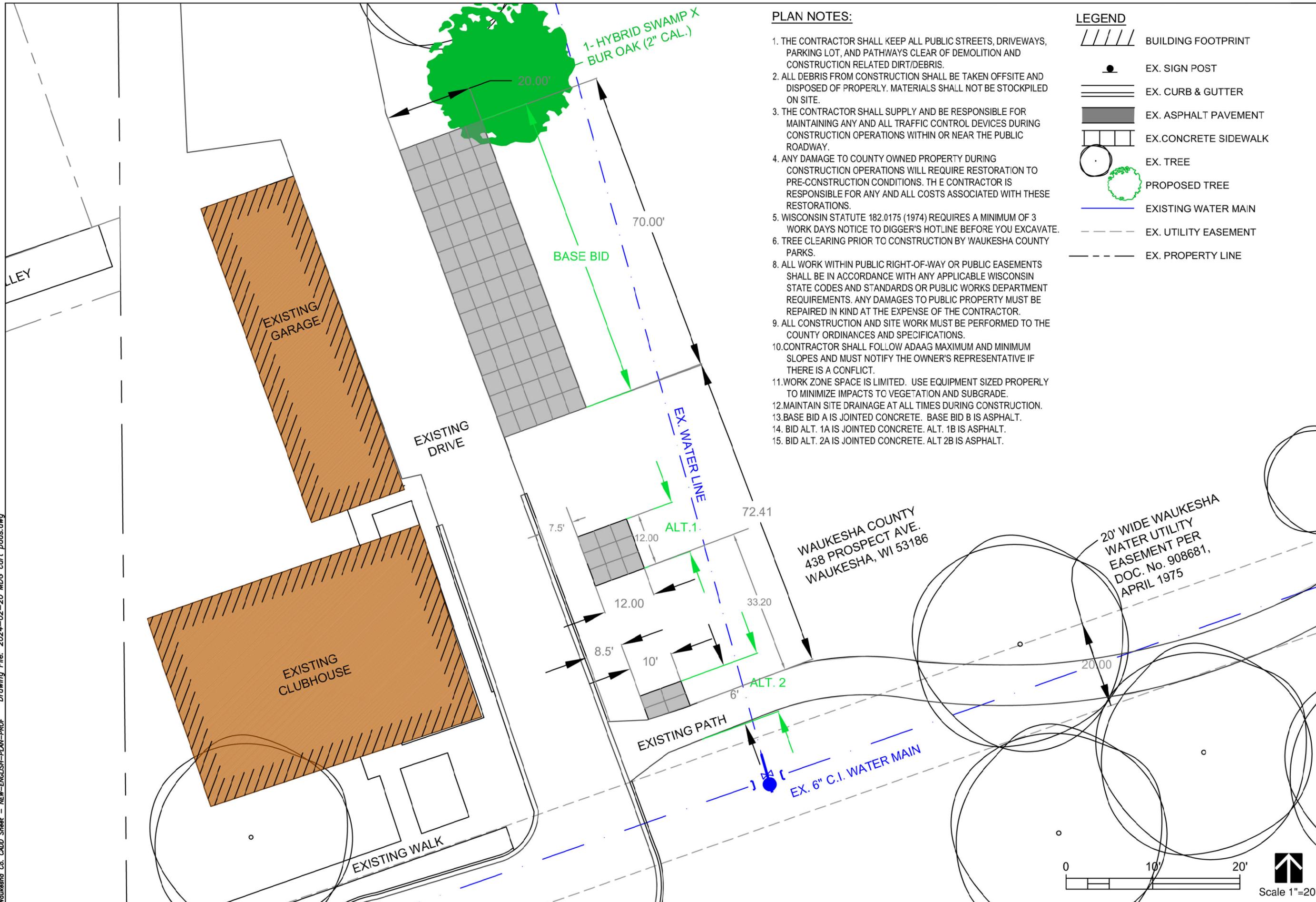
Revisions	Date

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EXISTING
CONDITIONS &
SITE PREP



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12. MAINTAIN SITE DRAINAGE AT ALL TIMES DURING CONSTRUCTION.
13. BASE BID A IS JOINTED CONCRETE. BASE BID B IS ASPHALT.
14. BID ALT. 1A IS JOINTED CONCRETE. ALT. 1B IS ASPHALT.
15. BID ALT. 2A IS JOINTED CONCRETE. ALT. 2B IS ASPHALT.

LEGEND

- BUILDING FOOTPRINT
- EX. SIGN POST
- EX. CURB & GUTTER
- EX. ASPHALT PAVEMENT
- EX. CONCRETE SIDEWALK
- EX. TREE
- PROPOSED TREE
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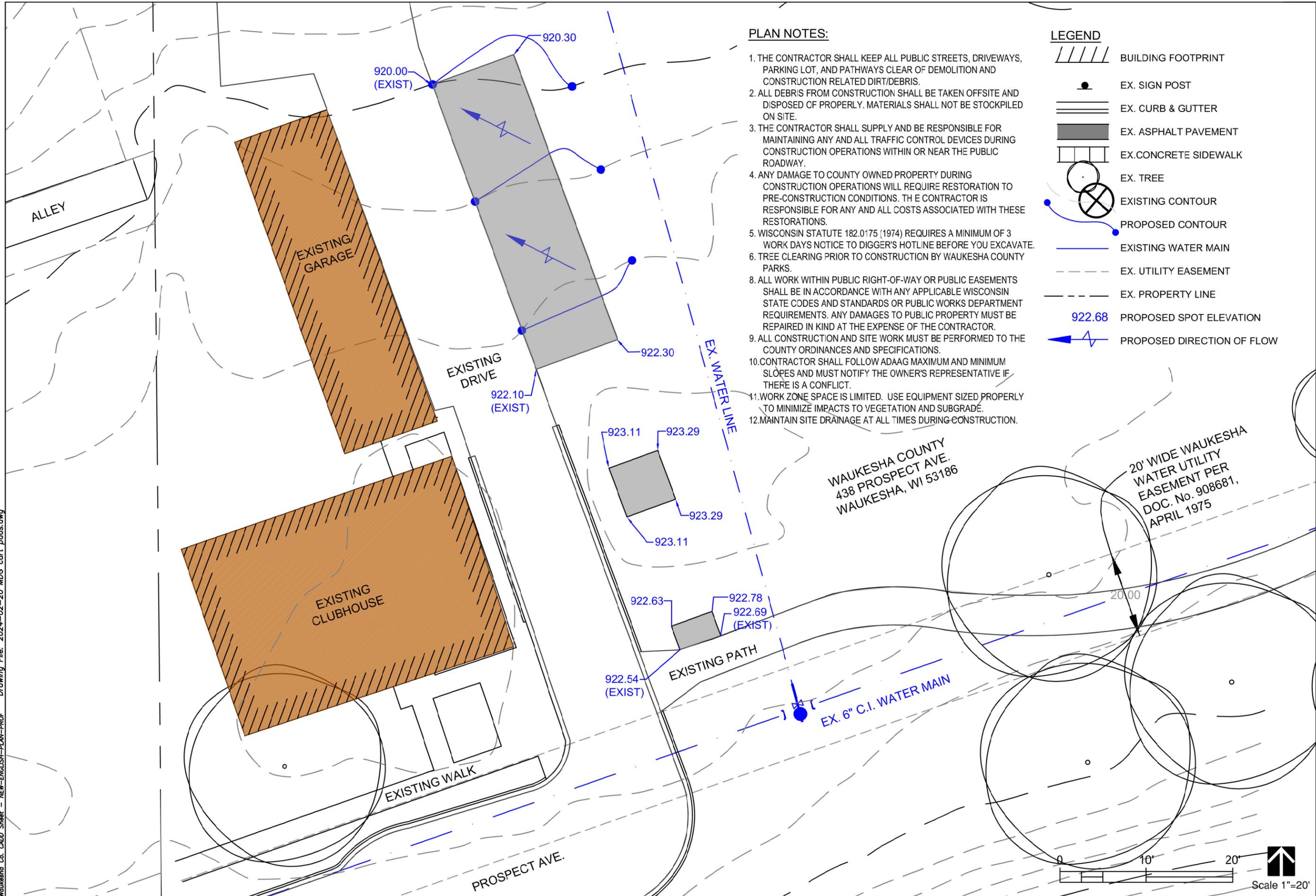
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WAUKESHA COUNTY
 MOOR DOWNS GOLF COURSE
 PAVED GOLF CART STORAGE AREA

Date: 2-23-2023
Drawn by: NCJ
Checked by:
Revisions Date
Project No. 202208
2 SITE LAYOUT & PLANTING PLAN



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PLAN NOTES:

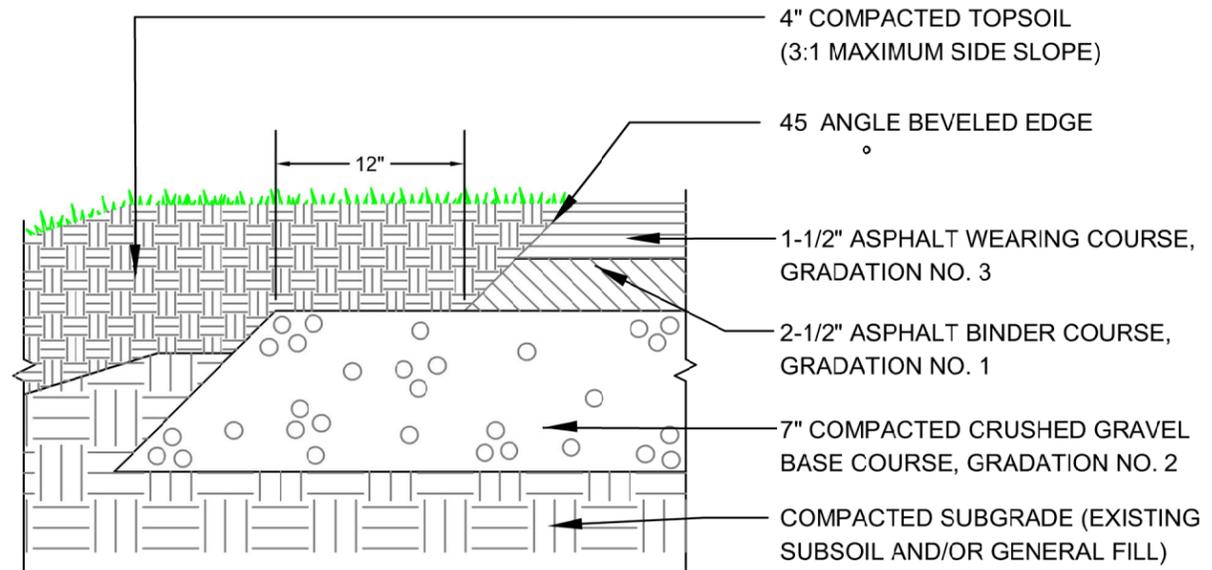
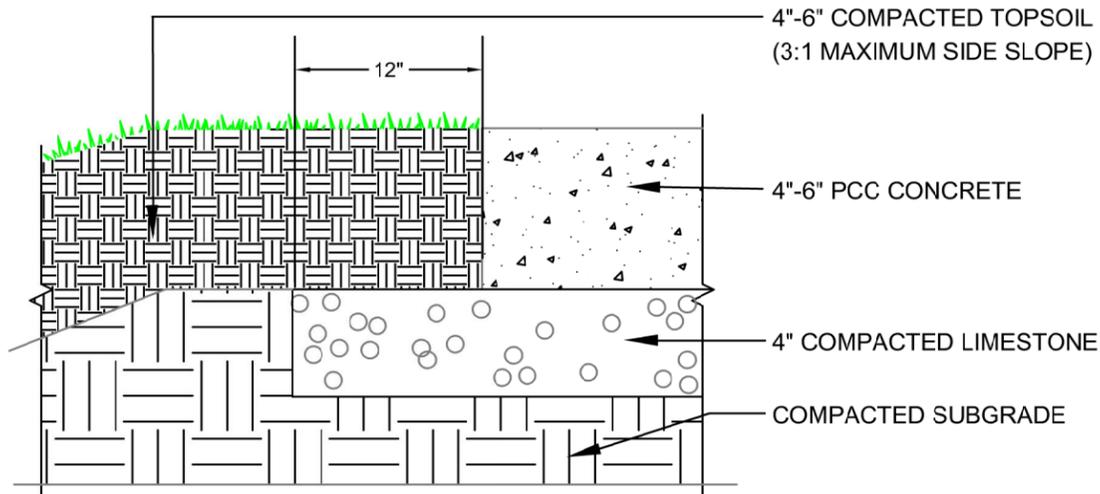
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- EX. ASPHALT PAVEMENT
- EX. CONCRETE SIDEWALK
- EX. TREE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING WATER MAIN
- EX. UTILITY EASEMENT
- EX. PROPERTY LINE
- 922.68 PROPOSED SPOT ELEVATION
- PROPOSED DIRECTION OF FLOW

Date: 2-23-2023	Drawn by: NCJ
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Revisions	Date
Project No. 202208	
3 SITE GRADING PLAN	

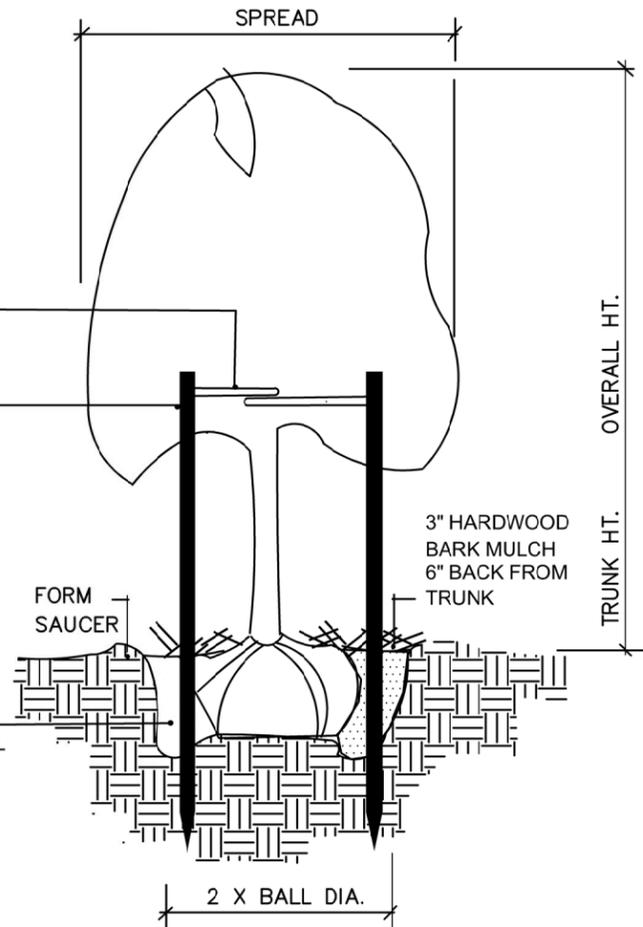




BASE BID 1A: CONCRETE PAVEMENT SECTION

BASE BID 1B: ASPHALT PAVEMENT SECTION

- ROOT COLLAR SHALL BE LEVEL OR UP 1"-2" ABOVE FINISHED GRADE
- REMOVE ONLY DEAD OR BROKEN BRANCHES OR DOUBLE LEADERS AT PLANTING
- REMOVE ANY TRANSIT GUARD REMOVE ANY WIRE BASKET CUT AND REMOVE BURLAP AND ANY POLY TIES
- 2" TO 3" WIDE WEBBING SECURE TO STAKES WITH HEAVY GAUGE WIRE
- HARDWOOD STAKES 2 STAKES 2" X 2" DRIVEN (MIN. 18") FIRMLY INTO SUBGRADE PRIOR TO BACKFILLING
- STAKE ABOVE FIRST BRANCHES OR AS NECESSARY FOR FIRM SUPPORT



BACKFILL USING EXISTING SOIL. WATER TO REMOVE AIR POCKETS. DO NOT TAMP OR COMPACT SOIL. BREAK DOWN SIDES OF HOLE WHEN BACKFILLING

TYPICAL TREE PLANTING DETAIL

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