

LANDMARKS COMMISSION APPLICATION

Monthly meeting is scheduled the first Wednesday of every month.

Application Deadline is 4:30 p.m. on the Monday of the week before the Landmarks Commission meeting (typically the last Monday of every month).

Date Received: _____ Paid: _____ Rec'd. By _____
Trakit #: _____

I am applying for a:
Certificate of Appropriateness (COA) - \$15 application fee required.
Paint and Repair Grant (no fee)

A. General Information:

Applicant Name: Jeremy Brock
Phone-Home:
Phone-Work: 414-426-9067
E-mail: brock.jeremy79@gmail.com
Mailing Address: 222 S1517 Springdale Rd, Waukesha 53186

PLEASE READ AND SIGN: The information in this application is accurate to the best of my knowledge. I agree to supply any relevant documentation that is required for the proper review of this application and I understand that any missing or incomplete information may delay the review process. By signing this I also authorize the City of Waukesha or its agents to enter upon my property for the purpose of reviewing this application.

Signed: [Signature] Date: 5/24/24

B. Income Level Information: (Required only for those applying for a LCP & R Grant.)

Based on the following chart, CHECK ONE OF THE BOXES BELOW to INDICATE WHETHER YOUR FAMILY INCOME IS ABOVE OR BELOW THE GUIDELINE amount for your household:

Table with 4 columns: No. in Family, Income Level (Up to:), No. in Family, Income Level (Up to:). Rows 1-8 with income levels ranging from \$37,650 to \$70,950.

[X] Income is Above Guidelines [] Income is Below Guidelines

Please note: income information is for CBDG reporting only and is not used to determine whether applicants qualify for grant money.

C. Architectural Information on Property (if unknown you may leave this section blank):

Historic Name of Building: 116 McCall St
Address of Historic Property: 116 McCall St
Construction Date/Era:
Architectural Style:
Historic Background (Brief):

We recommend reading the Landmarks Commission Design Policies and/or discussing your plans with staff before submitting your application. The Design Policies are available here: <https://www.waukesha-wi.gov/government/departments/landmarks.php>

D. Nature of Intended Repair(s)/Proposed Work:

Briefly and accurately describe type and location of proposed work on the primary building, carriage house, and any other outbuildings (i.e.: garage). Attach extra sheets and supplemental material as requested in the criteria checklist found in Section E. Be sure to reference the attached Exhibit A, which summarizes the guidelines from the Secretary of Interior's Standards for Historic Preservation Projects. Your narrative must address any of the following elements related to your project:

Roof: Repair or replacement? _____
Soffits, Fascia, Downspouts _____
Eaves, Gutters _____
Shingle type/style/color _____

Chimney(s): Repair or replacement? _____
Flashing _____
Tuckpointing _____

Siding: Repair or replacement? _____
Paint Colors, Materials _____
Shingling and Ornamentation/Stickwork _____

Windows: Repair or replacement? _____
Materials, Other _____

Other Exterior Repairs: _____
Awnings Front door
Brickwork/Stonework _____
Cresting _____
Doors _____

Foundation: Extent of repair _____
Tuckpointing _____
Other _____

Porch: Repair or replacement? _____
Front or Side, Rear _____
Ornamentation _____
Finials, Other _____

Miscellaneous: _____
Landscaping _____
Fences _____
Paving/Brick Pavers _____

Details:
Replacing front Awning that Blew away in a storm

Estimated start date: _____

Estimated completion date: _____

I/We intend/have already applied for the state's preservation tax credits: ___ Yes ___ No

Status: _____

Have you done any previous restoration or repair work on this property?

No ___ Yes If yes, what has been done?

Are you aware of any significant alterations or restoration done by previous owners?

No ___ Yes If yes, what has been done?

Are any further repairs or alterations planned for this building for the future?

No ___ Yes If yes, please describe:

E. Criteria Checklist:

REQUIRED FOR ALL PROJECTS

- ___ Photographs of affected areas and existing conditions from all sides
- ___ Historic plans, elevations or photographs (if available)
- ___ Material and design specifications, including samples and/or product brochures/literature when appropriate

REQUIRED FOR ALL PROPOSED NEW CONSTRUCTION, ADDITIONS, EXTERIOR ALTERATIONS, FENCING AND LANDSCAPING

- ___ Site and/or elevation plan – to scale

REQUIRED FOR EXTERIOR PAINT WORK

- ___ Color samples (including brand of paint and product ID number) and placement on the structure

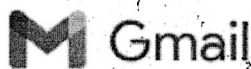
REQUIRED FOR ALL LCP&R APPLICATIONS

Provide a detailed cost estimate for these repair(s), based on the number of gallons of paint, the amount of lumber, or the number of panes of glass, etc. Be certain to separate material costs from labor. Include a written estimate(s) if available:

SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION OF HISTORIC PROPERTIES, APPLIED BY THE WAUKESHA LANDMARKS COMMISSION

To receive a Certificate of Appropriateness, a rehabilitation project must be determined by the Landmarks Commission to be consistent with the historic character of the structure(s) and, where applicable, the district in which it is located. The following Standards are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility.

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials or alteration of features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archaeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.



Springdale Real Estate <springdale.real.estate.wi@gmail.com>

Re: Request A Quote - Jeremy Brock

1 message

sales@designyourawning.com <sales@designyourawning.com>

Thu, Apr 25, 2024 at 12:55 PM

To: springdale.real.estate.wi@gmail.com

Hello Jeremy,

Thank you for the information on your awning request.

I've attached a diagram of the Romeo style awning with your specified measurement. Please keep in mind that we can revisit and adjust all measurements as needed.

I have also attached our "Romeo Style Request a Quote" worksheet, as well as a few sample images from previous projects that may be similar to yours. The worksheet will help to confirm your measurements, and the photos will hopefully help you visualize the finished product.

We strongly advise that you use blue painters tape to outline the dimensions of the awning on the wall when taking the measurements. We have found that this helps clients take measurements with more precision and ease, and the markings create an idea of how the space will be transformed.

Being that every project coming through our shop is handmade by our team of experienced craftsmen, our current turnaround for your custom awning is approximately 6-7 weeks. Shipping will typically take 3-7 days depending on your location.

Your custom awning will arrive fully assembled and packaged with everything required for installation, including an instruction guide. We make our awnings lightweight for a very user friendly install, and our staff is always available to answer any questions you may have.

Romeo Awning Dimension Specifications:

82" width (A) x 24" drop (B) x 36" projection (C)**82" Romeo_Aluminum: \$2500.00****Double Scrolls (optional): \$50.00****Residential crate delivery to_WI 53186: \$380.00****TOTAL: \$2930.00***Please call or email us with any questions,**Thanks, Trent Hebert**1-800-283-8053*<https://designyourawning.com/>

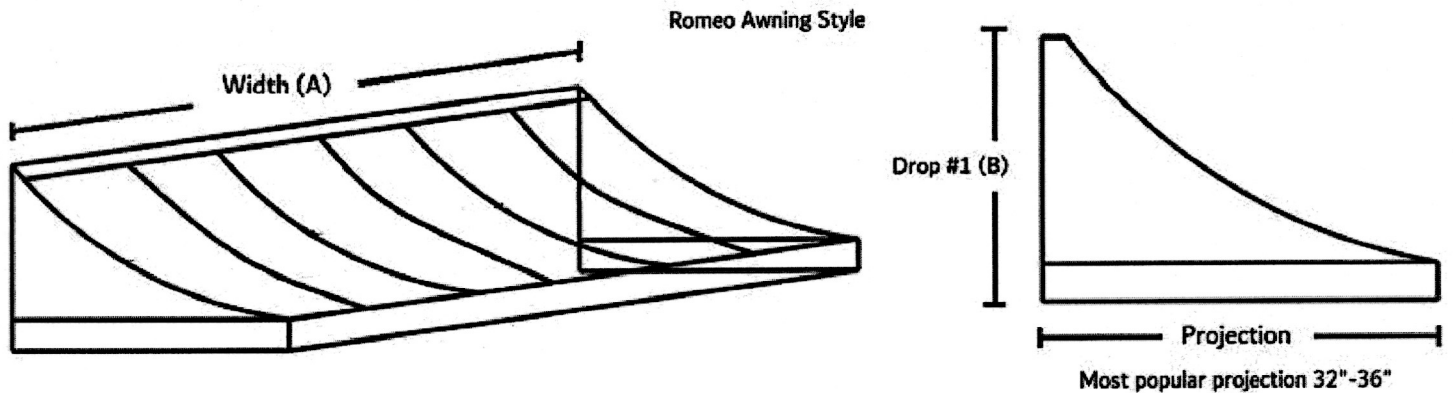
Name:

Jeremy Brock

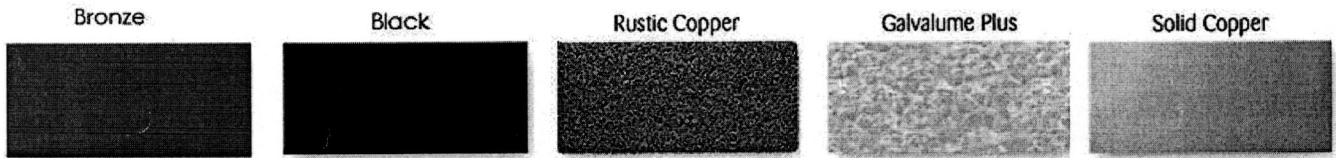
1-800-283-8053



Popular measurements for doors and windows

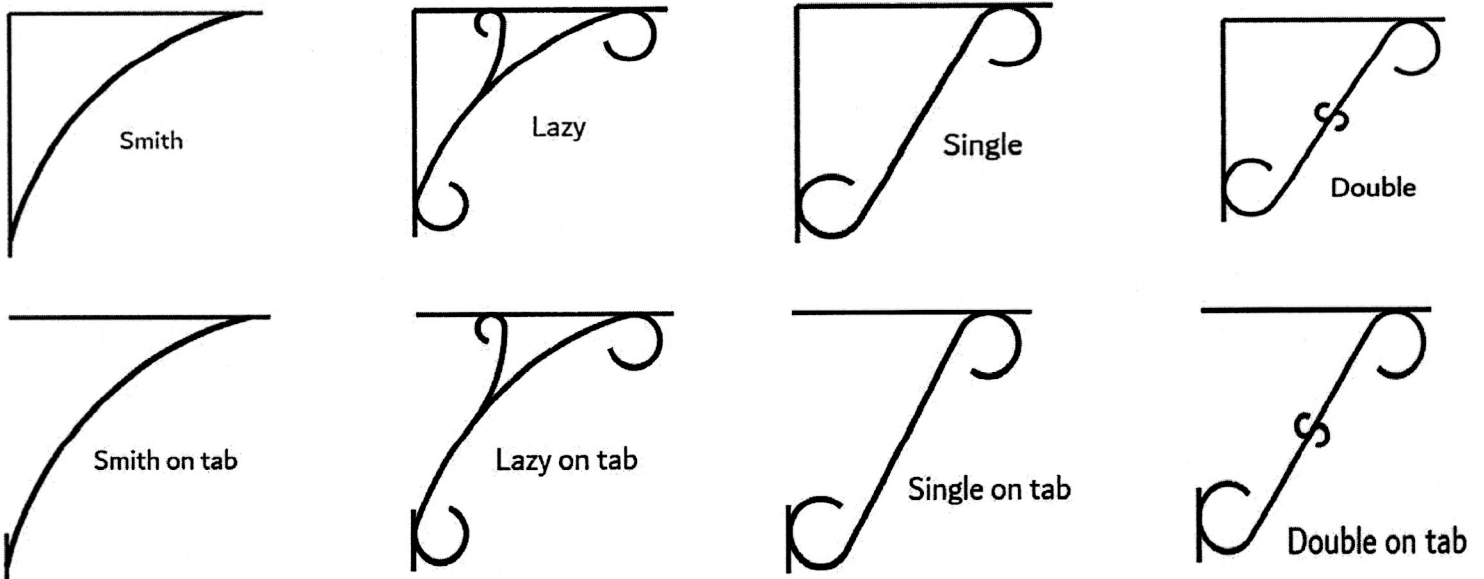


Popular Colors



Colors may vary from actual material

Popular Scrolls - Decorative Only



Need advice? Please call us at 1-800-283-8053

Brock_WI Romeo Awning

