

PRELIMINARY SITE PLAN REVIEW PLANS

FOR

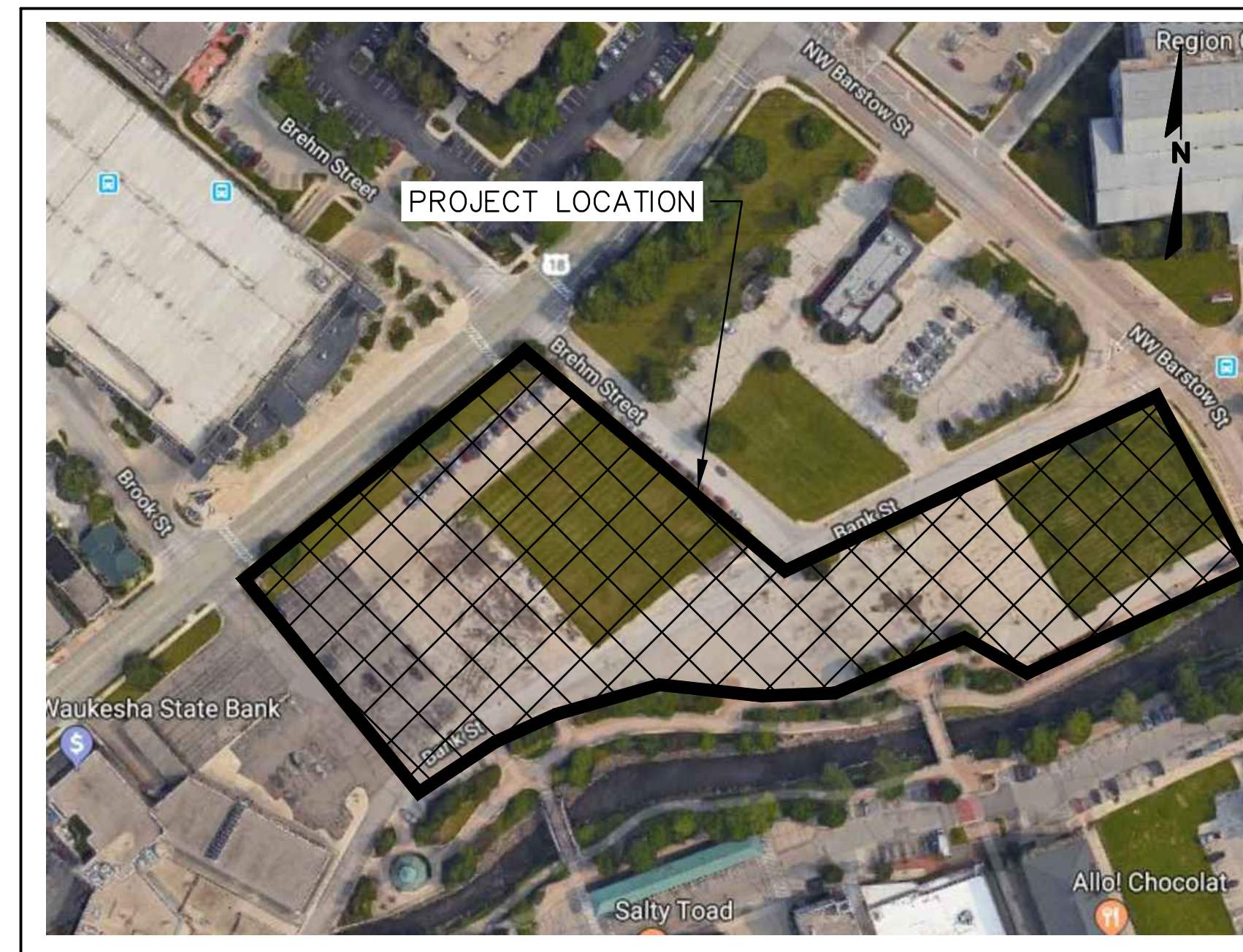
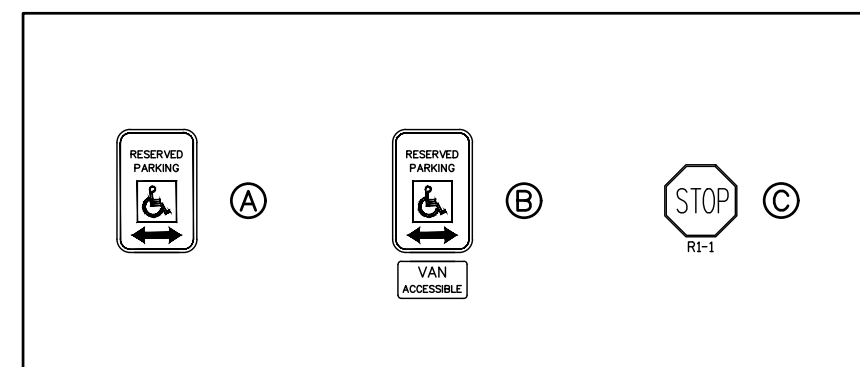
THE RESERVE AT WAUKESHA

CITY OF WAUKESHA, WISCONSIN

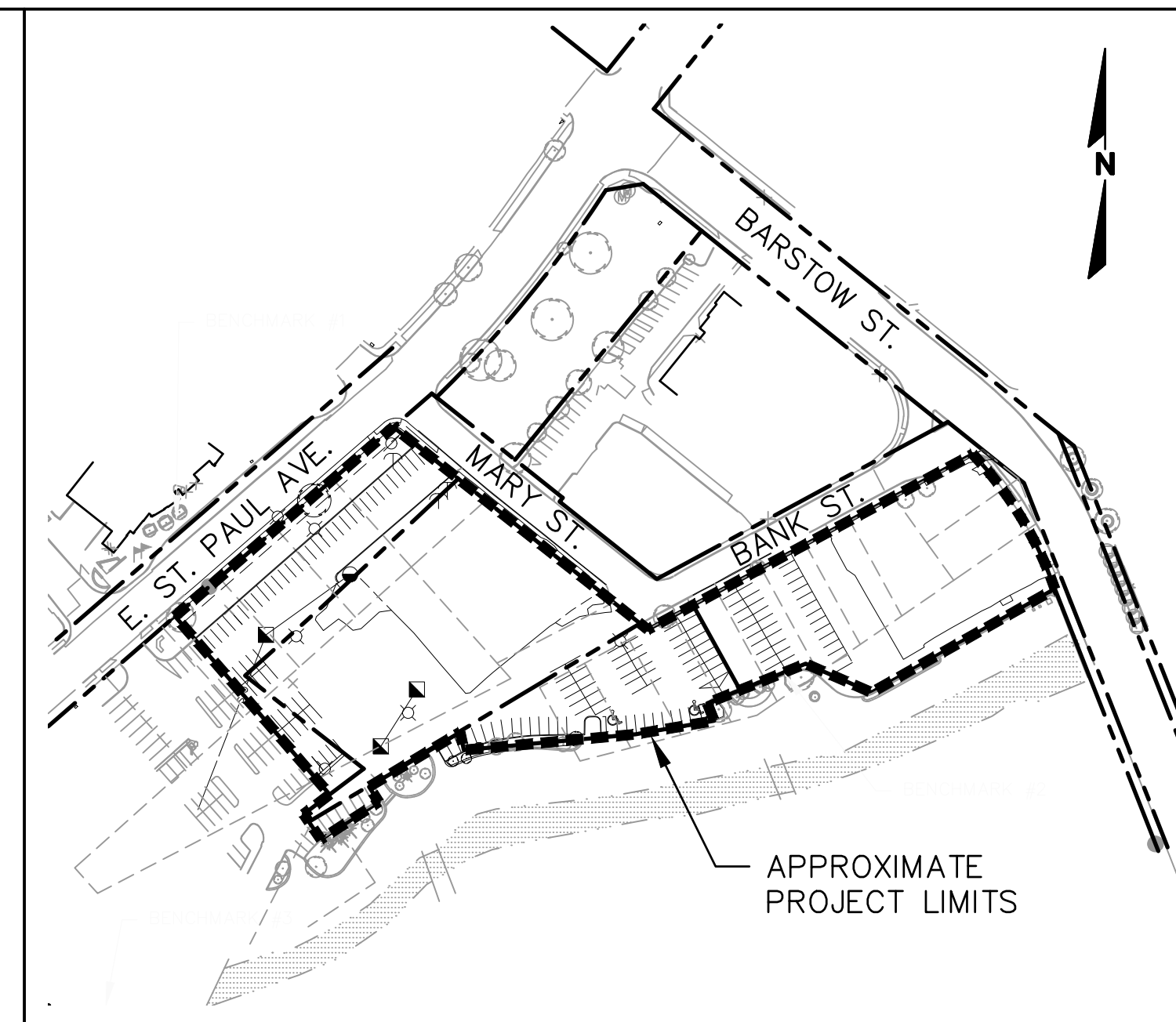
LEGEND

PROPOSED	EXISTING	
()	()	INDICATES RECORDED DIMENSION WHERE DIFFERENT FROM ACTUAL MEASUREMENT
OR		SECTION OR 1/4 SECTION CORNER AS DESCRIBED
○	○	1" DIA. IRON PIPE FOUND (UNLESS OTHERWISE NOTED)
○	○	1" DIA. IRON PIPE, 18" LONG-SET (UNLESS OTHERWISE NOTED)
○	○	BOLLARD
○	○	SOIL BORING/MONITORING WELL
○	○	FLAGPOLE
○	○	MAILBOX
○	○	SIGN
○	○	BILLBOARD
○	○	CONTROL BOX
○	○	TRAFFIC SIGNAL
○	○	RAILROAD CROSSING SIGNAL
○	○	CABLE PEDESTAL
○	○	POWER POLE
○	○	GUY POLE
○	○	GUY WIRE
○	○	LIGHT POLE
○	○	SPOT/PEDESTAL/PAVER ACCENT LIGHT
○	○	HANDICAPPED PARKING
○	○	ELECTRIC MANHOLE
○	○	ELECTRIC PEDESTAL
○	○	ELECTRIC METER
○	○	TELEPHONE MANHOLE
○	○	TELEPHONE PEDESTAL
○	○	MARKED FIBER OPTIC
○	○	GAS VALVE
○	○	GAS METER
○	○	GAS WARNING SIGN
○	○	STORM MANHOLE
○	○	ROUND INLET OR CATCH BASIN
○	○	SQUARE INLET OR SLOT DRAIN
○	○	STORM SEWER END SECTION
○	○	SANITARY MANHOLE
○	○	CLEANOUT OR VENT
○	○	SANITARY INTERCEPTOR MANHOLE
○	○	MISCELLANEOUS MANHOLE
○	○	WATER VALVE
○	○	HYDRANT
○	○	WATER SERVICE CURB STOP
○	○	WATER MANHOLE
○	○	WELL
○	○	WATER SURFACE
○	○	WETLANDS FLAG
○	○	MARSH
○	○	CONIFEROUS TREE
○	○	DECIDUOUS TREE
○	○	SHRUB
○	○	EDGE OF TREES
○	○	GRAVITY SANITARY SEWER
○	○	SANITARY FORCE MAIN
○	○	STORM SEWER
○	○	WATERMAIN
○	○	GAS MAIN
○	○	ELECTRIC SERVICE
○	○	OVERHEAD WIRES
○	○	BUREAU ELEC. SERV.
○	○	TELEPHONE SERVICE
○	○	MARKED CABLE TV LINE
○	○	MARKED FIBER OPTIC
○	○	GRAVITY LEACHATE SYSTEM
○	○	LEACHATE FORCE MAIN
○	○	EXISTING UTILITY TO BE ABANDONED IN PLACE
○	○	EXISTING MANHOLE/INLET TO BE ABANDONED IN PLACE OR EXISTING LIGHT POLE AND BASE TO BE REMOVED
○	○	PROPOSED 1-FOOT GRADE CONTOUR
○	○	PROPOSED 5-FOOT GRADE CONTOUR
○	○	SPOT/CURB FLOW LINE ELEVATION
○	○	TOP OF CURB SPOT ELEVATION
○	○	TEMPORARY INLET PROTECTION
○	○	PROPOSED CONSTRUCTION ENTRANCE
○	○	CONCRETE SIDEWALK PAVEMENT
○	○	ASPHALT PAVEMENT
○	○	PROPOSED LANDSCAPE AREA

SIGN LEGEND



VICINITY MAP
SCALE: NOT TO SCALE



LOCATION MAP
SCALE: 1"=150'

SHEET NO.	DESCRIPTION
C000	COVER SHEET
C100	EXISTING CONDITIONS, DEMOLITION & EROSION CONTROL PLAN
C200	OVERALL SITE PLAN
C201	SITE PLAN WEST
C202	SITE PLAN EAST
C300	GRADING & EROSION CONTROL PLAN
C301	PHASE 1 GRADING PLAN WEST
C302	PHASE 1 GRADING PLAN EAST
C400	STORM SEWER PLAN
C401	WATER & SANITARY PLAN
C500	SITE DETAILS
C501	EROSION CONTROL DETAILS
C502	SPECIFICATION
L100	CONCEPTUAL LANDSCAPE PLAN
EX01	EXISTING FIRE HYDRANTS

GENERAL NOTES

- THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE MUNICIPALITY FORTY- EIGHT (48) HOURS PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER, AND THE MUNICIPALITY, THEIR AGENTS, ETC, FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.
- SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- THE BIDDER WILL BE SOLELY RESPONSIBLE FOR DETERMINING QUANTITIES AND SHALL STATE SUCH QUANTITIES IN HIS PROPOSAL. HE SHALL BASE HIS BID ON HIS OWN ESTIMATE OF THE WORK REQUIRED AND SHALL NOT RELY ON THE ENGINEER'S ESTIMATE.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. A GEOTECHNICAL REPORT IS AVAILABLE FROM THE OWNER. THE CONTRACTOR SHALL ABIDE BY THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL SITE CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL COMPARE FIELD CONDITIONS WITH DRAWINGS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED FOR EXECUTION OF THE WORK. THE CONTRACTOR SHALL CONDUCT HIS WORK ACCORDING TO THE REQUIREMENTS OF THE PERMITS.
- THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL UTILITY INFORMATION SHOWN ON THE PLANS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL CALL DIGGERS HOTLINE TO NOTIFY THE UTILITIES OF HIS INTENTIONS, AND TO REQUEST FIELD STAKING OF EXISTING UTILITIES.
- CONTRACTOR IS ADVISED THAT ALL MUD AND DEBRIS MUST NOT BE DEPOSITED ONTO THE ADJACENT ROADWAYS PER THE REQUIREMENT OF THE MUNICIPALITY OR OTHER APPROPRIATE GOVERNMENT AGENCIES.
- ANY ADJACENT PROPERTIES OR ROAD RIGHT-OF-WAYS WHICH ARE DAMAGED DURING CONSTRUCTION MUST BE RESTORED BY THE CONTRACTOR. THE COST OF THE RESTORATION IS CONSIDERED INCIDENTAL, AND SHOULD BE INCLUDED IN THE BID PRICES.
- ELEVATIONS REFER TO THE CITY OF WAUKESHA DATUM.
- TOPOGRAPHIC AND EXISTING CONDITIONS SHOWN HERON TAKEN FROM A PLAN ENTITLED "ALTA/NSPS LAND TITLE SURVEY" PREPARED BY RASMITH, DATED FEBRUARY 18, 2019.
- PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED. ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION

BENCHMARKS

BENCHMARK #1 SOUTH END TOP OF WALL ELEVATION: 36.33	SEWRPC BENCHMARK #1 CONC MON W/ BRASS CAP SW CORNER NE 1/4 SEC 3-6-19 N:373154.65 E:2471679.64
BENCHMARK #2 NORTH END TOP OF WALL ELEVATION: 31.82	SEWRPC BENCHMARK #2 CONC MON W/ BRASS CAP NW CORNER NE 1/4 SEC 3-6-19 N:375894.32 E:2471705.93
BENCHMARK #3 SOUTH WEST WING TOP OF WALL OF BRIDGE ELEVATION: 29.95	

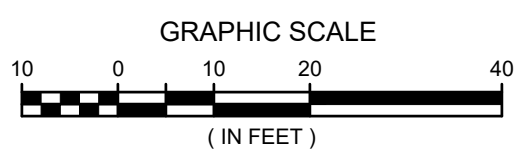
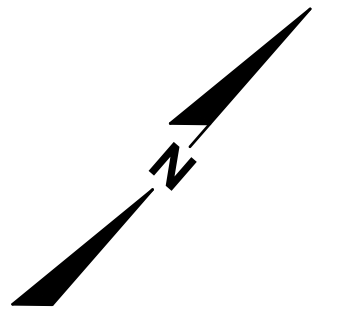
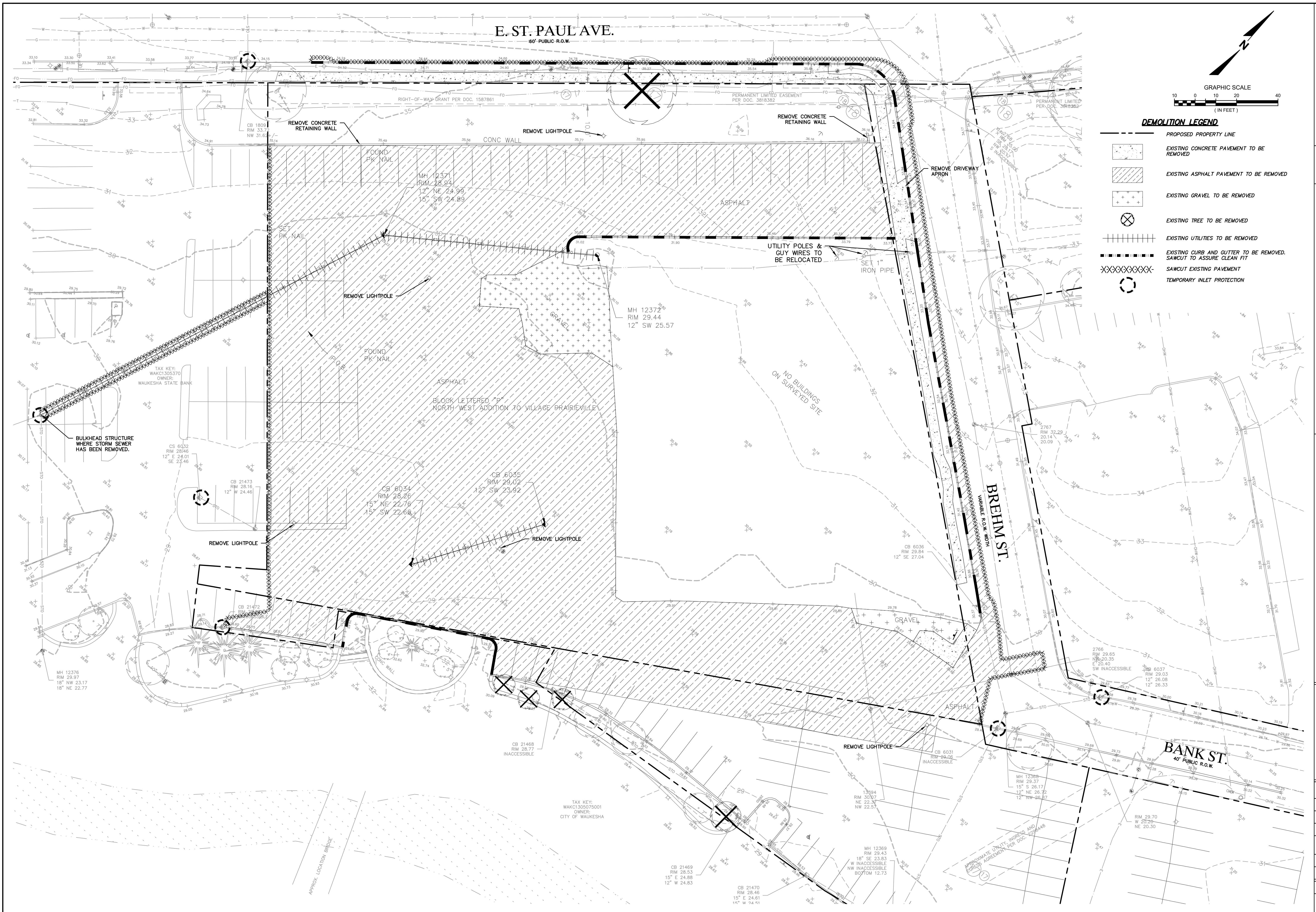
PROJECT DIRECTORY

OWNER: CAMPBELL MADISON PARTNERS, LLC 5887 GLENRIDGE DRIVE NE, SUITE 360 SANDY SPRINGS, GA 30328 PH: 404/495-0864	SITE CIVIL ENGINEER: raSmith 16475 W. BLUEMOUND ROAD SUITE 200 BROOKFIELD, WI 53005 PH: 262/781-1000 PROJECT MANAGER CONTACT: MATT KOCUREK EMAIL: matt.kocourek@rasmith.com PROJECT ENGINEER CONTACT: JEREMY JEFFERY EMAIL: jeremy.jeffery@rasmith.com
MUNICIPALITY: CITY OF WAUKESHA 130 DELAFIELD STREET WAUKESHA, WI 53188 CITY ENGINEER CONTACT: ALEX DAMIEN, P.E. PH: 262/524-3907 EMAIL: adamien@waukesha-wi.gov	SURVEYOR: raSmith 16475 W. BLUEMOUND ROAD SUITE 200 BROOKFIELD, WI 53005 PH: 262/781-1000 PROJECT MANAGER CONTACT: ERIC STURM EMAIL: ERIC.STURM@rasmith.com

ALL SITE IMPROVEMENTS AND CONSTRUCTION SHOWN ON THE PLANS SHALL CONFORM TO THE CITY OF WAUKESHA DEVELOPMENT HANDBOOK & INFRASTRUCTURE SPECIFICATIONS. WHERE THE PLANS DO NOT COMPLY, IT SHALL BE THE SOLE RESPONSIBILITY AND EXPENSE OF THE DEVELOPER TO MAKE REVISIONS TO THE PLANS AND/OR CONSTRUCTED INFRASTRUCTURE TO COMPLY.

PLAN DATE: MAY 13, 2019

REVISIONS	ISSUE DATE	SHEET NO.'S	ISSUED FOR:



DEMOLITION LEGEND

- PROPOSED PROPERTY LINE
- EXISTING CONCRETE PAVEMENT TO BE REMOVED
- EXISTING ASPHALT PAVEMENT TO BE REMOVED
- EXISTING GRAVEL TO BE REMOVED
- EXISTING TREE TO BE REMOVED
- EXISTING UTILITIES TO BE REMOVED
- EXISTING CURB AND GUTTER TO BE REMOVED. SAWCUT TO ASSURE CLEAN FIT
- SAWCUT EXISTING PAVEMENT
- TEMPORARY INLET PROTECTION

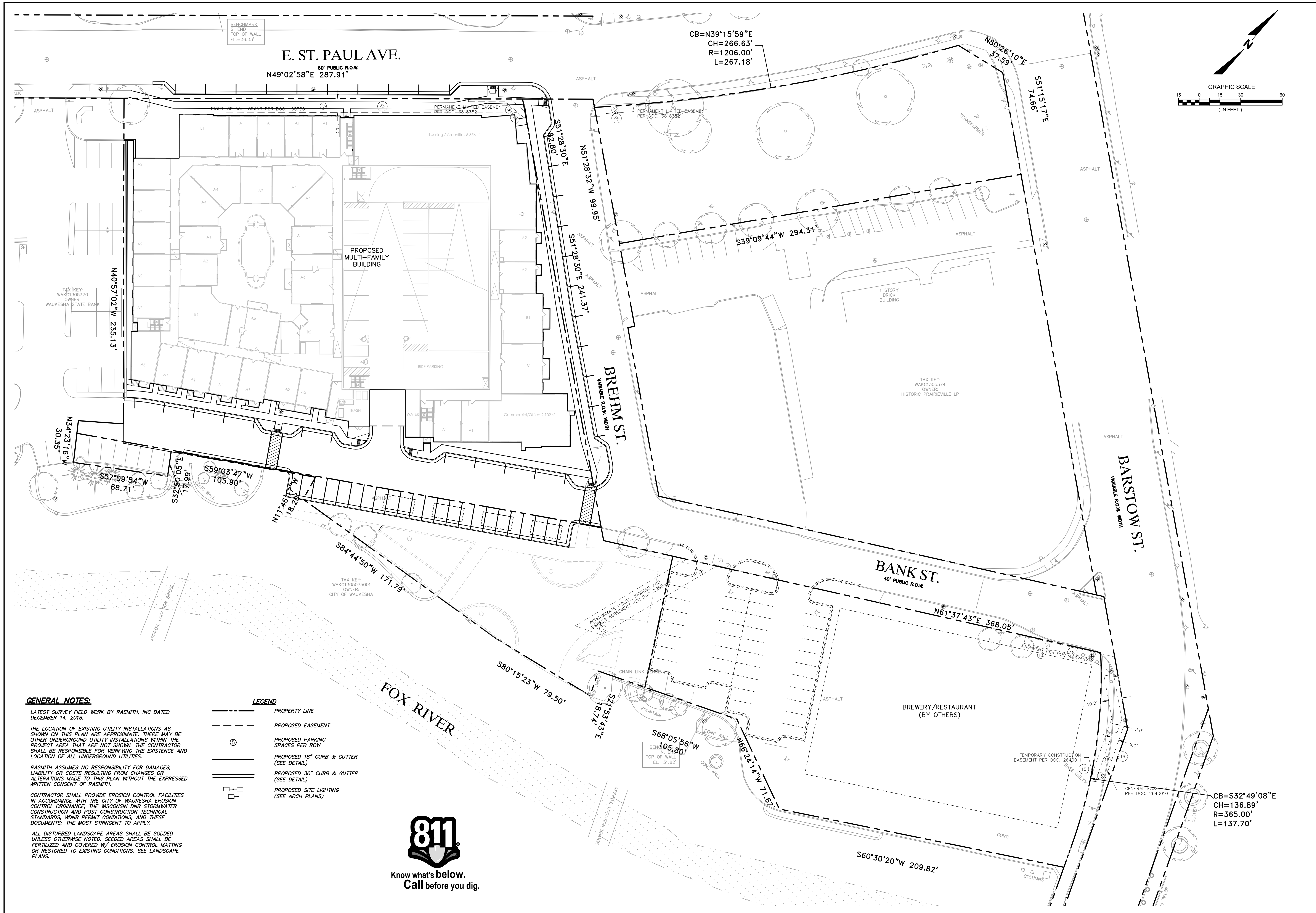
DESCRIPTION

16745 W. Bluemound Road
 Brookfield, WI 53005-5938
 (262) 781-1000
rasmith.com
raSmith
 CREATIVITY BEYOND ENGINEERING

Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI | Cedarburg, WI
 Mount Pleasant, WI | Naperville, IL | Pittsburgh, PA | Irvine, CA

THE RESERVE AT WAUKESHA
CITY OF WAUKESHA, WI
EXISTING CONDITIONS, DEMOLITION
& EROSION CONTROL PLAN

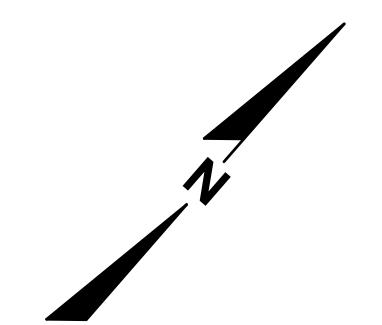
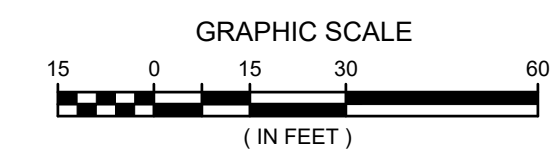
© COPYRIGHT 2019 R.A. Smith, Inc.
DATE: 05/13/2019
SCALE: 1" = 20'
JOB NO. 3170302
PROJECT MANAGER: MATT P. KOCOUREK, P.E.
DESIGNED BY: KMR
CHECKED BY: JJJ
SHEET NUMBER C100



BENCHMARK
6-5ING
TOP OF WALL
EL.=36.33'

E. ST. PAUL AVE.
80' PUBLIC R.O.W.
N49°02'58"E 287.91'

CB=N39°15'59"E
CH=266.63'
R=1206.00'
L=267.18'



DATE	DESCRIPTION

16745 W. Bluemound Road
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(262) 781-1000
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**THE RESERVE AT WAUKESHA
CITY OF WAUKESHA, WI**

OVERALL SITE PLAN

© COPYRIGHT 2019 R.A. Smith, Inc.	
DATE: 05/13/2019	
SCALE: 1" = 30'	
JOB NO. 3170302	
PROJECT MANAGER: MATT P. KOCUREK, P.E.	
DESIGNED BY: KMR	
CHECKED BY: JJJ	
SHEET NUMBER	
C200	

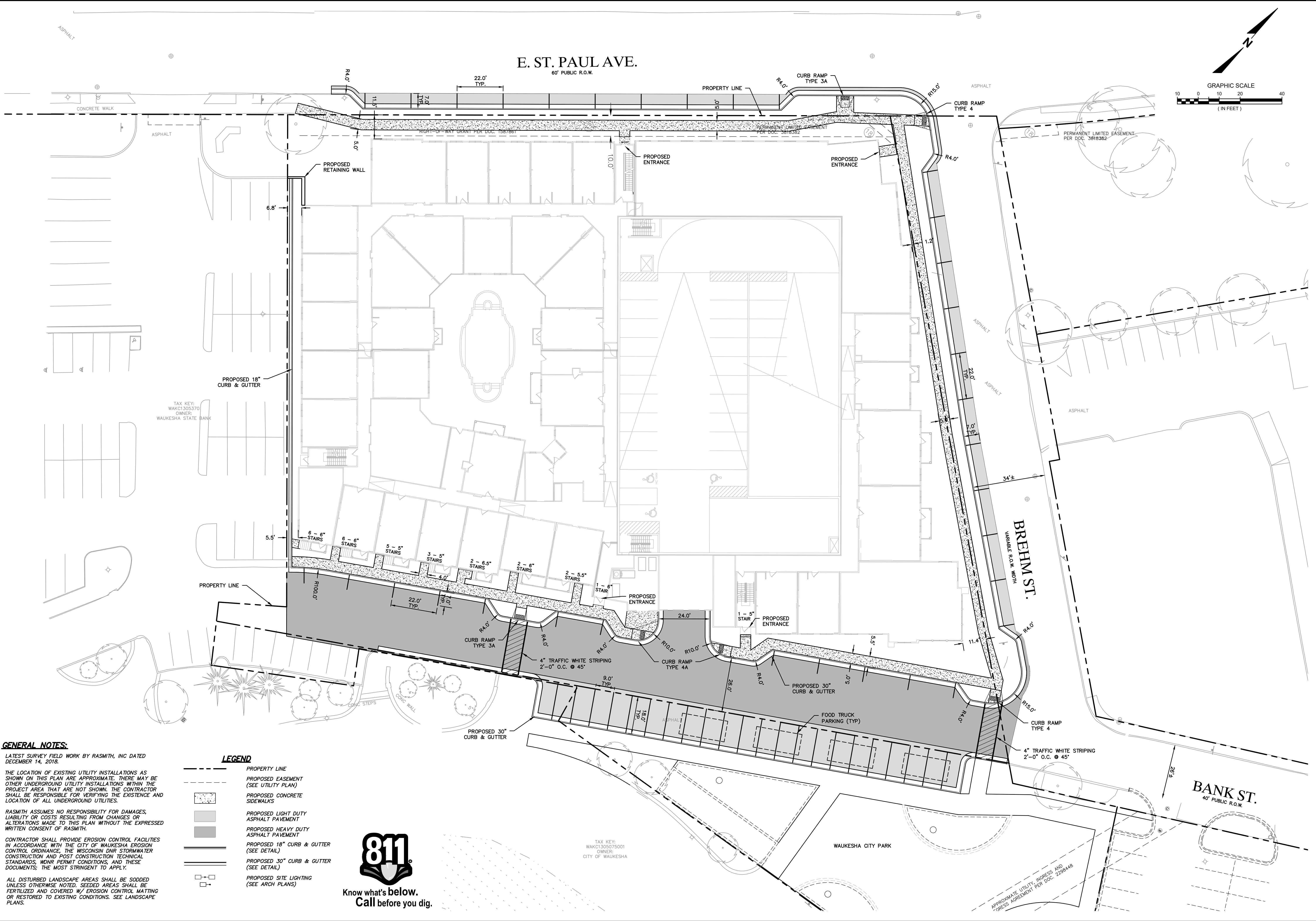
GENERAL NOTES:
LATEST SURVEY FIELD WORK BY RASMITH, INC DATED DECEMBER 14, 2018.
THE LOCATION OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES.
RASMITH ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF RASMITH.
CONTRACTOR SHALL PROVIDE EROSION CONTROL FACILITIES IN ACCORDANCE WITH THE CITY OF WAUKESHA EROSION CONTROL ORDINANCE, THE WISCONSIN DNR STORMWATER CONSTRUCTION AND POST CONSTRUCTION TECHNICAL STANDARDS, MNR PERMIT CONDITIONS, AND THESE DOCUMENTS; THE MOST STRINGENT TO APPLY.
ALL DISTURBED LANDSCAPE AREAS SHALL BE SOODED UNLESS OTHERWISE NOTED. SEEDED AREAS SHALL BE FERTILIZED AND COVERED W/ EROSION CONTROL MATTING OR RESTORED TO EXISTING CONDITIONS. SEE LANDSCAPE PLANS.

LEGEND

---	PROPERTY LINE
- - - -	PROPOSED EASEMENT
⊙	PROPOSED PARKING SPACES PER ROW
—	PROPOSED 18" CURB & GUTTER (SEE DETAIL)
—	PROPOSED 30" CURB & GUTTER (SEE DETAIL)
□	PROPOSED SITE LIGHTING (SEE ARCH PLANS)



CB=S32°49'08"E
CH=136.89'
R=365.00'
L=137.70'

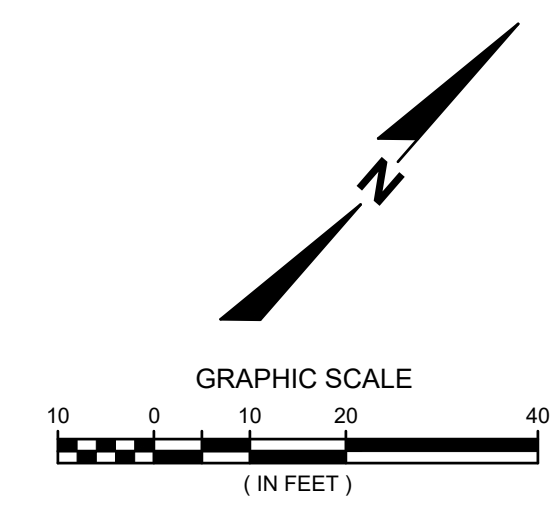
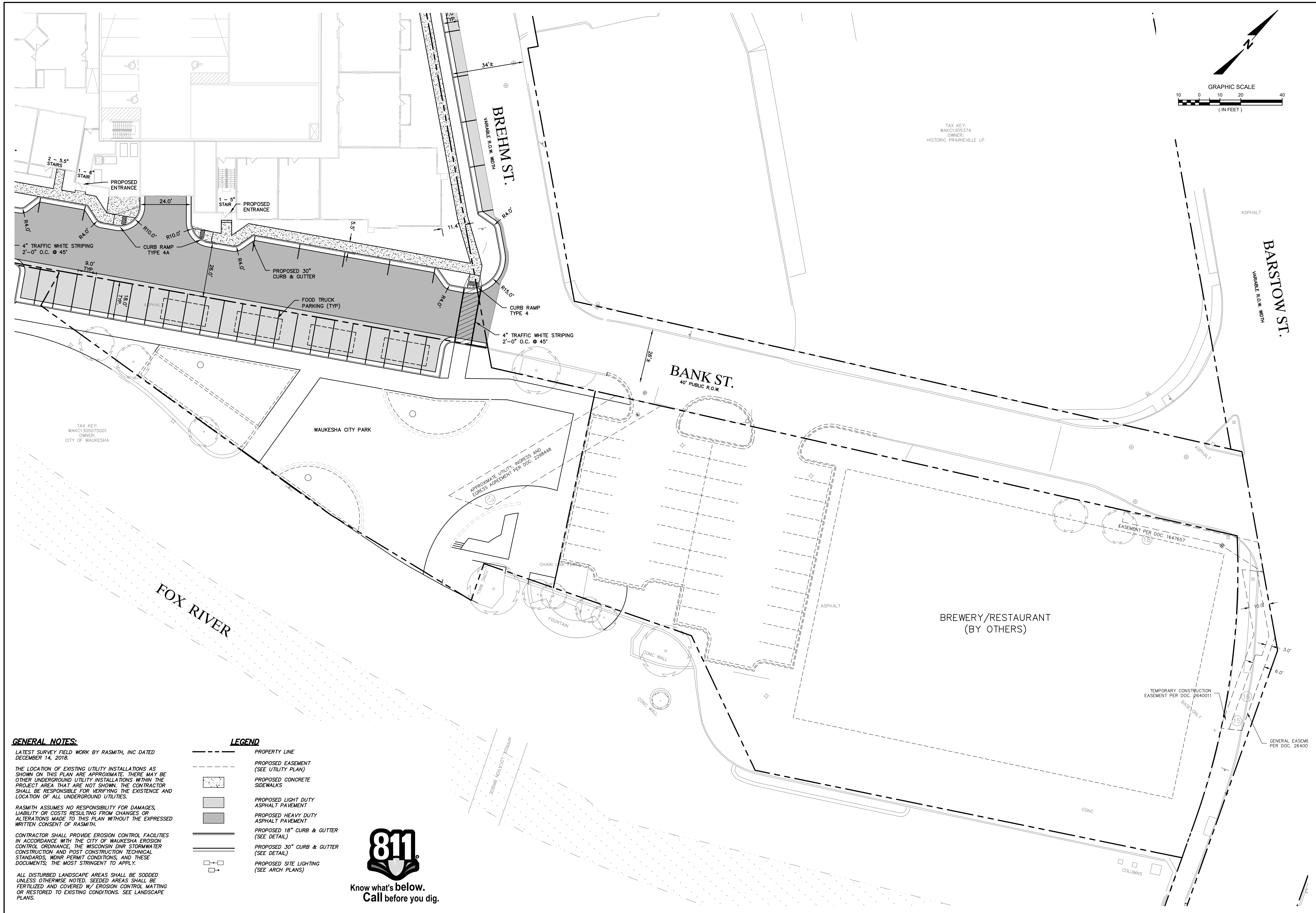


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 ALL DISTURBED LANDSCAPE AREAS SHALL BE SODED UNLESS OTHERWISE NOTED. SEEDS ARE TO BE FERTILIZED AND COVERED W/ EROSION CONTROL MATTING OR RESTORED TO EXISTING CONDITIONS. SEE LANDSCAPE PLANS.

- LEGEND**
- PROPERTY LINE
 - PROPOSED EASEMENT (SEE UTILITY PLAN)
 - PROPOSED CONCRETE SIDEWALKS
 - PROPOSED LIGHT DUTY ASPHALT PAVEMENT
 - PROPOSED HEAVY DUTY ASPHALT PAVEMENT
 - PROPOSED 18" CURB & GUTTER (SEE DETAIL)
 - PROPOSED 30" CURB & GUTTER (SEE DETAIL)
 - PROPOSED SITE LIGHTING (SEE ARCH PLANS)



DATE	DESCRIPTION
DATE	
DATE	
DATE	
DATE	
DATE	
16745 W. Bluemound Road Brookfield, WI 53005-5938 (262) 781-1000 rasmith.com	
 CREATIVITY BEYOND ENGINEERING	
Brookfield, WI Milwaukee, WI Appleton, WI Madison, WI Cedarburg, WI Mount Pleasant, WI Napperville, IL Pittsburgh, PA Irvine, CA	
THE RESERVE AT WAUKESHA CITY OF WAUKESHA, WI	
SITE PLAN WEST	
© COPYRIGHT 2019 R.A. Smith, Inc. DATE: 05/13/2019 SCALE: 1" = 20' JOB NO. 3170302 PROJECT MANAGER: MATT P. KOCUREK, P.E. DESIGNED BY: KMR CHECKED BY: JJJ	
SHEET NUMBER	
C201	



TAX KEY:
WAKC1305374
OWNER:
HISTORIC PRAIRIEVILLE LP

TAX KEY:
WAKC1305075001
OWNER:
CITY OF WAUKESHA

GENERAL NOTES:
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- LEGEND**
- PROPERTY LINE
 - - - - PROPOSED EASEMENT (SEE UTILITY PLAN)
 - ▨ PROPOSED CONCRETE SIDEWALKS
 - ▩ PROPOSED LIGHT DUTY ASPHALT PAVEMENT
 - ▧ PROPOSED HEAVY DUTY ASPHALT PAVEMENT
 - ▬ PROPOSED 18" CURB & GUTTER (SEE DETAIL)
 - ▬ PROPOSED 30" CURB & GUTTER (SEE DETAIL)
 - PROPOSED SITE LIGHTING (SEE ARCH PLANS)



Know what's below.
Call before you dig.

DATE	DESCRIPTION

16745 W. Bluemound Road
Brookfield, WI 53005-5938
(262) 781-1000
rasmith.com

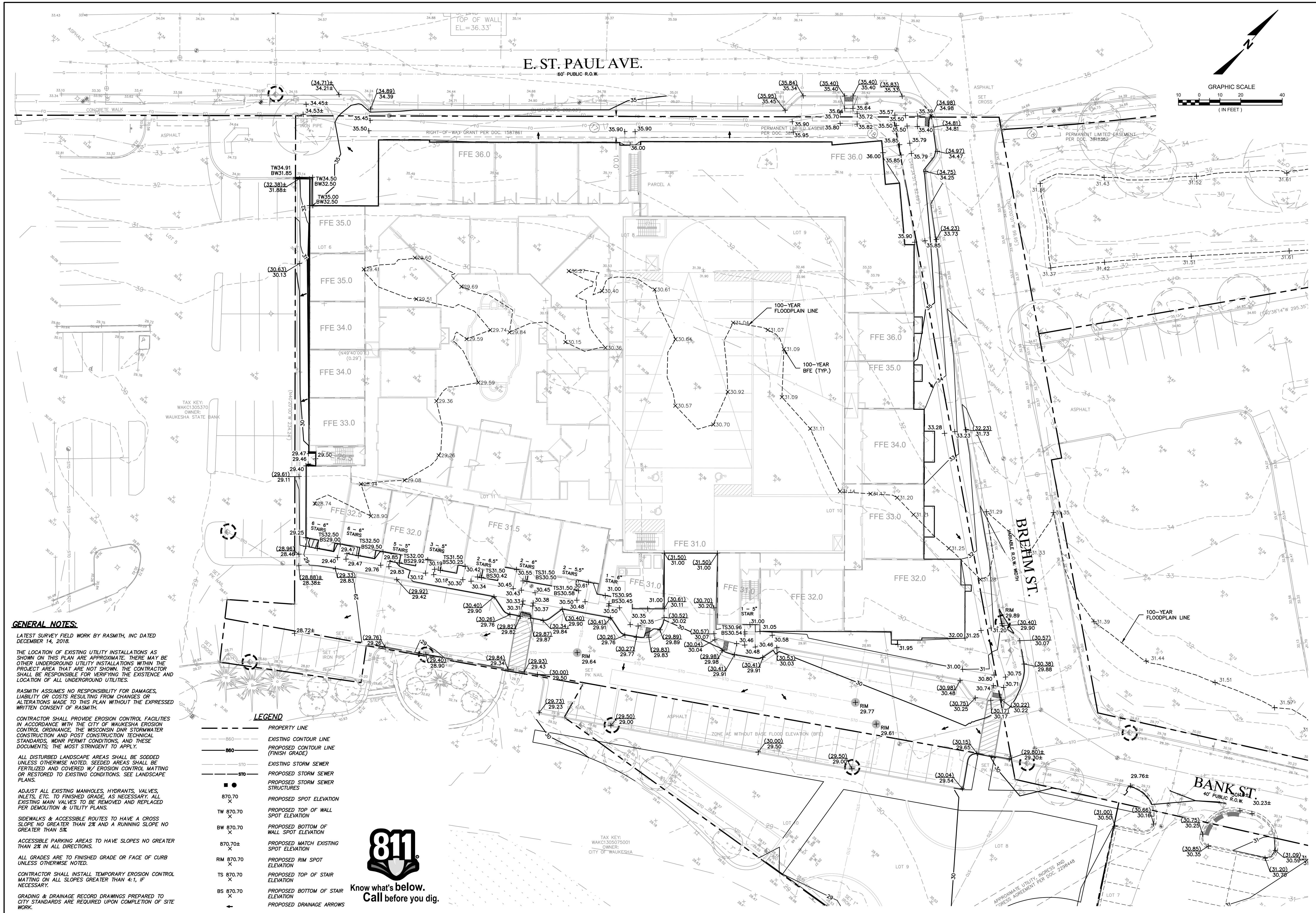


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Mount Pleasant, WI | Napperville, IL | Pittsburgh, PA | Irvine, CA

**THE RESERVE AT WAUKESHA
CITY OF WAUKESHA, WI**

SITE PLAN EAST

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DATE: 05/13/2019
SCALE: 1" = 20'
JOB NO. 3170302
PROJECT MANAGER: MATT P. KOCOUREK, P.E.
DESIGNED BY: KMR
CHECKED BY: JJJ
SHEET NUMBER C202



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 ADJUST ALL EXISTING MANHOLES, HYDRANTS, VALVES, INLETS, ETC. TO FINISHED GRADE, AS NECESSARY. ALL EXISTING MAIN VALVES TO BE REMOVED AND REPLACED PER DEMOLITION & UTILITY PLANS.
 SIDEWALKS & ACCESSIBLE ROUTES TO HAVE A CROSS SLOPE NO GREATER THAN 2% AND A RUNNING SLOPE NO GREATER THAN 5%.
 ACCESSIBLE PARKING AREAS TO HAVE SLOPES NO GREATER THAN 2% IN ALL DIRECTIONS.
 ALL GRADES ARE TO FINISHED GRADE OR FACE OF CURB UNLESS OTHERWISE NOTED.
 CONTRACTOR SHALL INSTALL TEMPORARY EROSION CONTROL MATTING ON ALL SLOPES GREATER THAN 4:1, IF NECESSARY.
 GRADING & DRAINAGE RECORD DRAWINGS PREPARED TO CITY STANDARDS ARE REQUIRED UPON COMPLETION OF SITE WORK.

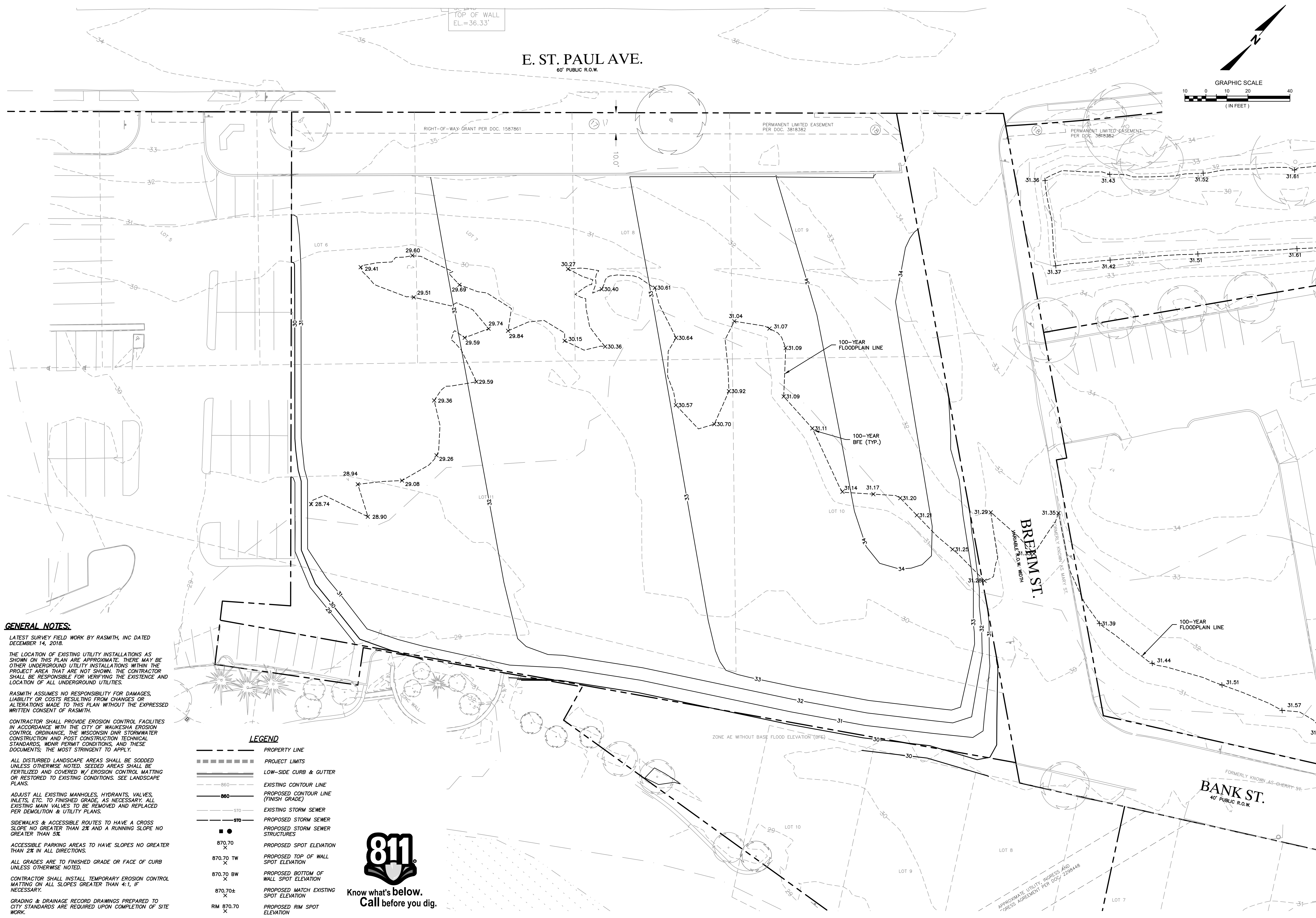
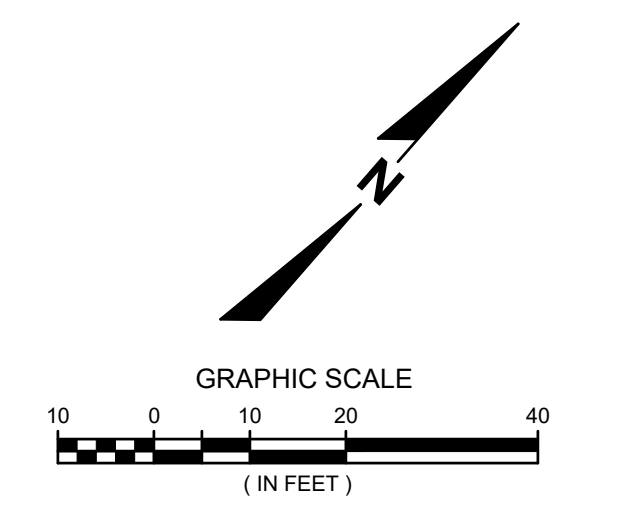
LEGEND

---	PROPERTY LINE
---	EXISTING CONTOUR LINE
---	PROPOSED CONTOUR LINE (FINISH GRADE)
---	EXISTING STORM SEWER
---	PROPOSED STORM SEWER
●	PROPOSED STORM SEWER STRUCTURES
870.70	PROPOSED SPOT ELEVATION
TW 870.70	PROPOSED TOP OF WALL SPOT ELEVATION
BW 870.70	PROPOSED BOTTOM OF WALL SPOT ELEVATION
870.70±	PROPOSED MATCH EXISTING SPOT ELEVATION
RIM 870.70	PROPOSED RIM SPOT ELEVATION
TS 870.70	PROPOSED TOP OF STAIR ELEVATION
BS 870.70	PROPOSED BOTTOM OF STAIR ELEVATION
→	PROPOSED DRAINAGE ARROWS



DESCRIPTION	
DATE	
16745 W. Bluemound Road Brookfield, WI 53005-5938 (262) 781-1000 rasmith.com	
CREATIVITY BEYOND ENGINEERING Brookfield, WI Milwaukee, WI Appleton, WI Madison, WI Cedarburg, WI Mount Pleasant, WI Naperville, IL Pittsburgh, PA Irvine, CA	
THE RESERVE AT WAUKESHA CITY OF WAUKESHA, WI	
GRADING & EROSION CONTROL PLAN	
© COPYRIGHT 2019 R.A. Smith, Inc. DATE: 05/13/2019 SCALE: 1" = 20' JOB NO. 3170302 PROJECT MANAGER: MATT P. KOCUREK, P.E. DESIGNED BY: KMR CHECKED BY: JJJ	
SHEET NUMBER C300	

E. ST. PAUL AVE.
60' PUBLIC R.O.W.



GENERAL NOTES:

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SIDEWALKS & ACCESSIBLE ROUTES TO HAVE A CROSS SLOPE NO GREATER THAN 2% AND A RUNNING SLOPE NO GREATER THAN 5%.

ACCESSIBLE PARKING AREAS TO HAVE SLOPES NO GREATER THAN 2% IN ALL DIRECTIONS.

ALL GRADES ARE TO FINISHED GRADE OR FACE OF CURB UNLESS OTHERWISE NOTED.

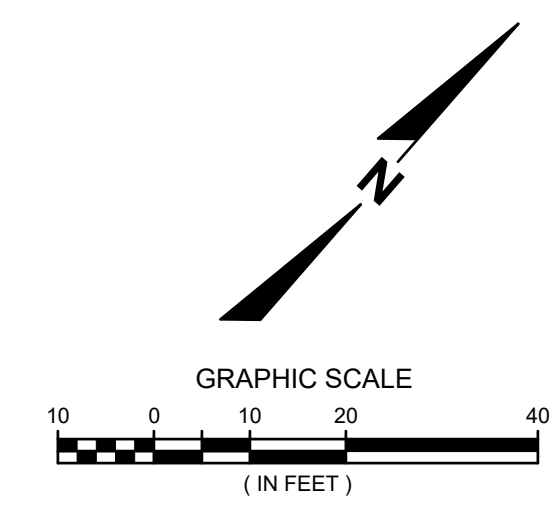
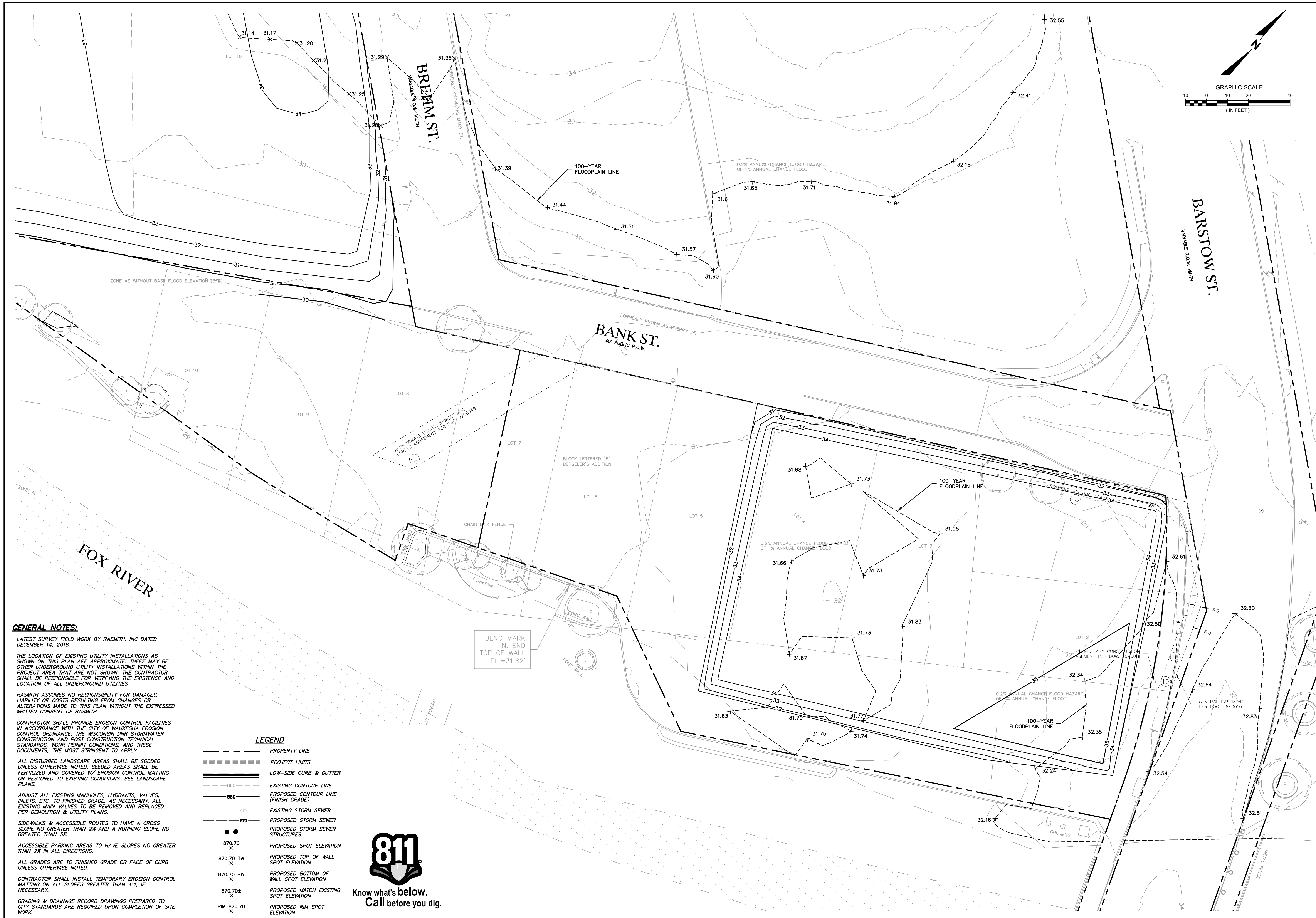
CONTRACTOR SHALL INSTALL TEMPORARY EROSION CONTROL MATTING ON ALL SLOPES GREATER THAN 4:1, IF NECESSARY.

GRADING & DRAINAGE RECORD DRAWINGS PREPARED TO CITY STANDARDS ARE REQUIRED UPON COMPLETION OF SITE WORK.

- LEGEND**
- PROPERTY LINE
 - PROJECT LIMITS
 - LOW-SIDE CURB & GUTTER
 - EXISTING CONTOUR LINE
 - PROPOSED CONTOUR LINE (FINISH GRADE)
 - EXISTING STORM SEWER
 - PROPOSED STORM SEWER
 - PROPOSED STORM SEWER STRUCTURES
 - 870.70 PROPOSED SPOT ELEVATION
 - 870.70 TW PROPOSED TOP OF WALL SPOT ELEVATION
 - 870.70 BW PROPOSED BOTTOM OF WALL SPOT ELEVATION
 - 870.70± PROPOSED MATCH EXISTING SPOT ELEVATION
 - RIM 870.70 PROPOSED RIM SPOT ELEVATION



DESCRIPTION	DATE
<p>16745 W. Blumound Road Brookfield, WI 53005-5938 (262) 781-1000 rasmith.com</p> <p>raSmith CREATIVITY BEYOND ENGINEERING</p> <p>Brookfield, WI Milwaukee, WI Appleton, WI Madison, WI Cedarburg, WI Mount Pleasant, WI Naperville, IL Pittsburgh, PA Irvine, CA</p>	
<p>THE RESERVE AT WAUKESHA CITY OF WAUKESHA, WI</p> <p>PHASE 1 GRADING PLAN WEST</p>	
<p>© COPYRIGHT 2019 R.A. Smith, Inc. DATE: 05/13/2019 SCALE: 1" = 20' JOB NO. 3170302 PROJECT MANAGER: MATT P. KOCOUREK, P.E. DESIGNED BY: KMR CHECKED BY: JJJ</p>	
<p>SHEET NUMBER C301</p>	



GENERAL NOTES:

LATEST SURVEY FIELD WORK BY RASMITH, INC DATED DECEMBER 14, 2018.

THE LOCATION OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES.

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ALL DISTURBED LANDSCAPE AREAS SHALL BE SODDED UNLESS OTHERWISE NOTED. SEEDED AREAS SHALL BE FERTILIZED AND COVERED W/ EROSION CONTROL MATTING OR RESTORED TO EXISTING CONDITIONS. SEE LANDSCAPE PLANS.

ADJUST ALL EXISTING MANHOLES, HYDRANTS, VALVES, INLETS, ETC. TO FINISHED GRADE, AS NECESSARY. ALL EXISTING MAIN VALVES TO BE REMOVED AND REPLACED PER DEMOLITION & UTILITY PLANS.

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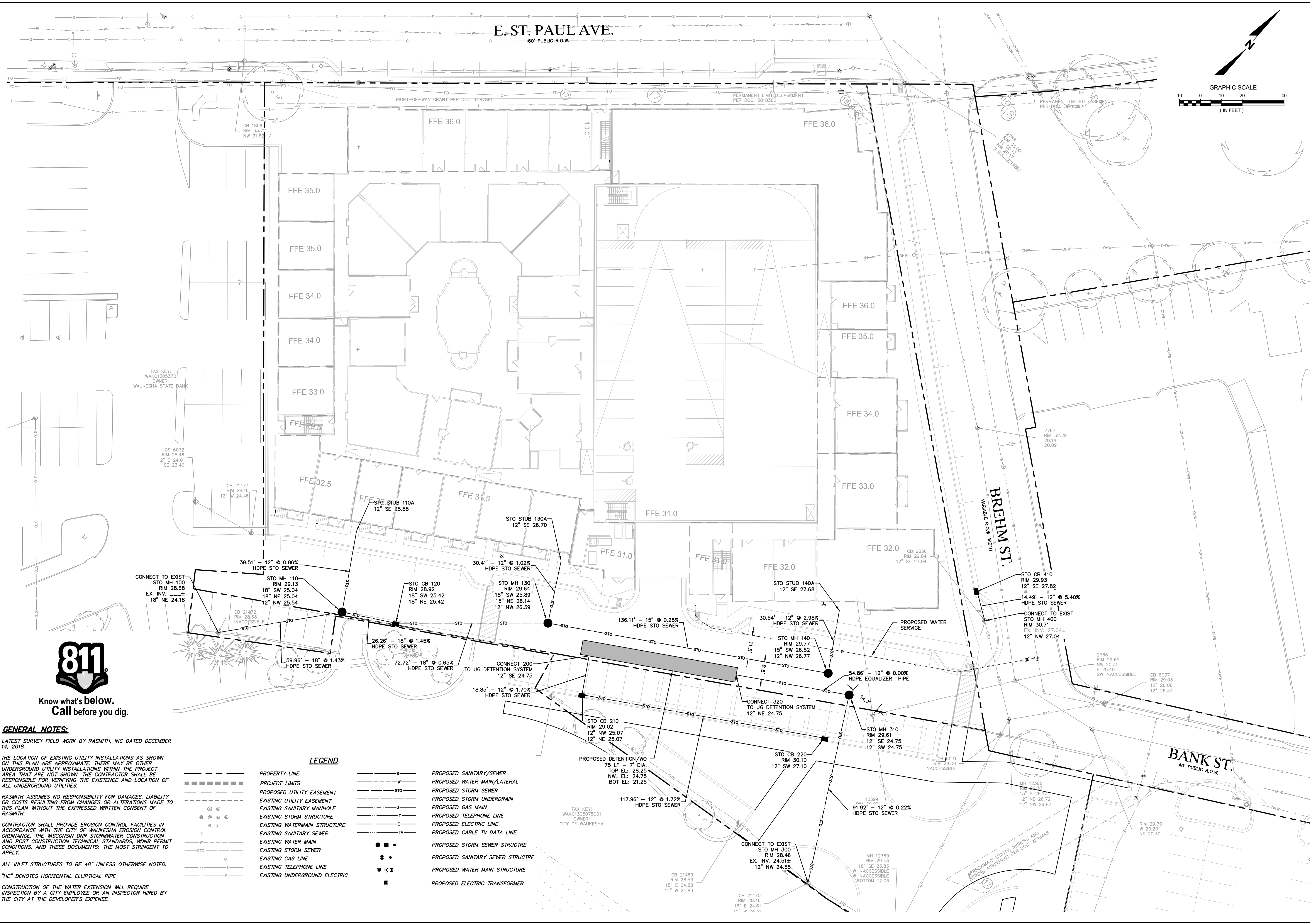
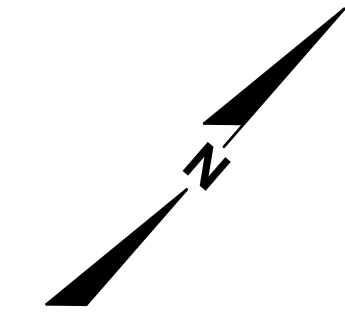
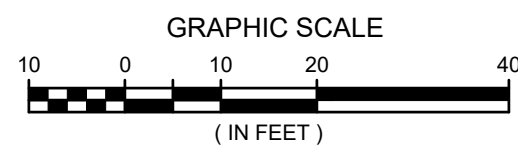
LEGEND

---	PROPERTY LINE
====	PROJECT LIMITS
---	LOW-SIDE CURB & GUTTER
-860-	EXISTING CONTOUR LINE
-860-	PROPOSED CONTOUR LINE (FINISH GRADE)
-S10-	EXISTING STORM SEWER
-S10-	PROPOSED STORM SEWER
■	PROPOSED STORM SEWER STRUCTURES
870.70 X	PROPOSED SPOT ELEVATION
870.70 TW X	PROPOSED TOP OF WALL SPOT ELEVATION
870.70 BW X	PROPOSED BOTTOM OF WALL SPOT ELEVATION
870.70± X	PROPOSED MATCH EXISTING SPOT ELEVATION
RM 870.70 X	PROPOSED RIM SPOT ELEVATION



DESCRIPTION	
DATE	
16745 W. Bluemound Road Brookfield, WI 53005-5938 (262) 781-1000 rasmith.com	
 CREATIVITY BEYOND ENGINEERING	
Brookfield, WI Milwaukee, WI Appleton, WI Madison, WI Cedarburg, WI Mount Pleasant, WI Naperville, IL Pittsburgh, PA Irvine, CA	
THE RESERVE AT WAUKESHA CITY OF WAUKESHA, WI	
PHASE 1 GRADING PLAN EAST	
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SHEET NUMBER C302	

E. ST. PAUL AVE.
60' PUBLIC R.O.W.



Know what's below.
Call before you dig.

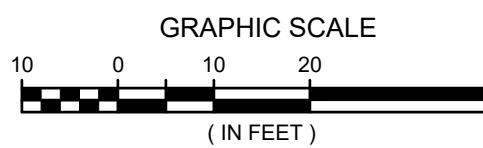
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LATEST SURVEY FIELD WORK BY RASMITH, INC DATED DECEMBER 14, 2018.
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ALL INLET STRUCTURES TO BE 48" UNLESS OTHERWISE NOTED.
"HE" DENOTES HORIZONTAL ELLIPTICAL PIPE
CONSTRUCTION OF THE WATER EXTENSION WILL REQUIRE INSPECTION BY A CITY EMPLOYEE OR AN INSPECTOR HIRED BY THE CITY AT THE DEVELOPER'S EXPENSE.

LEGEND	
	PROPERTY LINE
	PROJECT LIMITS
	PROPOSED UTILITY EASEMENT
	EXISTING UTILITY EASEMENT
	EXISTING SANITARY MANHOLE
	EXISTING STORM STRUCTURE
	EXISTING WATERMAIN STRUCTURE
	EXISTING WATER MAIN
	EXISTING STORM SEWER
	EXISTING GAS LINE
	EXISTING TELEPHONE LINE
	EXISTING UNDERGROUND ELECTRIC
	PROPOSED SANITARY/SEWER
	PROPOSED WATER MAIN/LATERAL
	PROPOSED STORM SEWER
	PROPOSED STORM UNDERDRAIN
	PROPOSED GAS MAIN
	PROPOSED TELEPHONE LINE
	PROPOSED ELECTRIC LINE
	PROPOSED CABLE TV DATA LINE
	PROPOSED STORM SEWER STRUCTURE
	PROPOSED SANITARY SEWER STRUCTURE
	PROPOSED WATER MAIN STRUCTURE
	PROPOSED ELECTRIC TRANSFORMER

<p>DATE</p> <p>DESCRIPTION</p>	<p>16745 W. Bluemound Road Brookfield, WI 53005-5938 (262) 781-1000 rasmith.com</p> <p>raSmith CREATIVITY BEYOND ENGINEERING</p> <p>Brookfield, WI Milwaukee, WI Appleton, WI Madison, WI Cedarburg, WI Mount Pleasant, WI Naperville, IL Pittsburgh, PA Irvine, CA</p>
<p>THE RESERVE AT WAUKESHA CITY OF WAUKESHA, WI</p> <p>STORM SEWER PLAN</p>	
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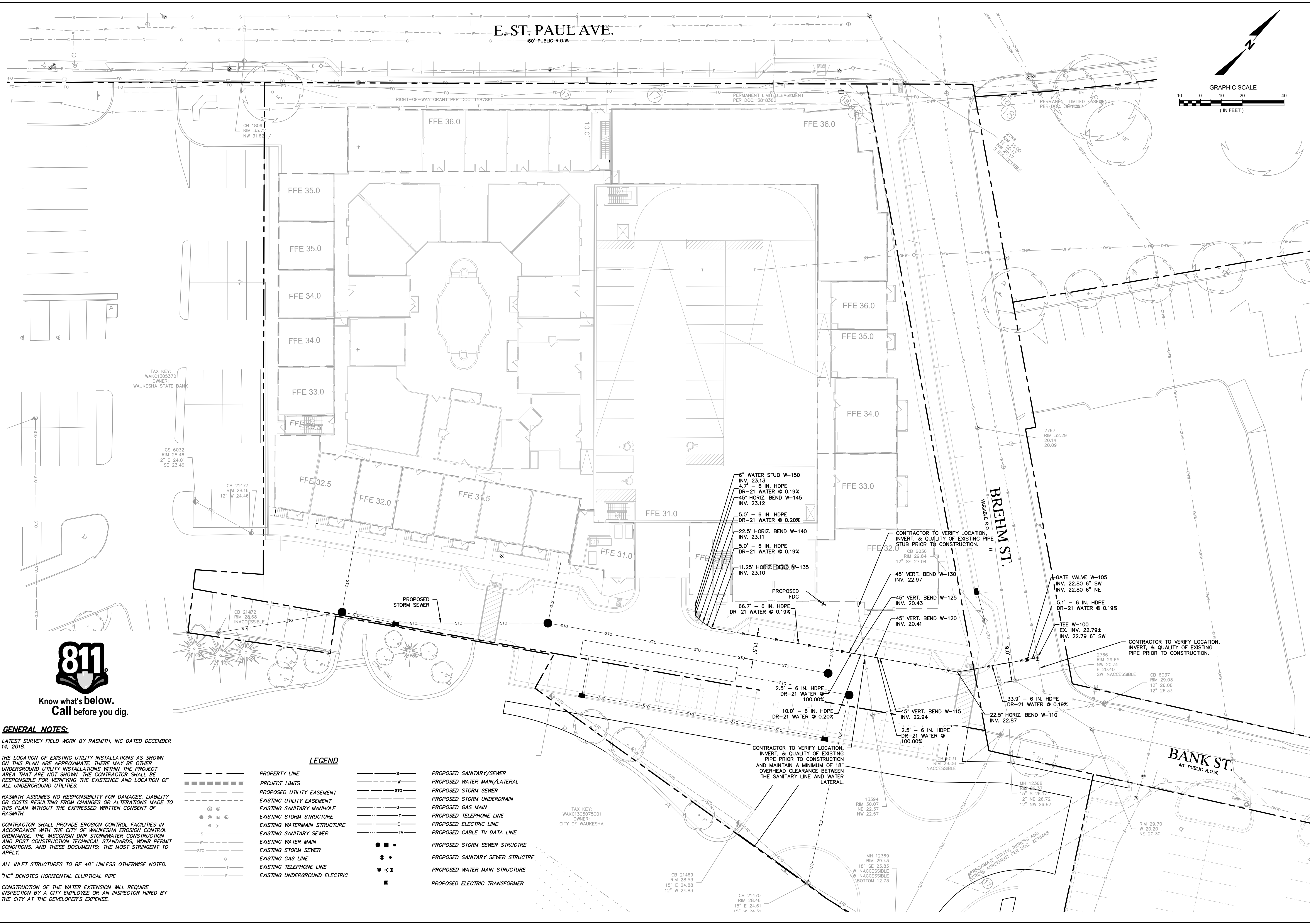
E. ST. PAUL AVE.

60' PUBLIC R.O.W.



GRAPHIC SCALE

(IN FEET)



TAX KEY: WAKC13053370 OWNER: WAUKESHA STATE BANK

CS 6032 RIM 28.46 12" E 24.01 SE 23.46

CB 21473 RIM 28.16 12" W 24.46

CB 21472 RIM 28.68 INACCESSIBLE

TAX KEY: WAKC130975001 OWNER: CITY OF WAUKESHA

CB 6031 RIM 29.06 INACCESSIBLE

13394 RIM 30.07 NE 22.37 NW 22.57

MH 12368 RIM 29.43 18" SE 23.83 W INACCESSIBLE NW INACCESSIBLE BOTTOM 12.73

CB 21469 RIM 28.53 15" E 24.88 12" W 24.83

CB 21470 RIM 28.46 15" E 24.61 15" W 24.61



Know what's below. Call before you dig.

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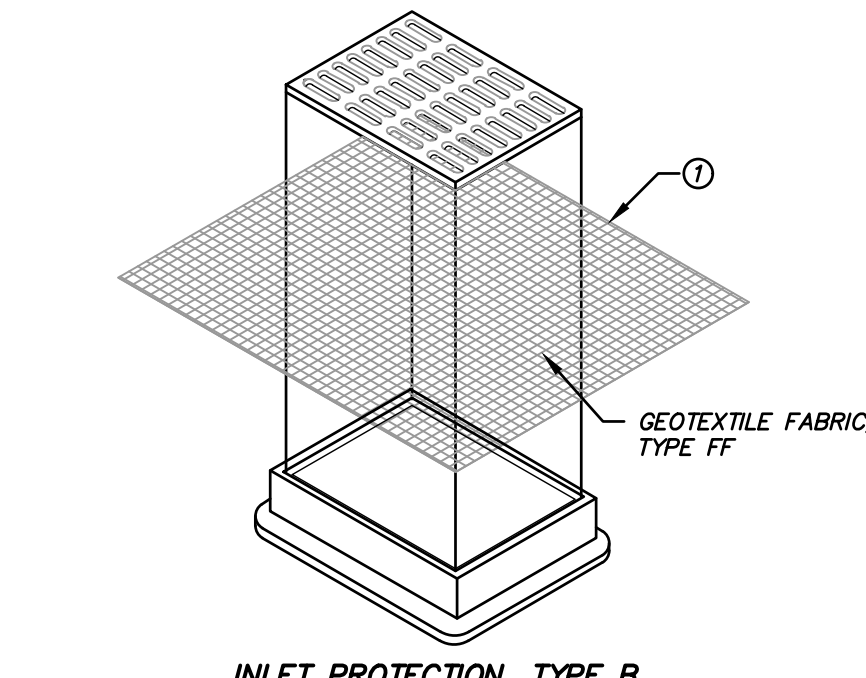
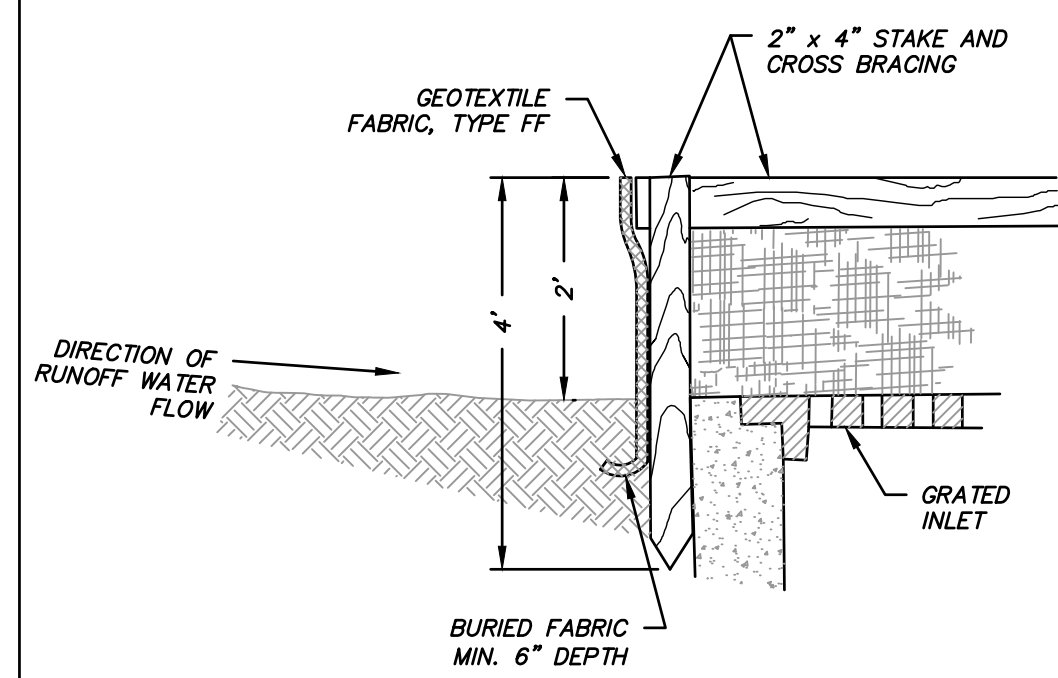
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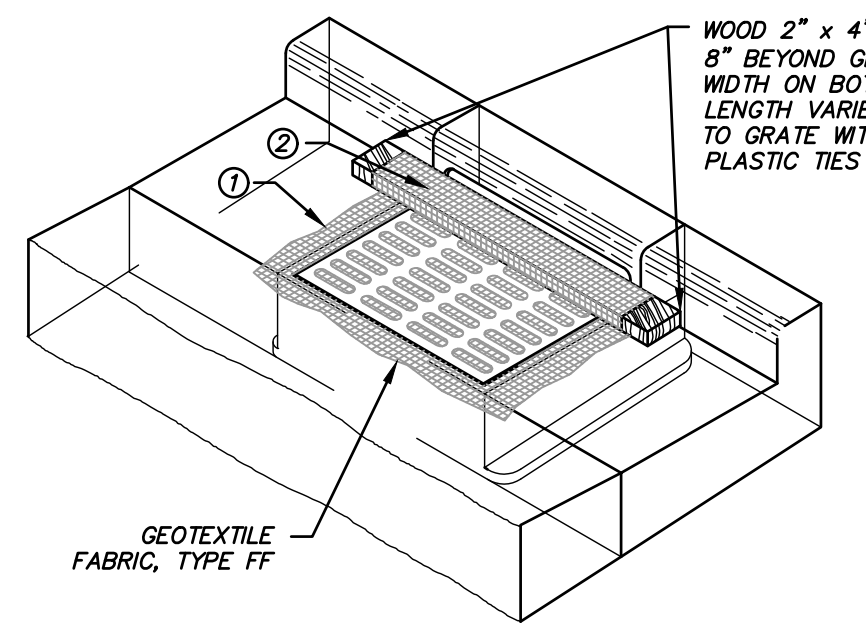
LEGEND

- PROPERTY LINE
PROJECT LIMITS
PROPOSED UTILITY EASEMENT
EXISTING UTILITY EASEMENT
EXISTING SANITARY MANHOLE
EXISTING STORM STRUCTURE
EXISTING WATERMAIN STRUCTURE
EXISTING SANITARY SEWER
EXISTING WATER MAIN
EXISTING STORM SEWER
EXISTING GAS LINE
EXISTING TELEPHONE LINE
EXISTING UNDERGROUND ELECTRIC
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PROPOSED GAS MAIN
PROPOSED TELEPHONE LINE
PROPOSED ELECTRIC LINE
PROPOSED CABLE TV DATA LINE
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PROPOSED SANITARY SEWER STRUCTURE
PROPOSED WATER MAIN STRUCTURE
PROPOSED ELECTRIC TRANSFORMER

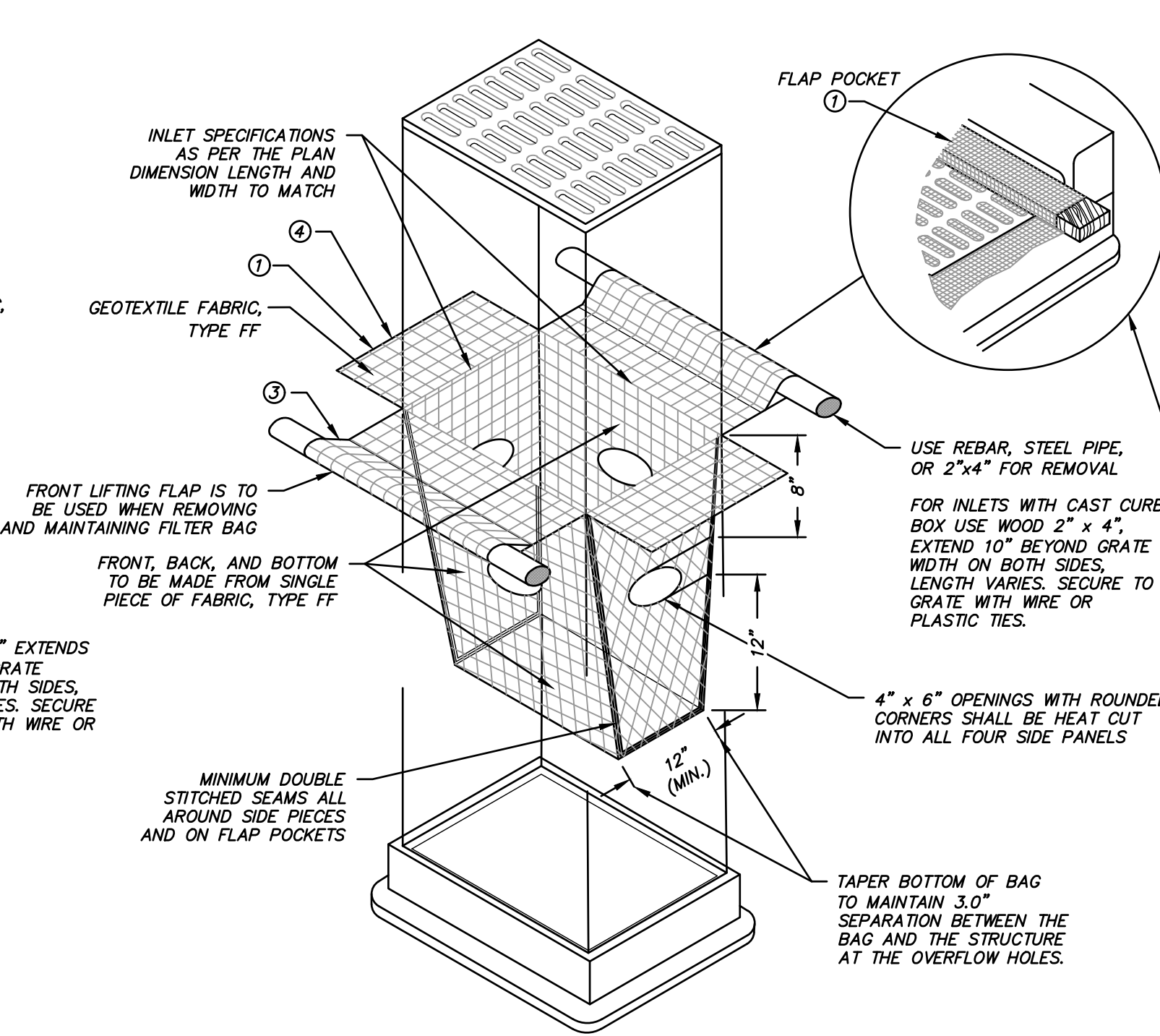
DESCRIPTION table, DATE table, THE RESERVE AT WAUKESHA CITY OF WAUKESHA, WI WATER & SANITARY PLAN, RASMITH logo, CONTACT: 16745 W. Bluemound Road Brookfield, WI 53005-5938 (262) 781-1000 rasmith.com, COPYRIGHT 2019 R.A. Smith, Inc., DATE: 05/13/2019, SCALE: 1" = 20', JOB NO. 3170302, PROJECT MANAGER: MATT P. KOCUREK, P.E., DESIGNED BY: KMR, CHECKED BY: JJJ, SHEET NUMBER C401



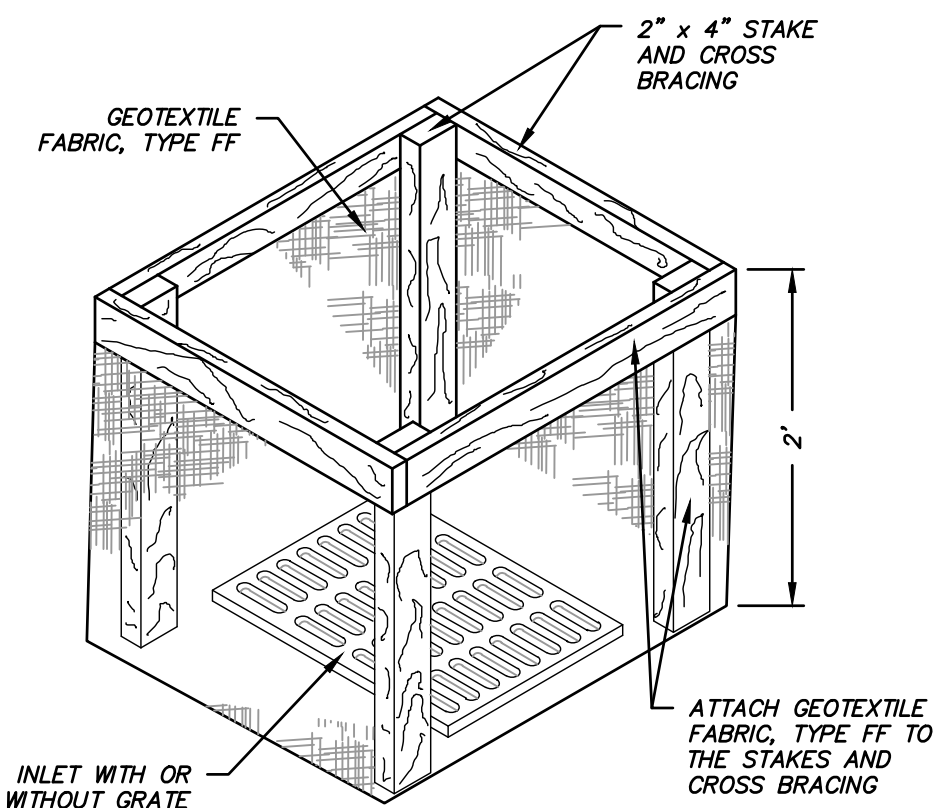
INLET PROTECTION TYPE B
(WITHOUT CURB BOX)
(CAN BE INSTALLED IN ANY INLET WITHOUT A CURB BOX)



INLET PROTECTION TYPE C
(WITH CURB BOX)



INLET PROTECTION TYPE D
(CAN BE INSTALLED IN ANY INLET WITH OR WITHOUT A CURB BOX AS PER NOTE 2)



INLET PROTECTION TYPE A

- 1 FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
 2 FOR INLET PROTECTION TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
 3 FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2"x4", THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.
 4 SIDE FLAPS SHALL BE A MAXIMUM OF 2' LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.

GENERAL NOTES:

INLET PROTECTION DEVICES SHALL CONFORM TO WDNR CONSERVATION PRACTICE STANDARD 1060 AND BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.
 MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE WSDOT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED IF ALLOWED BY ENGINEER.
 TYPE A IS TO BE USED PRIOR TO PAVING AND INSTALLATION OF CURB AND GUTTER, AND TYPES B, C, AND D ARE TO BE USED AFTER PAVING IS PLACED.
 TYPE A SHALL BE USED AROUND INLETS AND UNPAVED AREAS UNTIL PERMANENT STABILIZATION METHODS HAVE BEEN ESTABLISHED.
 TYPE B SHALL BE USED AFTER THE CASTING AND GRATE ARE IN PLACE, ON INLETS WITHOUT A CURB BOX WHEN TYPE D INLET DEVICES CANNOT BE USED.
 TYPE C SHALL BE USED AFTER THE CASTING AND GRATE ARE IN PLACE, ON STREET INLETS WITH CURB HEADS.
 TYPE D SHALL BE USED IN AREAS WHERE OTHER TYPES OF INLET PROTECTION ARE INCOMPATIBLE WITH ROADWAY AND TRAFFIC CONDITIONS (I.E. POSSIBLE SAFETY HAZARD IF PONDING OCCURS), OR WHERE MORE EFFECTIVE INLET FILTERING IS NEEDED.
 TAPER BOTTOM OF BAG TO MAINTAIN 3" OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
 GEOTEXTILE FABRIC TYPE FF FOR FLAPS, TOP AND BOTTOM OF OUTSIDE OF FILTER BAG, FRONT, BACK, AND BOTTOM OF FILTER BAG BEING ONE PIECE.

INSTALLATION NOTES:

TYPE B & C:
 TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
 THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.
 TYPE D:
 DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.
 TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
 THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3", WHERE NECESSARY THE CONTRACTOR SHALL GINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

MAINTENANCE:

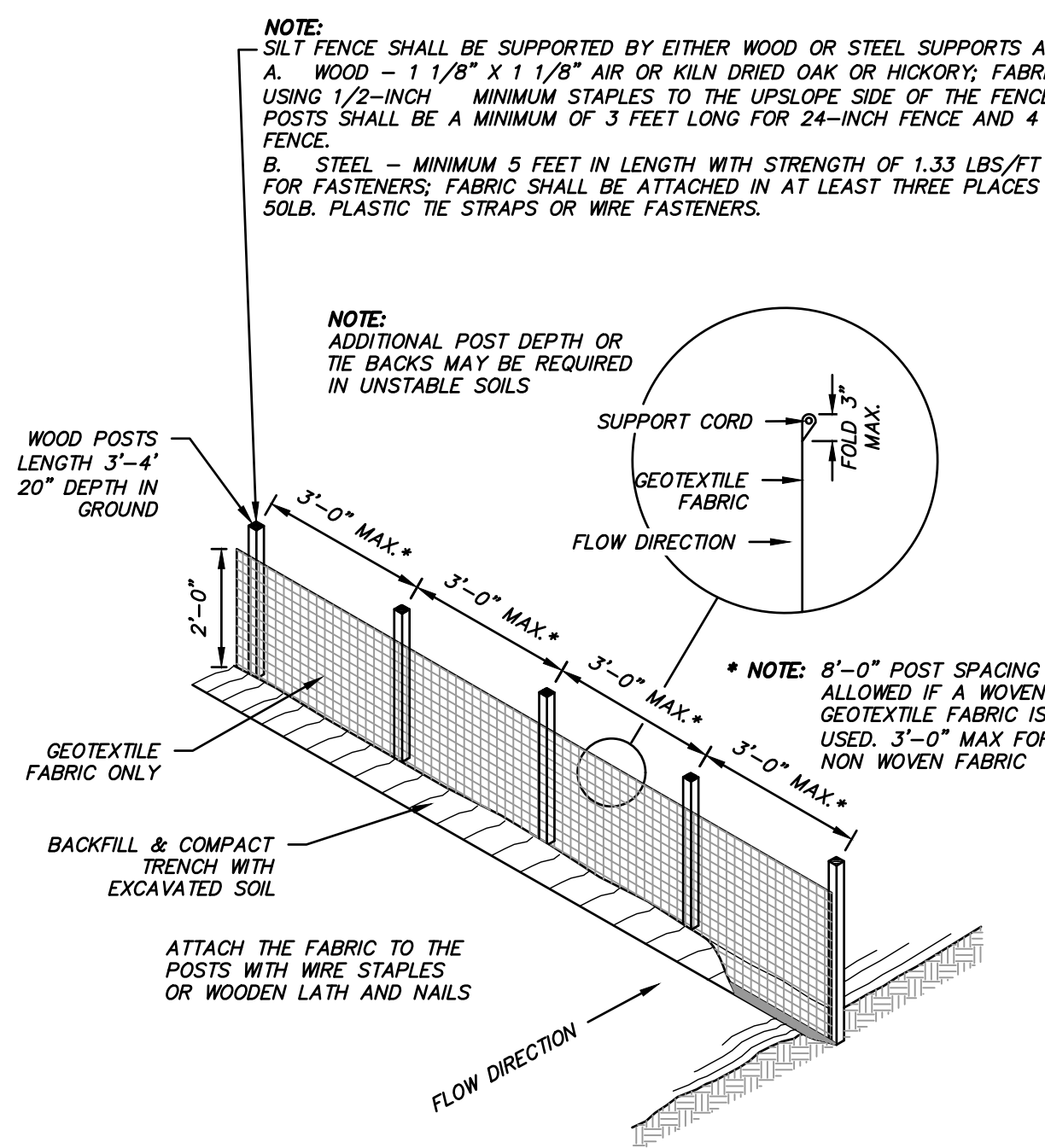
REMOVE INLET PROTECTION DEVICES ONCE THE CONTRIBUTING DRAINAGE AREA IS STABILIZED WITH APPROPRIATE VEGETATION OR IMPERVIOUS SURFACE.
 INLET PROTECTION SHALL BE, AT A MINIMUM, INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24-HOUR PERIOD.
 FOR TYPE A, B OR C INLET PROTECTION, SEDIMENT DEPOSITS SHALL BE REMOVED AND THE INLET PROTECTION DEVICE RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED BETWEEN 1/3 TO 1/2 THE DESIGN DEPTH OF THE DEVICE, OR WHEN THE DEVICE IS NO LONGER FUNCTIONING AS DESIGNED.
 FOR TYPE D INLET PROTECTION (INCLUDING D-M AND D-HR), REMOVE SEDIMENT WHEN SEDIMENT ACCUMULATES TO WITHIN 6" OF THE BOTTOM OF THE OVERFLOW HOLES, OR WHEN STANDING WATER REMAINS WITHIN 6" OF THE BOTTOM OF THE OVERFLOW HOLES 24 HOURS AFTER A RUNOFF EVENT. HOLES IN THE TYPE FF FABRIC MAY BE REPAIRED BY STITCHING IF LESS THAN 2" IN LENGTH, BUT THE FABRIC SHOULD BE REPLACED IF THE HOLES ARE GREATER THAN 2" IN LENGTH IN THE TYPE FF FABRIC OR IF THERE ARE ANY HOLES IN THE TYPE HR FABRIC. THE FILTER MUST ALSO BE REPLACED IF THE FLAP POCKETS SUSTAIN DAMAGE THAT COMPROMISES FILTER INTEGRITY OR THE ABILITY TO PERFORM MAINTENANCE.
 REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND STABILIZED.
 WHEN REMOVING OR MAINTAINING INLET PROTECTION, DUE CARE SHALL BE TAKEN TO ENSURE SEDIMENT DOES NOT FALL INTO THE INLET AND IMPEDE THE INTENDED FUNCTION OF THE DEVICE. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

STORM DRAIN INLET PROTECTION DETAILS
(NOT TO SCALE)

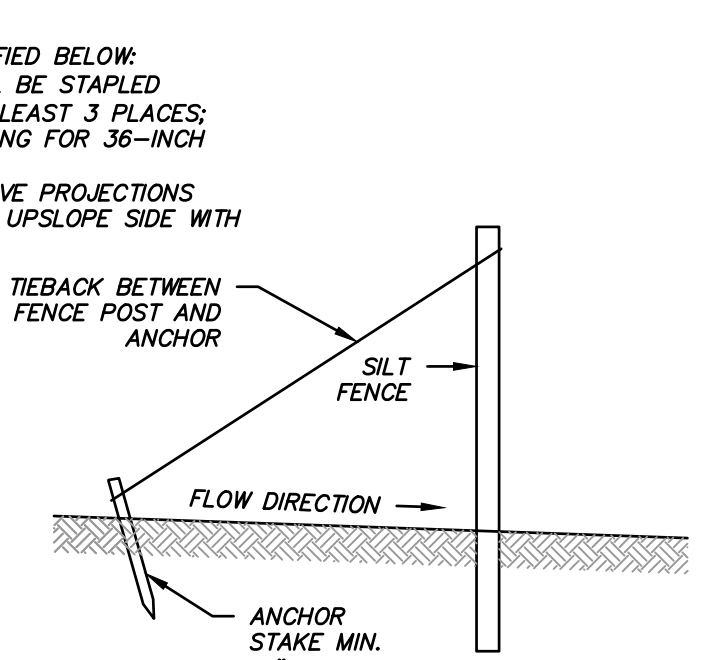
- NOTES:**
- SILT FENCE INSTALLATION AND MATERIALS SHALL CONFORM TO WDNR CONSERVATION STANDARD 1056
 - SILT FENCE SHALL BE PLACED ON THE CONTOUR AND NOT PERPENDICULAR TO THE CONTOUR. THE ENDS SHALL BE EXTENDED UPSLOPE TO PREVENT WATER FROM FLOWING AROUND THE ENDS OF THE FENCE.
 - WHEN SILT FENCE IS INSTALLED ON A SLOPE, THE PARALLEL SPACING SHALL NOT EXCEED THE REQUIREMENTS IN THE TABLE BELOW:

SLOPE	FENCE SPACING
< 2%	100 FEET
2 TO 5%	75 FEET
5 TO 10%	50 FEET
10 TO 33%	25 FEET
> 33%	20 FEET

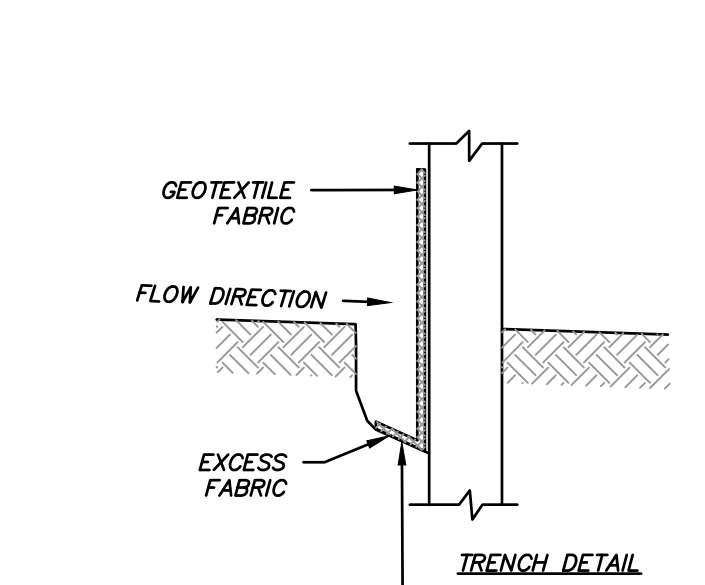
- INSTALLED SILT FENCES SHALL BE MINIMUM 14 INCHES HIGH AND A MAXIMUM OF 28 INCHES IN HEIGHT MEASURED FROM THE INSTALLED GROUND ELEVATION.
- A MINIMUM OF 20 INCHES OF THE POST SHALL EXTEND INTO THE GROUND AFTER INSTALLATION.
- SILT FENCE SHALL BE ANCHORED BY SPREADING AT LEAST 8 INCHES OF THE FABRIC IN A 4-INCH TRENCH WIDE BY 6-INCH DEEP TRENCH, OR 6-INCH V-TRENCH ON THE UPSLOPE SIDE OF THE FENCE. TRENCH SHALL BE BACKFILLED AND COMPACTED. TRENCHES SHALL NOT BE EXCAVATED WIDER THAN NECESSARY FOR PROPER INSTALLATION.
- CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS:
 - TWIST METHOD—OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180 DEGREES.
 - HOOK METHOD—HOOK THE END OF EACH SILT FENCE LENGTH.
- SILT FENCE SHALL AT A MINIMUM BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EACH PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24-HOUR PERIOD.
- DAMAGED OR DECOMPOSED FENCES, UNDERCUTTING, OR FLOW CHANNELS AROUND THE END OF BARRIERS SHALL BE REPAIRED OR CORRECTED.
- SEDIMENT SHALL BE PROPERLY DISPOSED OF ONCE THE DEPOSITS REACH ONE HALF THE HEIGHT OF THE FENCE.
- SILT FENCES SHALL BE REMOVED ONCE THE DISTURBED AREA IS PERMANENTLY STABILIZED AND IS NO LONGER SUSCEPTIBLE TO EROSION.



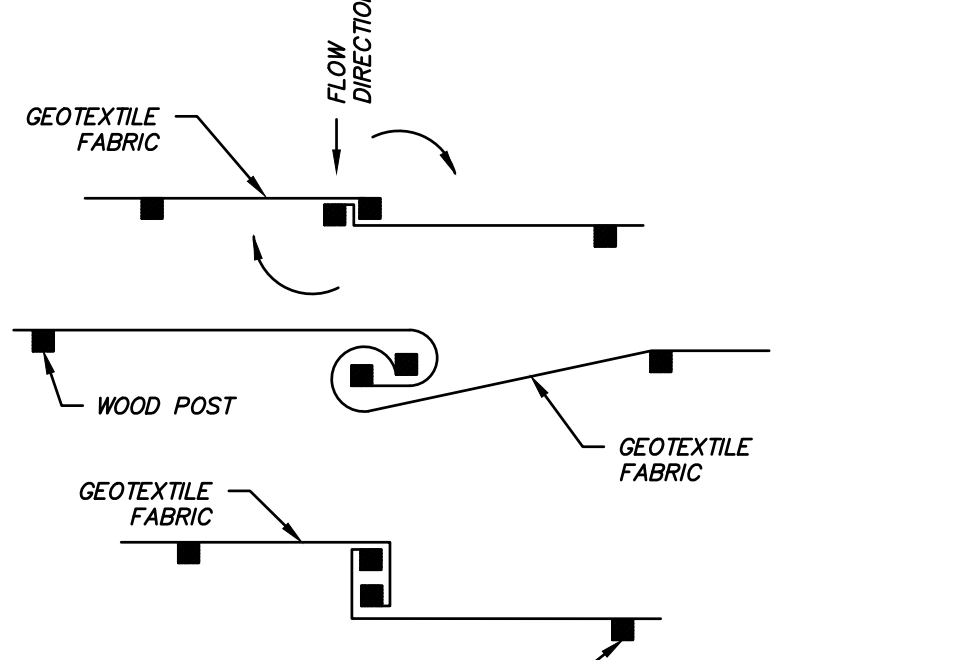
SILT FENCE DETAIL
(NOT TO SCALE)



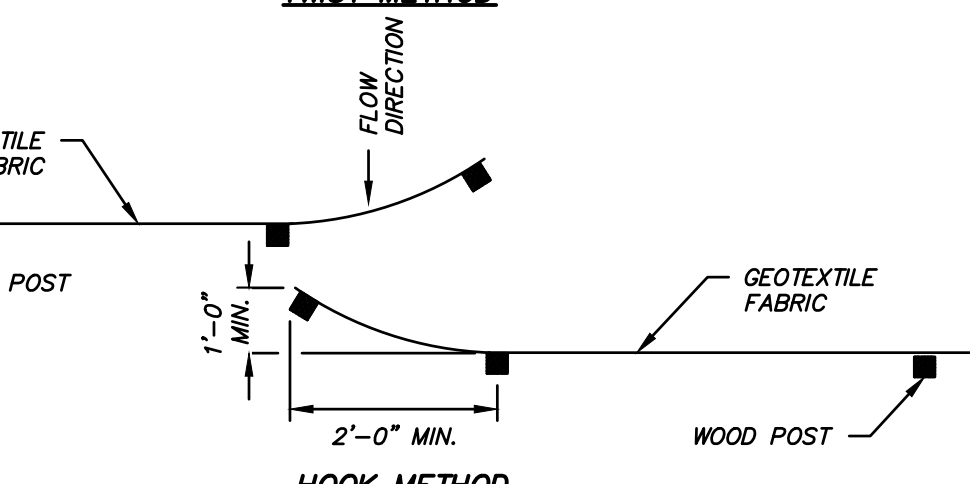
SILT FENCE TIE BACK
(WHEN ADDITIONAL SUPPORT IS REQUIRED)



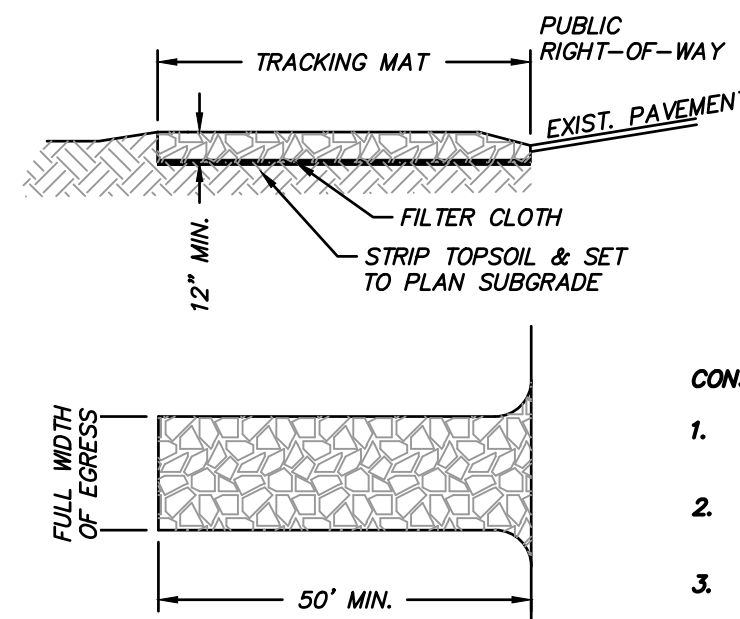
- NOTES:**
- TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.



JOINING TWO LENGTHS OF SILT FENCE



JOINING TWO LENGTHS OF SILT FENCE



CONSIDERATIONS:

- VEHICLES TRAVELING ACROSS THE TRACKING PAD SHOULD MAINTAIN A SLOW CONSTANT SPEED.
- THE BEST APPROACH TO PREVENTING OFF-SITE TRACKING IS TO RESTRICT VEHICLES TO STABILIZED AREAS.
- ANY SEDIMENT TRACKED ONTO A PUBLIC OR PRIVATE ROAD SHOULD BE REMOVED BY STREET CLEANING, NOT FLUSHING, BEFORE THE END OF EACH WORKING DAY.

NOTES:

- A. TRACKING PAD:**
- TRACKING PAD TO CONFORM TO WDNR CONSERVATION PRACTICE STANDARD 1057.
 - THE TRACKING PAD SHALL BE INSTALLED PRIOR TO ANY TRAFFIC LEAVING THE SITE.
 - THE AGGREGATE FOR THE TRACKING PADS SHALL BE HARD, DURABLE, ANGULAR STONE OR RECYCLED CONCRETE MEETING THE GRADATION OF TABLE 1 OF THE WISCONSIN DNR TECHNICAL STANDARD 1057. WHERE THIS GRADATION IS NOT AVAILABLE, MEET THE GRADATION IN WISCONSIN DEPARTMENT OF TRANSPORTATION (DOT) 2018 STANDARD SPECIFICATION, SECTION 312, SELECT CRUSHED MATERIAL.
 - THE AGGREGATE SHALL BE PLACED IN A LAYER AT LEAST 12 INCHES THICK. ON SITES WITH A HIGH WATER TABLE, OR WHERE SATURATED CONDITIONS ARE EXPECTED DURING THE LIFE OF THE PRACTICE, STONE TRACKING PADS SHALL BE UNDERLAIN WITH A WSDOT TYPE R GEOTEXTILE FABRIC TO PREVENT MIGRATION OF UNDERLYING SOIL INTO THE STONE.
 - THE TRACKING PAD SHALL BE THE FULL WIDTH OF THE EGRESS POINT. THE TRACKING PAD SHALL BE A MINIMUM OF 50 FEET LONG.
 - SURFACE WATER MUST BE PREVENTED FROM PASSING THROUGH THE TRACKING PAD. FLOWS SHALL BE DIVERTED AWAY FROM TRACKING PADS OR CONVEYED UNDER AND AROUND THEM BY USING A VARIETY OF PRACTICES, SUCH AS CULVERTS, WATER BARS, OR OTHER SIMILAR PRACTICES.
- B. MAINTENANCE**
- ROCKS LODGED BETWEEN THE TIRES IF DUAL WHEEL VEHICLES SHALL BE REMOVED PRIOR TO LEAVING THE CONSTRUCTION SITE.
 - TRACKING PADS AND TIRE WASHING STATIONS SHALL, AT AT MINIMUM, BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24-HOUR PERIOD.
 - THE TRACKING PAD PERFORMANCE SHALL BE MAINTAINED BY SCRAPING OR TOP-DRESSING WITH ADDITIONAL AGGREGATE.
 - A MINIMUM 12-INCH THICK PAD SHALL BE MAINTAINED.

STONE TRACKING PAD DETAIL
(NOT TO SCALE)

THE RESERVE AT WAUKESHA
CITY OF WAUKESHA, WI

EROSION CONTROL DETAILS

DESCRIPTION

DATE

16745 W. Bluemound Road
Brookfield, WI 53005-5938
(262) 781-1000
rasmith.com

raSmith
CREATIVITY BEYOND ENGINEERING

Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI | Cedarburg, WI
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R.A. Smith, Inc.
DATE: 05/13/2019
SCALE: #####
JOB NO. 3170302
PROJECT MANAGER:
MATT P. KOCUREK, P.E.
DESIGNED BY: KMR
CHECKED BY: JJJ

SHEET NUMBER

C501

SPECIFICATIONS

A. GENERAL

1. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE MUNICIPALITY FORTY- EIGHT (48) HOURS PRIOR TO THE START OF CONSTRUCTION.
2. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER, AND THE MUNICIPALITY, THEIR AGENTS, ETC. FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.
3. SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
4. THE BIDDER WILL BE SOLELY RESPONSIBLE FOR DETERMINING QUANTITIES AND SHALL STATE SUCH QUANTITIES IN THEIR PROPOSAL. THE CONTRACTOR SHALL BASE THEIR BID ON THEIR OWN ESTIMATE OF THE WORK REQUIRED AND SHALL NOT RELY ON THE ENGINEER'S ESTIMATE.
5. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. A GEOTECHNICAL REPORT MAY BE AVAILABLE FROM THE OWNER. THE CONTRACTOR SHALL ABIDE BY THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
6. THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL SITE CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL COMPARE FIELD CONDITIONS WITH DRAWINGS.
7. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED FOR EXECUTION OF THE WORK. THE CONTRACTOR SHALL CONDUCT THEIR WORK ACCORDING TO THE REQUIREMENTS OF THE PERMITS.
8. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL UTILITY INFORMATION SHOWN ON THE PLANS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL CALL DIGGER'S HOTLINE AT 1-800-242-8511 TO NOTIFY THE UTILITIES OF THEIR INTENTIONS, AND TO REQUEST FIELD STAKING OF EXISTING UTILITIES.
9. CONTRACTOR IS ADVISED THAT ALL MUD AND DEBRIS MUST NOT BE DEPOSITED ONTO THE ADJACENT ROADWAYS PER THE REQUIREMENT OF THE MUNICIPALITY OR OTHER APPROPRIATE GOVERNMENT AGENCIES.
10. ANY ADJACENT PROPERTIES OR ROAD RIGHT-OF-WAYS WHICH ARE DAMAGED DURING CONSTRUCTION MUST BE RESTORED BY THE CONTRACTOR. THE COST OF THE RESTORATION IS CONSIDERED INCIDENTAL, AND SHOULD BE INCLUDED IN THE BID PRICES.
11. SUBMITTALS:
 - A. SHOP DRAWINGS AND/OR MANUFACTURER'S PRODUCT DATA SUBMITTALS ARE REQUIRED ONLY IF THE PRODUCT OR METHOD OF CONSTRUCTION
 - a. IS DIFFERENT FROM THAT SPECIFIED OR
 - b. IS PART OF THE WORK THAT WILL BE DEDICATED AS A PUBLIC UTILITY OR ROADWAY AT THE END OF THE PROJECT OR
 - c. IF REQUIRED BY THE MUNICIPAL ENGINEER.
 - B. FOR UTILITY OR ROAD WORK THAT WILL BE DEDICATED TO A MUNICIPALITY, CONTRACTOR MUST MAKE SUBMITTALS TO THE MUNICIPALITY AS WELL AS ENGINEER.
 - C. ALL DOCUMENTS SUBMITTED FOR REVIEW SHALL HAVE THE SPECIFIC MATERIAL, PART, SIZE, ETC. RELATED TO THE DESIGN HIGHLIGHTED IN SOME FASHION. EXAMPLE: A FITTING CUT SHEET HAS MULTIPLE PRESSURE RATINGS FOR DIFFERENT SIZE BENDS. HIGHLIGHT THE PRESSURE CLASS & SIZE TO BE USED ON THE PROJECT. ALL SUBMITTALS NOT PROPERLY IDENTIFYING THE SPECIFIC MATERIAL BEING USED WILL BE REJECTED.
 - D. ALL DOCUMENTS SUBMITTED FOR REVIEW MUST INDICATE WHAT PART OF THE DESIGN THEY RELATE TO.
 - E. CONTRACTOR SHALL ALLOW A MINIMUM OF 10 WORKING DAYS FOR SUBMITTAL REVIEW.
 - F. SUBSTITUTION REQUESTS
 - a. IF A SUBSTITUTION IS REQUESTED, CONTRACTOR SHALL SUBMIT A SHOP DRAWING AND/OR MANUFACTURER'S DATA AND AN EXPLANATION AS TO EXACTLY HOW THE PROPOSED SUBSTITUTION MEETS THE PROPOSED DESIGN TO THE OWNER'S REPRESENTATIVE OR ENGINEER FOR REVIEW AND APPROVAL. PRODUCT SPECIFICATION SHEETS WITHOUT EXPLANATION WILL NOT BE ACCEPTED.
 - b. THE CONTRACTOR SHALL ALSO INDICATE WITH THE SUBSTITUTION REQUEST THE AMOUNT THAT WILL BE CREDITED FROM THE CONTRACT AMOUNT TO THE OWNER IF THE SUBSTITUTION IS APPROVED.
 - c. THE CONTRACTOR SHALL NOT PROCEED UNTIL THE OWNER'S APPROVAL IS GIVEN.

B. EROSION CONTROL

1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING COPIES OF ALL PERMITS, INCLUDING WPDES DISCHARGE PERMITS (IF APPLICABLE), AND THE CITY OF WAUKESHA EROSION CONTROL PERMIT. CONTRACTOR IS RESPONSIBLE FOR ABIDING BY ALL PERMIT REQUIREMENTS AND RESTRICTIONS.
2. ALL INSTALLATION AND MAINTENANCE OF EROSION CONTROL PRACTICES SHALL BE IN ACCORDANCE WITH THE APPLICABLE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) TECHNICAL STANDARD.
3. ALL EROSION CONTROL FACILITIES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT AND WARRANTY PERIOD IN CONFORMANCE WITH THE DNR WPDES GENERAL PERMIT.
4. ALL EROSION AND SEDIMENTATION CONTROL PRACTICES SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24 HOUR PERIOD. NEEDED REPAIRS WILL BE MADE IMMEDIATELY.
5. ALL DISTURBED GROUND LEFT INACTIVE FOR FOURTEEN DAYS OR MORE SHALL BE STABILIZED WITH TOPSOIL, SEED, AND MULCH IN ACCORDANCE WITH THE WDNR TECHNICAL STANDARDS 1059 AND 1058.
6. TEMPORARY SEED MIXTURE SHALL CONFORM TO 630.21.5.1.4 OF THE WSDOT STANDARD SPECIFICATIONS. USE WINTER WHEAT OR RYE FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 1.
7. DISTURBED AREAS THAT CANNOT BE STABILIZED WITH A DENSE GROWTH OF VEGETATION BY SEEDING AND MULCHING DUE TO TEMPERATURE OR TIMING OF CONSTRUCTION, SHALL BE STABILIZED BY APPLYING ANIONIC POLYACRYLAMIDE (PAM) IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1050.
8. SEDIMENT SHALL BE REMOVED FROM THE SEDIMENT BASINS TO MAINTAIN A THREE FOOT DEPTH OF TREATMENT, MEASURED BELOW THE NORMAL WATER ELEVATION. SEDIMENT WILL BE REMOVED FROM THE DIVERSION DITCHES WHEN IT REACHES HALF THE HEIGHT OF THE DITCH. SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE AND DITCH CHECKS WHEN IT REACHES HALF THE HEIGHT OF THE FENCE/BALE. THE SILT FENCE AND DITCH CHECKS SHALL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER.
9. ALL WATER FROM CONSTRUCTION DEWATERING SHALL BE TREATED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1061 PRIOR TO DISCHARGE TO WATERS OF THE STATE, WETLANDS, OR OFFSITE. CONTRACTOR RESPONSIBLE FOR REVISING THE PERMIT, IF NECESSARY.
10. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION. ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED. DEPENDING ON HOW THE CONTRACTOR GRADES THE SITE, IT MAY BE NECESSARY TO INSTALL TEMPORARY SEDIMENT TRAPS IN VARIOUS LOCATIONS THROUGHOUT THE PROJECT. TEMPORARY SEDIMENT TRAPS SHALL BE DESIGNED, INSTALLED, AND MAINTAINED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1063.
11. ANY SEDIMENT TRACKED ONTO A PUBLIC OR PRIVATE ROAD SHOULD BE REMOVED BY STREET CLEANING, NOT FLUSHING, BEFORE THE END OF EACH WORKING DAY.
12. DUST CONTROL SHALL BE PROVIDED AS NECESSARY IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1068.
13. FINAL STABILIZATION OF LANDSCAPED AREAS SHALL BE IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN.
14. ALL SEEDED AREAS WILL BE FERTILIZED, RESEED AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS IN THE APPROVED LANDSCAPE PLAN TO MAINTAIN A VIGOROUS DENSE VEGETATIVE COVER.

C. GRADING

1. THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION, THE GEOTECHNICAL REPORT AND THE LOCAL ORDINANCES AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL MAINTAIN SITE DRAINAGE THROUGHOUT CONSTRUCTION. THIS MAY INCLUDE THE EXCAVATION OF TEMPORARY DITCHES OR PUMPING TO ALLEVIATE WATER PONDING.
3. SILT FENCE AND OTHER EROSION CONTROL FACILITIES MUST BE INSTALLED PRIOR TO CONSTRUCTION OR ANY OTHER LAND DISTURBING ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EROSION CONTROL FACILITIES ONCE THE THREAT OF EROSION HAS PASSED WITH THE APPROVAL OF THE GOVERNING AGENCY.
4. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATIONS OF ALL GRADING AND FOR ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH SPOIL. THE CONTRACTOR SHALL IMPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT.
5. GRADING SHALL CONSIST OF CLEARING AND GRUBBING EXISTING VEGETATION, STRIPPING TOPSOIL, REMOVAL OF EXISTING PAVEMENT OR FOUNDATIONS, IMPORTING OR EXPORTING MATERIAL TO ACHIEVE AN ON-SITE EARTHWORK BALANCE, GRADING THE PROPOSED BUILDING PADS AND PAVEMENT AREAS, SCARIFYING AND FINAL COMPACTION OF THE PAVEMENT SUBGRADE, AND PLACEMENT OF TOPSOIL.
6. NO FILL SHALL BE PLACED ON A WET OR SOFT SUBGRADE. THE SUBGRADE SHALL BE PROOF-ROLLED AND INSPECTED BY THE GEOTECHNICAL ENGINEER BEFORE ANY MATERIAL IS PLACED.
7. ALL FILL SHALL BE CONSIDERED STRUCTURAL FILL AND SHALL BE PLACED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
8. TOPSOIL IN PARKING ISLANDS: ALL PARKING LOT ISLANDS TO BE BACKFILLED WITH TOPSOIL TO A MINIMUM DEPTH OF 18" BY GRADING CONTRACTOR TO INSURE LONG TERM PLANT HEALTH. CROWN ALL PLANTING ISLANDS A MINIMUM OF 6" TO PROVIDE PROPER DRAINAGE, UNLESS OTHERWISE SPECIFIED.

D. PAVING

1. THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION, AND THE LOCAL ORDINANCES AND SPECIFICATIONS.
2. PAVING SHALL CONSIST OF FINE GRADING PAVEMENT AREAS, INSTALLATION OF CRUSHED STONE BASE, CONCRETE AND/OR BITUMINOUS PAVEMENT, PAVEMENT MARKING, AND CLEANUP. ALL MATERIALS SHALL BE PROVIDED BY THE CONTRACTOR.
3. AGGREGATES USED IN THE CRUSHED AGGREGATE BASE SHALL BE (1/4-INCH) DENSE GRADED BASE IN ACCORDANCE WITH SUBSECTION 305.2.2 OF THE STANDARD SPECIFICATIONS.
4. HOT MIX ASPHALT PAVEMENT (HMA) SHALL BE CLASSIFIED AS (**) IN ACCORDANCE WITH SECTION 460 AND TABLE 460-2 OF THE STANDARD SPECIFICATIONS.
5. ASPHALTIC MATERIALS SHALL BE PERFORMANCE GRADED (PG) BINDERS IN ACCORDANCE WITH SECTION 455 OF THE STANDARD SPECIFICATIONS. UPPER LAYERS SHALL BE (**), AND LOWER LAYERS SHALL BE (***)
6. AGGREGATES USED IN THE HMA SHALL BE IN ACCORDANCE WITH SUBSECTION 460.2.2.3 OF THE STANDARD SPECIFICATIONS. THE NOMINAL AGGREGATE SIZE FOR THE UPPER LAYER PAVEMENT SHALL BE (****), AND THE LOWER LAYER PAVEMENT SHALL BE (****).
7. TACK COAT SHALL BE IN ACCORDANCE WITH SUBSECTION 455.2.5 OF THE STANDARD SPECIFICATIONS. THE RATE OF APPLICATION SHALL BE 0.050-0.070 GAL/SY.
8. CONCRETE FOR CURB, DRIVEWAY, WALKS AND NON-FLOOR SLABS SHALL BE GRADE A (OR GRADE A2 IF PLACING BY SLIP-FORMED PROCESS) AIR ENTRAINED IN ACCORDANCE WITH SECTION 501 FOR THE STANDARD SPECIFICATIONS, WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI.
9. CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FOLLOWING SECTIONS OF THE STANDARD SPECIFICATIONS: SECTION 415 FOR CONCRETE PAVEMENT, SECTION 601 FOR CONCRETE CURB AND GUTTER, AND SECTION 602 FOR CONCRETE SIDEWALKS.
10. ALL FINISHED CONCRETE SHALL BE COVERED WITH A LIQUID CURING COMPOUND CONFORMING TO AASHTO M 148, TYPE 2, IN ACCORDANCE WITH SECTION 415 OF THE STANDARD SPECIFICATIONS.
11. PAVEMENT MARKINGS SHALL BE PAINT IN ACCORDANCE WITH SECTION 646 OF THE STANDARD SPECIFICATIONS. (COLOR SHALL BE AS INDICATED ON THE PLANS.) THE FOLLOWING ITEMS SHALL BE PAINTED WITH COLORS NOTED BELOW:
 PARKING STALLS: WHITE
 PEDESTRIAN CROSSWALKS: WHITE
 LANE STRIPING WHERE SEPARATING TRAFFIC IS MOVING IN OPPOSITE DIRECTIONS: YELLOW
 LANE STRIPING WHERE SEPARATING TRAFFIC IS MOVING IN SAME DIRECTIONS: WHITE
 ADA SYMBOLS: BLUE OR PER LOCAL CODE
 FIRE LANES: PER LOCAL CODE
 EXTERIOR SIDEWALK CURBED, LIGHTPOLE BASES, AND GUARD POSTS: YELLOW

E. PRIVATE UTILITIES

1. THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO WISCONSIN ADMINISTRATIVE CODE, SECTION SPS 382-384, LATEST EDITION, THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION, AND THE LOCAL ORDINANCES AND SPECIFICATIONS.
2. BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES. IF ANY EXISTING UTILITIES ARE NOT AS SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY FOR POSSIBLE REDESIGN.
3. ALL CONNECTIONS TO EXISTING PIPES AND MANHOLES SHALL BE CORED CONNECTIONS.
4. PROPOSED SANITARY SEWER, WATER MAIN, AND INTERNALLY CONNECTED STORM SEWER SHOWN ON THIS PLAN SHALL TERMINATE AT A POINT FIVE (5) FEET FROM THE EXTERIOR BUILDING WALL. STORM SEWER CONNECTING TO EXTERIOR DOWN SPOUTS SHALL BE PER DETAILS ON THE ARCHITECTURAL PLANS. THE EXACT LOCATION OF ALL DOWN SPOUTS SHALL BE PER THE ARCHITECTURAL PLANS.
5. MATERIALS FOR STORM SEWER SHALL BE AS FOLLOWS:

 STORM SEWER PIPE 30" OR LARGER SHALL BE REINFORCED CONCRETE, ASTM C-76, CLASS III OR GREATER, WITH ELASTOMERIC SEALS CONFORMING TO ASTM C-443.

 STORM SEWER PIPE 24" OR LESS SHALL BE EITHER:
 A) HIGH DENSITY POLYETHYLENE (HDPE) WITH A SMOOTH INTERIOR AND ANNULAR EXTERIOR CORRUGATIONS, SUCH AS ADS N-12 WT. HDPE PIPE SHALL CONFORM TO ASTM F2648 AND F2306. JOINTS SHALL BE WATER TIGHT CONFORMING TO ASTM D3212 WITH ELASTOMERIC SEALS (GASKETS) CONFORMING TO ASTM F477.
 B) POLYVINYL CHLORIDE (PVC) PIPE, ASTM D-3034, SDR 35, WITH ELASTOMERIC PUSH-ON JOINTS CONFORMING TO ASTM D-3212.
 C) REINFORCED CONCRETE, ASTM C-76, CLASS III OR GREATER, WITH ELASTOMERIC SEALS CONFORMING TO ASTM C-443.

 TRENCH SECTION SHALL BE CLASS "C" FOR CONCRETE AND CLASS "B" FOR ALL OTHER MATERIALS.

 INLETS SHALL BE SOLID CONCRETE BLOCK OR PRE CAST REINFORCED CONCRETE, ASTM C-478.

 6. MATERIALS FOR SANITARY SEWER SHALL BE AS FOLLOWS:

 SANITARY SEWER PIPE SHALL BE PVC, ASTM D-3034, SDR-35 WITH RUBBER GASKETED JOINTS, CONFORMING TO ASTM D-3212.

 TRENCH SECTION SHALL BE CLASS "B" BEDDING. CRUSHED STONE CHIPS SHALL BE USED FOR BEDDING MATERIAL. PREFABRICATED WYE CONNECTIONS ARE REQUIRED FOR SANITARY LATERALS

 7. MATERIALS FOR WATER SERVICE SHALL BE AS FOLLOWS:

 WATER SERVICE SHALL BE PVC, SDR-18, CLASS 235, AWWA C-900, WITH ELASTOMERIC JOINTS (ASTM D-3139), WITH A VALVE AT THE SUPPLY MAIN.

 WATER SERVICE SHALL BE DUCTILE IRON (DI), ASTM A-377, WITH ELASTOMERIC JOINTS (AWWA C-111), WITH A VALVE AT THE SUPPLY MAIN.

 WATER SERVICE SHALL BE COPPER, TYPE "K", WITH A VALVE AT THE SUPPLY MAIN.

 ALL FITTINGS SHALL BE MECHANICAL JOINT, DUCTILE IRON CONFORMING TO AWWA C-111.

 HYDRANTS SHALL BE IN ACCORDANCE WITH THE MUNICIPALITY'S STANDARD SPECIFICATIONS.

 GATE VALVES SHALL BE RESILIENT WEDGE TYPE, AWWA C-509, AND SHALL BE INSTALLED WITH AN ADJUSTABLE VALVE BOX AND COVER MARKED "WATER".

 TRENCH SECTION SHALL CONFORM TO SECTION 4.3.C, FILE NO. 38 OF THE STANDARD SPECIFICATIONS. SAND OR STONE CHIP BEDDING MATERIAL IS REQUIRED.

 8. EXTREME CAUTION MUST BE FOLLOWED REGARDING THE COMPACTION OF ALL UTILITY TRENCHES. MECHANICALLY COMPACTED GRANULAR BACKFILL IS REQUIRED UNDER & WITHIN 5 FEET OF ALL PAVEMENT INCLUDING SIDEWALKS. FLOODING OF BACKFILL MATERIAL IS NOT ALLOWED. THE COST OF THIS GRANULAR MATERIAL AND ITS COMPACTION IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF THE PROPOSED UTILITY.

 9. UPON COMPLETION OF FINAL PAVING OPERATIONS, THE UTILITY CONTRACTOR SHALL ADJUST ALL MANHOLE AND INLET RIMS AND VALVE BOXES TO FINISHED GRADE.

 10. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE OWNER WITH A SET OF MARKED-UP PRINTS SHOWING ALL CHANGES MADE DURING THE CONSTRUCTION PROCESS. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE OWNER.

 11. TRACER WIRE SHALL BE INSTALLED ON ALL BURIED NON-METALLIC SANITARY SEWERS, PRIVATE SANITARY INTERCEPTOR MAIN SEWERS, STORM BUILDING SEWERS, AND PRIVATE STORM INTERCEPTOR MAIN SEWERS THAT DISCHARGE TO MUNICIPAL MAINS. TRACER WIRE SHALL ALSO BE INSTALLED ON ALL BURIED NON-METALLIC WATER SERVICES AND PRIVATE WATER MAINS CONNECTED TO MUNICIPAL SUPPLY SYSTEMS. TRACER WIRE SHALL BE IN ACCORDANCE WITH COMM 82.30(1)(h)(1). TRACER WIRE SHALL BE A MINIMUM OF 18-GAUGE, INSULATED, SINGLE-CONDUCTOR COPPER WIRE OR EQUIVALENT. TRACER WIRE COLOR SHALL BE BLUE FOR POTABLE WATER, GREEN FOR SANITARY SEWER, AND BROWN FOR STORM SEWER.

 SANITARY SEWER LATERALS SHALL HAVE A GREEN #12 LOCATER WIRE INSTALLED ALONG THE ENTIRE LENGTH. LOCATER WIRE SHALL BE BROUGHT TO THE SURFACE AT THE EDGE OF THE BUILDING AND ENCLOSED IN A CURB BOX WITH "SEWER" ON THE COVER.

 ALL SANITARY SEWER TO BE INSTALLED IN ACCORDANCE WITH CITY OF WAUKESHA STANDARDS.

 ALL APPLICATION FEES FOR SANITARY SEWER MUST BE COMPLETED AND PAID PRIOR TO CONNECTION OF SEWER SYSTEMS.

 ANY UTILITY WORK IN THE RIGHT-OF-WAY AD ALL SANITARY SEWER CONNECTIONS TO BE INSPECTED BY CITY NOTIFY CITY 72 HOURS IN ADVANCE OF CONNECTING TO SEWER.

DESCRIPTION	DATE

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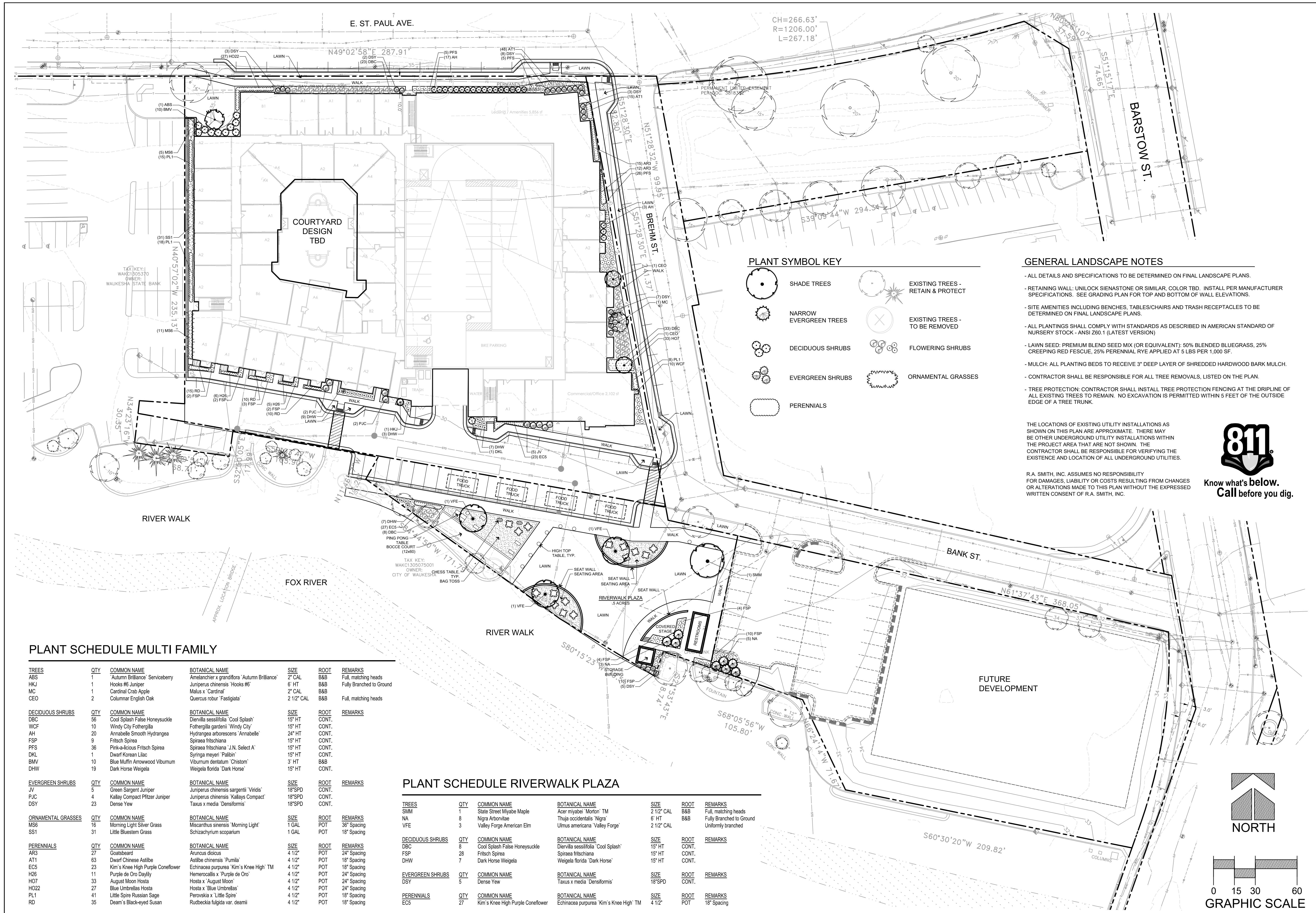
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CREATIVITY BEYOND ENGINEERING

Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI | Cedarburg, WI
Mount Pleasant, WI | Naperville, IL | Pittsburgh, PA | Irvine, CA

**THE RESERVE AT WAUKESHA
CITY OF WAUKESHA, WI**

SPECIFICATION

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DATE: 05/13/2019
SCALE: #####
JOB NO. 3170302
PROJECT MANAGER: MATT P. KOCOUREK, P.E.
DESIGNED BY: KMR
CHECKED BY: JJJ
SHEET NUMBER
C502



PLANT SYMBOL KEY

	SHADE TREES		EXISTING TREES - RETAIN & PROTECT
	NARROW EVERGREEN TREES		EXISTING TREES - TO BE REMOVED
	DECIDUOUS SHRUBS		FLOWERING SHRUBS
	EVERGREEN SHRUBS		ORNAMENTAL GRASSES
	PERENNIALS		

GENERAL LANDSCAPE NOTES

- ALL DETAILS AND SPECIFICATIONS TO BE DETERMINED ON FINAL LANDSCAPE PLANS.
- RETAINING WALL: UNILOCK SIENASTONE OR SIMILAR, COLOR TBD. INSTALL PER MANUFACTURER SPECIFICATIONS. SEE GRADING PLAN FOR TOP AND BOTTOM OF WALL ELEVATIONS.
- SITE AMENITIES INCLUDING BENCHES, TABLES/CHAIRS AND TRASH RECEPTACLES TO BE DETERMINED ON FINAL LANDSCAPE PLANS.
- ALL PLANTINGS SHALL COMPLY WITH STANDARDS AS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK - ANSI Z60.1 (LATEST VERSION)
- LAWN SEED: PREMIUM BLEND SEED MIX (OR EQUIVALENT): 50% BLENDED BLUEGRASS, 25% CREEPING RED FESCUE, 25% PERENNIAL RYE APPLIED AT 5 LBS PER 1,000 SF.
- MULCH: ALL PLANTING BEDS TO RECEIVE 3" DEEP LAYER OF SHREDDED HARDWOOD BARK MULCH.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TREE REMOVALS, LISTED ON THE PLAN.
- TREE PROTECTION: CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING AT THE DRIPLINE OF ALL EXISTING TREES TO REMAIN. NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE OUTSIDE EDGE OF A TREE TRUNK.

THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES.

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Know what's below.
Call before you dig.

PLANT SCHEDULE MULTI FAMILY

TREES	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
ABS	1	'Autumn Brilliance' Serviceberry	Amelanchier x grandiflora 'Autumn Brilliance'	2" CAL	B&B	Full, matching heads
HKJ	1	Hooks #6 Juniper	Juniperus chinensis 'Hooks #6'	6" HT	B&B	Fully Branched to Ground
MC	1	Cardinal Crab Apple	Malus x 'Cardinal'	2" CAL	B&B	
CEO	2	Columnar English Oak	Quercus robur 'Fastigiata'	2 1/2" CAL	B&B	Full, matching heads
DECIDUOUS SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
DBC	56	Cool Splash False Honeysuckle	Diervilla sessilifolia 'Cool Splash'	15" HT	CONT.	
WCF	10	Windy City Fothergilla	Fothergilla gardenii 'Windy City'	15" HT	CONT.	
AH	20	Annabelle Smooth Hydrangea	Hydrangea arborescens 'Annabelle'	24" HT	CONT.	
FSP	9	Fritsch Spirea	Spiraea fritschiana	15" HT	CONT.	
PFS	36	Pink-a-licious Fritsch Spirea	Spiraea fritschiana 'J.N. Select A'	15" HT	CONT.	
DKL	1	Dwarf Korean Lilac	Syringa meyeri 'Palibin'	15" HT	CONT.	
BMV	10	Blue Muffin Arrowwood Viburnum	Viburnum dentatum 'Chistom'	3" HT	B&B	
DHW	19	Dark Horse Weigela	Weigela florida 'Dark Horse'	15" HT	CONT.	
EVERGREEN SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
JV	5	Green Sargent Juniper	Juniperus chinensis sargentii 'Viridis'	18"SPD	CONT.	
PJC	4	Kalley Compact Pfitzer Juniper	Juniperus chinensis 'Kalloys Compact'	18"SPD	CONT.	
DSY	23	Dense Yew	Taxus x media 'Densiformis'	18"SPD	CONT.	
ORNAMENTAL GRASSES	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
MS6	16	Morning Light Silver Grass	Miscanthus sinensis 'Morning Light'	1 GAL	POT	36" Spacing
SS1	31	Little Bluestem Grass	Schizachyrium scoparium	1 GAL	POT	18" Spacing
PERENNIALS	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
AR3	27	Goatsbeard	Aruncos dioicus	4 1/2"	POT	24" Spacing
AT1	63	Dwarf Chinese Astilbe	Astilbe chinensis 'Pumila'	4 1/2"	POT	18" Spacing
EC5	23	Kim's Knee High Purple Coneflower	Echinacea purpurea 'Kim's Knee High' TM	4 1/2"	POT	18" Spacing
H26	11	Purple de Oro Daylily	Hemerocallis x 'Purple de Oro'	4 1/2"	POT	24" Spacing
H07	33	August Moon Hosta	Hosta x 'August Moon'	4 1/2"	POT	24" Spacing
HO22	27	Blue Umbrellas Hosta	Hosta x 'Blue Umbrellas'	4 1/2"	POT	24" Spacing
PL1	41	Little Spire Russian Sage	Perovskia x 'Little Spire'	4 1/2"	POT	18" Spacing
RD	35	Deam's Black-eyed Susan	Rutbeckia fulgida var. deamii	4 1/2"	POT	18" Spacing

PLANT SCHEDULE RIVERWALK PLAZA

TREES	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
SMM	1	Slate Street Miyabe Maple	Acer miyabei 'Morton' TM	2 1/2" CAL	B&B	Full, matching heads
NA	8	Nigra Arborvitae	Thuja occidentalis 'Nigra'	6" HT	B&B	Fully Branched to Ground
VFE	3	Valley Forge American Elm	Ulmus americana 'Valley Forge'	2 1/2" CAL	B&B	Uniformly branched
DECIDUOUS SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
DBC	8	Cool Splash False Honeysuckle	Diervilla sessilifolia 'Cool Splash'	15" HT	CONT.	
FSP	28	Fritsch Spirea	Spiraea fritschiana	15" HT	CONT.	
DHW	7	Dark Horse Weigela	Weigela florida 'Dark Horse'	15" HT	CONT.	
EVERGREEN SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
DSY	5	Dense Yew	Taxus x media 'Densiformis'	18"SPD	CONT.	
PERENNIALS	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
EC5	27	Kim's Knee High Purple Coneflower	Echinacea purpurea 'Kim's Knee High' TM	4 1/2"	POT	18" Spacing

DESCRIPTION	
DATE	
16745 W. Bluemound Road Brookfield, WI 53005-5938 (262) 781-1000 rasmith.com	
CREATIVITY BEYOND ENGINEERING Brookfield, WI Appleton, WI Madison, WI Cedarburg, WI Mount Pleasant, WI Naperville, IL Pittsburgh, PA Irvine, CA	
THE RESERVE AT WAUKESHA CITY OF WAUKESHA, WI	
PRELIMINARY LANDSCAPE PLAN	
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