



THE REDMOND COMPANY

W 2 2 8 N 7 4 5 WESTMOUND DRIVE, WAUKESHA, WISCONSIN 53 PHONE: (262) 549-9600 FAX: (262) 549-1314
1 8 6 - 1 7 2 5

THE REDMOND COMPANY
• DESIGN • CONSTRUCTION
• CONSULTING • MANAGEMENT
W228 N745 Westmound Drive
Waukesha, Wisconsin 53186
tel: 262.549.9600 fax:
Innovative Approach. Unique Solutions.
www.theredmondco.com

PROJECT INFORMATION

**FIELDS JAGUAR
LAND ROVER**
1901 E. MORELAND
WAUKESHA WI 53186

ISSUANCE AND REVISIONS

CITY APPROVALS

REVISIONS

#	Description	Date

SHEET INFORMATION

OWNERSHIP AND USE OF DOCUMENTS

The drawings, specifications and other documents furnished by the Design/Builder are instruments of service and shall not become the property of the Owner whether or not the Project for which they are made is commenced. Drawings, specifications and other documents furnished by the Design/Builder shall not be used by the Owner on other projects, for additions to this project or for completion to use, liability and compensation. Submission or distribution of documents to meet official regulatory requirements or for other purposes in connection with the Project is not to be construed as publication in derogation of the Design/Builder's or the Architect's common law copyrights or other reserved rights. The Owner shall own neither the documents nor the copyrights.

PROJECT NUMBER	16059
DATE	12.27.16
DRAWN BY	DRB

Index

G000

FIELDS JAGUAR LAND ROVER

1901 E. MORELAND
WAUKESHA WI 53186



PROJECT TEAM

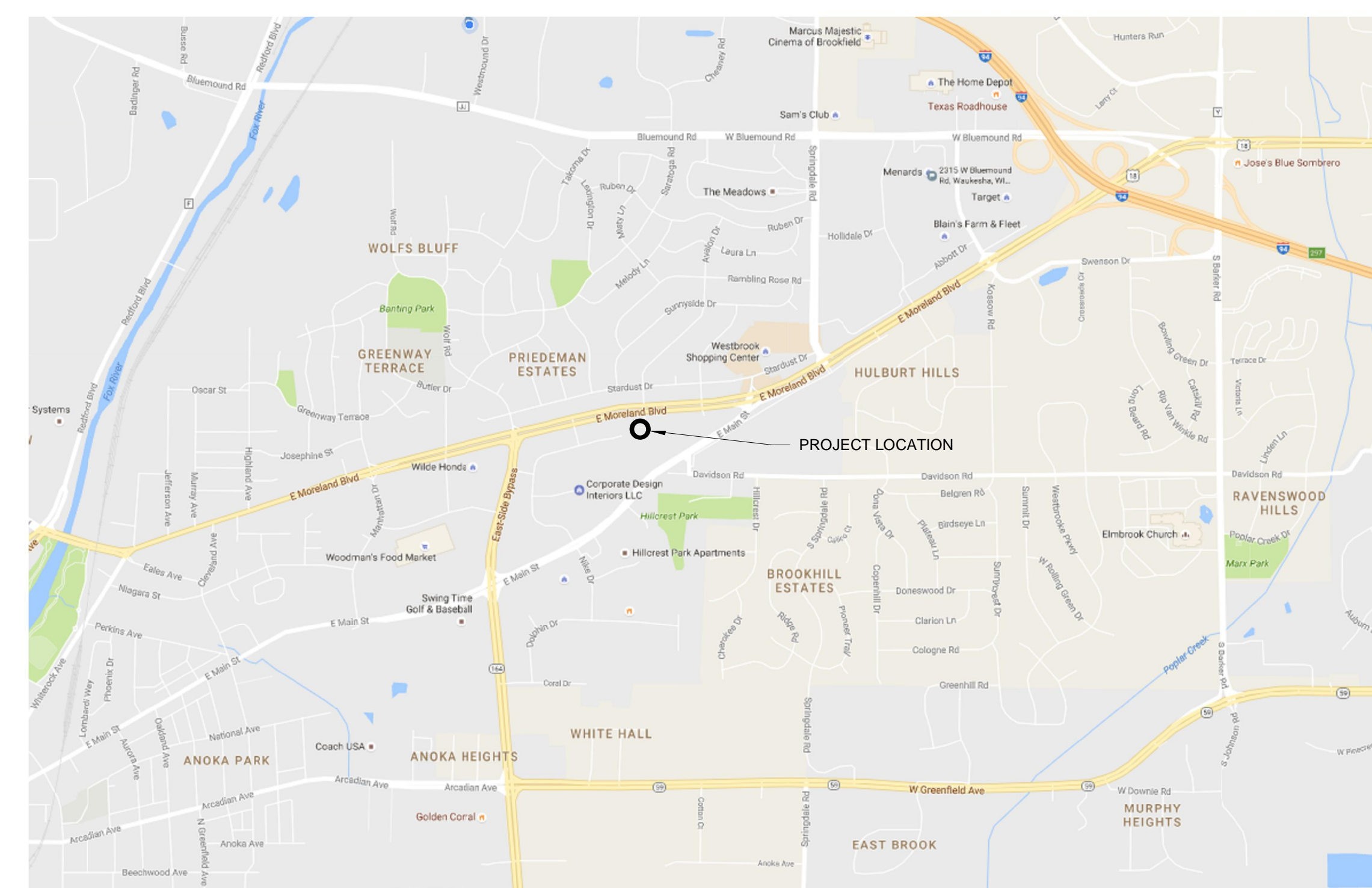
OWNER
FIELDS WAUKESHA
1901 E MORELAND
WAUKESHA WI, 53186

LANDSCAPE ARCHITECT
INSITE LANDSCAPE DESIGN
11525 W. NORTH AVE
WAUKESHA WI, 53226
PROJECT CONTACT MICHAEL DAVIS
EMAIL: MDAVIS@INSITELANDSCAPE.COM
P: 414.476.1204
F: -

ARCHITECT
THE REDMOND COMPANY
W228 N745 WESTMOUND DRIVE
WAUKESHA WI, 53186
PROJECT CONTACT JERRY MORTIER
EMAIL: jmortier@theredmondco.com
P: 262.896.8753
F: 262.549.1314

CIVIL ENGINEER
VIERBICHER
999 FOURIER DRIVE
MADISON WI, 53717
PROJECT CONTACT GARY BLAZEK
EMAIL: GBLA@VIERBICHER.COM
P: 608.826.0532
F: 608.826.0530

VICINITY MAP



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ALTA/NSPS LAND TITLE SURVEY

CLIENT
LGR LLC

SITE ADDRESS
1859 & 1901 E. Moreland Blvd., Waukesha, Wisconsin.

LEGAL DESCRIPTION
PARCEL I: All that part of the East 1/2 of Section 36, Township 7 North, Range 19 East, bounded and describe as follows: Beginning at a point on the center line of the U.S.H. "18" said point being North 85°45' East, 355.06 feet distant from the intersection of the North and South 1/4 line of Section 36 with the center line of said highway; thence South parallel with said 1/4 line, 492.10 feet; thence North 85°45' East 177.53 feet; thence North parallel with said 1/4 line, 492.10 feet to the center line of said highway; thence South 85°45' West along said center line, 177.53 feet to the place of beginning. Excepting therefrom the premises conveyed by Deed recorded in Volume 1028 of Deeds, Page 64, Document No. 647455. Said land being in the City of Waukesha, County of Waukesha, State of Wisconsin.

PARCEL II: The West 1/2 of the following described parcel of land, to-wit: All that part of the East 1/2 of Section 36, Township 7 North, Range 19 East, bounded and described as follows: Beginning at a point on the center line of U.S.H. "18" said point being North 85°45' East 532.59 feet distant from the intersection of the North and South 1/4 line of said Section 36 with the center line of said highway; thence South parallel with said 1/4 line of said highway, with the center line of said highway; thence South parallel with said 1/4 line of said highway, 492.10 feet; thence North parallel with said 1/4 line 492.10 feet to the center line of said highway; thence South 85°45' West along said center line 355.04 feet to the place of beginning. Excepting those lands within the U.S.H. "18" right of way. Said land being in the City of Waukesha, County of Waukesha, State of Wisconsin.

PARCEL III: The Easterly 1 acre of that piece of land known as Parcel "G" and described as follows: All that part of the East 1/2 of Section 36, Township 7 North, Range 19 East, in the City of Waukesha, County of Waukesha, State of Wisconsin, bounded and described as follows: Beginning at a point on the center line of United States Highway #18, said point being North 85°45' East 177.53 feet distant from the intersection of the North and South quarter line of said Section 36 with the center line of said highway; thence South parallel with said quarter line 492.10 feet; thence North 85°45' East 177.53 feet; thence North parallel with said quarter line 492.10 feet to the center line of said highway; thence South 85°45' West along said center line 177.53 feet to the place of beginning. Excepting therefrom that portion of the above real estate described in Award of Damages recorded as Document No. 642800.

BASIS OF BEARINGS
Bearings are referenced to the Wisconsin State Plane Coordinate System (South Zone), in which the West line of the NE 1/4 which bears N00°14'49"W.

TITLE COMMITMENT
This survey was prepared based on Chicago Title Insurance Company Commitment No. CO-3354, effective date of May 18, 2015 which lists the following easements and/or restrictions from schedule B-I:

- 1, 5, 6, 7, 8 & 10, visible evidence shown, if any.
- 2, 3, 4, 9, 13 & 14, not survey related.
11. Access limitations set forth in Award of Damages recorded as Document No. 642800, amended by Quit Claim Deed recorded as Document No. 1173138 and also by Quit Claim Deed recorded as Document No. 1173139. *Affects site by location, shown*
12. Easement(s) for the purpose(s) and rights incidental thereto, as granted in a document, granted to the City of Waukesha, for sanitary sewer purposes, recorded on August 20, 1992, as Document No. 1760001. *Does not affect site by location, shown*

- TITLE COMMITMENT**
This survey was prepared based on Knight Barry Title Group Loan Policy No. G47-3805776, effective date of September 27, 2006 which lists the following easements and/or restrictions from schedule B-I:
- 2, 3, 4, 16, 17, 19, 20, 21 & 22, visible evidence shown, if any.
 - 1, 5, 18, 23, 24 & 25, not survey related.
 6. Utility Easement recorded in the office of the Register of Deeds for Waukesha County, Wisconsin as Document No. 320565. *Affects property by location, shown.*
 7. Utility Easement recorded in the office of the Register of Deeds for Waukesha County, Wisconsin as Document No. 1254285. *Affects property by location, shown.*
 8. Limitations on Access as disclosed in a Quit Claim Deed recorded in the office of the Register of Deeds for Waukesha County, Wisconsin on April 11, 1984, as Document No. 1252504. *Affects property by location, right to one access point, unable to determine exact location from record document.*
 9. Access Restrictions as contained in a Highway conveyance recorded in the office of the Register of Deeds for Waukesha County, Wisconsin as Document No. 637429. *Affects property by location, shown.*
 10. Utility Easement recorded in the office of the Register of Deeds for Waukesha County, Wisconsin as Document No. 991596. *Affects property by location, unable to determine exact location from record document.*
 11. Encroachment by asphalt located principal on the Northeast portion of the premises described in Schedule C hereof onto the Property located to the East to the extent of 0.8 feet as shown on a plat of survey prepared by Jahnke & Jahnke Associates Inc., dated August 23, 2004, as Job No. S-3762. The Company insures the insured against loss or damage (not exceeding the amount of this policy) resulting from the enforced removal of the above mentioned encroachment. *No encroachments of asphalt observed.*
 12. Easement for storm sewer as evidenced by stone rip-rap located on the Northeast portion of the premises described in Schedule C as shown on a plat of survey prepared by Jahnke & Jahnke Associates Inc. dated August 23, 2004, as Job No. S-3762. *No encroachments of stone rip-rap observed.*
 13. Encroachment of a retaining wall located principal on the Northwest portion of the premises described in Schedule C onto the premises abutting to the North as shown on a plat of survey prepared by Jahnke & Jahnke Associates Inc. dated August 23, 2004, as Job No. S-3762. The Company insures the insured against loss or damage (not exceeding the amount of this policy) resulting from the enforced removal of the above mentioned encroachment. *No encroachments of retaining walls observed.*
 14. Utility easement for overhead wires affecting the North portion of the subject premises as describe in Schedule C hereof as shown on the plat of survey prepared by Jahnke & Jahnke Associates Inc. dated August 23, 2004, as Job No. S-3762. *Affects property by location, utility service lines shown.*
 15. Utility easement for gas, electric, telephone and sanitary sewer affecting the East portion of the subject premises as described in Schedule C hereof as shown on the plat of survey prepared by Jahnke & Jahnke Associates Inc. dated August 23, 2004, as Job No. S-3762. *Affects property by location, utility service lines shown.*
 16. Temporary Limited Easement and other matters contained in instrument recorded on May 9, 2012, as Document No. 3916783. *Affects property by location, shown.*

PARKING SPACES
There are 252 regular parking spaces and 3 handicap spaces marked on this site.

FLOOD NOTE
According to the flood insurance rate map of the County of Waukesha, Community Panel No. 55133C0214G, effective date of November 5, 2014, this site falls in Zone X (Areas determined to be outside the 0.2% annual chance floodplain).

MUNICIPAL ZONING
Municipal Code: Waukesha Zoning Code Sec. 22.37
Site is zoned: B-5 (Community Business District)
Front setback: 50 feet
Side setback: 10 feet
Rear setback: 25 feet
Maximum building height: 55 feet
Parking restrictions: Two (2) customer parking spaces per salesperson, plus one (1) employee parking space per employee (including salespersons) for the work shift with the largest number of employees, and one (1) short-term bicycle parking space per 20,000 square feet of gross floor area, plus 1 long-term bicycle parking space per 12,000 square feet of gross floor area.

LAND AREA
The Land Area of the subject property is 194,510 square feet or 4.4653 acres.

TO: LGR LLC
Akerman Senterfitt
JPMorgan Chase Bank, N.A.
First American Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 7(a), 7(c), 8, 9, 11, 16, 18, 20, 21 and 22 of Table A thereof. The field work was completed on March 29, 2016.

Date of Map: April 7, 2016.

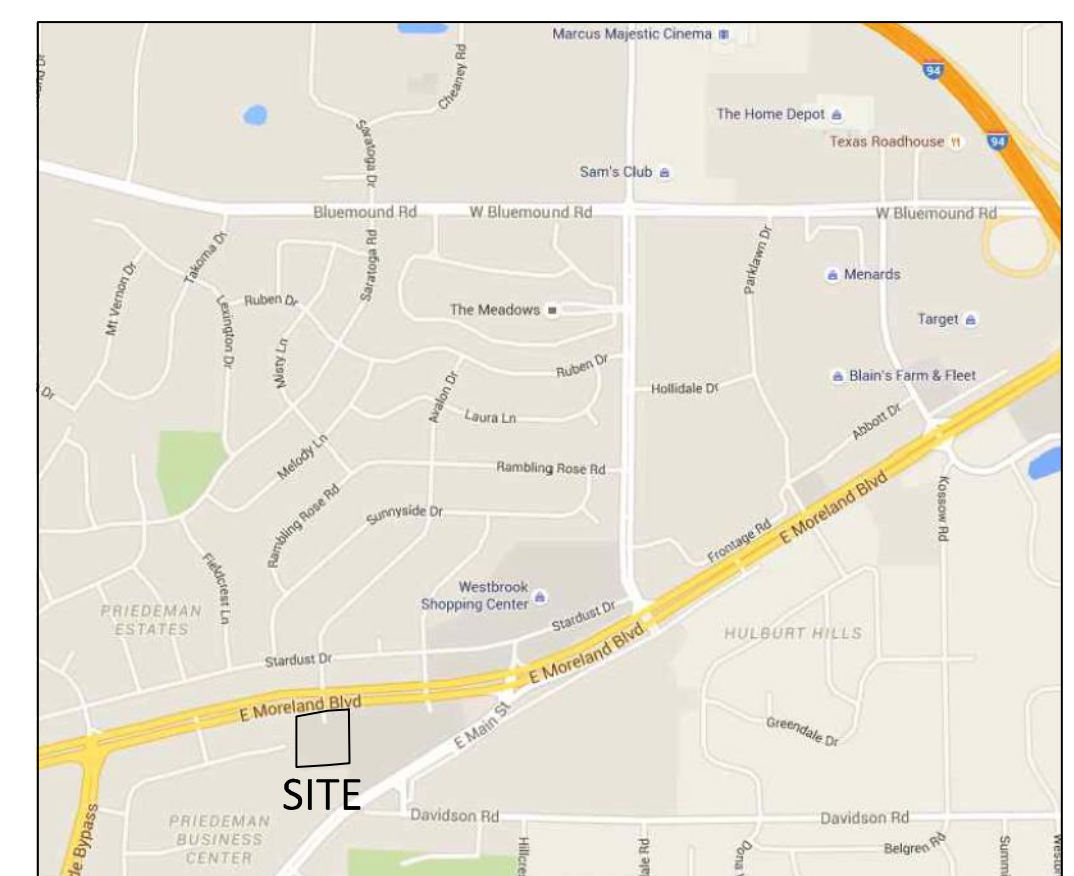
CHAPUT LAND SURVEYS LLC
234 W. FLORIDA STREET
MILWAUKEE, WI 53204
414-224-8068
www.chaputlandsurveys.com

Donald C. Chaput
S-1316
MILWAUKEE
WI
LAND SURVEYOR
Professional Land Surveyor
Registration Number S-1316

LEGEND

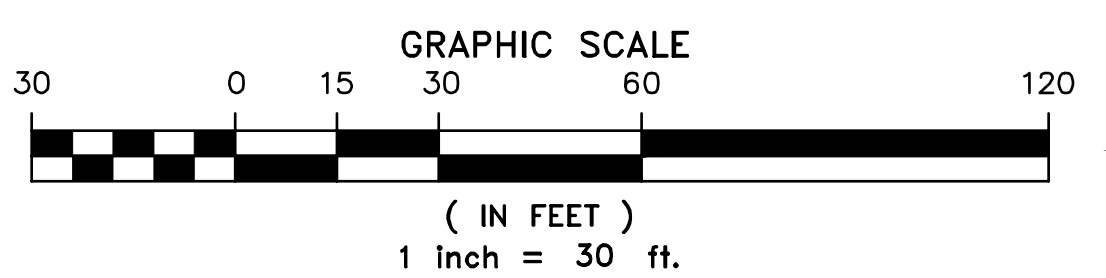
- INDICATES FOUND 1" IRON PIPE
- INDICATES SET 1" IRON PIPE
- ⊕ INDICATES FOUND CHISELED CROSS
- ⊙ SANITARY MANHOLE
- ⊕ SANITARY CLEANOUT OR VENT
- ⊙ M.I.S. MANHOLE
- ⊙ UNKNOWN MANHOLE
- ⊙ STORM MANHOLE
- ⊙ INLET (ROUND)
- ⊙ INLET (SQUARE)
- ⊙ CURB INLET
- ⊙ STORM SEWER END SECTION
- ⊙ GAS VALVE
- ⊙ GAS METER
- ⊙ WATER VALVE
- ⊙ HYDRANT
- ⊙ WATER MANHOLE
- ⊙ WATER SERVICE CURB STOP
- ⊙ WELL HEAD
- ⊙ STAND PIPE
- ⊙ WALL INDICATOR VALVE
- ⊙ POST INDICATOR VALVE
- ⊙ LIGHT POLE
- ⊙ SPOT/YARD LIGHT
- ⊙ UTILITY POLE
- ⊙ GUY POLE
- ⊙ GUY WIRE
- ⊙ ELECTRIC MANHOLE
- ⊙ ELECTRIC PEDESTAL
- ⊙ ELECTRIC METER
- ⊙ TELEPHONE MANHOLE
- ⊙ TELEPHONE PEDESTAL
- ⊙ CABLE PEDESTAL
- ⊙ CONTROL BOX
- ⊙ FIBER OPTIC SIGN
- ⊙ TRAFFIC LIGHT
- ⊙ COMMUNICATION MANHOLE
- ⊙ BOLLARD
- ⊙ SOIL BORING/MONITORING WELL
- ⊙ WATER SURFACE
- ⊙ WETLANDS FLAG
- ⊙ MARSH
- ⊙ FLAGPOLE
- ⊙ PARKING METER
- ⊙ SIGN
- ⊙ MAILBOX
- ⊙ RAILROAD CROSSING SIGNAL
- ⊙ HANDICAP SPACE
- ⊙ CONIFEROUS TREE
- ⊙ DECIDUOUS TREE
- SANITARY SEWER
- STORM SEWER
- WATERLINE
- MARKED GAS MAIN
- MARKED ELECTRIC
- OVERHEAD WIRES
- MARKED TELEPHONE
- MARKED CABLE TV LINE
- MARKED FIBER OPTIC
- FENCE

VICINITY MAP



Horizontal datum is based on the Wisconsin State Plane Coordinate System Grid, South zone (NAD-27)

Vertical datum is based on National Geodetic Vertical Datum of 1929.

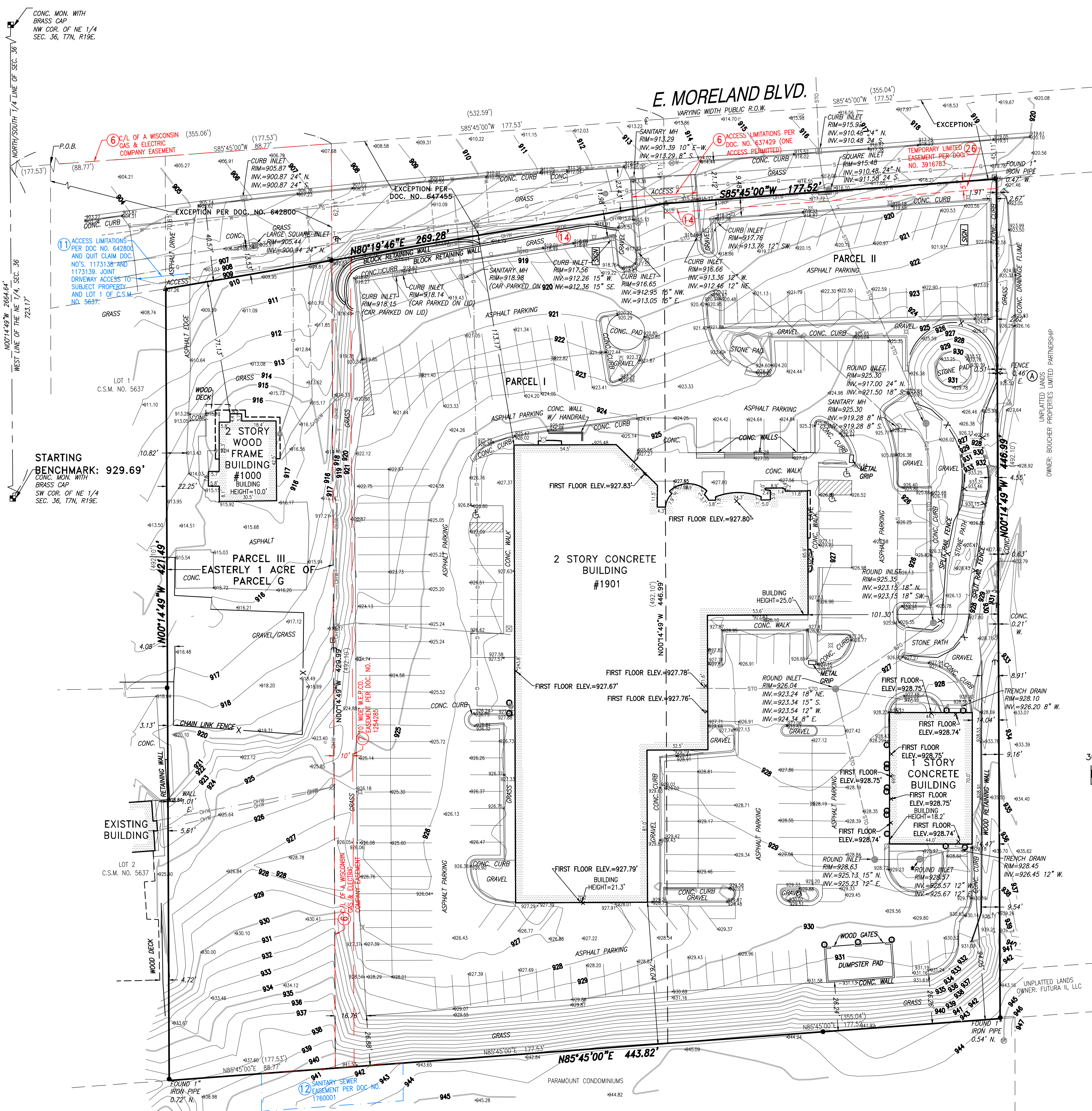


ENCROACHMENT TABLE

A	FENCE 0.46 FEET EAST EAST LOT LINE
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TABLE "A" ITEMS

11. Utility lines are shown from visible surface evidence, municipal plans and from plans and markings provided by Diggers Hotline, the One-call Utility Marking System (Wisconsin Statute 182.0175), Ticket Number 20161413515. This survey represents the underground utilities that participated with the request and were marked on the time of the survey. Additional utilities may exist, but were non-responsive to the request.
16. There is no visible evidence of earth moving, building construction or building additions within recent months.
18. There is no evidence on site of delineated wetlands areas.



STARTING BENCHMARK: 929.69'
CONC. MON. WITH BRASS CAP
SW COR. OF NE 1/4 SEC. 36, 17N, R19E.



EXISTING STALL COUNT = 250
 PROPOSED STALL COUNT = 316
 STALL GAIN = 66

ZONING = B-5
 PARKING SETBACKS
 FRONT = 15'
 SIDE & REAR = 5'
 ADJACENT TO RESIDENTIAL = 25'

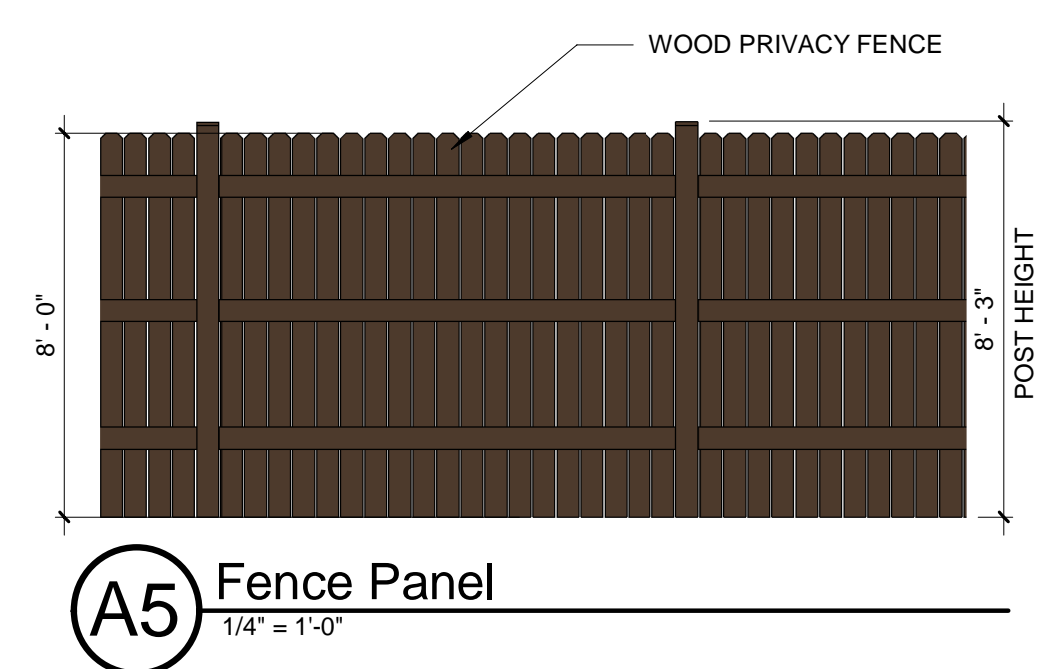
EXISTING SITE AREAS
 ASPHALT = 92,267 SF
 INTERNAL LANDSCAPE ISLANDS(4.3%) = 4,026 SF
 CONCRETE WALKS = 6,819 SF
BUILDING FOOTPRINT = 24,836 SF
 TOTAL IMPERVIOUS = 128,507 SF

PROPOSED SITE AREA
 ASPHALT = 118,364 SF
 INTERNAL LANDSCAPE ISLANDS(5.4%) = 6,345 SF
 CONCRETE WALKS = 6,922 SF
BUILDING FOOTPRINT = 33,010 SF
 TOTAL IMPERVIOUS = 158,296 SF

ADDED IMPERVIOUS = 29,789 SF
 (.68 ACRE)

TOTAL DISTURBED LAND AREA = 58,875 SF
 (1.35 ACRE)

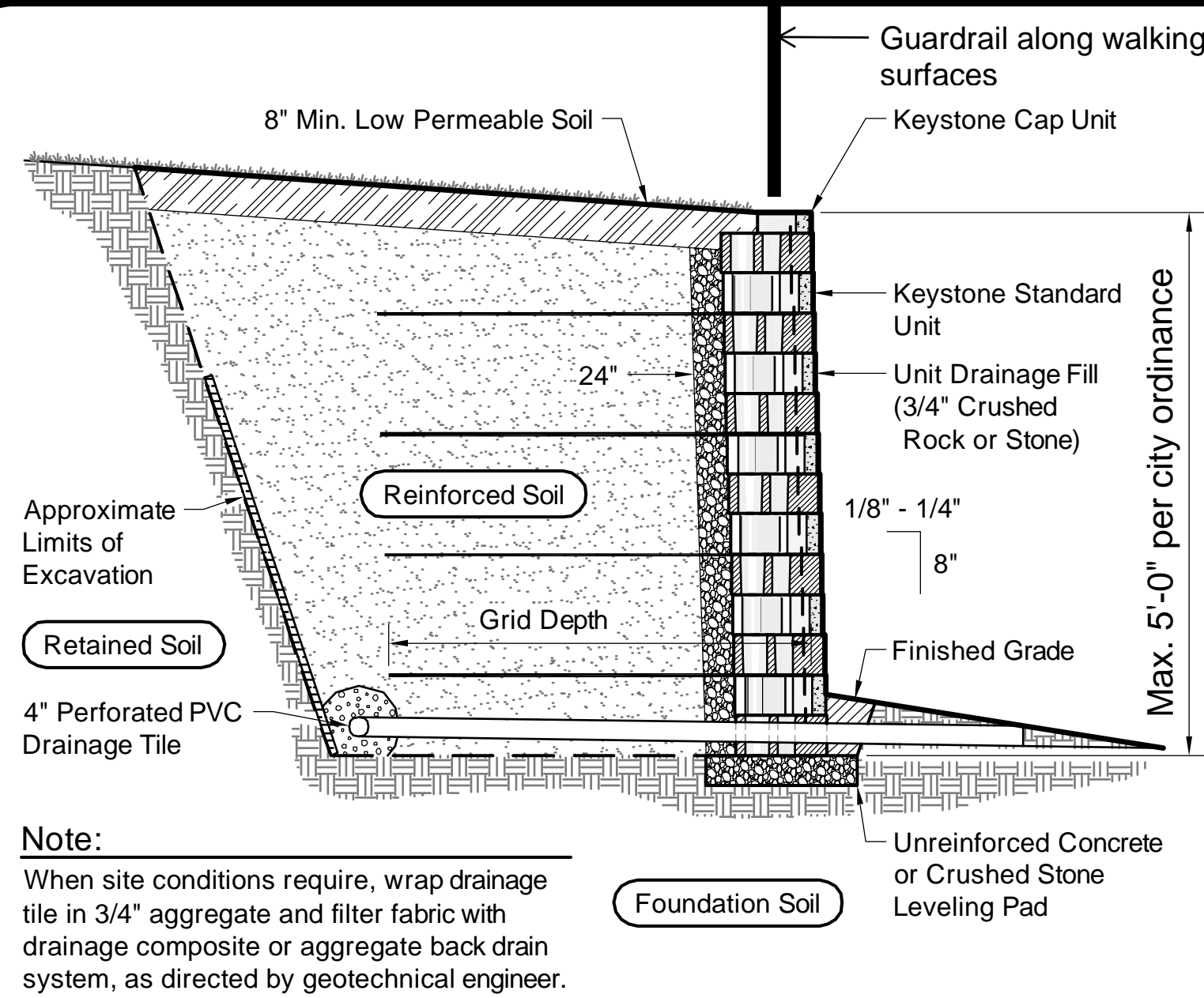
BUILDING AREAS
 REMOVED FROM CURRENT BUILDING = 1,220 SF
 ADDITION = 9,394 SF
 INTERIOR REMODEL AREA = 11,647 SF



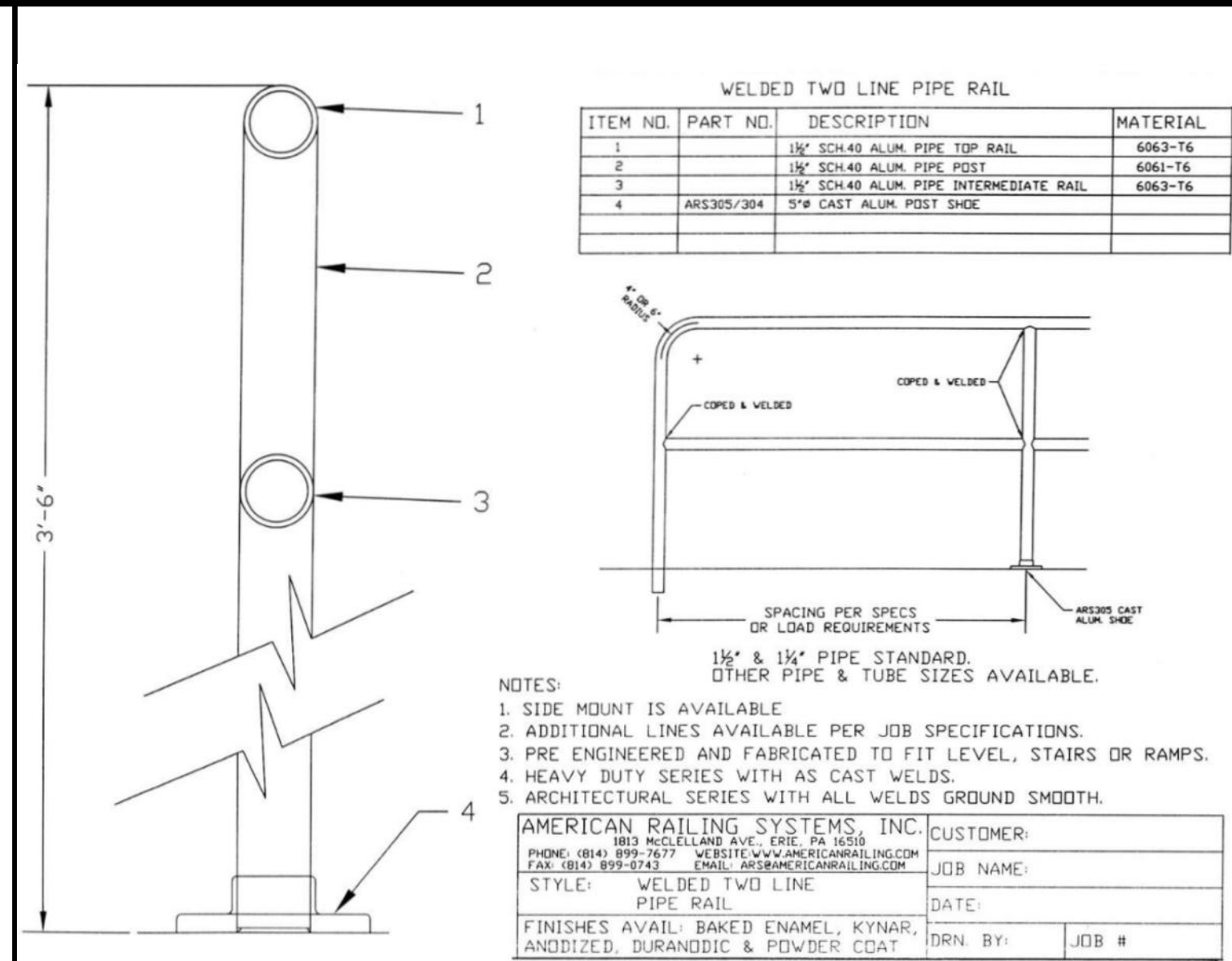
The drawings, specifications and other documents furnished by the Design/Builder are instruments of service and shall not become the property of the Owner whether or not the Project for which they are made is commenced. Drawings, specifications and other documents furnished by the Design/Builder shall not be used by the Owner on other projects, for additions to this project or for completion to use, liability and compensation. Submission or distribution of documents to meet official regulatory requirements or for other purposes in connection with the Project is not to be construed as publication in derogation of the Design/Builder's or the Architect's common law copyrights or other reserved rights. The Owner shall own neither the documents nor the copyrights.

PROJECT NUMBER 16059
 DATE 12.27.16
 DRAWN BY JM

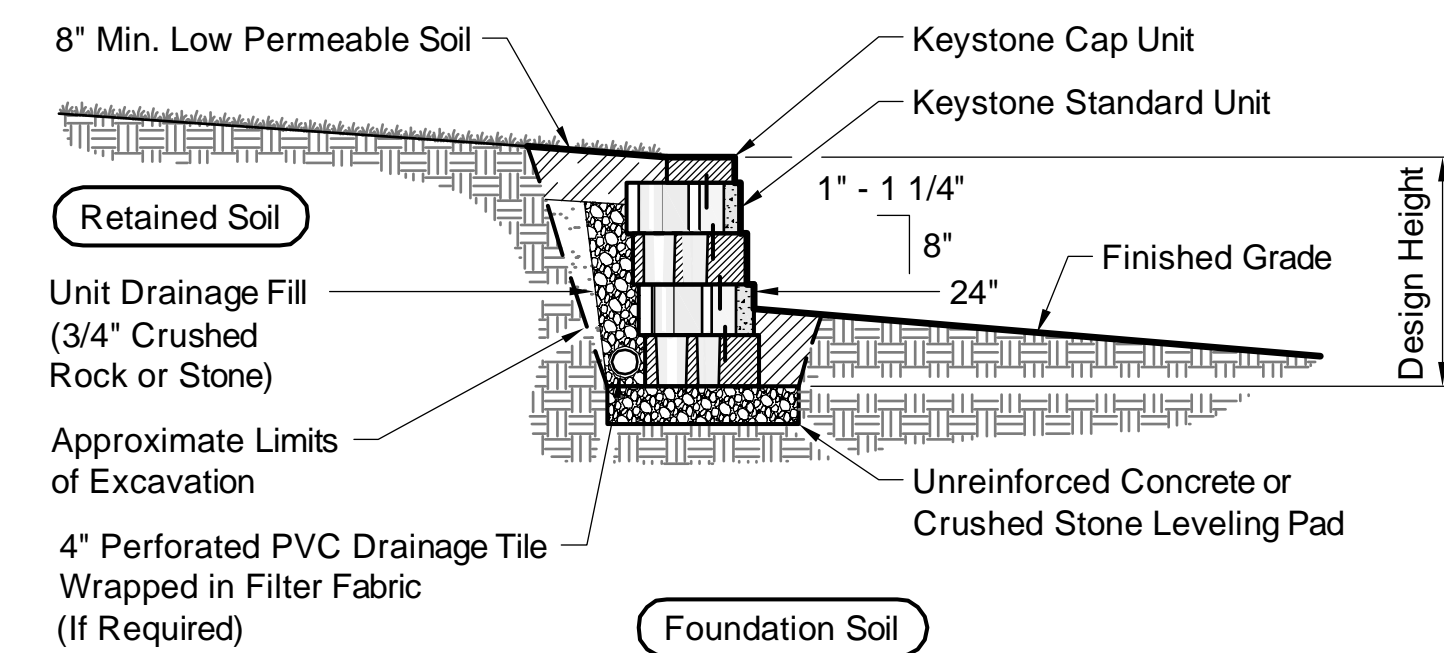
(A1) SITE PLAN
 3/64" = 1'-0"



Typical Reinforced Wall Section
Standard Unit - Near Vertical Setback



Guardrail Detail

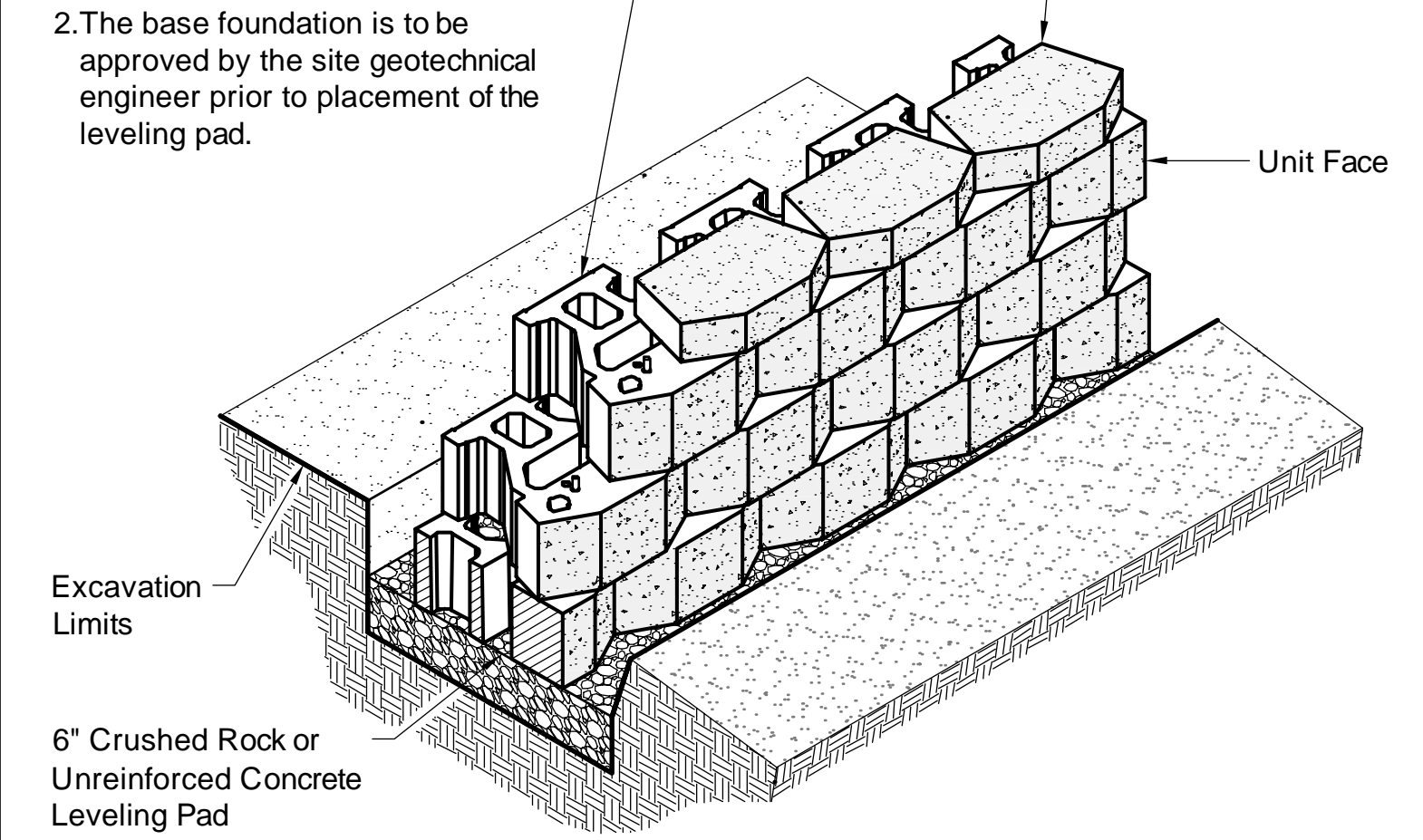


Typical Gravity Wall Section
Standard Unit - 1\"/>

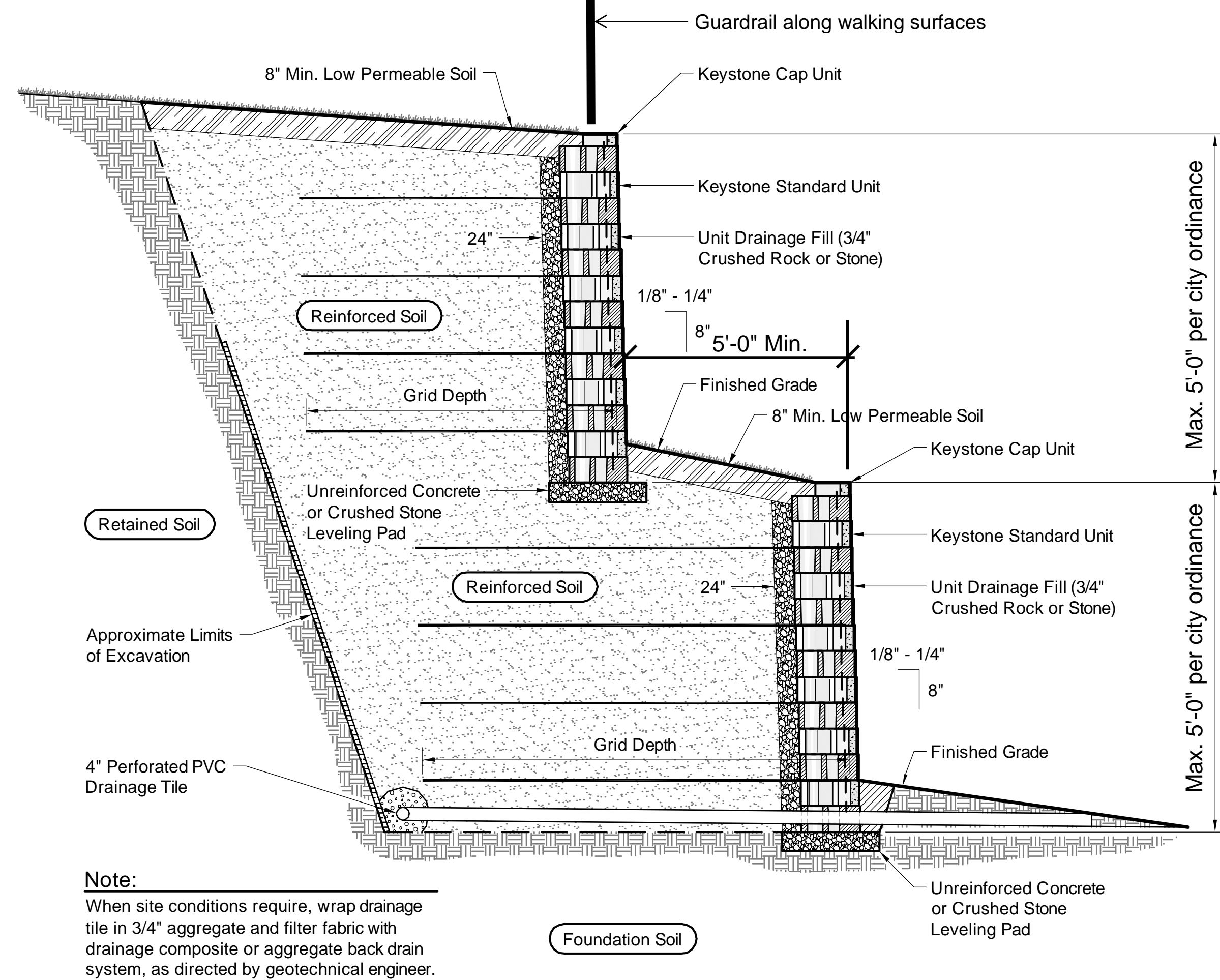
Base Leveling Pad Notes:

- The leveling pad is to be constructed of crushed stone or 2,000 psi± unreinforced concrete.
- The base foundation is to be approved by the site geotechnical engineer prior to placement of the leveling pad.

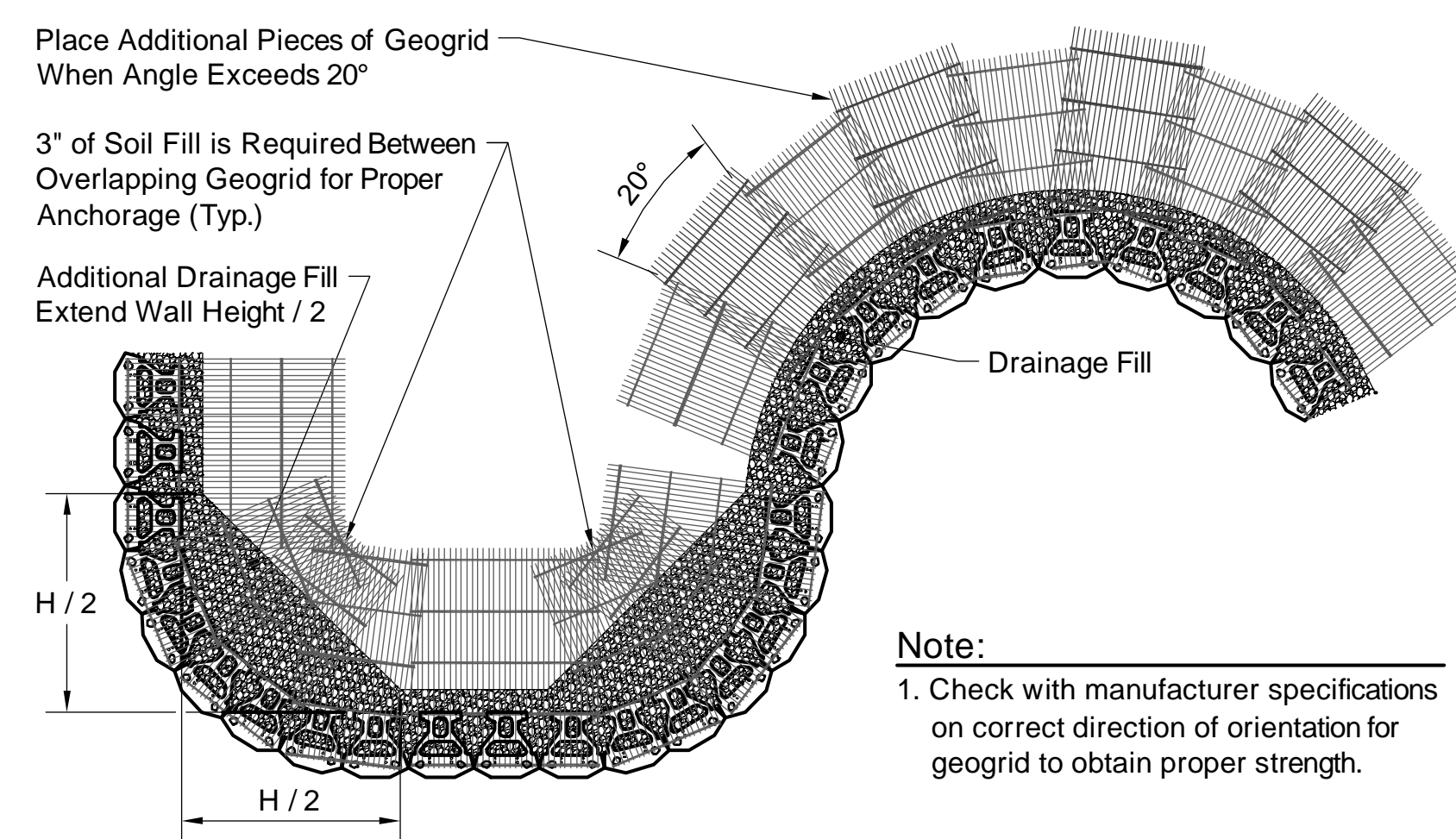
	Standard Unit	Cap Unit
*Width:	18"	18"
*Depth:	18"	10 1/2"
*Height:	8"	4"
*Weight:	102 lbs	45 lbs



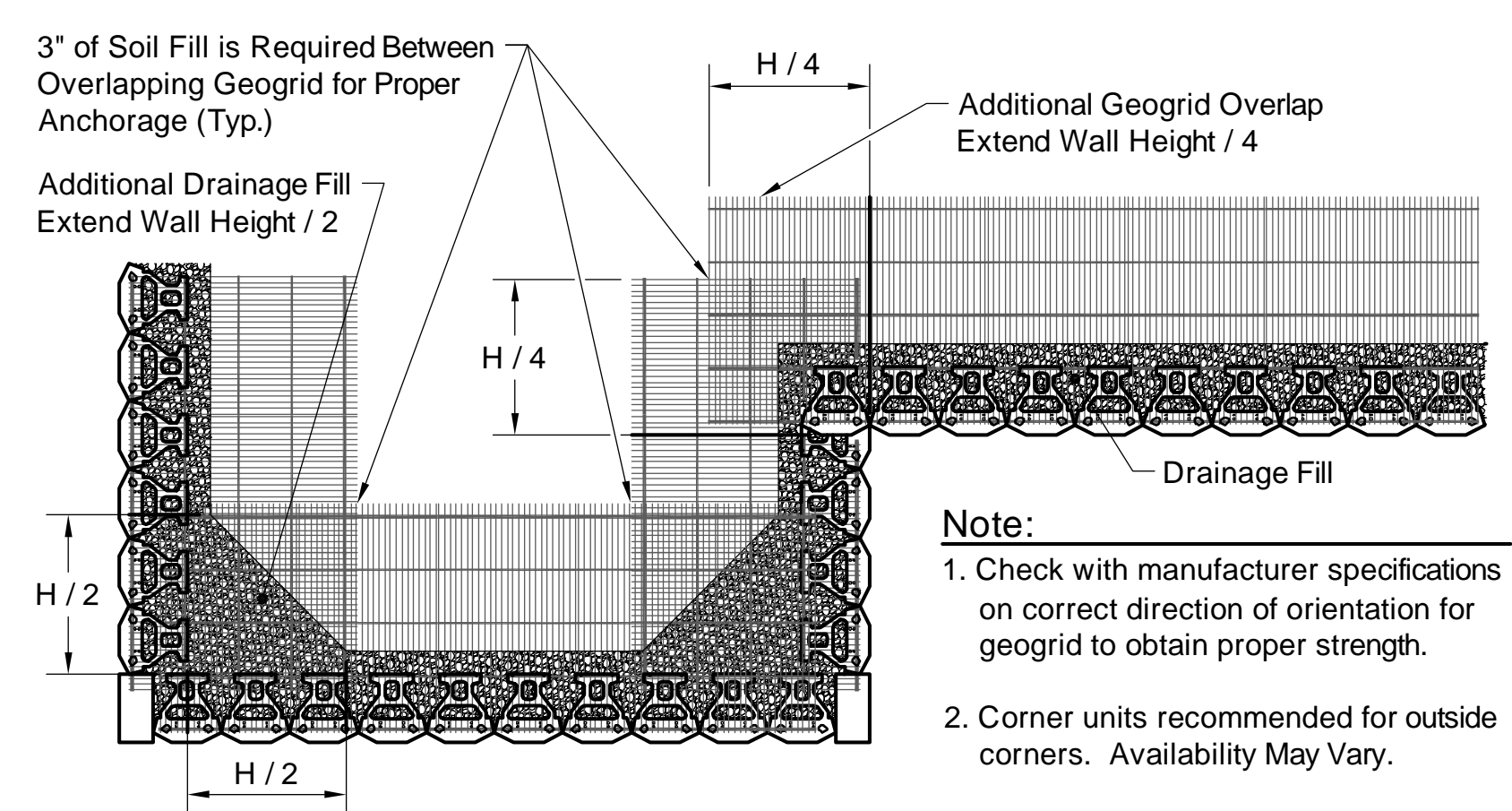
Standard Unit/Base Pad Isometric Section View
*Dimensions & Weight May Vary by Region



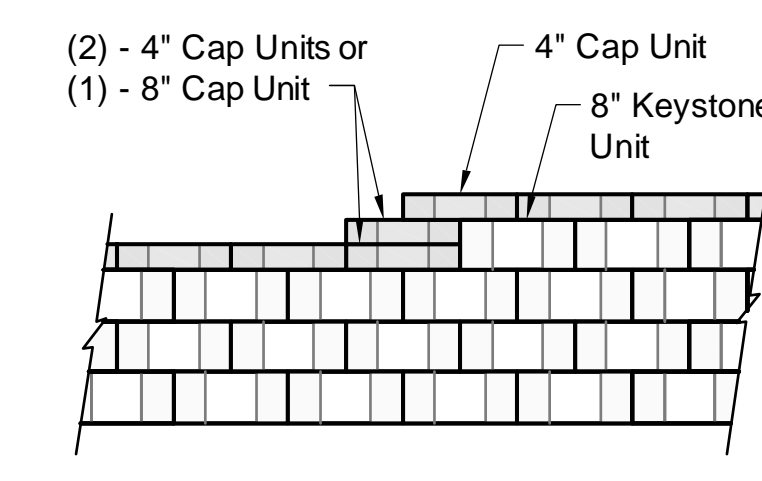
Typical Reinforced Tiered Wall Section
Standard Unit - Near Vertical Setback



Geogrid Installation on Curves

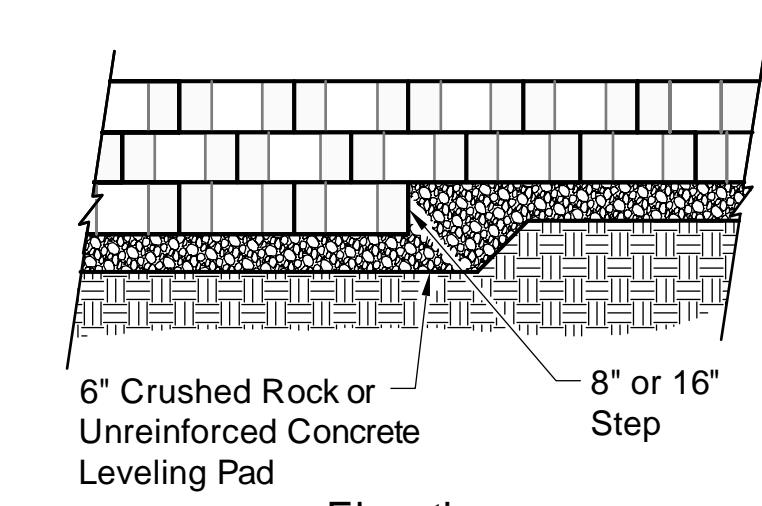


Geogrid Installation at Corners

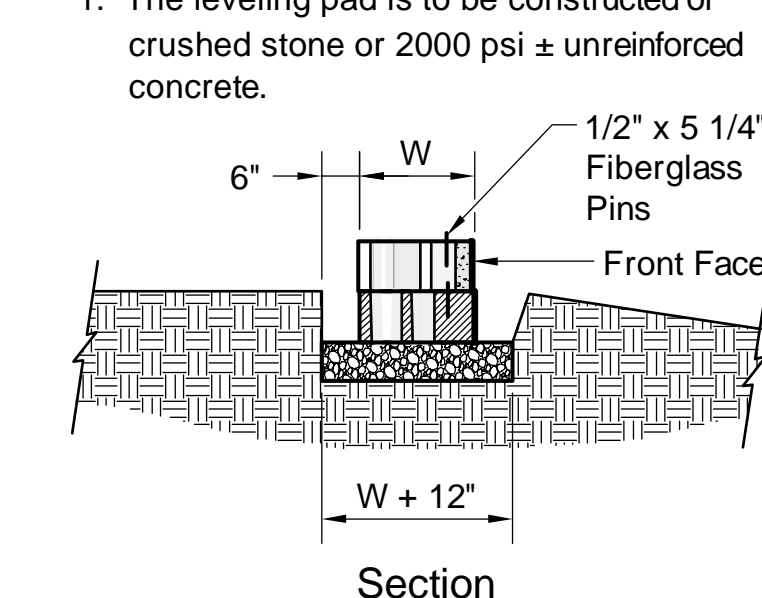


- Note:**
- Secure all cap units with Keystone Kapseal or equal.

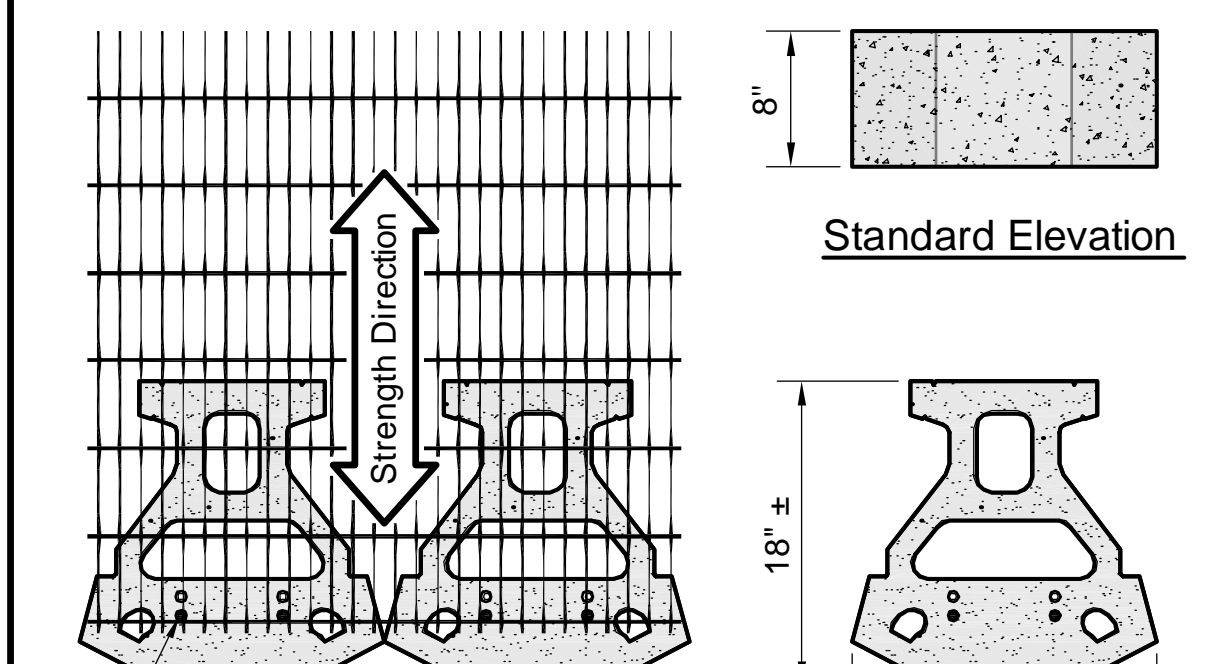
Top of Wall Steps



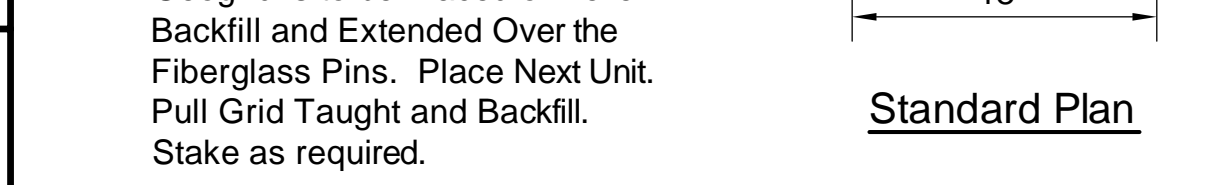
- Note:**
- The leveling pad is to be constructed of crushed stone or 2000 psi± unreinforced concrete.



Leveling Pad Detail



Standard Elevation



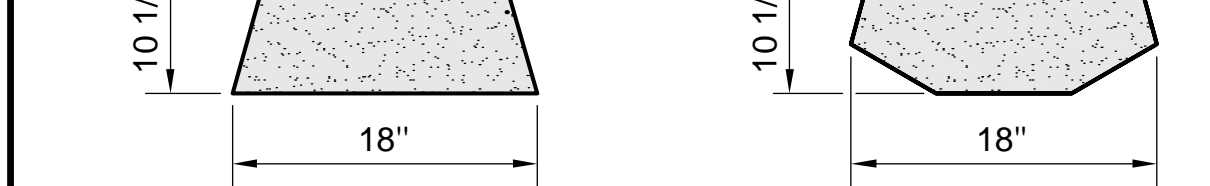
Standard Plan



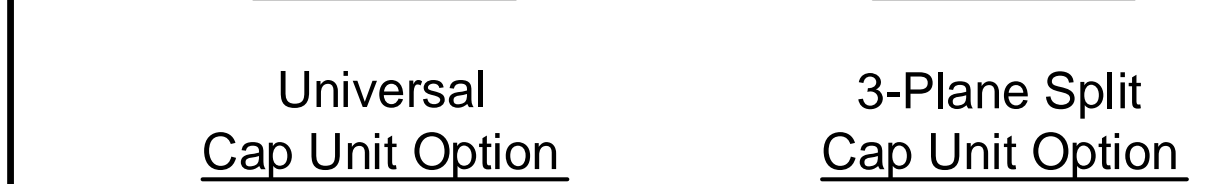
Grid & Pin Connection



Cap Unit Elevation



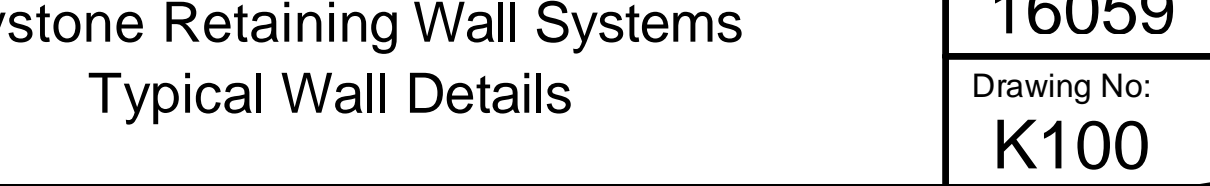
Cap Unit Elevation



Cap Unit Plan



Cap Unit Plan



Universal Cap Unit Option



3-Plane Split Cap Unit Option

Copyright 2003 Keystone Retaining Wall Systems

Design is for internal stability of the KEYSTONE wall structure only. External stability, including but not limited to foundation and slope stability is the responsibility of the Owner. The design is based on the assumption that the materials within the retained mass, methods of construction, and quality of materials conform to KEYSTONE's specification for this project.

This drawing is being furnished for this specific project only. Any party accepting this document does so in confidence and agrees that it shall not be duplicated in whole or in part, nor disclosed to others without the consent of Keystone Retaining Wall Systems, Inc.

No.	Date	Revision	By

KEYSTONE
RETAINING WALL SYSTEMS

A **CONTECH** COMPANY

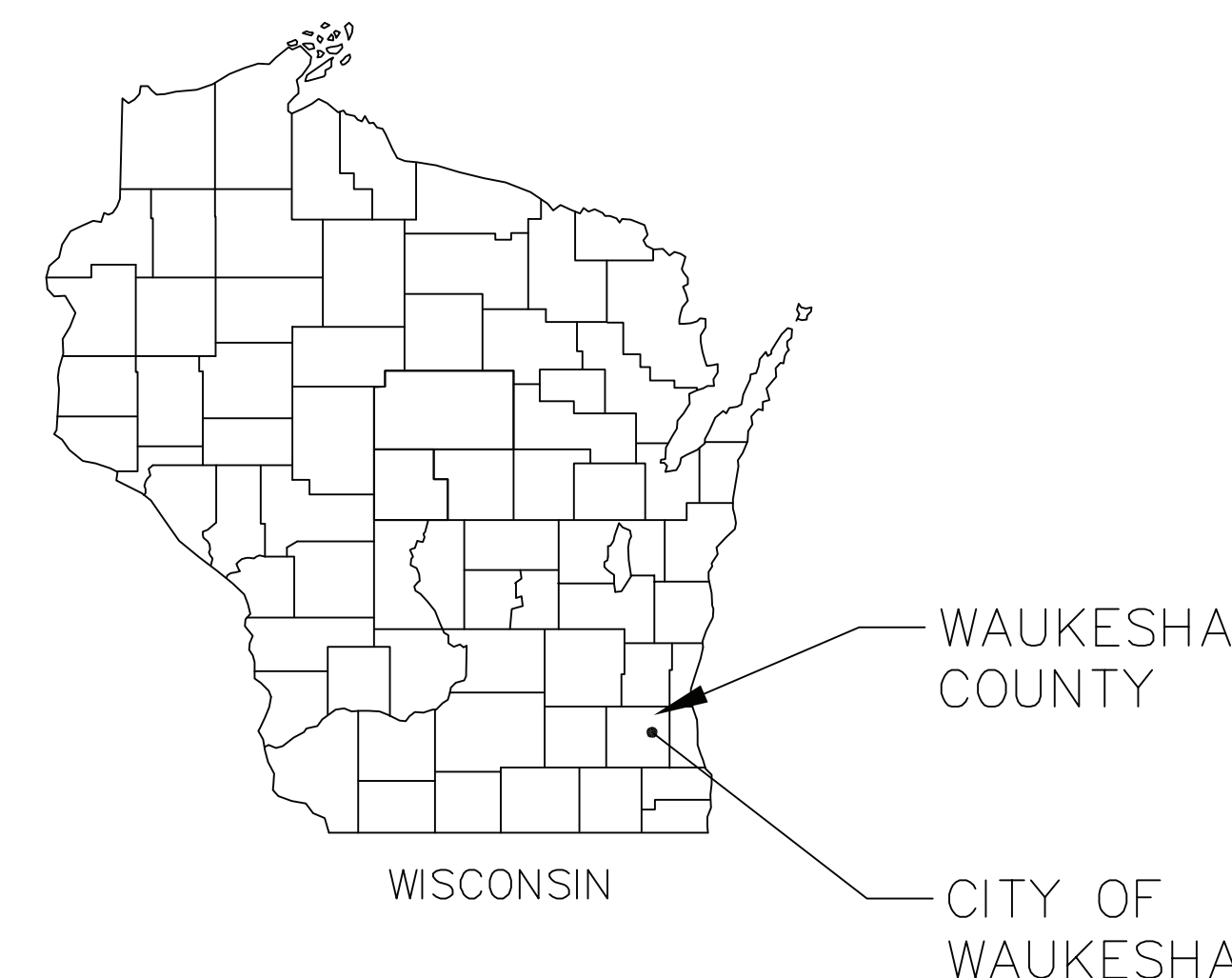
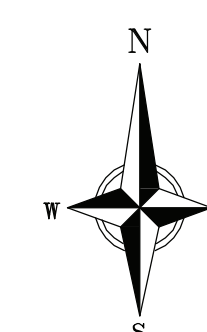
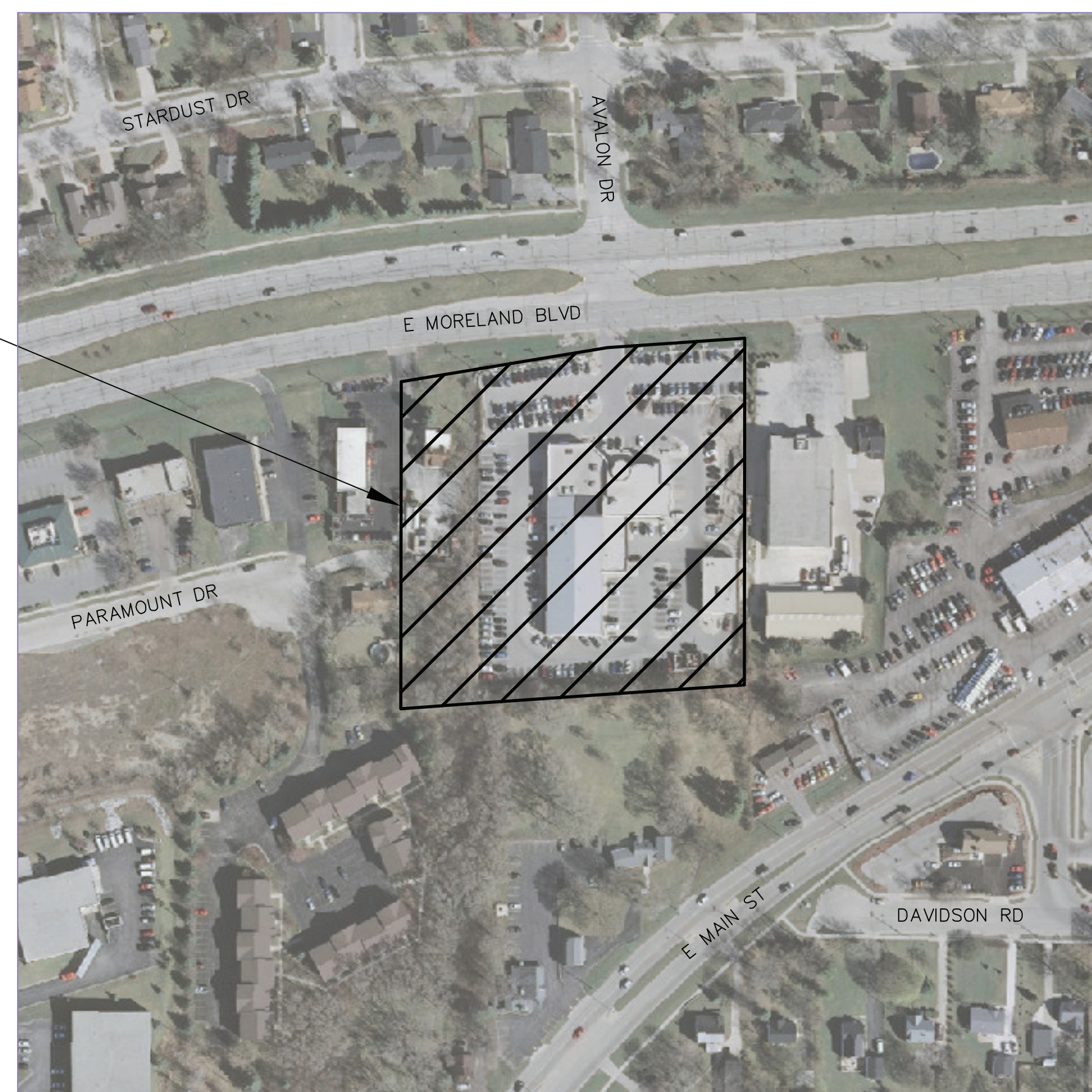
4444 W 78th Street
Minneapolis, MN 55435
952-897-1040

Designed By: RKM	Title: Standard Unit 18 - Tri Plane Face Details	Date: 12/27/16
Checked By: CDM	Project: Keystone Retaining Wall Systems Typical Wall Details	Project No: 16059
Scale: No Scale		Drawing No: K100

Waukesha Fields Jaguar-Land Rover

Civil Engineering Plans City of Waukesha, Wisconsin

PROJECT LOCATION



CALL DIGGER'S HOTLINE
1-800-242-8511
TOLL FREE
TELEFAX: 1-800-338-3860
TDC (FOR HEARING IMPAIRED):
1-800-542-2289
WIS. STATUTE 182.0175 (1979)
REQUIRES MINIMUM OF 3 WORKING DAYS
NOTICE BEFORE YOU EXCAVATE.

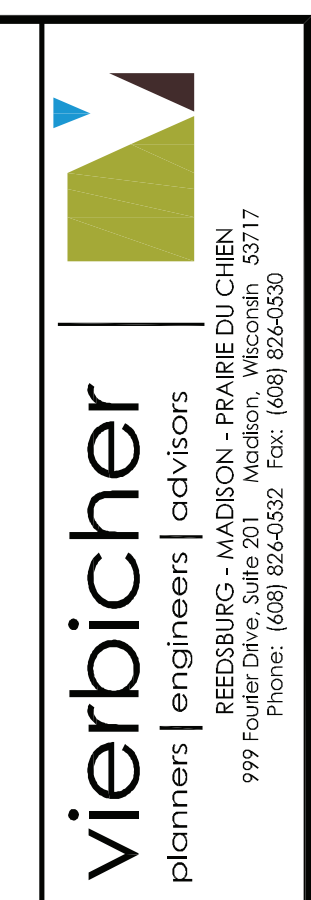
SITE BENCHMARKS

CONC. MONUMENT
W/BRASS CAP
SW CORNER OF NE 1/4
SEC. 36, 17N R19E.
ELEV = 929.69

THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.

CALL DIGGER'S HOTLINE
1-800-242-8511

SHEET NO.	DESCRIPTION
T1.0	TITLE SHEET
C1.0	EXISTING CONDITIONS AND DEMOLITION PLAN
C2.0	SITE PLAN
C3.0	GRADING AND EROSION CONTROL PLAN
C4.0	UTILITY PLAN
C5.0-C5.3	CONSTRUCTION DETAILS



Waukesha Fields Jaguar-Land Rover
Title Sheet
City of Waukesha
Waukesha County, Wisconsin

REVISIONS	NO.	DATE	REMARKS

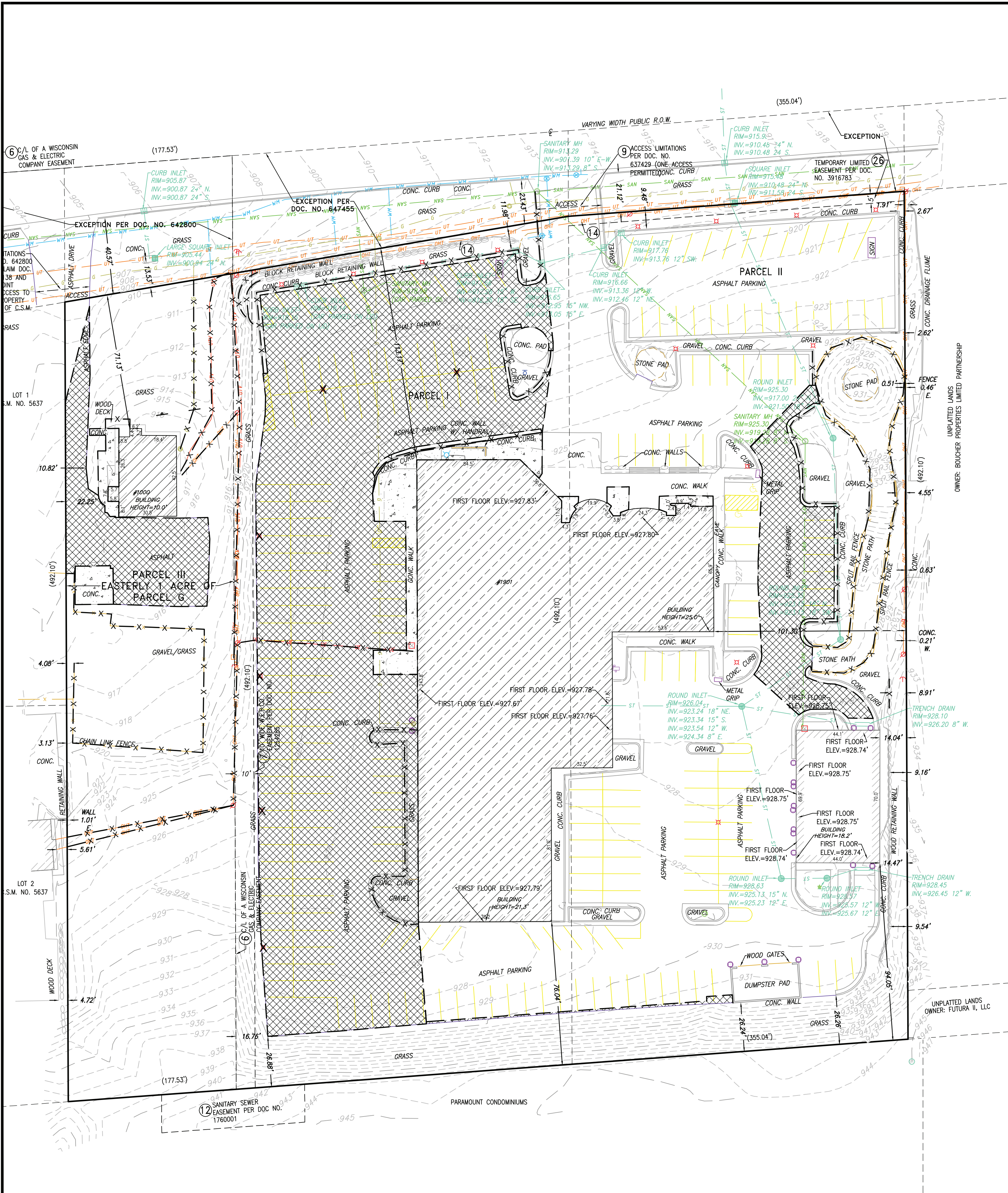
SCALE AS SHOWN

DATE 12/27/2016

DRAFTER JGOL
CHECKED GBLA

PROJECT NO. 160333

T
1.0



LEGEND

- INDICATES FOUND 1" IRON PIPE
- INDICATES SET 1" IRON PIPE
- + INDICATES FOUND CHISELED CROSS
- SANITARY MANHOLE
- ⊕ SANITARY CLEANOUT OR VENT
- ⊙ M.I.S. MANHOLE
- ⊙ UNKNOWN MANHOLE
- ⊙ STORM MANHOLE
- ⊙ INLET (ROUND)
- ⊙ INLET (SQUARE)
- ⊙ CURB INLET
- ⊙ STORM SEWER END SECTION
- ⊙ GAS VALVE
- ⊙ WATER VALVE
- ⊙ HYDRANT
- ⊙ WATER MANHOLE
- ⊙ WATER SERVICE CURB STOP
- ⊙ WELL HEAD
- ⊙ STAND PIPE
- ⊙ WALL INDICATOR VALVE
- ⊙ POST INDICATOR VALVE
- ⊙ LIGHT POLE
- ⊙ SPOT/YARD LIGHT
- ⊙ UTILITY POLE
- ⊙ GUY POLE
- ⊙ GUY WIRE
- ⊙ ELECTRIC MANHOLE
- ⊙ ELECTRIC PEDESTAL
- ⊙ ELECTRIC METER
- ⊙ TELEPHONE MANHOLE
- ⊙ TELEPHONE PEDESTAL
- ⊙ CABLE PEDESTAL
- ⊙ CONTROL BOX
- ⊙ FIBER OPTIC SIGN
- ⊙ TRAFFIC LIGHT
- ⊙ COMMUNICATION MANHOLE
- ⊙ BOLLARD
- ⊙ SOIL BORING/MONITORING WELL
- ⊙ WATER SURFACE
- ⊙ WETLANDS FLAG
- ⊙ MARSH
- ⊙ FLAGPOLE
- ⊙ PARKING METER
- ⊙ SIGN
- ⊙ MAILBOX
- ⊙ RAILROAD CROSSING SIGNAL
- ⊙ HANDICAP SPACE
- ⊙ CONIFEROUS TREE
- ⊙ DECIDUOUS TREE
- SAW — SANITARY SEWER
- ST — STORM SEWER
- W — WATER
- G — GAS
- E — ELECTRIC
- T — TELEPHONE
- M — MARKED GAS MAIN
- U — MARKED ELECTRIC
- O — OVERHEAD WIRES
- U — MARKED TELEPHONE
- U — MARKED CABLE TV LINE
- M — MARKED FIBER OPTIC
- X — FENCE
- X — X — CURB AND GUTTER REMOVAL
- X — X — ASPHALT REMOVAL
- X — X — CONCRETE REMOVAL
- X — X — BUILDING REMOVAL
- X — X — BUILDING REMODEL
- X — TREE REMOVAL
- — SAWCUT
- X — UTILITY STRUCTURE REMOVAL
- X — X — UTILITY LINE REMOVAL

DEMOLITION NOTES:

1. CONTRACTOR SHALL KEEP ALL CITY STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
2. COORDINATE EXISTING UTILITY REMOVAL/ABANDONMENT WITH LOCAL AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION.
3. ALL SAWCUTTING SHALL BE FULL DEPTH TO PROVIDE A CLEAN EDGE TO MATCH NEW CONSTRUCTION. MATCH EXISTING ELEVATIONS AT POINTS OF CONNECTION FOR NEW AND EXISTING PAVEMENT, CURB, SIDEWALKS, ETC. ALL SAWCUT LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE FIELD ADJUSTED TO ACCOMMODATE CONDITIONS, JOINTS, MATERIAL TYPE, ETC. REMOVE MINIMUM AMOUNT NECESSARY FOR INSTALLATION OF PROPOSED IMPROVEMENTS.
4. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED DURING CONSTRUCTION TO PUBLIC PROPERTY, PRIVATE PROPERTY OR UTILITIES.
5. EXISTING TOPOGRAPHIC INFORMATION IS BASED ON ALTA/NSPS LAND TITLE SURVEY BY CHAPUT LAND SURVEYS LLC DATED APRIL 7, 2016. CONTRACTOR SHALL VERIFY TOPOGRAPHIC INFORMATION PRIOR TO STARTING CONSTRUCTION.
6. CONTRACTOR SHALL PROVIDE AND SHALL BE RESPONSIBLE FOR ANY NECESSARY TRAFFIC CONTROL SIGNAGE AND SAFETY MEASURES DURING DEMOLITION AND CONSTRUCTION OPERATIONS WITHIN OR NEAR THE PUBLIC ROADWAY.
7. IF APPLICABLE, PROVIDE TREE PROTECTION FENCING PRIOR TO CONSTRUCTION OPERATIONS. MAINTAIN THROUGHOUT CONSTRUCTION.
8. CONTRACTOR SHALL OBTAIN ANY NECESSARY DEMOLITION AND UTILITY PLUGGING PERMITS.
9. THE LOCATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE PLANS HAS BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER AND THE ENGINEER DO NOT ASSUME RESPONSIBILITY IN THE EVENT THAT DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED, AND THAT THE ACTUAL LOCATION OF THOSE WHICH ARE SHOWN MAY BE DIFFERENT FROM THE LOCATION AS SHOWN ON THE PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING DIGGERS HOTLINE AND LOCATING ALL EXISTING UTILITIES AND ENSURE PROPER CLEARANCE OF NEW UTILITIES.
10. ANY DAMAGE TO THE CITY PAVEMENT, INCLUDING DAMAGE RESULTING FROM CURB REPLACEMENT, WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY ENGINEERING PATCHING CRITERIA.
11. RIGHT OF WAY (ROW) AND PROPERTY LINES ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING PROPERTY CORNER MONUMENTATION. ANY MONUMENTS DISTURBED BY CONTRACTOR SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.
12. CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.

vierbicher
planners | engineers | advisors

REBECCAH M. DISON - PRINCIPAL ENGINEER
999 Foxboro Drive, Suite 201, Waukesha, Wisconsin 53117
Phone: (478) 824-0332 Fax: (478) 824-0330

Waukesha Fields Jaguar-Land Rover
Existing Conditions and Demolition Plan
City of Waukesha
Waukesha County, Wisconsin

REVISIONS	NO.	DATE	REMARKS

SCALE AS SHOWN

DATE 12/27/2016

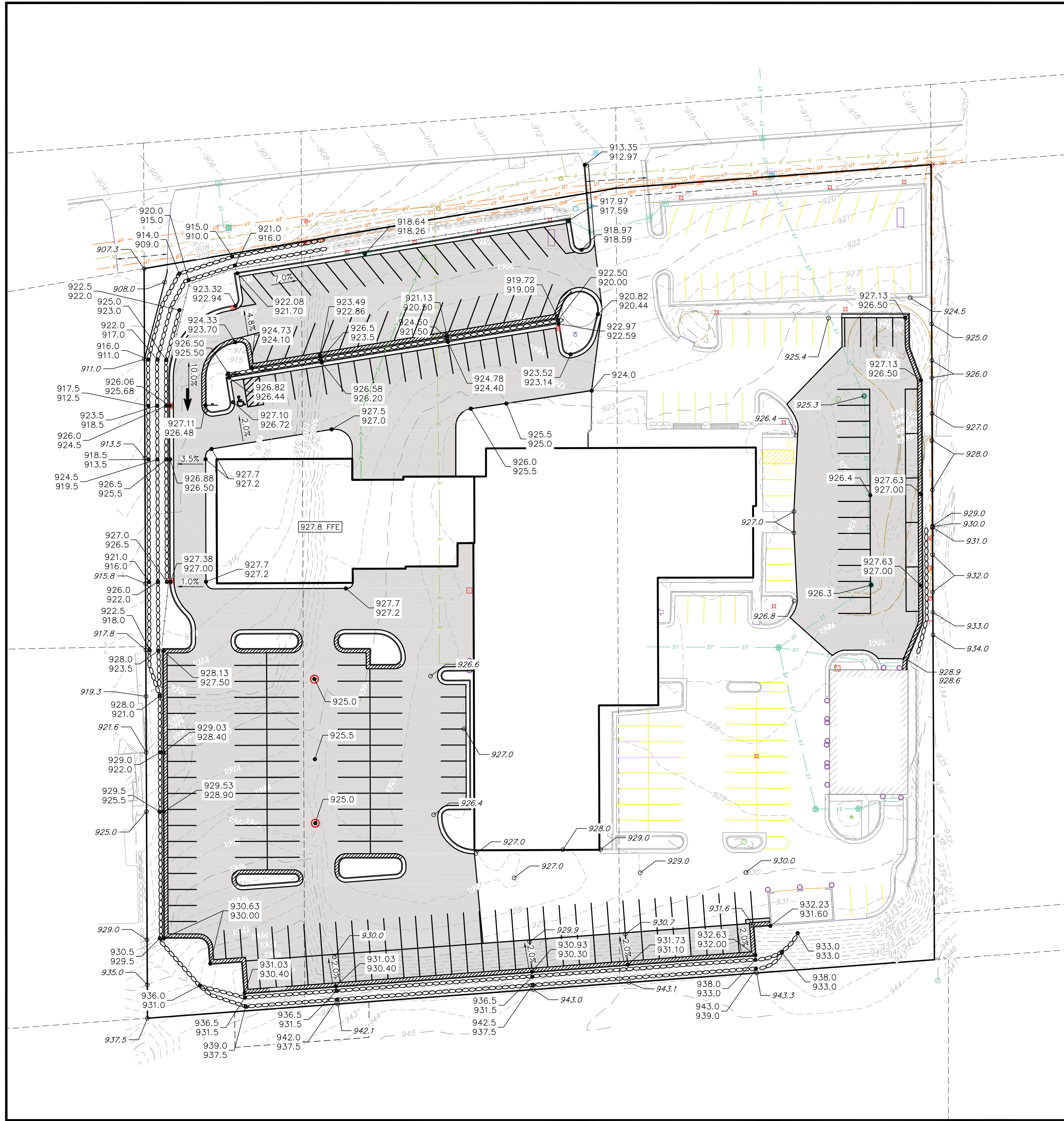
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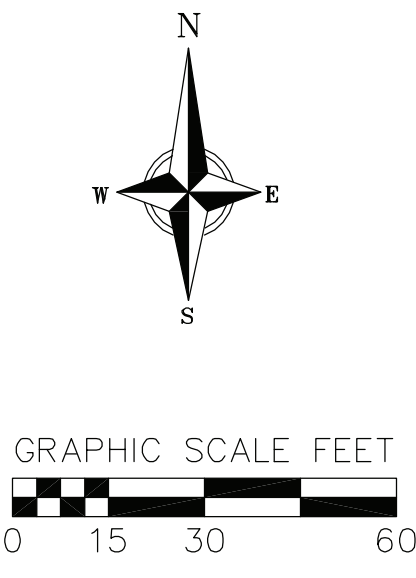


LEGEND

- 820 --- EXISTING MAJOR CONTOURS
- 818 --- EXISTING MINOR CONTOURS
- 820 --- PROPOSED MAJOR CONTOURS
- 818 --- PROPOSED MINOR CONTOURS
- - - - DITCH CENTERLINE
- - - - SILT FENCE
- - - - DISTURBED LIMITS
- BERM
- DRAINAGE DIRECTION
- 2.92% PROPOSED SLOPE ARROWS
- 1048.61 EXISTING SPOT ELEVATIONS
- 1048.61 PROPOSED SPOT ELEVATIONS
- STONE WEEPER
- VELOCITY CHECK
- INLET PROTECTION
- EROSION MAT CLASS _____
- EROSION MAT CLASS _____
- TRACKING PAD
- RIP RAP

GRADING AND EROSION CONTROL NOTES:

1. INSTALL A 50'L X 20'W X 1.0'D TRACKING PAD PER DETAIL AT THE SITE ENTRANCE. THE TRACKING PAD SHALL BE MAINTAINED/REPAIRED AS NECESSARY TO ACCOMMODATE CONSTRUCTION.
2. THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE/REPAIR WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
3. INSTALL INLET FILTERS IN EXISTING CURB INLETS AND INLET PROTECTION AROUND FIELD INLETS.
4. UTILITY STRUCTURE RIM AND TOP OF CURB ELEVATIONS ON PLANS ARE APPROXIMATE. UTILITY STRUCTURES SHALL BE SET TO FINAL ELEVATIONS AFTER THE CURB & GUTTER AND BASE COURSE HAVE BEEN INSTALLED.
5. EXISTING TOPOGRAPHIC INFORMATION IS BASED ON ALTA/NSPS LAND TITLE SURVEY BY CHAPUT LAND SURVEYS LLC DATED APRIL 7, 2016. CONTRACTOR SHALL VERIFY TOPOGRAPHIC INFORMATION PRIOR TO STARTING CONSTRUCTION.
6. SEE DETAIL SHEETS FOR EROSION CONTROL NOTES AND CONSTRUCTION SEQUENCE.
7. THE CONTRACTOR SHALL REMOVE ANY SEDIMENT TRACKED ONTO ADJACENT ROADS BY MEANS OF STREET SWEEPING (NOT FLUSHING) AT A MINIMUM OF THE END OF EACH WORK DAY OR MORE AS NEEDED.
8. RIGHT OF WAY (ROW) AND PROPERTY LINES ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING PROPERTY CORNER MONUMENTATION. ANY MONUMENTS DISTURBED BY CONTRACTOR SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.
9. FINAL GRADES SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
10. CROSS-SLOPE OF SIDEWALKS SHALL BE 2% (MAX) UNLESS OTHERWISE NOTED.
11. LONGITUDINAL GRADE OF SIDEWALK RAMPS SHALL NOT EXCEED 8.33% (1:12) AND SHALL BE IN ACCORDANCE WITH ADA REQUIREMENTS.
12. LONGITUDINAL GRADE OF SIDEWALK SHALL NOT EXCEED 5.0% OR THE ADJACENT STREET GRADE WHICHEVER IS GREATER.
13. ACCESSIBLE ROUTES SHALL BE 5% MAX LONGITUDINAL SLOPE AND 2% MAX CROSS SLOPE. ACCESSIBLE LOADING AREAS OR LANDINGS SHALL BE 2% MAX SLOPE IN ANY DIRECTION. RAMPS SHALL BE 8.33% MAX SLOPE.

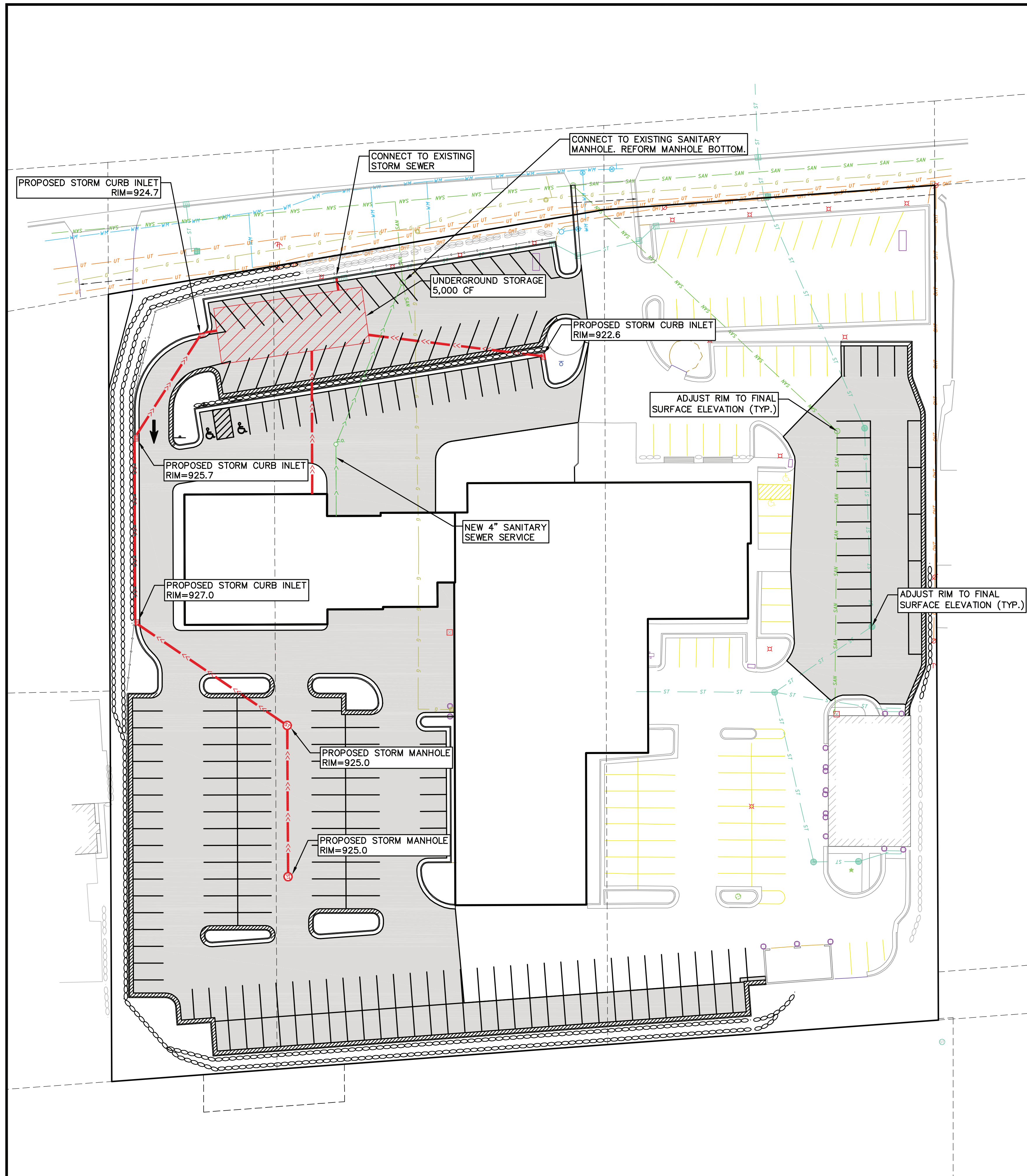


vierbicher
planners | engineers | advisors
1855 BIRCHWOOD DRIVE, SUITE 201
MADISON, WISCONSIN 53717
PHONE: (608) 824-0332 FAX: (608) 824-0330

Waukesha Fields Jaguar-Land Rover
Grading and Erosion Control Plan
City of Waukesha
Waukesha County, Wisconsin

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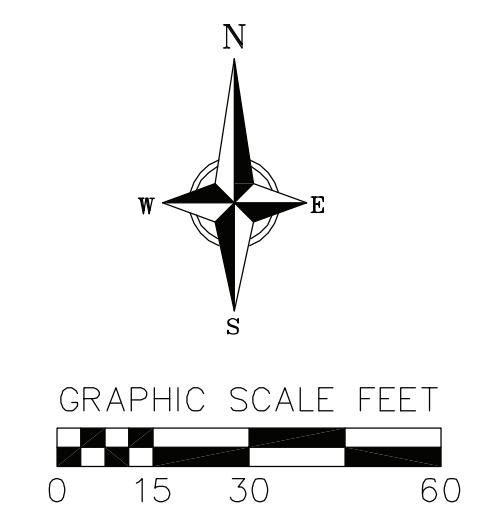


LEGEND

- >>--->> STORM SEWER PIPE
- ⊙ STORM SEWER MANHOLE
- ⊙ STORM SEWER ENDWALL
- ⊙ STORM SEWER CURB INLET
- ⊙ STORM SEWER CURB INLET W/MANHOLE
- ⊙ STORM SEWER FIELD INLET
- ⊙ ROOF DRAIN CLEANOUT
- >>--->> SANITARY SEWER PIPE (GRAVITY)
- >>--->> SANITARY SEWER PIPE (FORCE MAIN)
- >>--->> SANITARY SEWER LATERAL PIPE
- ⊙ SANITARY SEWER MANHOLE
- ⊙ SANITARY SEWER CLEANOUT
- >>--->> WATER MAIN
- >>--->> WATER SERVICE LATERAL PIPE
- ⊙ FIRE HYDRANT
- ⊙ WATER VALVE
- ⊙ CURB STOP
- ⊙ WATER VALVE MANHOLE
- ▨ PROPOSED PIPE INSULATION
- >>--->> GAS MAIN
- >>--->> ELECTRIC SERVICE

ABBREVIATIONS

STMH	STORM MANHOLE
FI	FIELD INLET
CI	CURB INLET
CB	CATCH BASIN
EW	ENDWALL
SMH	SANITARY MANHOLE



UTILITY NOTES:

1. SANITARY & STORM SEWER LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. STORM SEWER END SECTIONS ARE INCLUDED IN THE LENGTH AND SLOPE OF THE PIPE.
2. CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES (MANHOLE RIMS, WATER VALVES, AND CURB STOPS), IF NECESSARY.
4. CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT-OF WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING, ABANDONMENT, AND DRIVEWAY CONNECTION PERMITS PRIOR TO CONSTRUCTION.
5. FOR ALL SEWER AND WATER MAIN CROSSINGS: PROVIDE MINIMUM 18" SEPARATION WHEN WATER MAIN CROSSES BELOW SEWER AND MINIMUM 6" SEPARATION WHEN WATER MAIN CROSSES ABOVE SEWER.
6. INSTALL 1 SHEET OF 4'x8'x4" HIGH DENSITY STYROFOAM INSULATION AT ALL LOCATIONS WHERE STORM SEWER CROSSES WATER MAIN OR WATER LATERALS.
7. IF DEWATERING OPERATIONS EXCEED 70 GALLONS PER MINUTE OF PUMPING CAPACITY, A DEWATERING WELL PERMIT SHALL BE OBTAINED FROM THE DNR PRIOR TO STARTING ANY DEWATERING ACTIVITIES.
8. A COPY OF THE APPROVED UTILITY PLANS, SPECIFICATIONS AND PLUMBING PERMIT APPROVAL LETTER SHALL BE ON-SITE DURING CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED REPRESENTATIVES AND OTHER LOCAL INSPECTORS.
9. STORM BUILDING SEWER PIPE SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN WISCONSIN PLUMBING CODE.
10. PRIVATE WATER SERVICES AND PRIVATE WATER MAINS SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN WISCONSIN PLUMBING CODE.
11. PRIVATE WATER HYDRANTS SHALL BE YELLOW IN COLOR.
12. PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO ONE OF THE STANDARDS LISTED IN WISCONSIN PLUMBING CODE.
13. A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER WISCONSIN PLUMBING CODE.
14. EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH WISCONSIN PLUMBING CODE.
15. NO PERSON MAY ENGAGE IN PLUMBING WORK IN THE STATE UNLESS LICENSED TO DO SO.
16. SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE, LOCATION, AND INVERT ELEVATION OF PROPOSED SANITARY AND WATER LATERALS.
17. CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES PRIOR TO INSTALLING ANY ON-SITE UTILITIES OR STRUCTURES. CONTACT ENGINEER PRIOR TO INSTALLATION IF DISCREPANCY EXISTS WITHIN THESE PLANS.
18. PROPOSED UTILITY SERVICE LINES SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATIONS WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
19. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF ANY UTILITIES ENCOUNTERED AND REPLACEMENT OF ANY UTILITIES DAMAGED WITHIN INFLUENCE ZONE OF NEW CONSTRUCTION. CONTACT ENGINEER IF THE EXISTING UTILITIES VARY APPRECIABLY FROM THE PLANS.
20. ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GROUND ELEVATION TO TOP OF MAIN.
21. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE CITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE, AT THE POINT OF CONNECTION.
22. CLEAN OUT ALL EXISTING AND PROPOSED STORM INLETS AND CATCH BASINS AT THE COMPLETION OF CONSTRUCTION.
23. CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.
24. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW BY THE ENGINEER, PRIOR TO PLACING AN ORDER OF ANY SUCH ITEM.
25. CONTRACTOR SHALL FIELD VERIFY LOCATION OF EXISTING SANITARY SEWER, STORM SEWER AND WATER MAIN PRIOR TO CONSTRUCTION TO ENSURE PROPER CLEARANCE OF THE NEW UTILITIES. CONTRACTOR MUST TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES DURING CONSTRUCTION. ANY DAMAGE TO THE EXISTING UTILITIES AND ANY REPAIRS NEEDED AS A RESULT OF THE DAMAGE SHALL BE AT THE EXPENSE OF THE CONTRACTOR REGARDLESS OF THE LOCATION MARKED IN THE FIELD OR SHOWN ON THE PLANS.
26. THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THE PLAN ARE APPROXIMATE. THERE MAY BE OTHER UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING DIGGERS HOTLINE AND LOCATING ALL EXISTING UTILITIES AND ENSURE PROPER CLEARANCE OF NEW UTILITIES.

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vierbichter
engineers | advisors
PLANNERS | ENGINEERS | ARCHITECTS | DESIGNERS | CONSULTANTS
999 Foxglove Drive, Suite 201, Waukesha, Wisconsin 53117
Phone: (608) 824-0532 Fax: (608) 824-0530

Waukesha Fields Jaguar-Land Rover
Utility Plan
City of Waukesha
Waukesha County, Wisconsin

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DATE 12/27/2016

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EROSION CONTROL MEASURES

- EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF WAUKESHA EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
- CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (<http://dnr.wi.gov/runoff/stormwater/techstds.htm>) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
- INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, SEDIMENT BASINS, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
- EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
- A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED AT THE END OF ROAD CONSTRUCTION LIMITS TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WISDNR TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
- CHANNELIZED RUNOFF:** FROM ADJACENT AREAS PASSING THROUGH THE SITE SHALL BE DIVERTED AROUND DISTURBED AREAS.
- STABILIZED DISTURBED GROUND:** ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25- FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 14-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.
- SITE DE-WATERING:** WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE-WATERING).
- WASHED STONE WEEPERS OR TEMPORARY EARTH BERMS SHALL BE BUILT PER PLAN BY CONTRACTOR TO TRAP SEDIMENT OR SLOW THE VELOCITY OF STORM WATER.
- SEE DETAIL SHEETS FOR RIP-RAP SIZING. IN NO CASE WILL RIP-RAP BE SMALLER THAN 3" TO 6".
- INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. ALL PROJECT AREA STORM INLETS NEED WISCONSIN D.O.T. TYPE D INLET PROTECTION. THE FILTERS SHALL BE MAINTAINED UNTIL THE OWNER HAS ACCEPTED THE BINDER COURSE OF ASPHALT.
- USE DETENTION BASINS AS SEDIMENT BASINS DURING CONSTRUCTION (DO NOT USE INFILTRATION AREAS). AT THE END OF CONSTRUCTION, REMOVE SEDIMENT AND RESTORE PER PLAN.
- RESTORATION (SEED, FERTILIZE AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET (NOTE: ADD SEEDING RATE STANDARD OF DETAIL BLOCK TO PLAN) UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN OR THE DETENTION BASIN DETAIL SHEET.
- TERRACES SHALL BE RESTORED WITH 6" TOPSOIL, PERMANENT SEED, FERTILIZER AND MULCH. LOTS SHALL BE RESTORED WITH 6" TOPSOIL, TEMPORARY SEED, FERTILIZER AND MULCH.
- AFTER DETENTION BASIN GRADING IS COMPLETE, THE BOTTOM OF DRY BASINS SHALL RECEIVE 6" TOPSOIL AND SHALL BE CHISEL- PLOWED TO A MINIMUM DEPTH OF 12" PRIOR TO RESTORATION.
- SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
- FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
- EROSION MAT (CLASS I, TYPE A URBAN PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER BUT LESS THAN 1:1.
- EROSION MAT (CLASS I, TYPE B URBAN PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON THE BOTTOM (INVERT) OF ROADSIDE DITCHES/SWALES AS SHOWN ON THIS PLAN, 1 ROLL WIDTH.
- SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. (PRODUCT ACCEPTABILITY LIST), OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED PER MANUFACTURER. SOIL STABILIZERS SHALL BE RE-APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.
- SILT FENCE OR EROSION MAT SHALL BE INSTALLED ALONG THE CONTOURS AT 100 FOOT INTERVALS DOWN THE SLOPE ON THE DISTURBED SLOPES STEEPER THAN 5% AND MORE THAN 100 FEET LONG THAT SHEET FLOW TO THE ROADWAY UNLESS SOIL STABILIZERS ARE USED.
- INSTALL MINIMUM 6'-7' WIDE EROSION MAT ALONG THE BACK OF CURB AFTER TOPSOIL HAS BEEN PLACED IN THE TERRACE IF THIS AREA WILL NOT BE SEEDED AND MULCHED WITHIN 48 HOURS OF PLACING TOPSOIL. (NOTE: CHECK WITH MUNICIPALITY AND PROJECT MANAGER IF THIS IS REQUIRED.)
- SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY. SEE DETAILS.
- SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.
- ACCUMULATED CONSTRUCTION SEDIMENT SHALL BE REMOVED FROM ALL PERMANENT BASINS TO THE ELEVATION SHOWN ON THE GRADING PLAN FOLLOWING THE STABILIZATION OF DRAINAGE AREAS.
- ALL CONSTRUCTION ENTRANCES SHALL HAVE TEMPORARY ROAD CLOSED SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.
- ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY DANE COUNTY LAND CONSERVATION OR PERMITTING MUNICIPALITY.
- THE CITY, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.

SEEDING RATES:

- TEMPORARY:**
 1. USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
 2. USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.

- PERMANENT:**
 1. USE WISCONSIN D.O.T. SEED MIX #40 AT 2 LB./1,000 S.F.

FERTILIZING RATES:

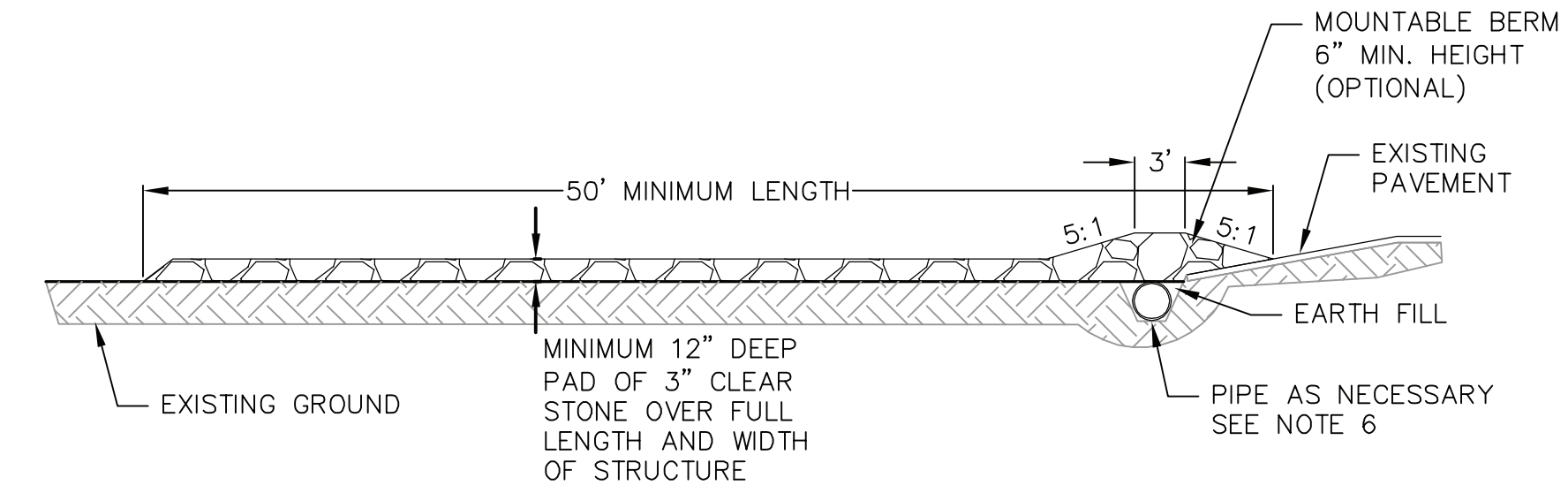
- TEMPORARY AND PERMANENT:**
 USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.

MULCHING RATES:

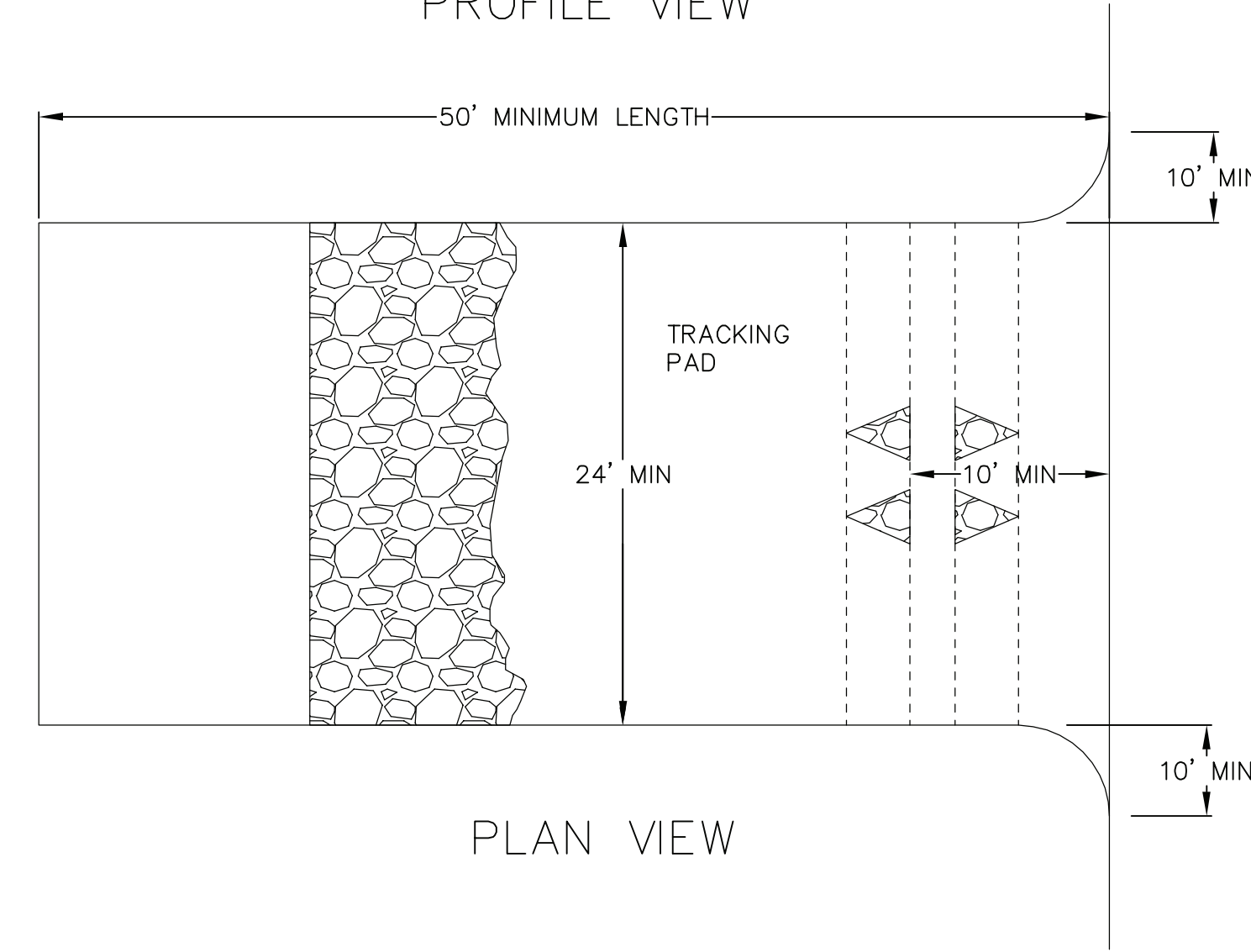
- TEMPORARY AND PERMANENT:**
 USE 1/2" TO 1-1/2" STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION

CONSTRUCTION SEQUENCE:

- INSTALL SILT FENCE AND TRACKING PAD
- STRIP TOPSOIL-DETENTION BASINS
- ROUGH GRADE DETENTION BASINS
- SEED DETENTION BASINS
- STRIP TOPSOIL-STREETS & LOTS.
- ROUGH GRADE STREETS & LOTS
- SEED LOT AREAS AND INSTALL DRIVE-OVER VELOCITY CHECKS
- CONSTRUCT UNDERGROUND UTILITIES
- INSTALL INLET PROTECTION
- CONSTRUCT ROADS (STONE BASE, CURB & GUTTER, AND SIDEWALK). REMOVE DRIVE-OVER VELOCITY CHECKS WHEN BASE COURSE IS PLACED
- RESTORE TERRACES
- REMOVE TRACKING PAD, SILT FENCE AND DIVERSION BERM MEASURES AFTER DISTURBED AREAS ARE RESTORED



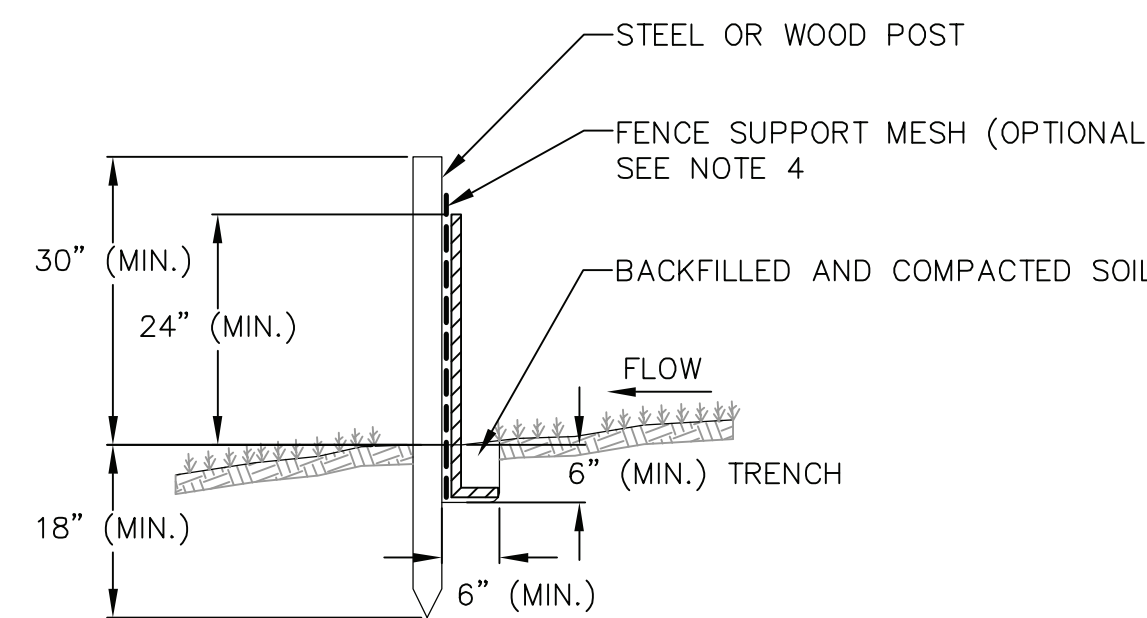
PROFILE VIEW



PLAN VIEW

- FOLLOW WISCONSIN DNR TECHNICAL STANDARD 1057 FOR FURTHER DETAILS AND INSTALLATION.
- LENGTH - MINIMUM OF 50'.
- WIDTH - 24' MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
- ON SITES WITH A HIGH GROUND WATER TABLE OR WHERE SATURATED CONDITIONS EXIST, GEOTEXTILE FABRIC SHALL BE PLACED OVER EXISTING GROUND PRIOR TO PLACING STONE. FABRIC SHALL BE WSDOT TYPE-HR GEOTEXTILE FABRIC.
- STONE - CRUSHED 3" CLEAR STONE SHALL BE PLACED AT LEAST 12" DEEP OVER THE ENTIRE LENGTH AND WIDTH OF ENTRANCE.
- SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARDS CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE. MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND MINIMUM OF 6" STONE OVER THE PIPE. PIPE SHALL BE SIZED ACCORDING TO THE DRAINAGE REQUIREMENTS. WHEN THE ENTRANCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY A PIPE SHALL NOT BE NECESSARY. THE MINIMUM PIPE DIAMETER SHALL BE 6". CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF SAID PIPE.
- LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED WHERE CONSTRUCTION TRAFFIC ENTERS AND/OR LEAVES THE CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE TRACKING PAD.

1 TRACKING PAD
 NOT TO SCALE



2 SILT FENCE
 NOT TO SCALE

NOTES:

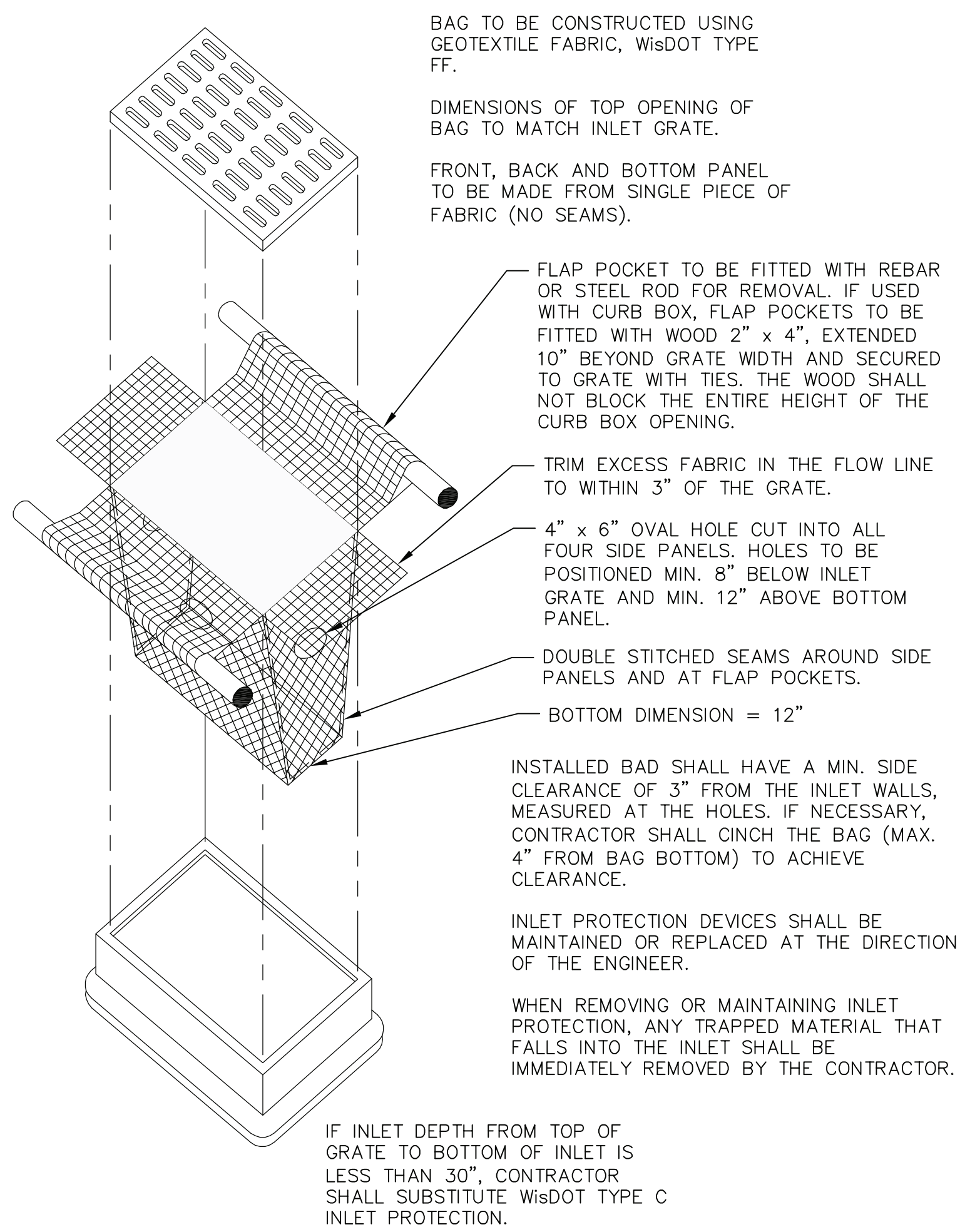
- INSTALL SILT FENCE TO FOLLOW THE GROUND CONTOURS AS CLOSELY AS POSSIBLE.
- CURVE THE SILT FENCE UP THE SLOPE TO PREVENT WATER FROM RUNNING AROUND THE ENDS.
- POST SPACING WITH FENCE SUPPORT MESH = 10 FT. (MAX.)
 POST SPACING WITHOUT FENCE SUPPORT MESH = 6 FT. (MAX.)
- SILT FENCE SUPPORT MESH CONSISTS OF 14-GAUGE STEEL WIRE WITH A MESH SPACING OF 6 IN. X 6 IN. OR PREFABRICATED POLYMERIC MESH OF EQUIVALENT STRENGTH

NO.	REVISIONS	
	DATE	REMARKS

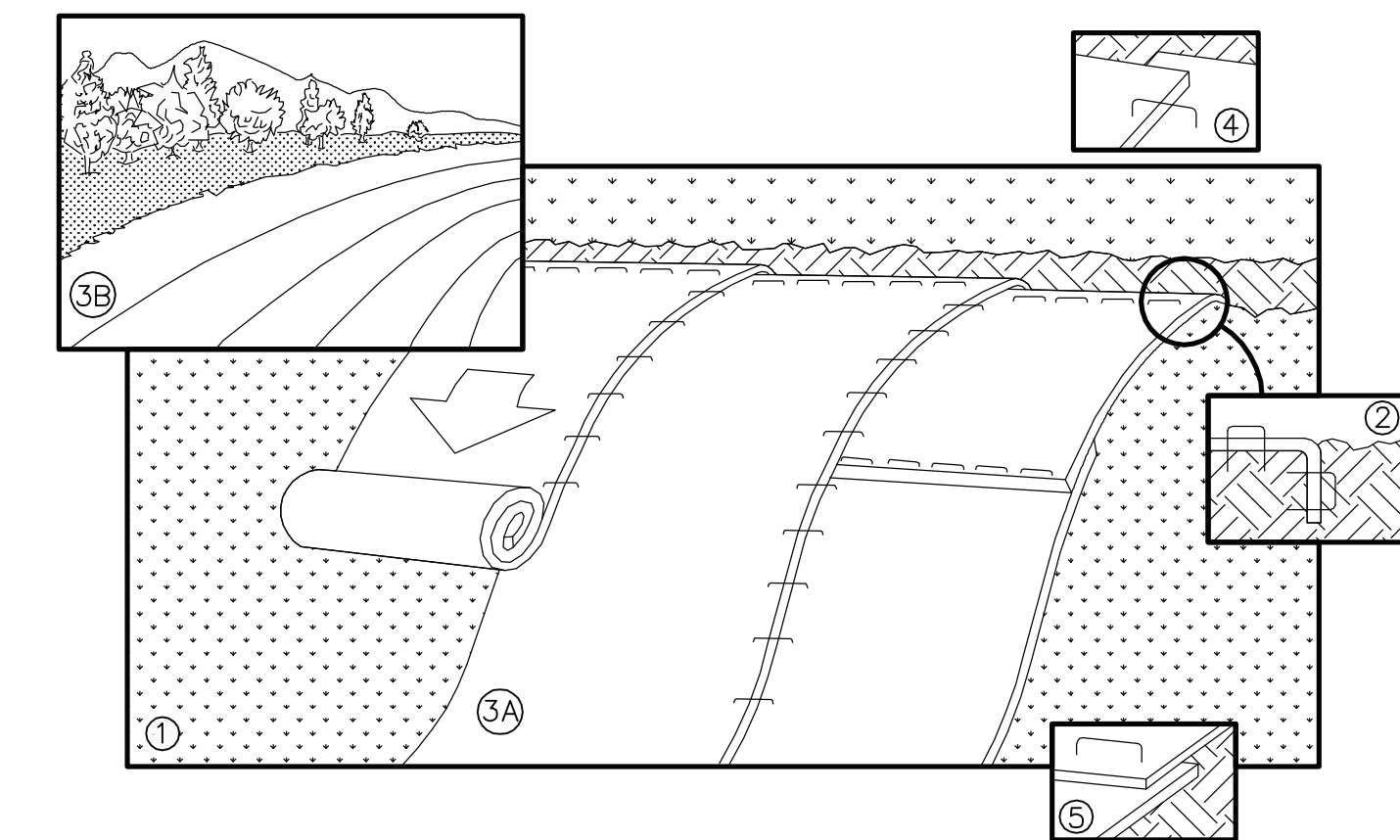
SCALE AS SHOWN
DATE 12/27/2016
DRAFTER JGOL
CHECKED GBLA

PROJECT NO. 160333

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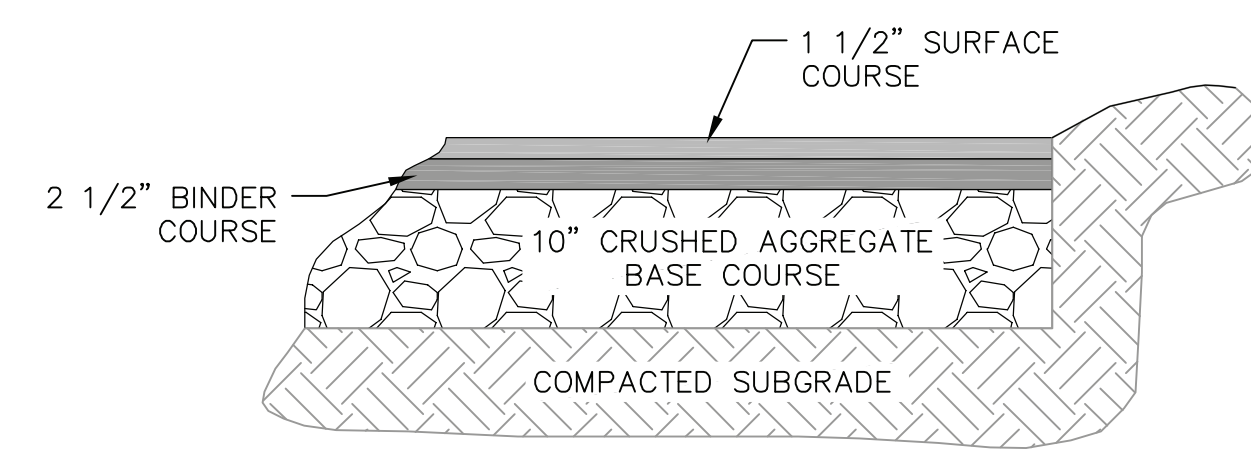
1 INLET PROTECTION TYPE D
C5.1 NOT TO SCALE



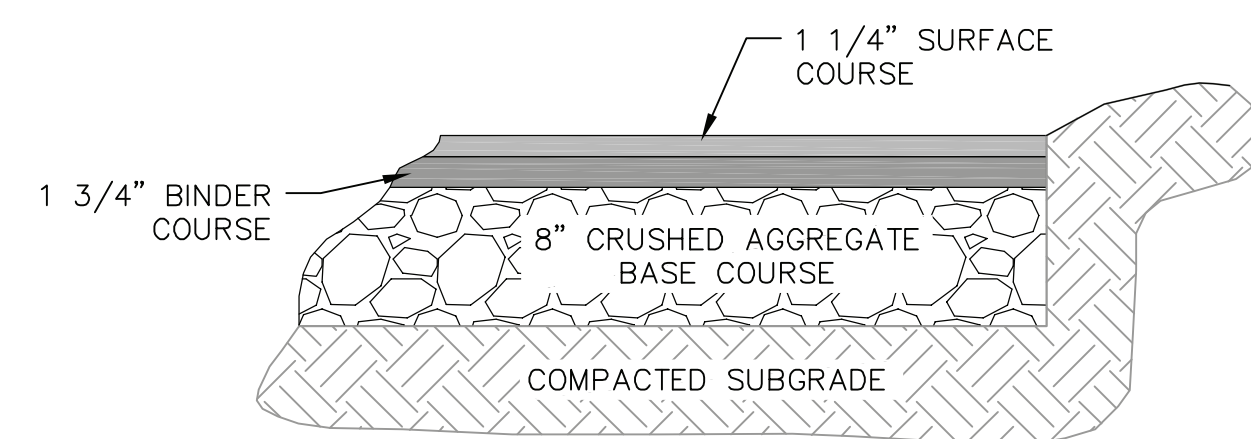
NOTE: REFER TO GENERAL STAPLE PATTERN GUIDE FOR CORRECT STAPLE PATTERN RECOMMENDATIONS FOR SLOPE INSTALLATIONS.

- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED.
NOTE: WHEN USING CELL-O-SEED, DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP BY 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
- ROLL THE BLANKETS <A.> DOWN, OR <B.> HORIZONTALLY ACROSS THE SLOPE.
- THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
- WHEN BLANKETS MUST BE SPLICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.
- ALL BLANKETS MUST BE SECURELY FASTENED TO THE SLOPE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.

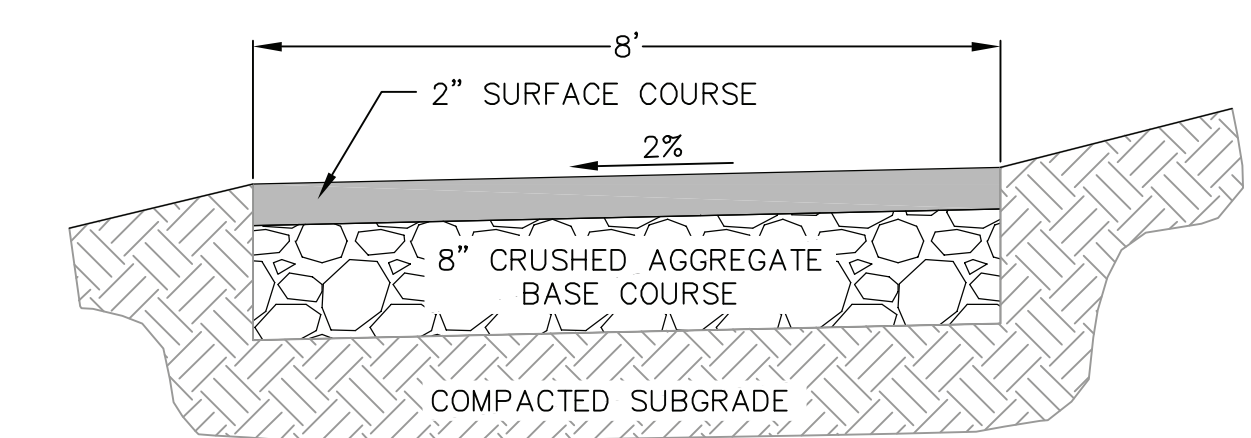
4 EROSION MAT
C5.1 NOT TO SCALE



BITUMINOUS PAVEMENT DRIVES

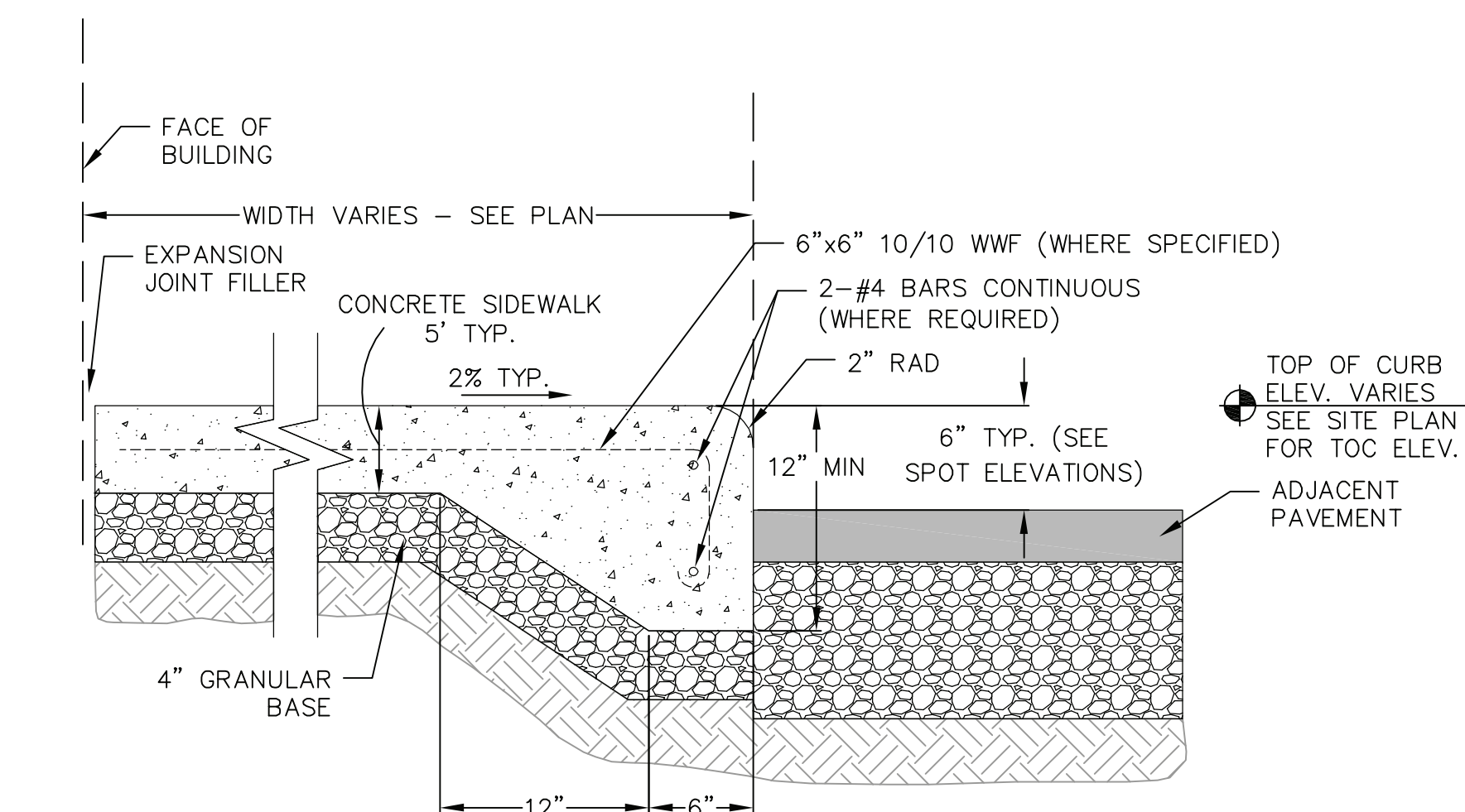


BITUMINOUS PAVEMENT PARKING LOT

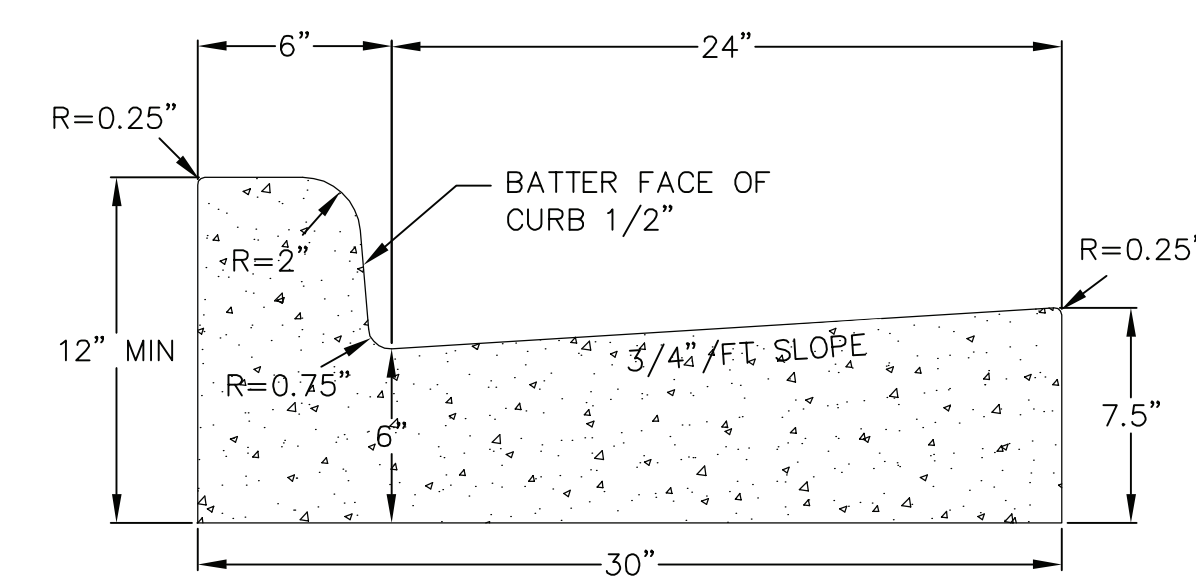


BITUMINOUS PAVEMENT BIKE PATH

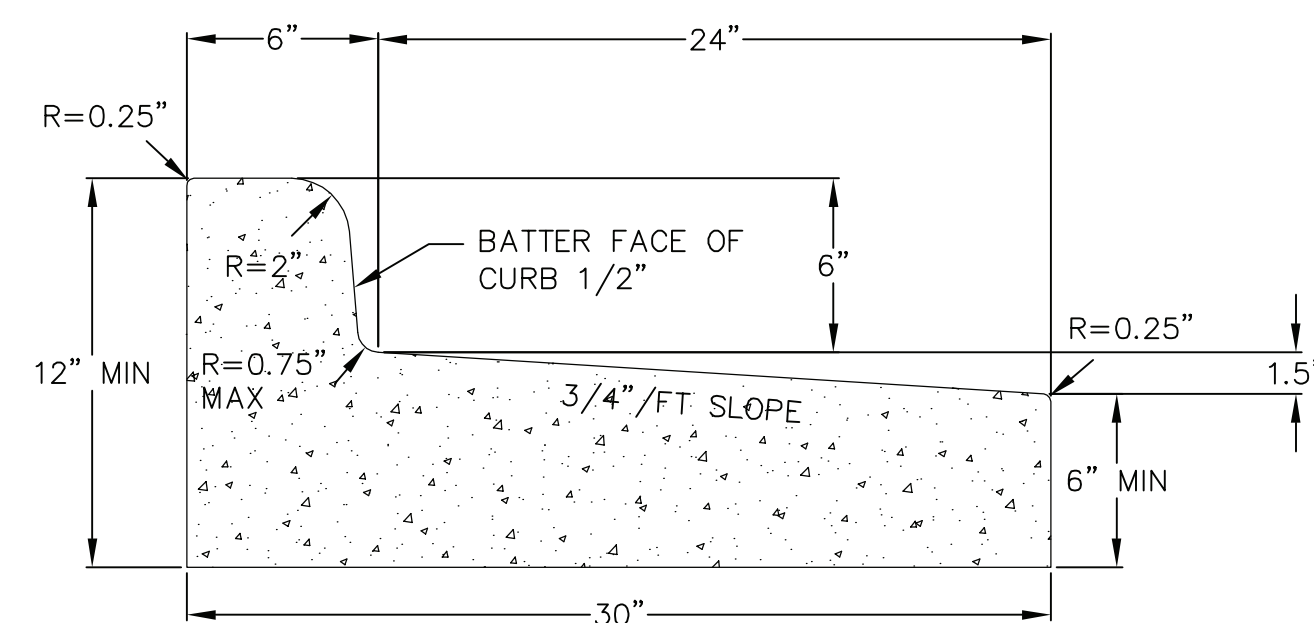
2 SITE PAVEMENT
C5.1 NOT TO SCALE



5 CURBED SIDEWALK DETAIL
C5.1 NOT TO SCALE

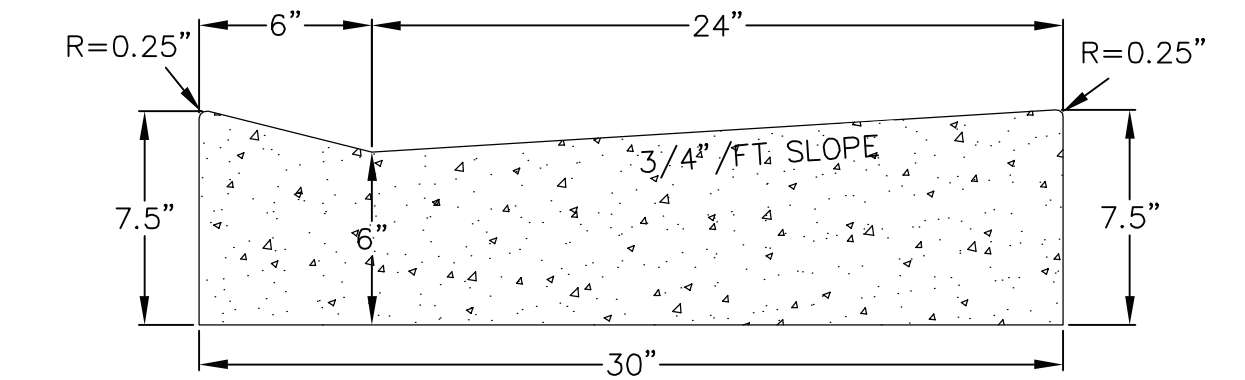


CURB AND GUTTER CROSS SECTION

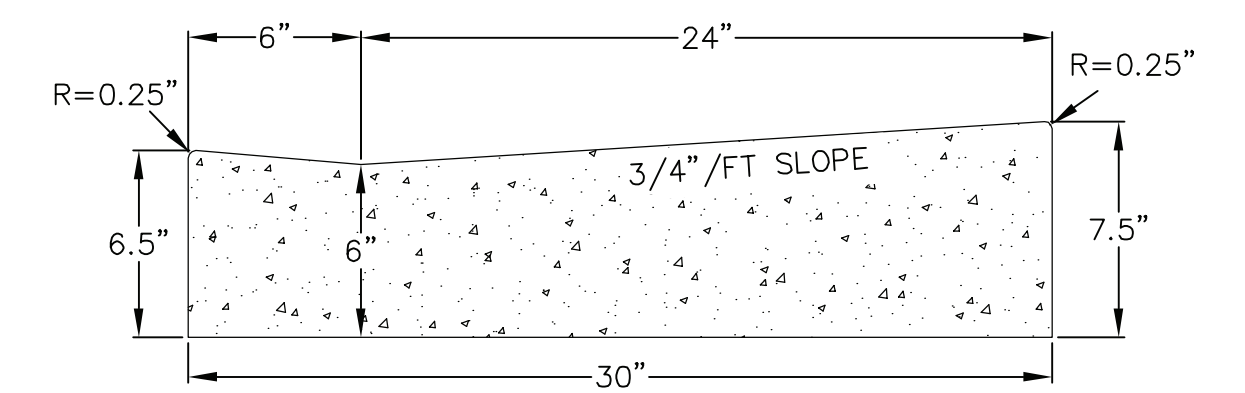


CURB AND GUTTER REJECT SECTION

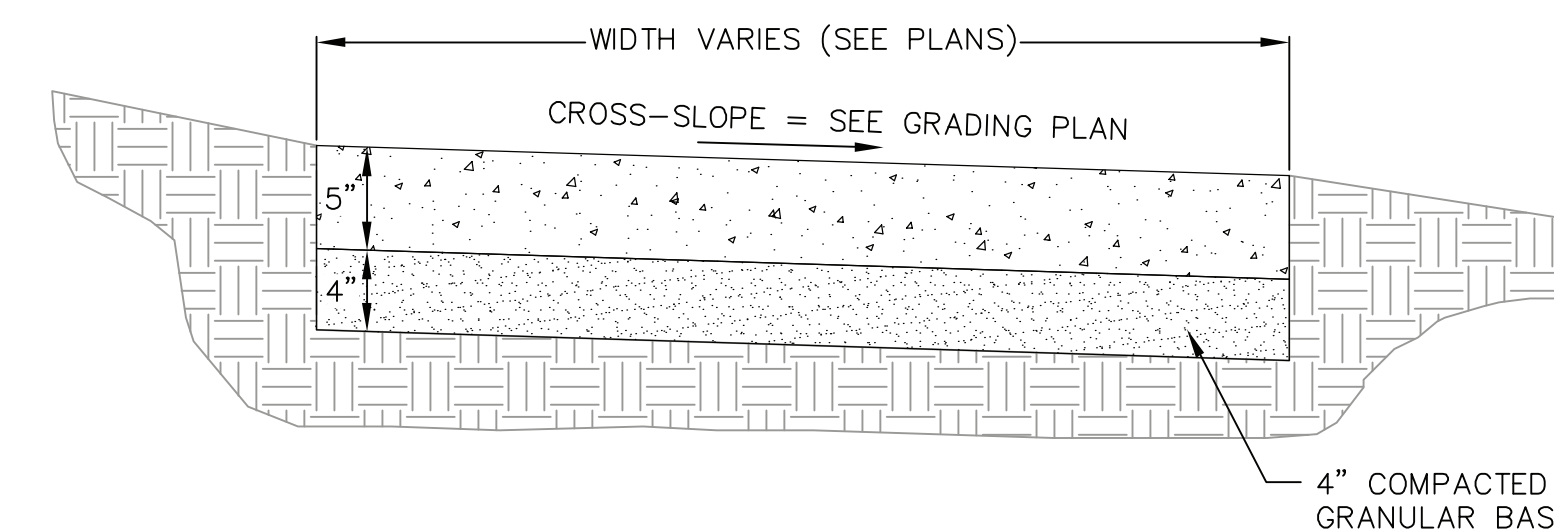
3 30" CONCRETE CURB AND GUTTER
C5.1 NOT TO SCALE



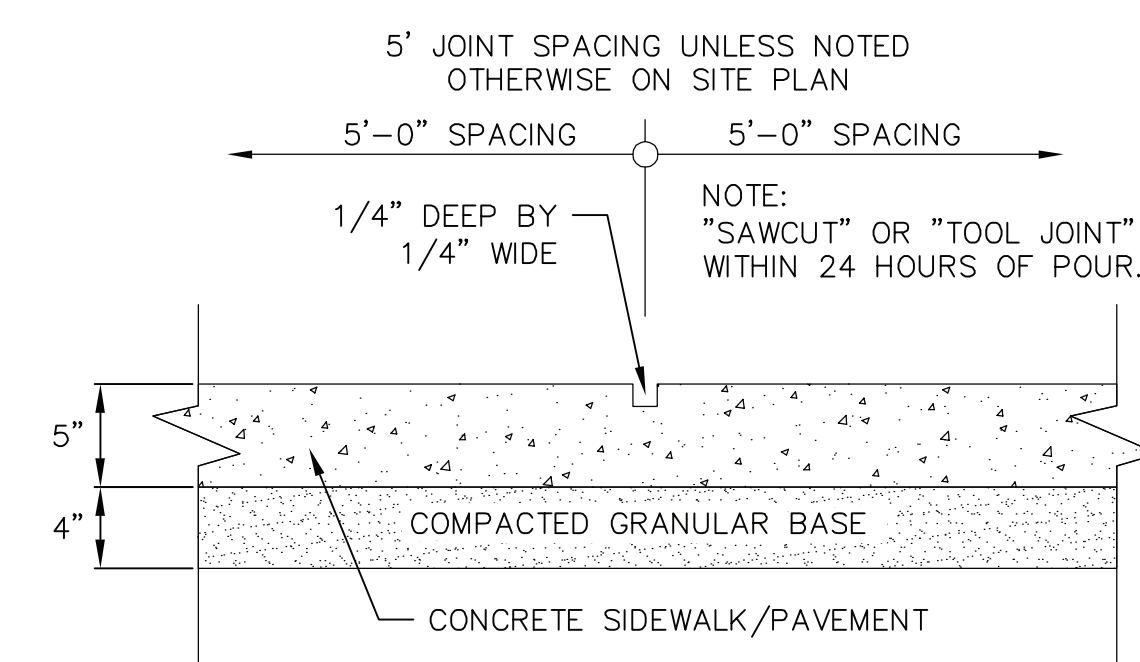
DRIVEWAY GUTTER CROSS SECTION



HANDICAP RAMP GUTTER CROSS SECTION



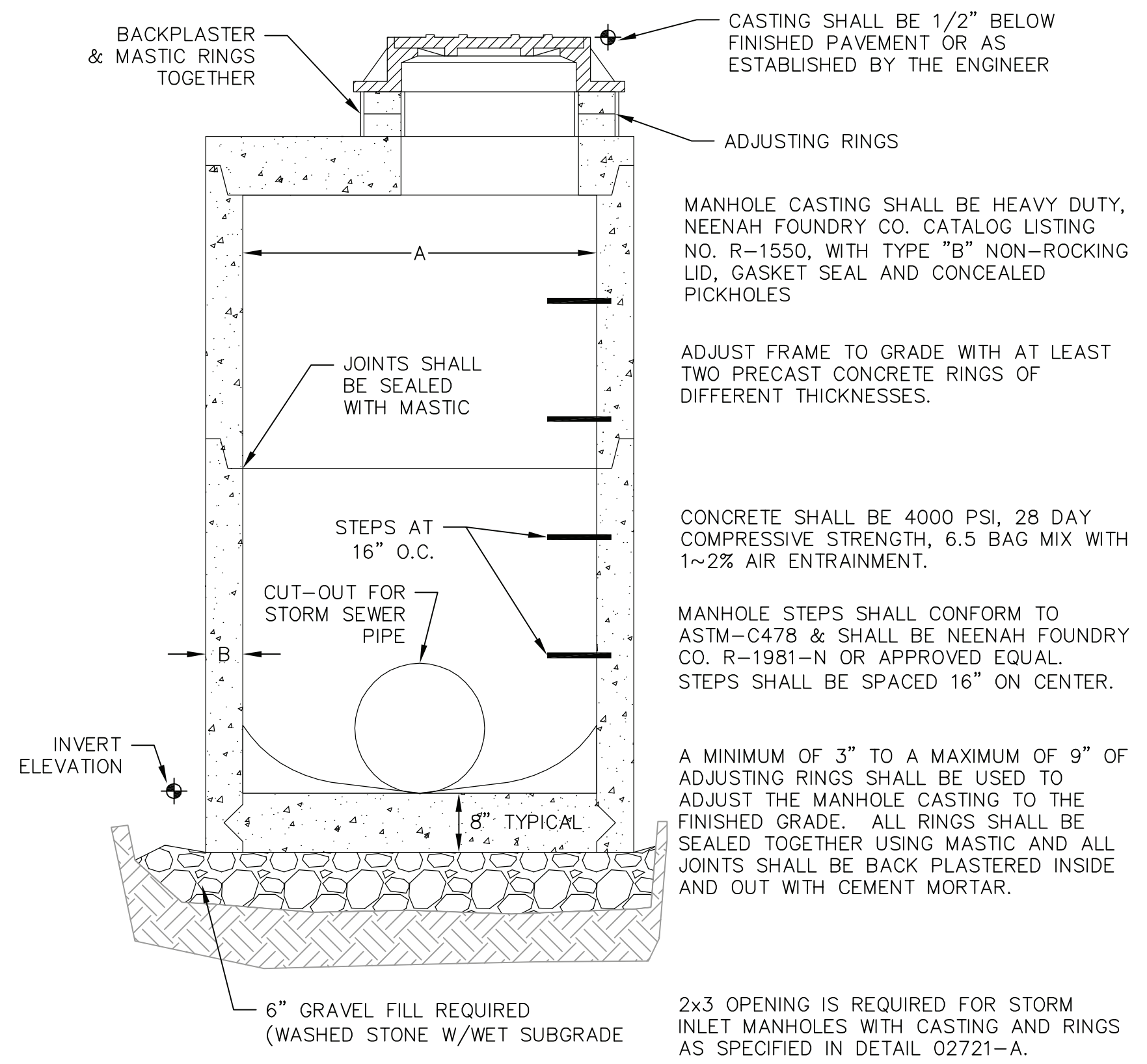
5" SITE CONCRETE SIDEWALK/PAVEMENT



SIDEWALK CONTROL JOINT

6 5" CONCRETE SIDEWALK/PAVEMENT
C5.1 NOT TO SCALE

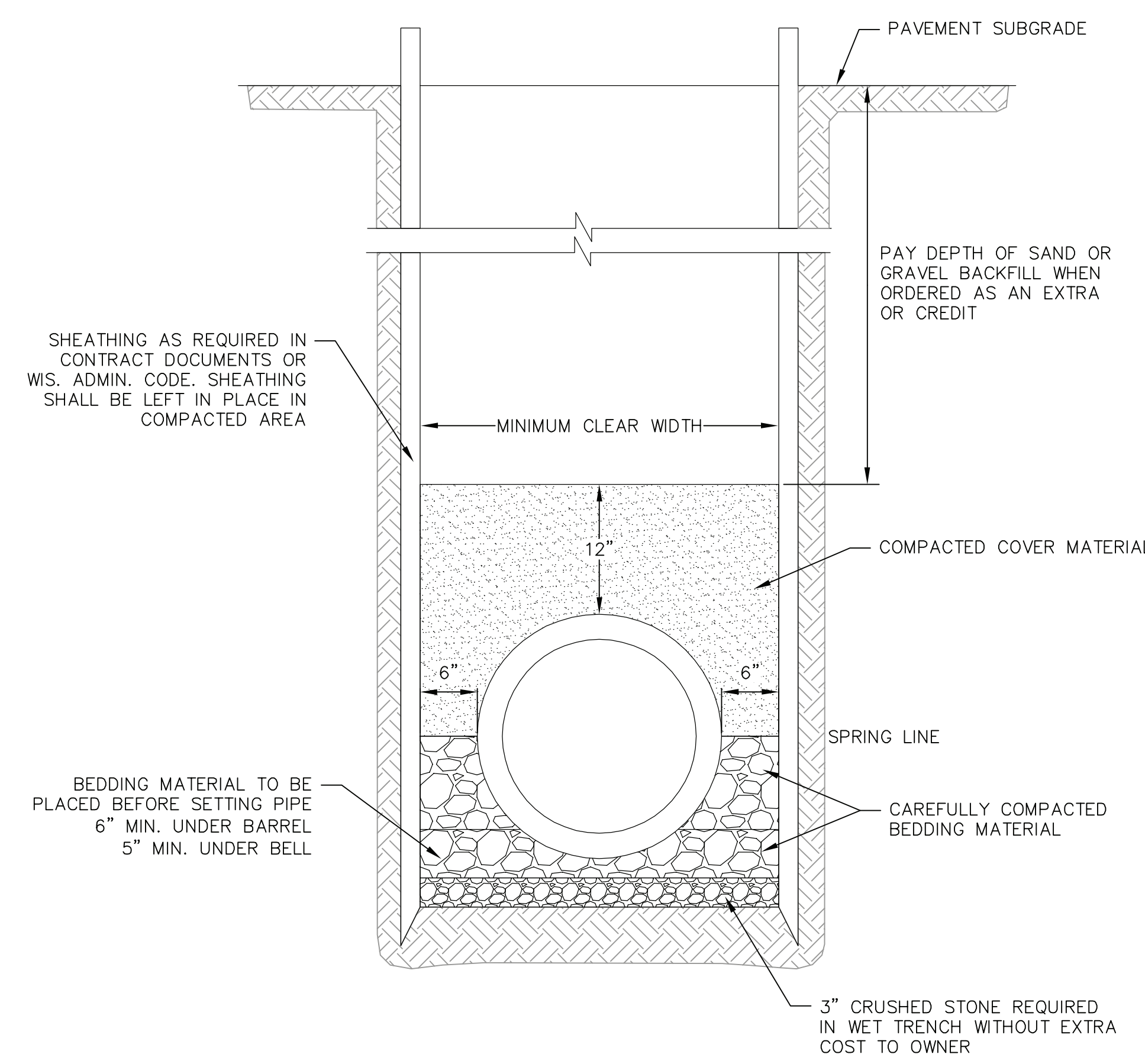
REVISIONS	NO.	DATE	REMARKS



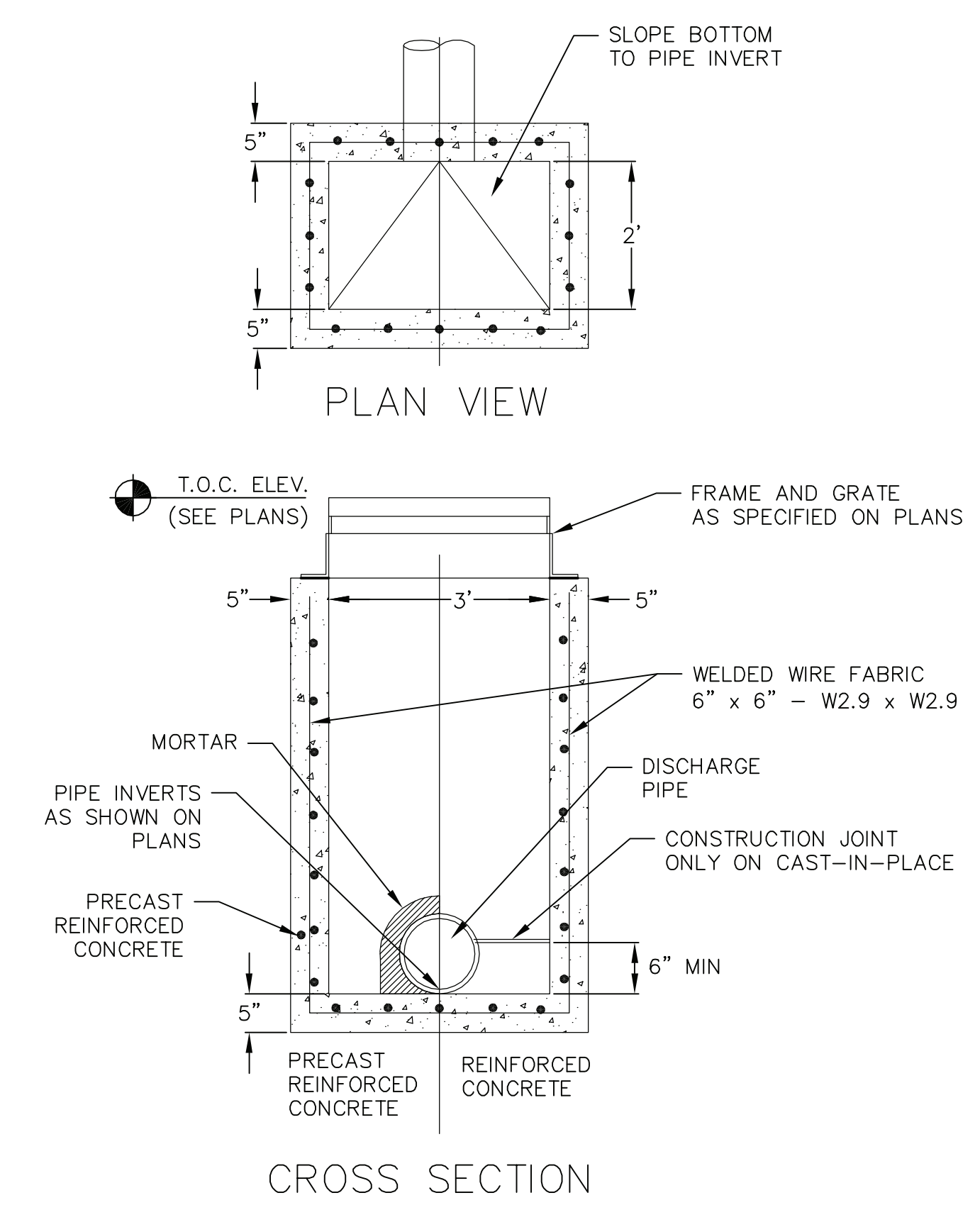
STORM MANHOLE DIMENSIONS

MANHOLE SIZE	DIMENSION	
	A	B (MIN.)
48"	48"	5"
60"	60"	6"
72"	72"	7"
84"	84"	7"
96"	96"	9"

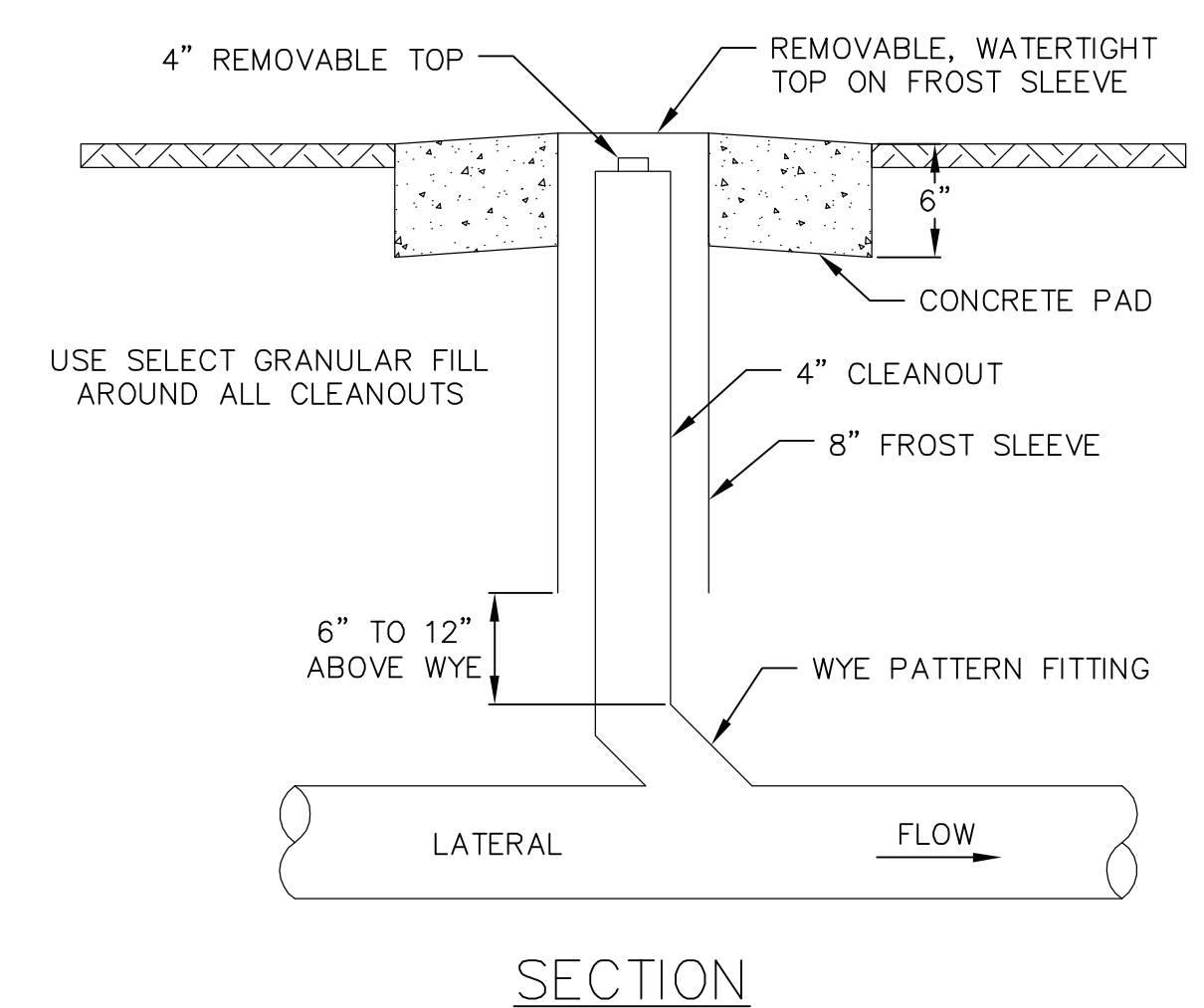
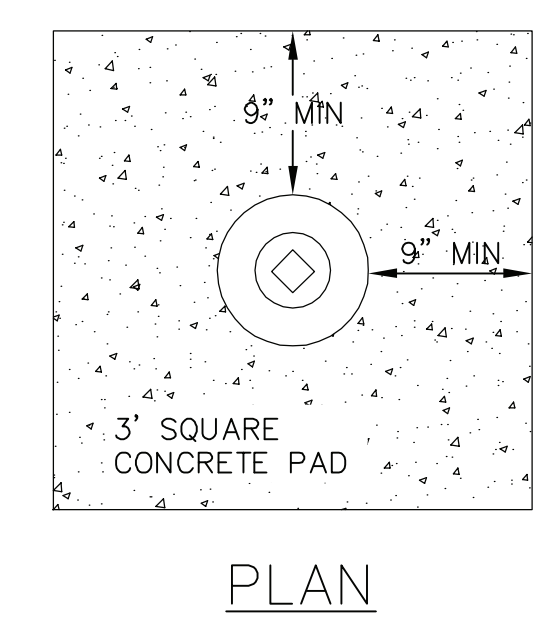
1 STORM SEWER MANHOLE
C5.2 NOT TO SCALE



2 CLASS B BEDDING COMPACTED SECTION
C5.2 NOT TO SCALE



3 CURB INLET - TYPE 3, 2' x 3' BASIN
C5.2 NOT TO SCALE



4 SANITARY CLEANOUT
C5.2 NOT TO SCALE

REVISIONS	NO.	DATE	REMARKS

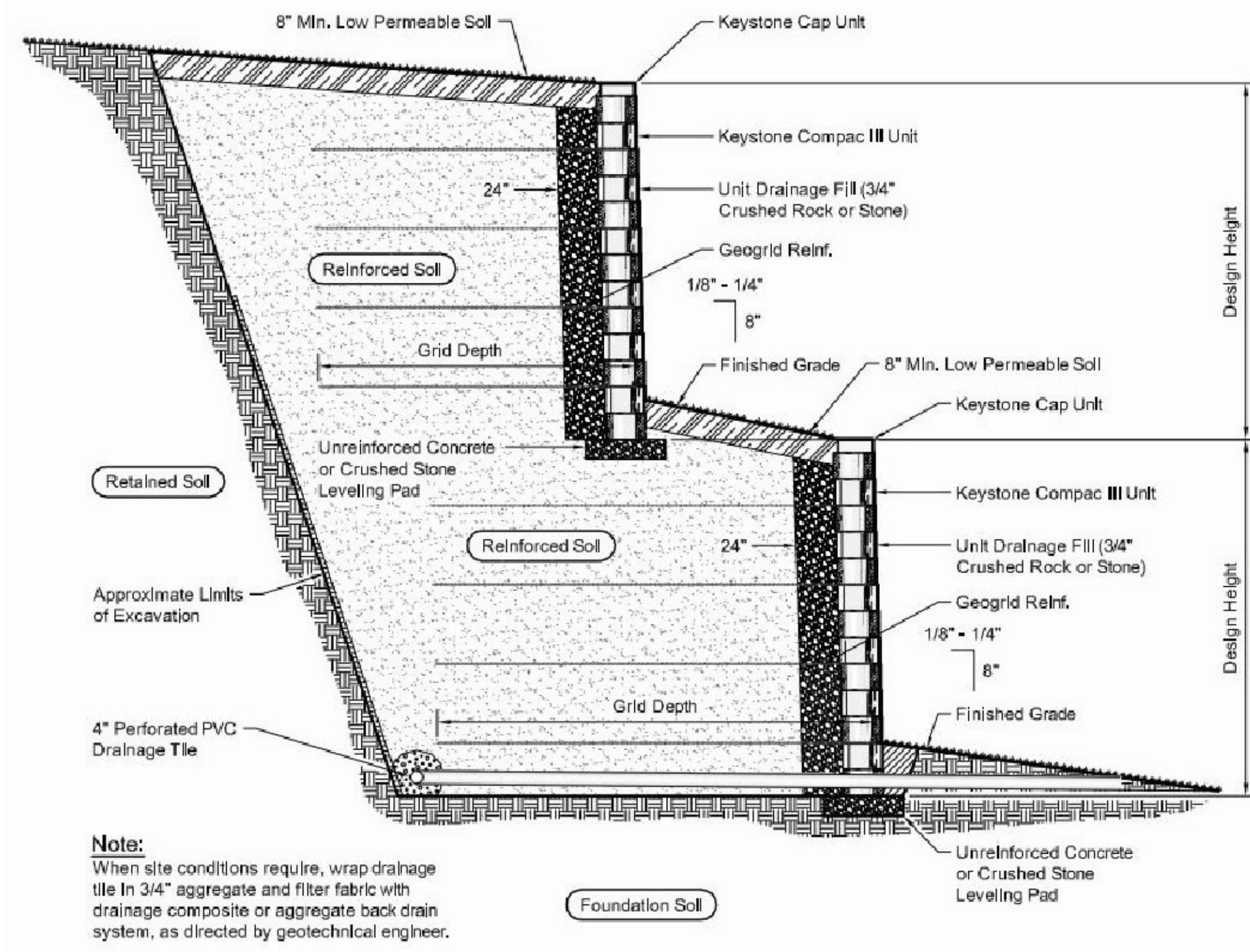
SCALE AS SHOWN

DATE 12/27/2016

DRAFTER JGOL

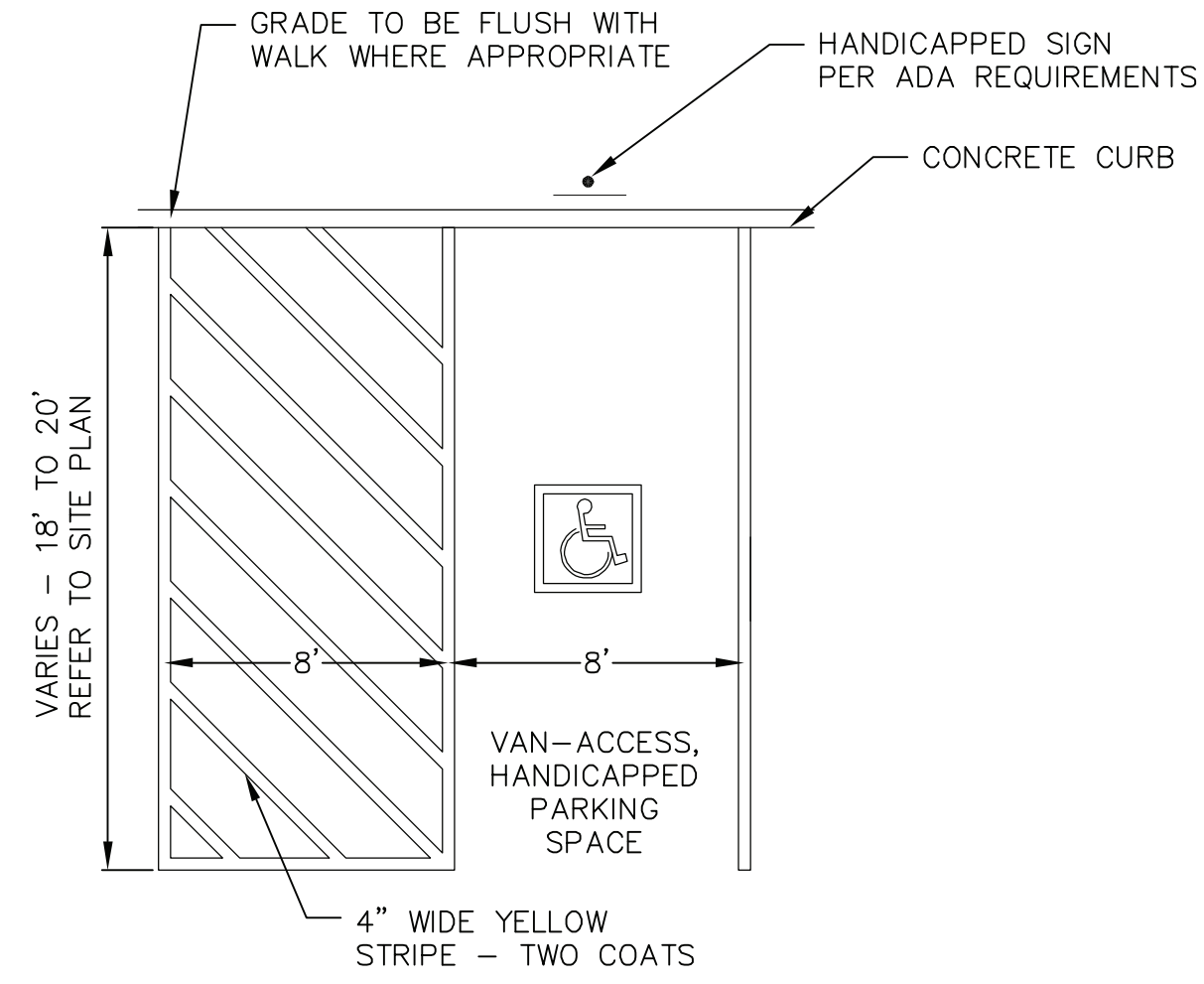
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PROJECT NO. 160333

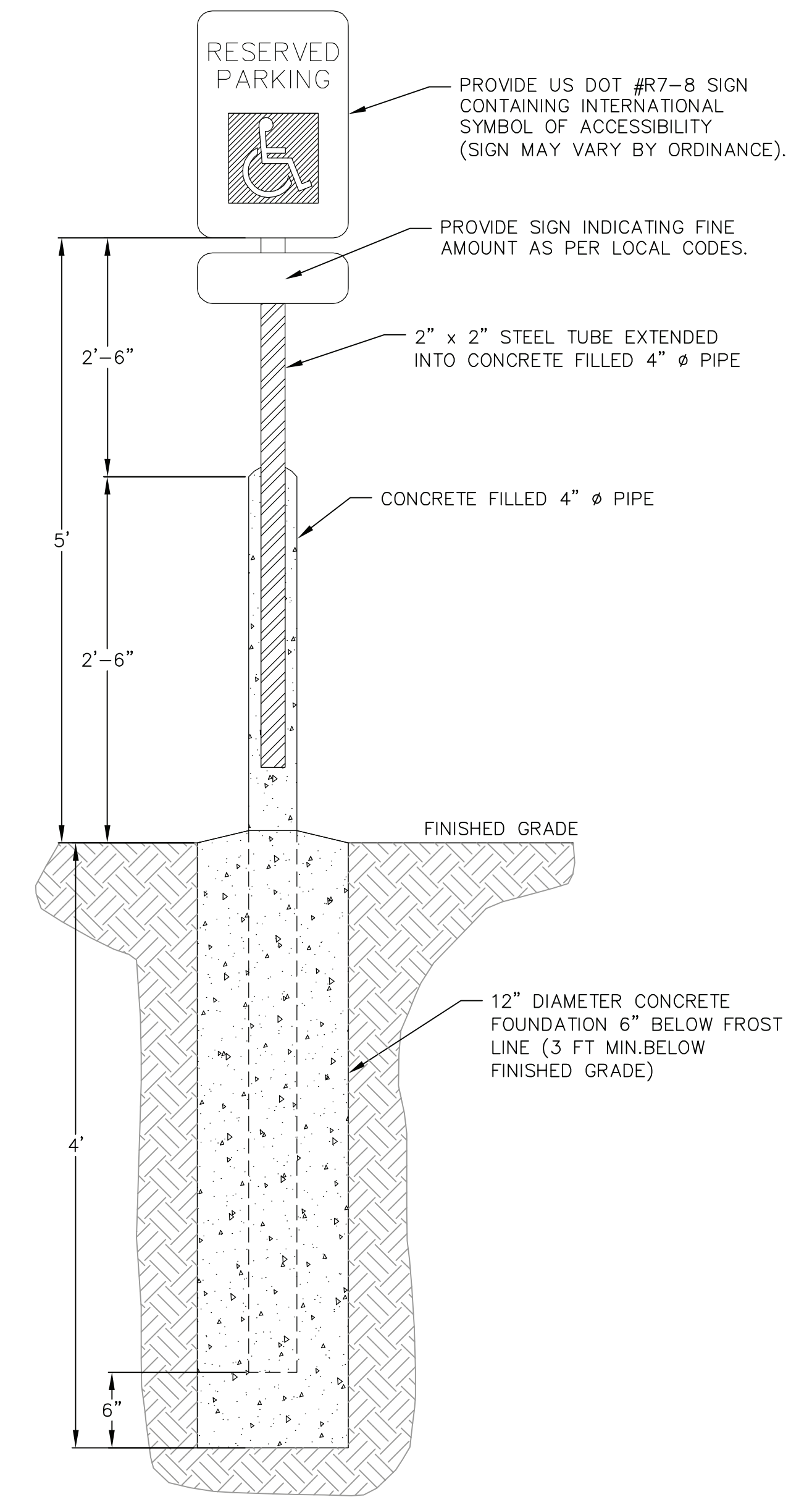


Note:
When site conditions require, wrap drainage tile in 3/4" aggregate and filter fabric with drainage composite or aggregate back drain system, as directed by geotechnical engineer.

1 KEYSTONE RETAINING WALL SYSTEM
C5.3 NOT TO SCALE



3 HANDICAP STRIPING
C5.3 NOT TO SCALE



2 HANDICAP PARKING SIGN
C5.3 NOT TO SCALE

REVISIONS	NO.	DATE	REMARKS

SCALE AS SHOWN

DATE 12/27/2016

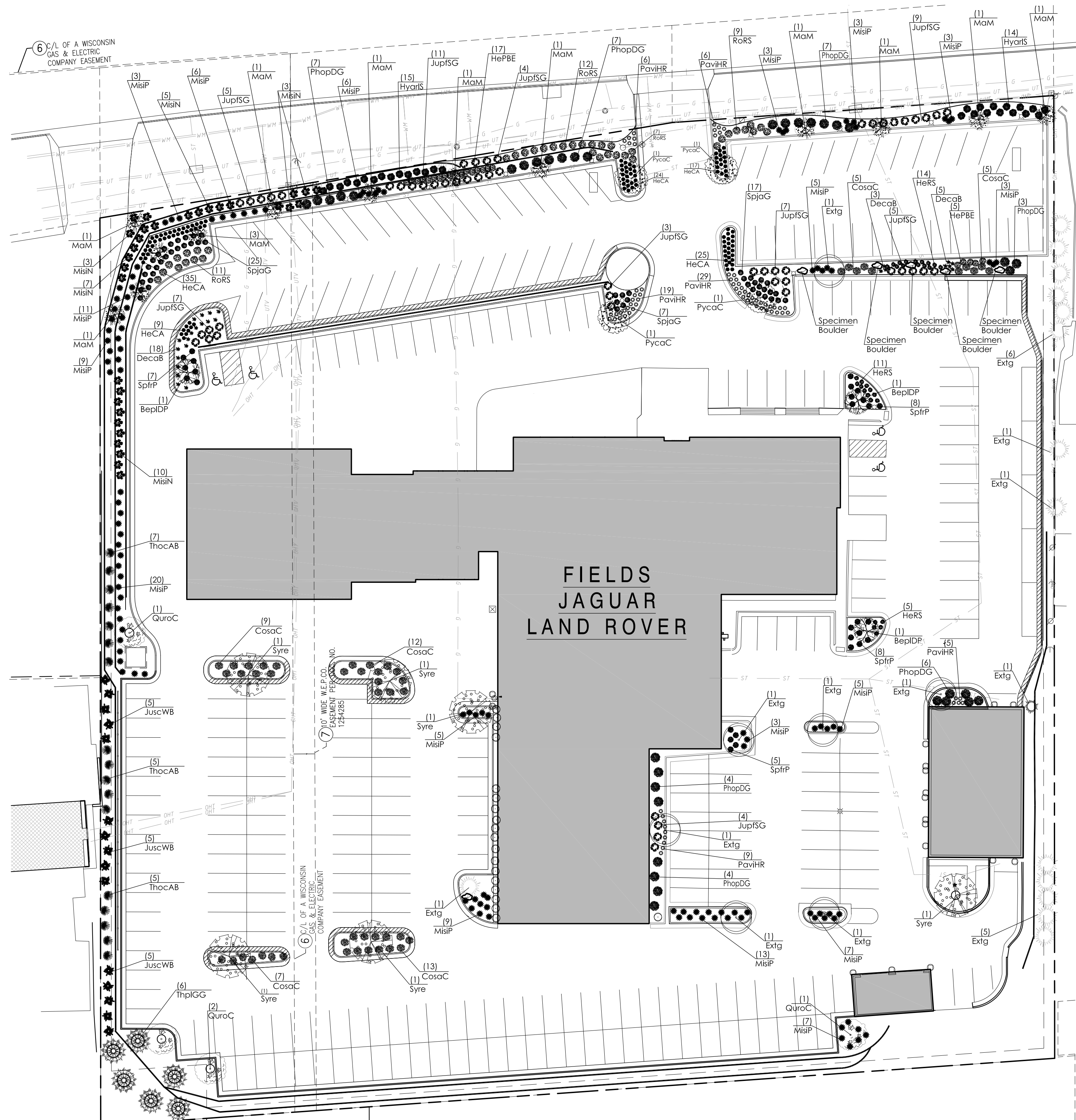
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1 PROPOSED LANDSCAPE PLAN

LANDSCAPE PLAN GENERAL NOTES

- ** PLANT MATERIAL SHOWN ON LANDSCAPE PLAN IS DEPICTED AT MATURE GROWTH. **
- AT LEAST SEVENTY-TWO HOURS PRIOR TO ANY EXCAVATION, CONTRACTOR SHALL VERIFY UTILITY LOCATIONS AS GIVEN BY THE ELECTRIC, GAS, TELEPHONE, WATER, SEWER, AND CABLE TELEVISION COMPANIES, UTILITIES OR ENTITIES. REVIEW WITH OWNER'S REPRESENTATIVE SITE MECHANICAL, SITE ELECTRICAL AND LIGHTING, SITE GRADING AND DRAINAGE, SITE IRRIGATION AND ALL OTHER DRAWINGS PERTAINING TO UNDERGROUND UTILITY LOCATIONS, RECORD SET OF INFORMATION THE SAME AS IN POSSESSION OF OWNER'S REPRESENTATIVE. ALSO REVIEW OWNER'S 'MARK SETS' OF ALL OF THESE DRAWINGS IN POSSESSION OF THE CONTRACTOR OR OWNER. MARK ALL SUCH UTILITIES ON THE SITE PRIOR TO COMMENCING. COORDINATE WITH OWNER BEFORE AND DURING CONSTRUCTION. REPAIR ANY DAMAGE TO ANY SYSTEM THAT IS CAUSED BY LANDSCAPE CONTRACTOR AT NO COST TO OWNER.
 - ALL PLANTINGS SPECIFIED FOR THE FIELDS JAGUAR LAND ROVER PROJECT PLANTING TABLESHEET LSP1.1 SHALL COMPLY WITH STANDARDS AS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK ANSI Z60.1 2014 AND ANSI STANDARDS FOR PLANTING 2012.
 - DEVIATIONS FROM THE APPROVED FIELDS JAGUAR LAND ROVER PROJECT PLANS SHALL BE NOTED ON THE RECORD DRAWING BY THE CONTRACTOR AND ONLY WITH PRIOR APPROVAL OF THE LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE. VERBAL AGREEMENTS OR REVISIONS WITHOUT A CHANGE ORDER WILL NOT BE RECOGNIZED BY LANDSCAPE ARCHITECT AND OWNER.
 - ALL PLANTS MUST BE BID AND SELECTED PER THE SPECIES SPECIFIED ON THE PLANS. THE SIZES OF PLANT MATERIAL LISTED HEREIN IS A MINIMUM ACCEPTABLE SIZE. ADDITIONALLY, IF EXCESSIVE PRUNING REDUCES THE CROWN THE PLANT SHALL BE REPLACED.
 - PROTECT PUBLIC FROM CONSTRUCTION WITH BARRIERS AND BARRICADES.
 - ALL AREAS THAT WERE DISTURBED DURING CONSTRUCTION AND AREAS NOT COVERED WITH PAVEMENT, BUILDING, PLANTING BEDS, OR TREE PITS ARE TO BE TOPSOILED 3" DEEP (MIN.) AND SHALL BE SODDED/SEEDED WITH TRIFOLIUM LAWN GRASS. LANDSCAPE CONTRACTOR SHALL INCLUDE COST PER SQUARE YARD FOR ADDITIONAL SEED OPERATIONS AS MAY BE POSSIBLY REQUIRED TO REESTABLISH ADJACENT TURF GRASS AREAS WHICH MAY BECOME DAMAGED DURING THE CONSTRUCTION PROCESS OR TO REPAIR DAMAGE DONE BY OTHERS.

- CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL MATERIALS, TOOLS, EQUIPMENT, LABOR, AND PLANTS NECESSARY FOR PROPER PLANTING AND INSTALLATION OF ALL LANDSCAPE MATERIAL.
 - QUANTITIES ON PLANT MATERIALS LIST ARE FOR CONVENIENCE OF BIDDING ONLY. CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON LANDSCAPE PLANS AND COVERAGE OF ALL AREAS DELINEATED. THE PLANS ARE TO SUPERSEDE THE PLANT LIST IN ALL CASES.
 - CONTRACTOR IS RESPONSIBLE FOR ALL ESTIMATING AND BIDDING, ALL AREAS, QUANTITIES MATERIALS SHOULD BE FIELD VERIFIED WITH SITE CONDITIONS.
 - WHERE DISCREPANCIES OCCUR BETWEEN THE LANDSCAPE PLANS AND/OR ARCHITECTURAL AND/OR THE CIVIL DRAWINGS (AND ANY OTHER SITE DRAWINGS) THE DISCREPANCIES MUST BE BROUGHT TO THE LANDSCAPE ARCHITECTS ATTENTION FOR COORDINATION AND RESOLUTION.
 - ALL DISEASED, NOXIOUS OR INAPPROPRIATE MATERIALS SHALL BE REMOVED FROM THE PROPOSED SITE PRIOR TO THE START OF CONSTRUCTION AND DURING THE MAINTENANCE PERIOD.
 - GENERAL CONTRACTOR SHALL LEAVE THE SITE FREE OF CONSTRUCTION DEBRIS.
 - ALL LAWN AND PLANTING AREAS SHALL SLOPE TO DRAIN A MINIMUM OF 2% UNLESS NOTED OTHERWISE AND REVIEWED WITH OWNER'S REPRESENTATIVE FOR FINAL APPROVAL.
 - FINISH GRADES FOR SHRUB AND GROUND COVER AREAS SHALL BE HELD 1" BELOW TOP OF ADJACENT PAVEMENTS AND CURBS, UNLESS NOTED OTHERWISE ON THE PLANS. REFER TO LSP1.2 FOR FURTHER INFORMATION.
 - ALL PERENNIAL ANNUAL AND GROUND COVER AREAS TO RECEIVE A BLEND OF ORGANIC SOIL AMENDMENTS PRIOR TO PLANTING. TILL THE FOLLOWING MATERIALS INTO EXISTING TOPSOIL TO A DEPTH OF APPROXIMATELY 8". A DEPTH OF 12" IN TREE PITS. PROPORTIONS AND QUANTITIES MAY REQUIRE ADJUSTMENT DEPENDING ON THE CONDITION OF EXISTING SOIL. REFER TO LSP1.2 FOR FURTHER INFORMATION.
- PER EVERY 100 SQUARE FEET ADD:
 ONE - 2 CUBIC FOOT BALE OF PEAT MOSS. 2 POUNDS OF 5-10-5 GARDEN FERTILIZER, 1/4 CUBIC YARD OF COMPOSTED MANURE OR OTHER COMPOSTED, ORGANIC MATERIAL

- ALL SHRUBS TO BE POCKET PLANTED WITH A 50/50 MIX OF COMPOSTED, ORGANIC MATERIAL AND EXCESSIVE GRAVEL, CLAY AND STONES. REFER TO LSP1.2 FOR FURTHER INFORMATION.
- PLANT ALL TREES SLIGHTLY HIGHER THAN FINISHED GRADE AT ROOT FLARE. BACK FILL HOLE WITH 2/3 EXISTING TOPSOIL AND ORGANIC SOIL AMENDMENTS SPECIFIED IN NOTE 15. AVOID ANY AIR POCKETS. DISCARD ANY GRAVEL CLAY OR STONES. REFER TO LSP1.2 FOR FURTHER INFORMATION.
- ALL TREES TO BE INSTALLED, STAKED AND GUYED ACCORDING TO DETAILS. REFER TO ANSI STANDARDS FOR PLANTING 2012 AND DETAILS ON LSP1.2 FOR FURTHER INFORMATION.
- PROVIDE A 4'-0" - 5'-0" DIAMETER MULCH RING ALL LAWN TREES.
- ALL PLANTINGS TO BE WATERED AT THE TIME OF PLANTING, THROUGHOUT CONSTRUCTION AND UPON COMPLETION OF PROJECT AS REQUIRED.
- WHERE SPECIFIED, ALL PLANT BEDS, PITS AND TREE RINGS ARE TO RECEIVE A MINIMUM OF 2'-3" DRESSING OF SHREDDED HARDWOOD OAK BARK MULCH SHAVINGS FREE OF GROWTH, WEEDS, FOREIGN MATTER DETRIMENTAL TO PLANT LIFE OR GERMINATION INHIBITING INGREDIENTS. LANDSCAPE CONTRACTOR TO PROVIDE A SAMPLE TO OWNER FOR APPROVAL. CONTRACTOR TO TAKE CARE WITH INSTALLATION NOT TO DAMAGE OR COVER PLANTS. REFER TO LSP1.2 FOR FURTHER INFORMATION.
- LAWN INSTALLATION: CONTRACTOR TO FURNISH AND PREPARE TOPSOIL (3" MIN) AND SEED BED (REMOVE ALL STONES 1" OR LARGER), APPLY STARTER FERTILIZER AND SEED UNIFORMLY. PROVIDE A MULCH COVERING SUITABLE TO GERMINATE AND ESTABLISH TURF. EROSION CONTROL MESH SHOULD BE USED IN SWALES AND STEEP GRADES WHERE APPLICABLE. METHODS OF INSTALLATION MAY VARY AT THE DISCRETION OF CONTRACTOR. IT IS HIS/HER RESPONSIBILITY TO ESTABLISH AND GUARANTEE A SMOOTH, UNIFORM, QUALITY TURF. IF STRAW MULCH IS USED AS A COVERING, A TACKIFIER MAY BE NECESSARY TO AVOID WIND DAMAGE.

- REQUIRED SEED MIXES:
PREMIUM 60 GRASS SEED MIX REINDEER'S (262) 786-3300
 20% AMERICAN KENTUCKY BLUE GRASS
 20% ALPINE KENTUCKY BLUE GRASS
 20% LANGARA KENTUCKY BLUE GRASS
 20% VICTORY CHEWINGS FESCUE
 10% FIESTA III PERENNIAL RYE GRASS
 10% CUTLER PERENNIAL RYE GRASS
 APPLY AT A RATE OF 175 POUNDS PER ACRE.
 REFER TO SUPPLIERS SPECIFICATIONS AND INSTALLATION CUT SHEETS FOR FURTHER INFORMATION
- DURING THE INITIAL "30 DAY MAINTENANCE PERIOD" THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE AND ON-GOING PLEASANT VISUAL ENVIRONMENT WHEREAS ANY PLANT WHICH IS NOT RESPONDING TO TRANSPLANTING OR THRIVING SHALL IMMEDIATELY BE REPLACED. NEW LAWNS SHALL WATERED AND REPAIRED AND WEEDS MUST CONSTANTLY BE REMOVED, NO EXCEPTIONS WILL BE GRANTED.
- ALL NEWLY PLANTED TREES AND SHRUBS ARE TO RECEIVE AN APPLICATION OF AN ANTI-TRANSPIRANT SPRAY THAT WILL EFFECTIVELY REDUCE THE WATER LOSS OF TRANSPIRATION OF PLANT MATERIAL AND REDUCE THE STRESS OF TRANSPLANTATION. IT IS RECOMMENDED AS PART OF THE ONGOING MAINTENANCE THAT ANY BROADLEAF EVERGREEN AND CONIFEROUS TREE AND SHRUBS (EXCLUDING ARBORVITAE) RECEIVE AN APPLICATION OF AN ANTI-DESICCANT SPRAY TO REDUCE THE LOSS OF MOISTURE DUE TO WINTER DESICCATION. MAINTENANCE: THE OWNER SHALL TEND AND MAINTAIN ALL PLANT MATERIALS IN A HEALTHY GROWING CONDITION AS PER THE APPROVED PLAN. PLANTINGS SHALL BE REPLACED WHEN NECESSARY AND KEPT FREE FROM REFUSE & DEBRIS. ALL PLANTING MATERIAL WHICH IS DYING OR DAMAGED BEYOND RECOVERY SHALL BE REPLACED WITHIN SIX (6) MONTHS OR BY THE NEXT PLANTING SEASON, WHICHEVER COMES FIRST.
- LANDSCAPE / SITE DEMOLITION CONTRACTOR TO VERIFY LOCATIONS OF EXISTING TREES AND SHRUBS BE SALVAGED AND CLEARLY TAG THEM WITH MARKING TAPE AND CONSTRUCTION FENCE.

TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

DIGGERS HOT LINE

WISCONSIN STATUTE 182.0175 (1974) REQUIRES A MINIMUM OF 3 DAYS NOTICE BEFORE YOU EXCAVATE (NOT INCLUDING SATURDAY, SUNDAY OR LEGAL HOLIDAYS)

UNDERGROUND SEWER AND UTILITY INFORMATION AS SHOWN IN THE RECORDS OF MUNICIPALITY AND LOCAL UTILITY COMPANIES, THE ACCURACY OF WHICH CAN NOT BE GUARANTEED OR CERTIFIED TO. THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS SURVEY ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN CALL THE MILWAUKEE UTILITY ALERT NETWORK (800) 242-8511, (262) 432-7910 (877) 500-9592 www.DiggersHotline.com OR

811
Know what's below. Call before you dig.

Proposed Plant Material Table

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
Broadleaf Deciduous Tree						
3	BepIDP		Betula platyphylla 'Dakota Pinnacle'	Dakota Pinnacle Birch	2 1/2'-Cal - B&B	
13	MAM		Malus 'Marilee'	Marilee Flowering Crab	2 1/2'-Cal - B&B	
4	PycaC		Pyrus calleryana 'Chanticleer'	Chanticleer Pear	2 1/2'-Cal - B&B	
4	QuroC		Quercus robur 'Crimschmid'	Crimson Spire English Oak	2 1/2'-Cal - B&B	
6	Syre		Syringa reticulata	Ivory Silk tree lilac	2 1/2'-Cal - B&B	
-	Extg		Existing	Existing	Existing	
Broadleaf Evergreen						
15	Abgra		Abelia grandiflora	Glossy abelia	Existing	
-	Extg		Existing	Glossy abelia	Existing	
Conifer Evergreen Tree						
15	JuscWB		Juniperus scopulorum 'Witchita Blue'	Wichita Blue upright juniper	7' - B&B	
17	ThocAB		Thuja occidentalis 'Art Boe'	North Pole Arborvitae	7' - B&B	
6	ThpIGG		Thuja plicata 'Green Giant'	Green Giant Arborvitae	7' - B&B	
-	Extg		Existing	Existing	Existing	
Broadleaf Deciduous Shrub						
51	CosaC		Cornus sanguinea 'Cato'	Arctic Sun Red Twig Dogwood	18" - 24" - Cont	
29	HyarIS		Hydrangea arborescens 'Invincible Spirit'	Invincible Spirit Hydrangea	18" - 24" - Cont	
36	PhopDG		Physocarpus opulifolius 'Dart's Gold'	Dart's Gold Ninebark	18" - 24" - Cont	
38	RORS		Rosa x 'Radsunny'	Sunny Knock Out Rose	18" - 24" - Cont	
28	SprfP		Spiraea fritschiana 'J.N. Select A'	Pink-a-licious Spirea	18" - Cont	
49	SjpaG		Spiraea japonica 'Galen'	Double Play Artist Spirea	18" - Cont	
-	Extg		Existing	Existing	Existing	
Conifer Evergreen Shrub						
54	JupISG		Juniperus x pflzeriana 'MonSan'	Sea of Gold Juniper	18" - 24" - B&B	
-	Extg		Existing	Existing	Existing	
Perennial Grass						
26	DecoB		Deschampsia caespitosa Bronzschleier	Bronze Veil Tuft Hair Grass	1-Gal - Cont	
31	MisIN		Miscanthus sinensis 'Nippon'	Nippon Maiden Grass	1-Gal - Cont	
121	MisIP		Miscanthus sinensis 'Purpurascens'	Purple Silver Grass	1-Gal - Cont	
74	PaviHR		Panicum virgatum 'Hot Rod'	Hot Rod Switch Grass	1-Gal - Cont	
Perennial						
110	HeCA		Hemerocallis x 'Chicago Apache'	Chicago Apache Daylily	4 1/2" pot	
22	HePBE		Hemerocallis x 'Prairie Blue Eyes'	Prairie Blue Eyes Daylily	4 1/2" pot	
30	HeRS		Hemerocallis x 'Ruby Spider'	Ruby Spider Daylily	4 1/2" pot	

INSITE
 LANDSCAPE DESIGN
 Landscape Architecture
 and Master Planning Design Consulting

11525 W. North Avenue Suite 1B
 Wauwatosa, WI 53226
 Tel (414) 476-1204
www.insitelandscap.com
 mdivas@insitelandscap.com

Project:
FIELDS JAGUAR LAND ROVER
 1901 E. Moreland Road
 Waukesha, WI 53186

Issuance and Revisions:

Date	Number	Description
11/16/16		Plan Commission Submittal
12/07/16		Revisions Based on Plan Commission Comments
12/08/16		Revisions Based on New Civil Plan
12/27/16		Revisions Based on Site Changes

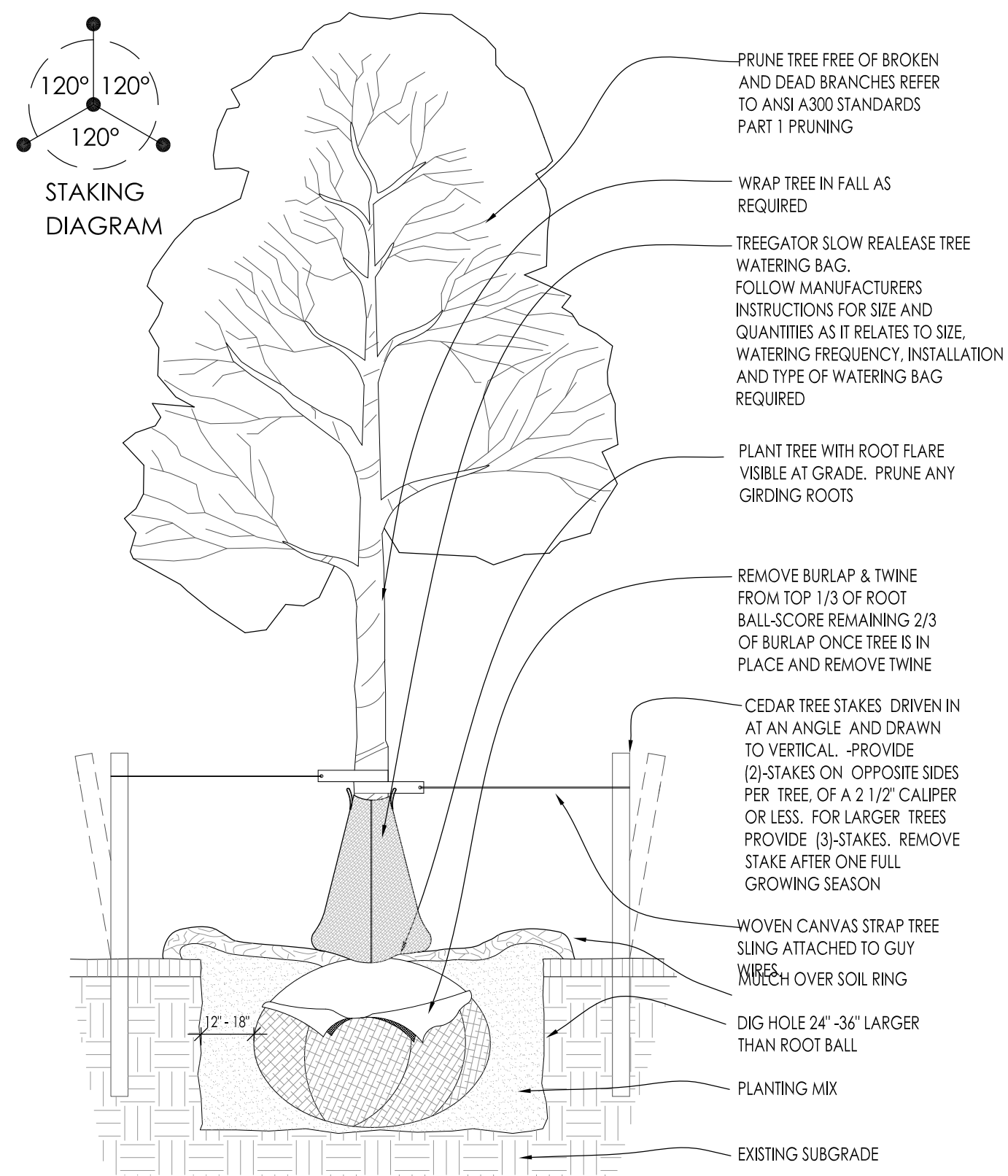
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Sheet Title:
 PROPOSED LANDSCAPE PLAN,
 GENERAL NOTES,
 AND PLANT MATERIAL TABLE

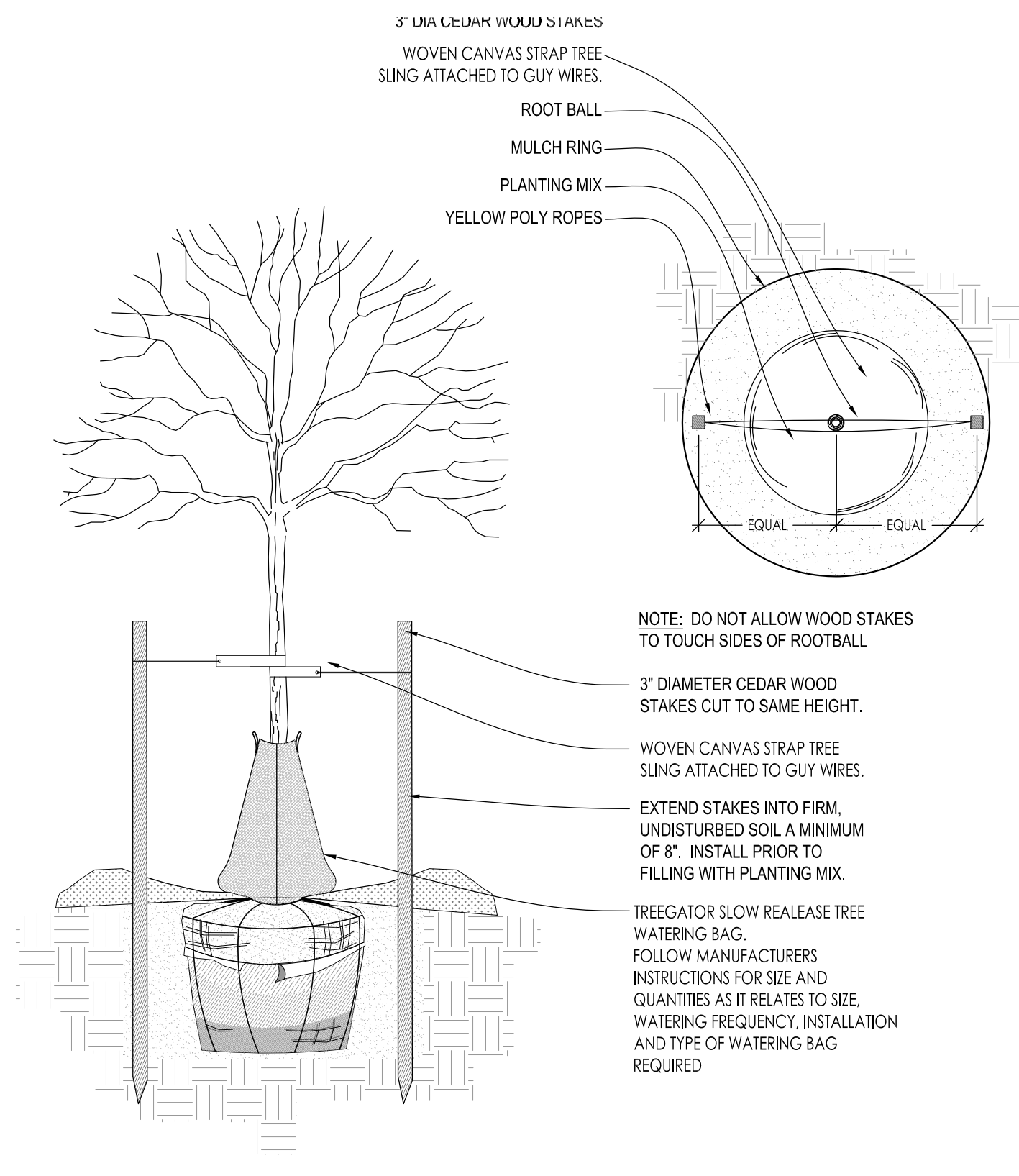
Date of Drawing: 12/27/16
 Scale: 1" = 30'-0"
 Drawn By: MCD
 Job Number: L16-076
 Sheet Number:

LSP1.1

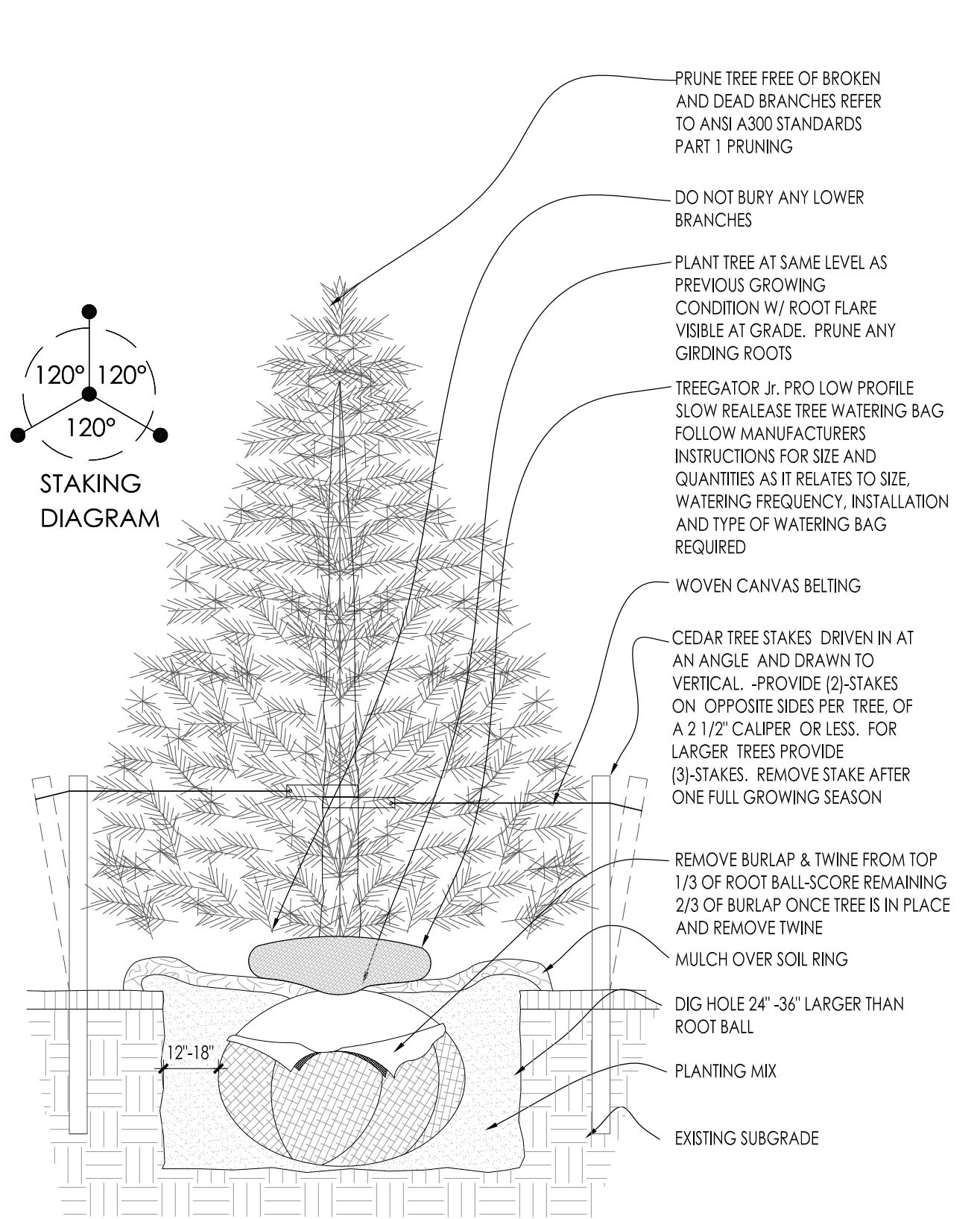
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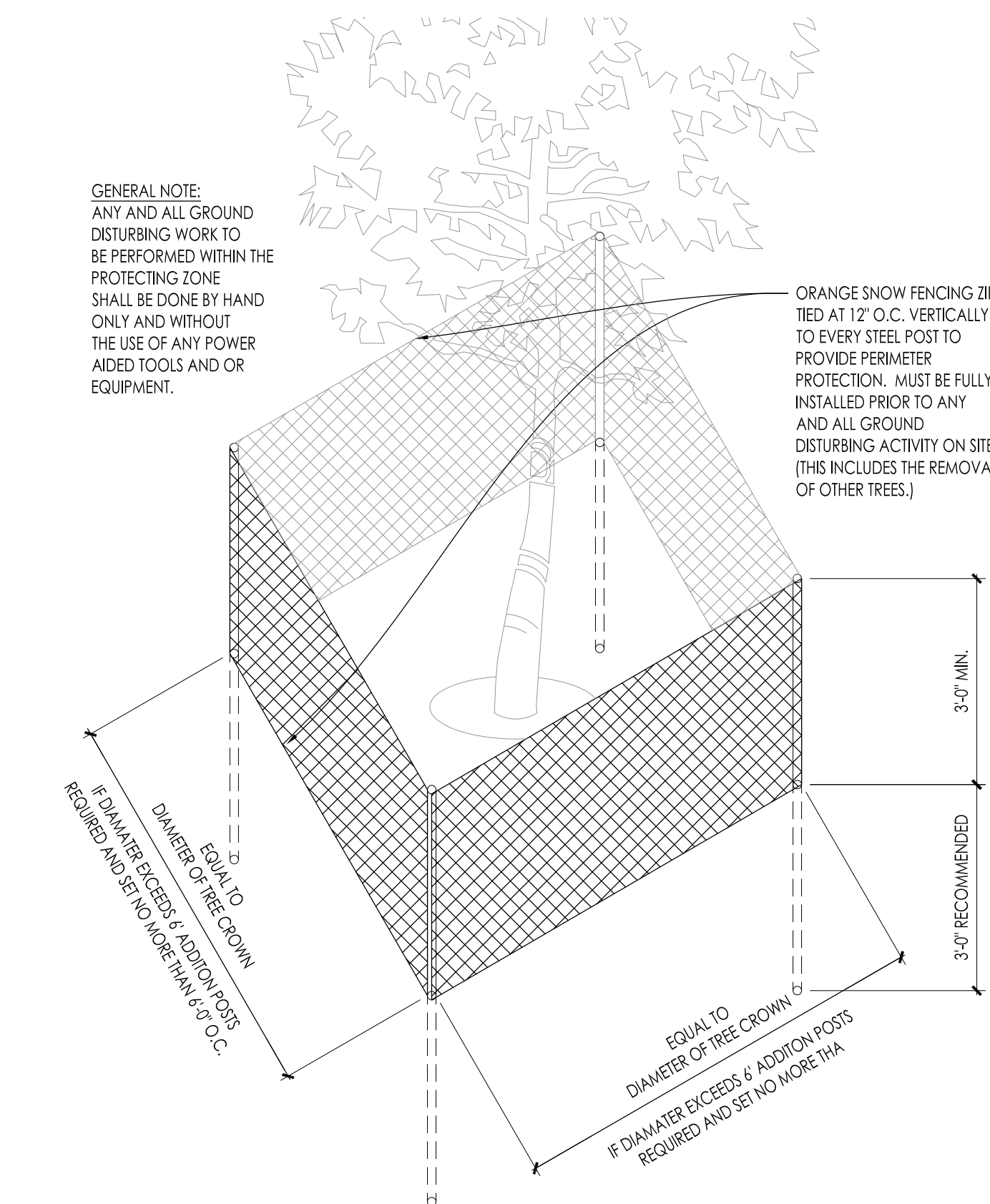
1 DECIDUOUS TREE PLANTING DETAIL SCALE: NONE



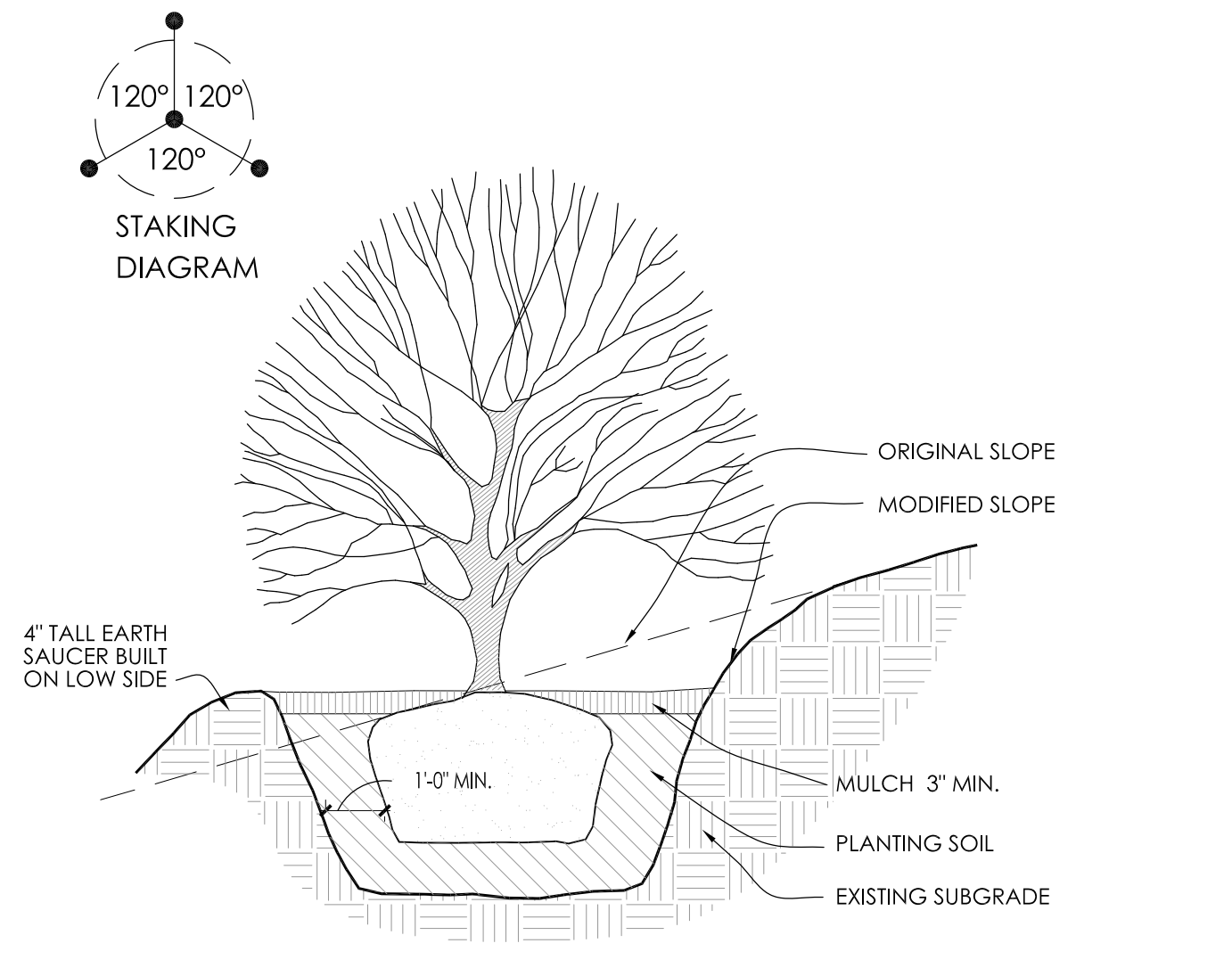
2 DECIDUOUS TREE STAKING PARKING ISLAND/RESTRICTED AREAS SCALE: NONE



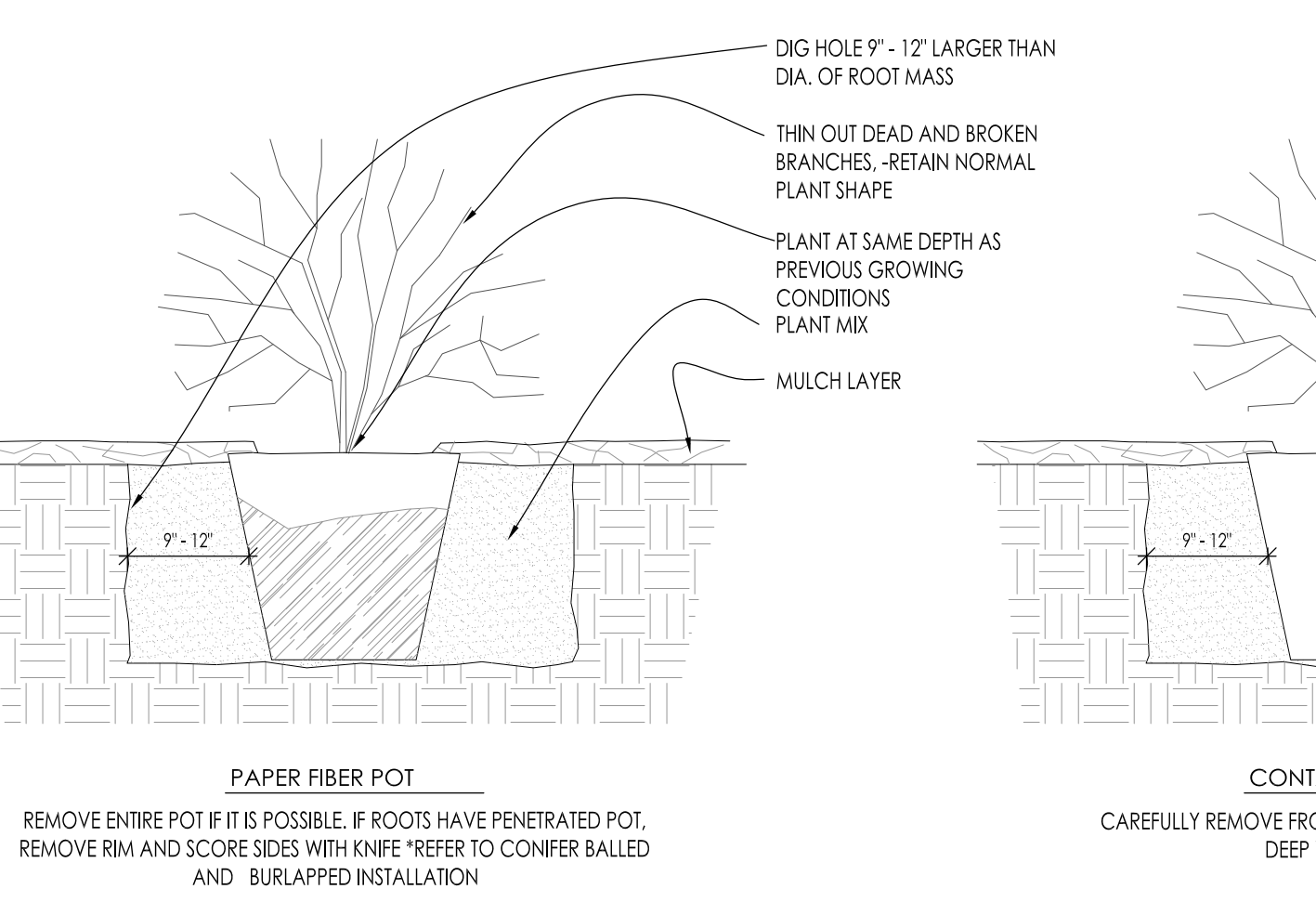
3 CONIFEROUS TREE PLANTING DETAIL SCALE: NONE



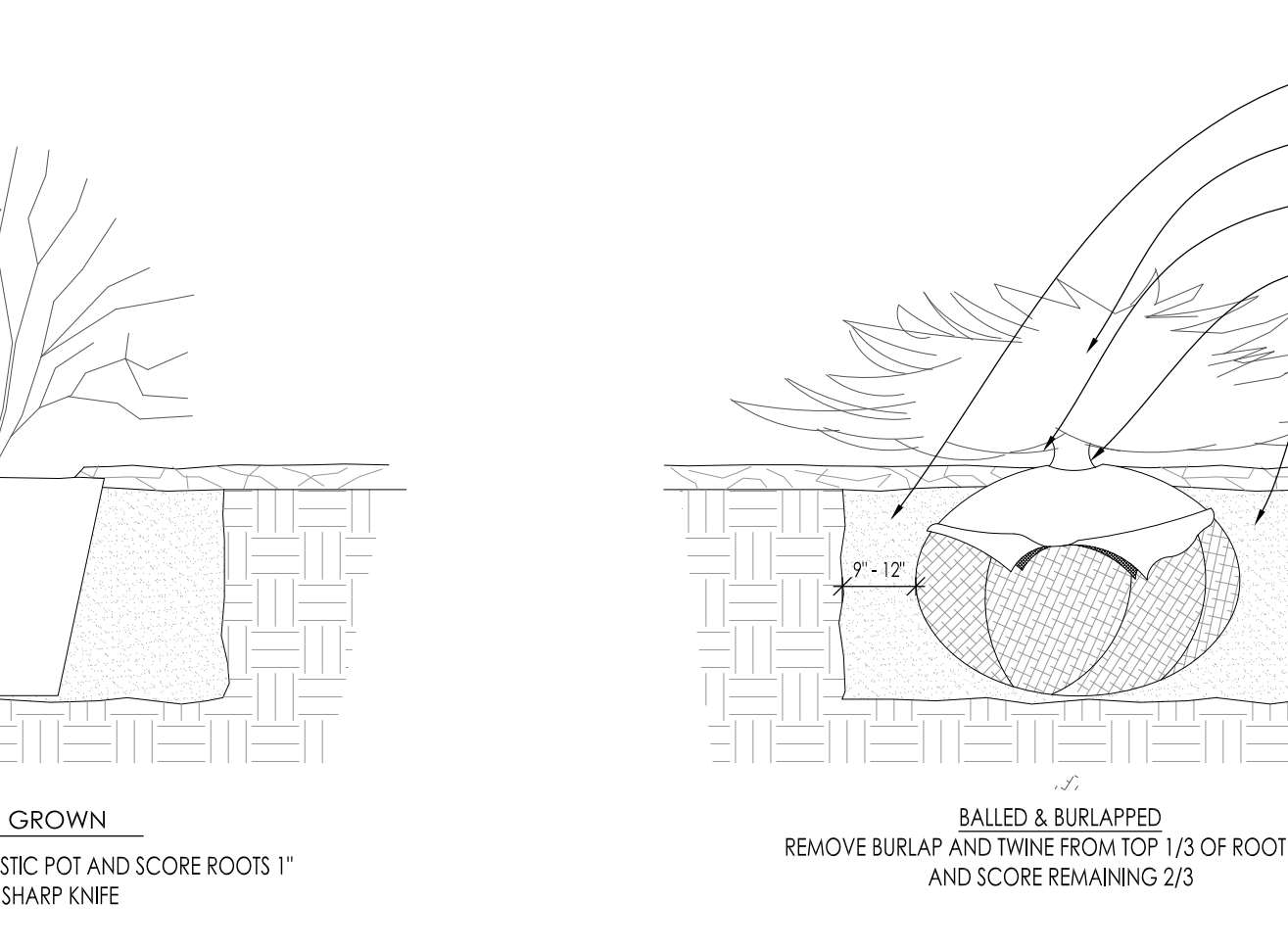
4 EXISTING TREE PROTECTION DETAIL SCALE: NONE



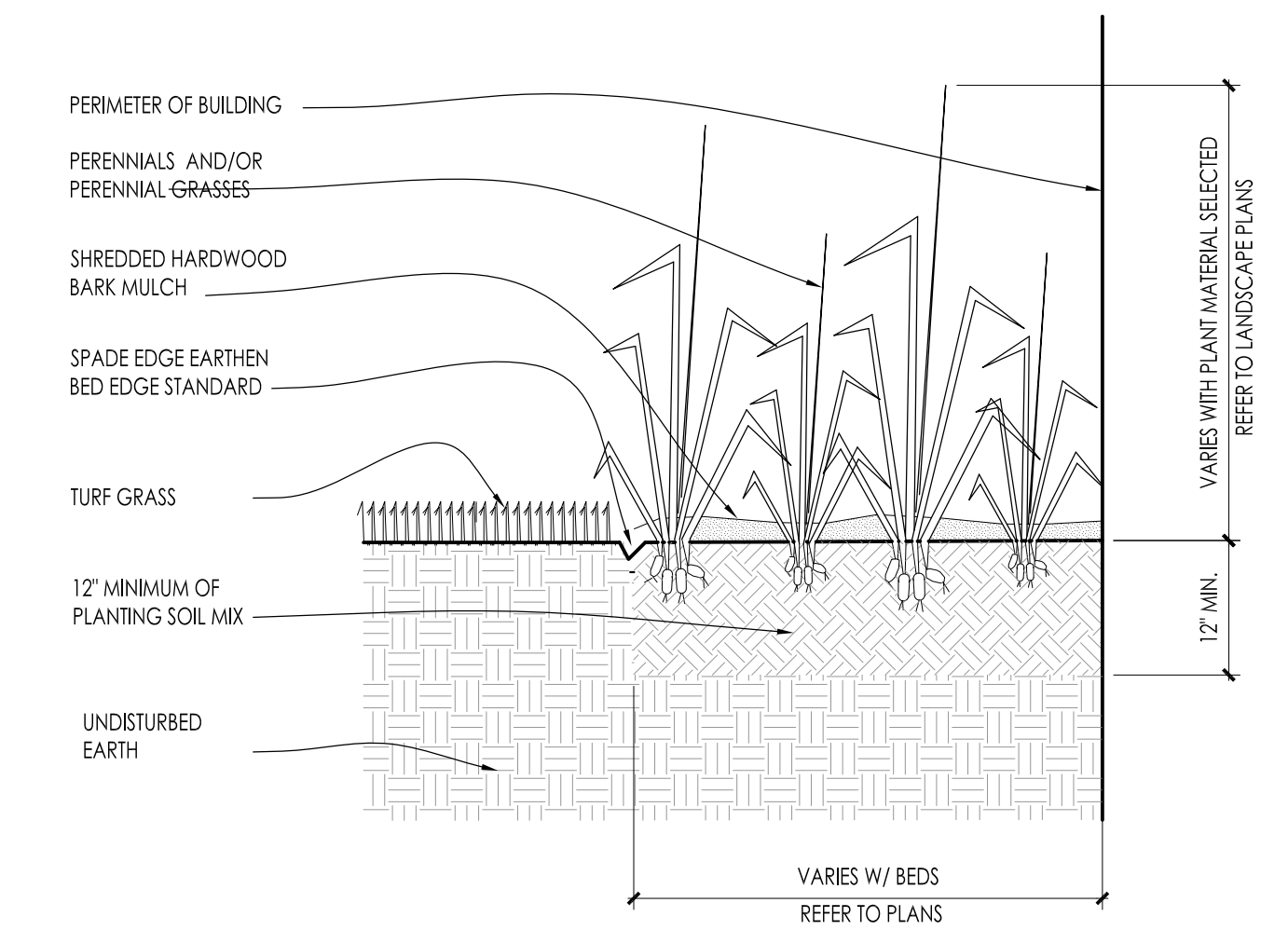
5 SLOPE PLANTING DETAIL SCALE: NONE



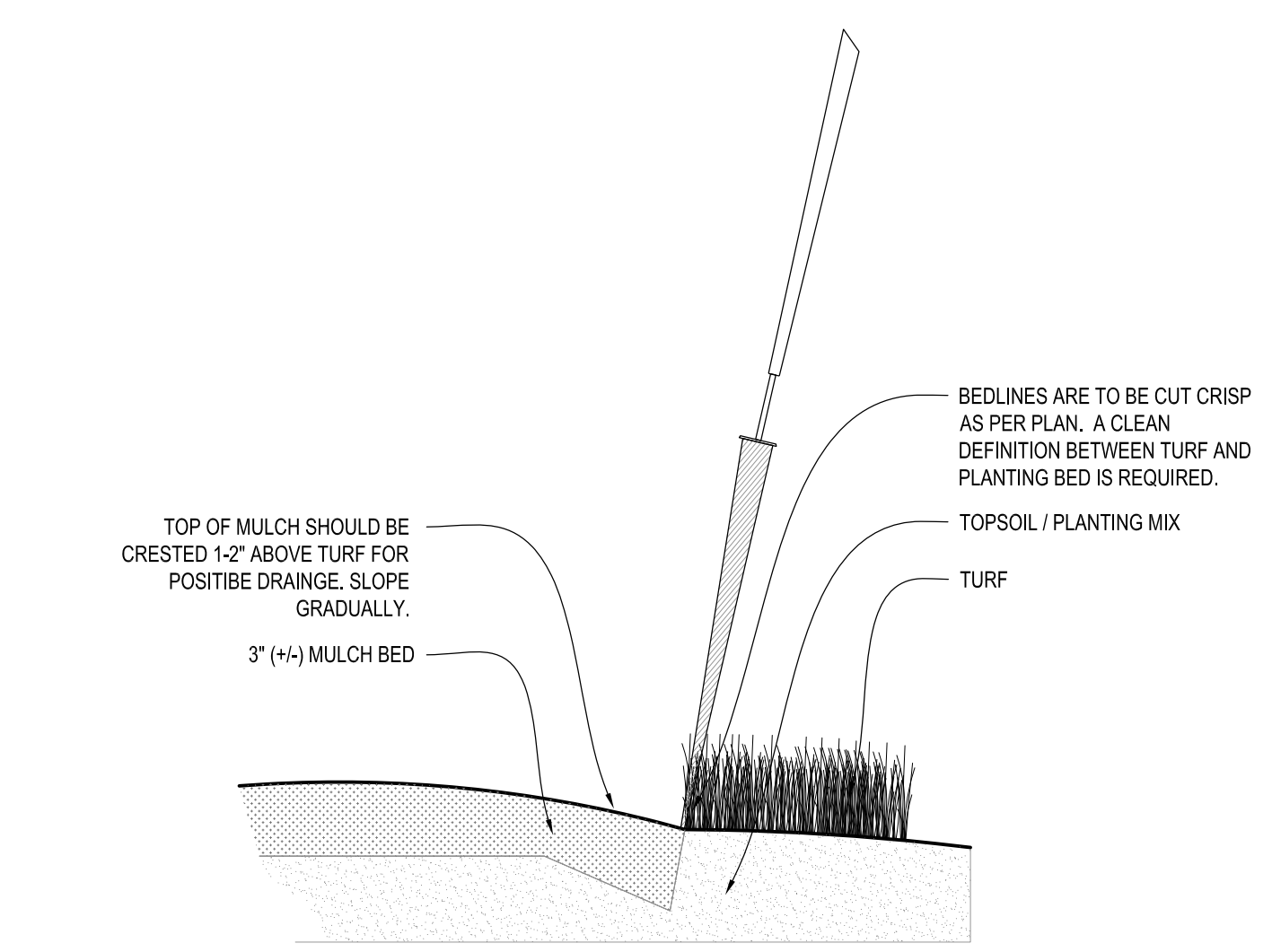
6 DECIDUOUS SHRUB PLANTING DETAIL SCALE: NONE



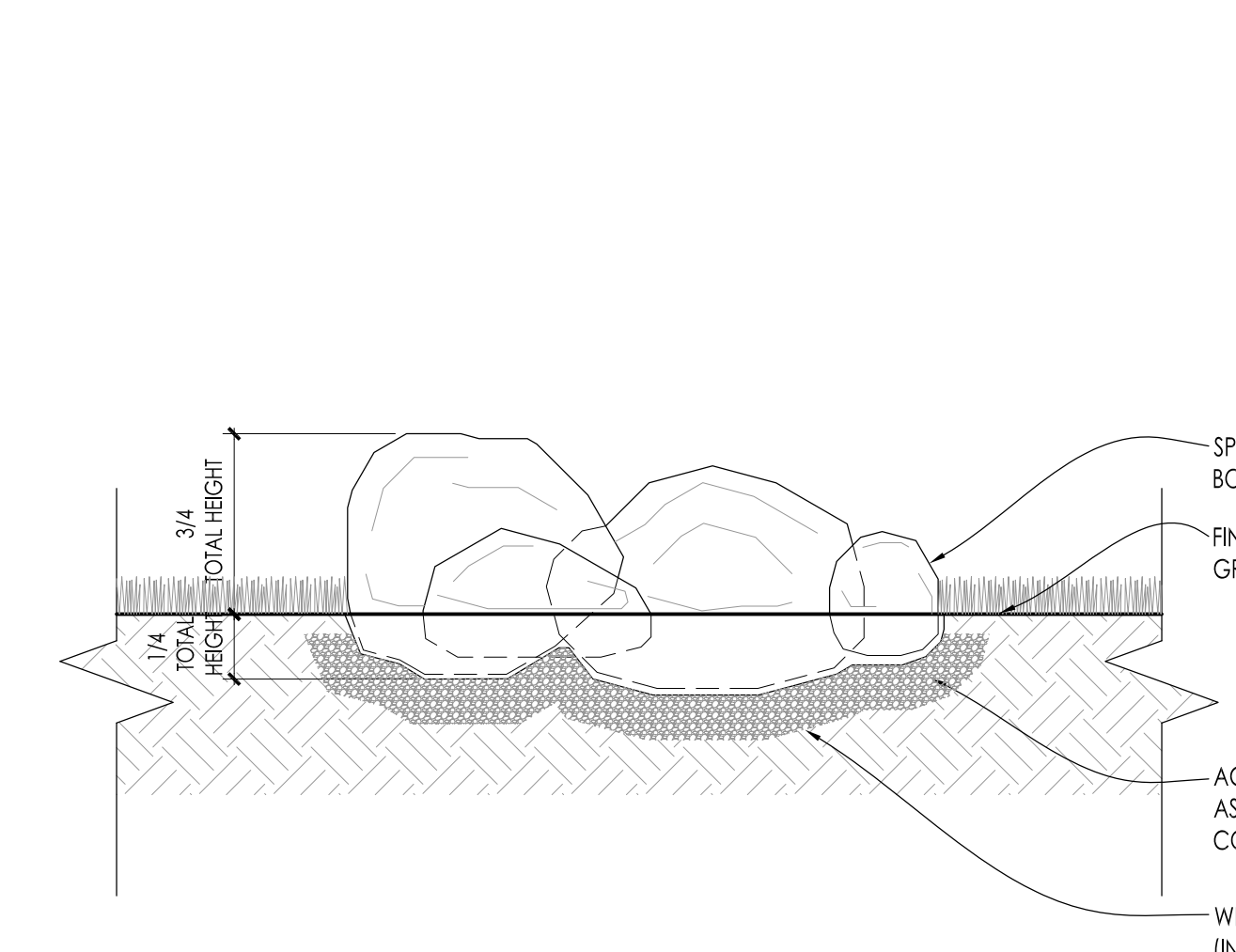
7 CONIFEROUS SHRUB PLANTING DETAIL SCALE: NONE



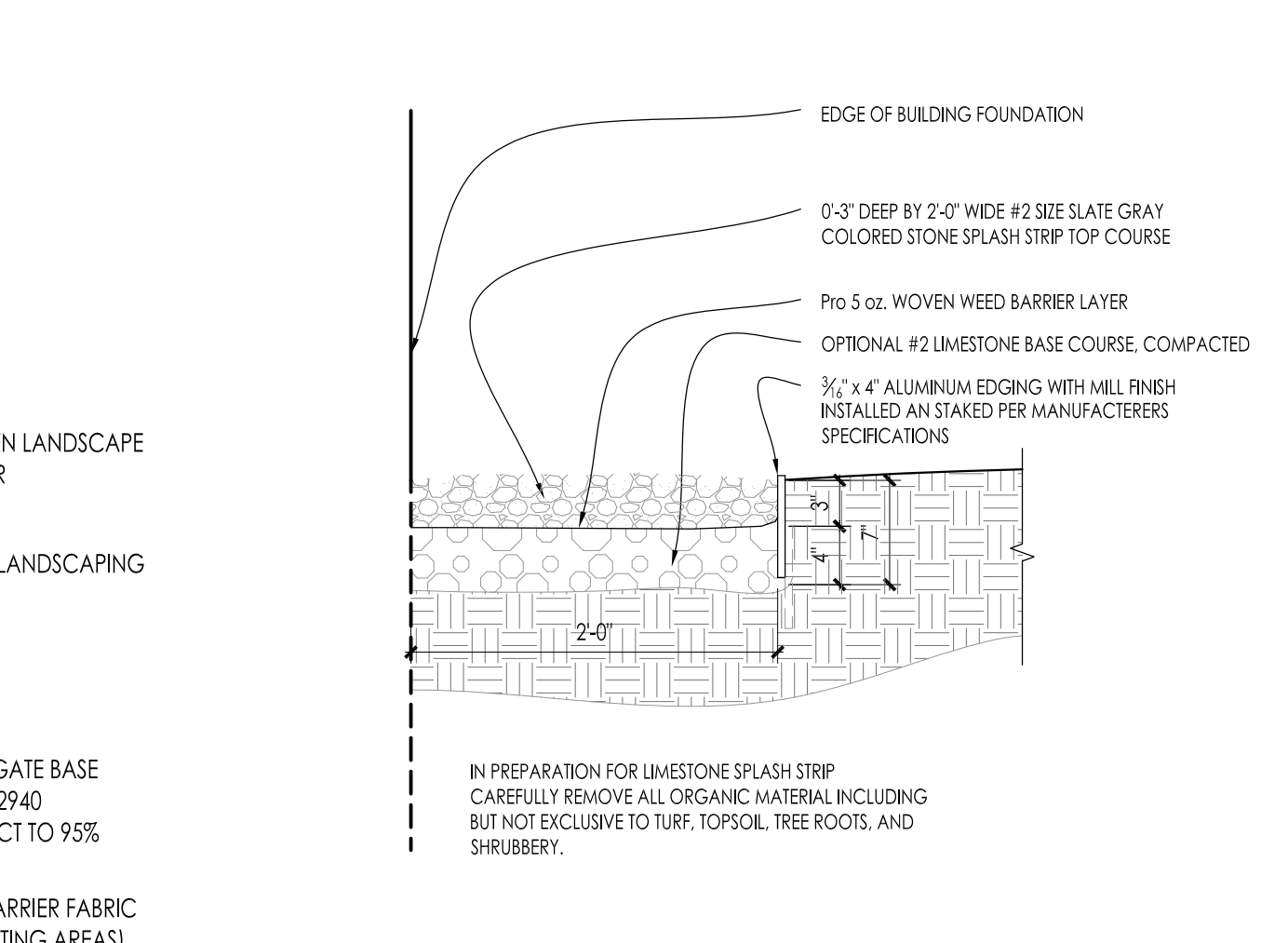
8 PERENNIAL BED PLANTING DETAIL SCALE: NONE



9 SPADE EDGE PLANT BED EDGE DETAIL SCALE: NONE



10 TYPICAL BOULDER INSTALLATION SCALE: NONE



11 COMPACTED GRAVEL SPLASH STRIP SCALE: 1" = 1'-0"

INSITE
LANDSCAPE DESIGN
Landscape Architecture
and Master Planning Design Consulting

11525 W. North Avenue Suite 1B
Wauwatosa, WI 53226
Tel (414) 476-1204
www.insitelandscapedesign.com
mdavis@insitelandscapedesign.com

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Sheet Title:
PROPOSED LANDSCAPE PLAN, PLANTING DETAILS

Date of Drawing: 12/27/16
Scale: As Noted
Drawn By: MCD
Job Number: L16-076
Sheet Number:

LSP1.2

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L16-076 - Fields Jagauer Landrover - 12/27/2016



THE REDMOND COMPANY
 • DESIGN • CONSTRUCTION
 • CONSULTING • MANAGEMENT
 W228 N745 Westmound Drive
 Waukesha, Wisconsin 53186
 tel 262.549.9600 fax:
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PROJECT INFORMATION

**FIELDS JAGUAR
 LAND ROVER**
 1901 E. MORELAND
 WAUKESHA WI 53186

ISSUANCE AND REVISIONS

CITY APPROVALS

REVISIONS

#	Description	Date
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SHEET INFORMATION

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PROJECT NUMBER	16059
DATE	12.27.16
DRAWN BY	Author

Campus Plan

A100



A2 CAMPUS PLAN
 1/16" = 1'-0"



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REVISIONS

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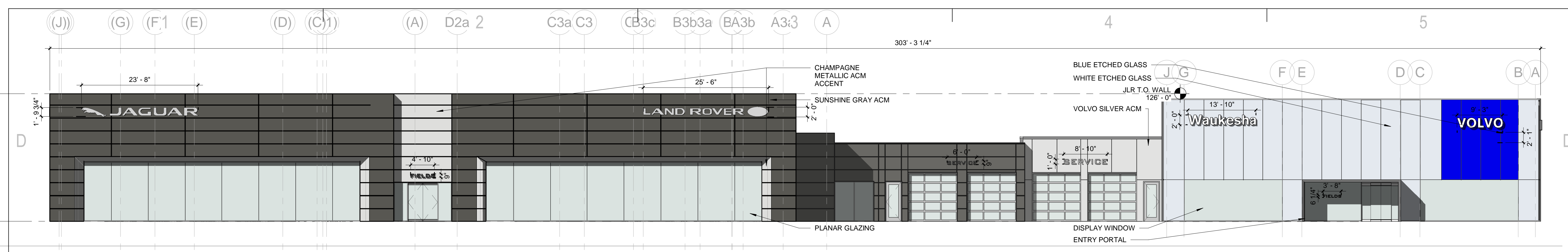
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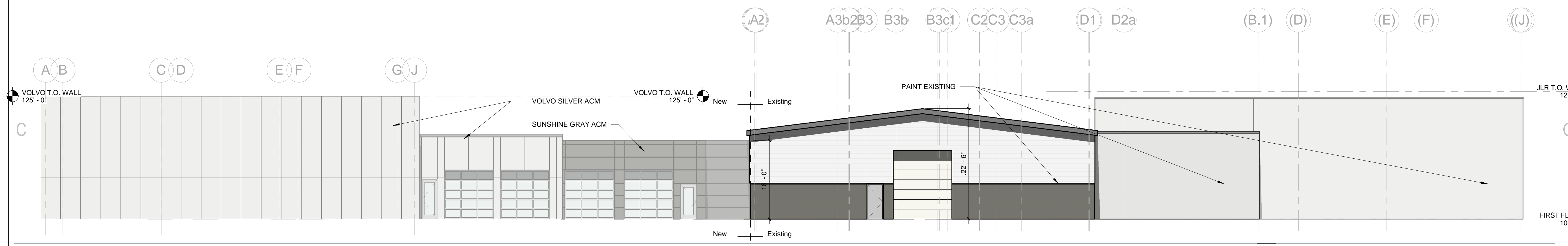
PROJECT NUMBER	16059
DATE	12.27.16
DRAWN BY	Author

Exterior Elevations

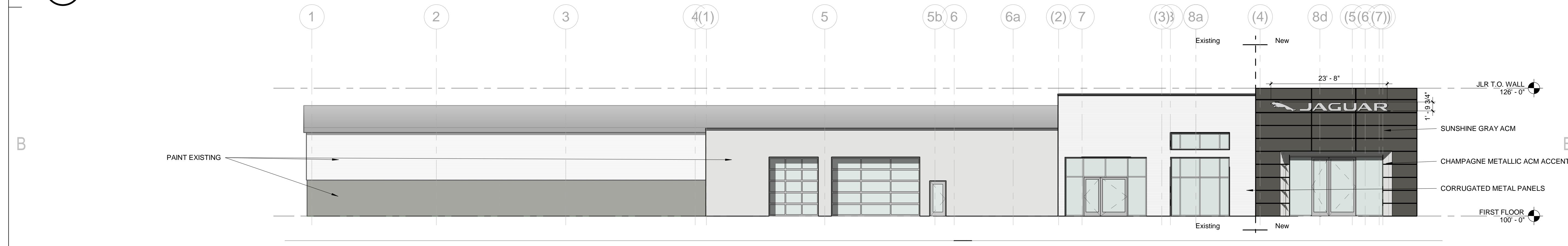
A200



D1 NORTH ELEVATION
 3/32" = 1'-0"

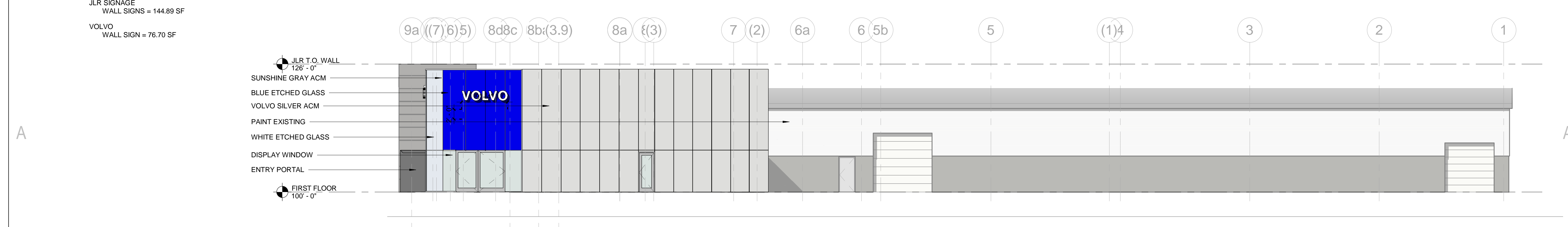


C1 SOUTH ELEVATION
 3/32" = 1'-0"



B2 EAST ELEVATION
 3/32" = 1'-0"

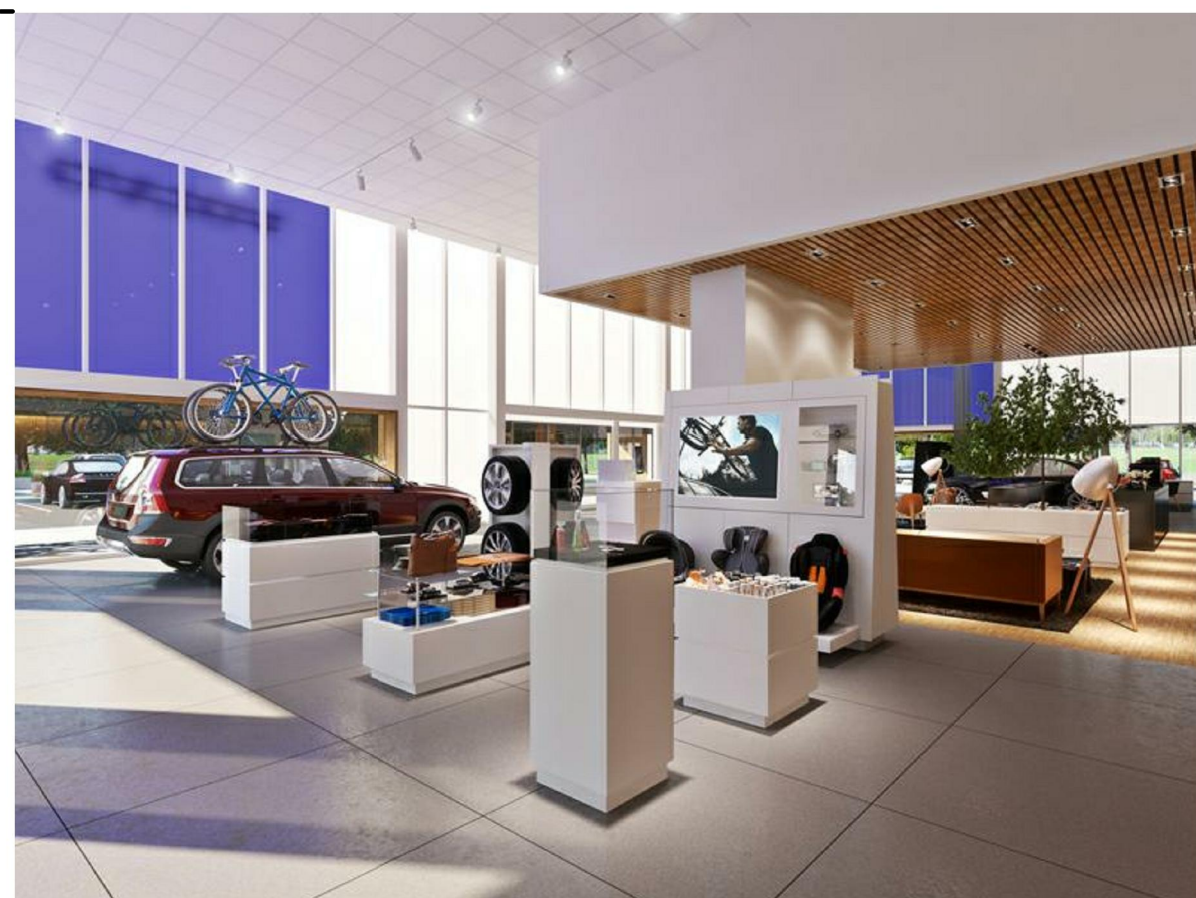
SIGNAGE
 BUILDING FRONTAGE = 303'
 ALLOWED SIGN AREA = 2.0 x 303' = 606 SF
JLR SIGNAGE
 WALL SIGNS = 144.89 SF
VOLVO
 WALL SIGN = 76.70 SF



A2 WEST ELEVATION
 3/32" = 1'-0"



EXTERIOR RENDERING



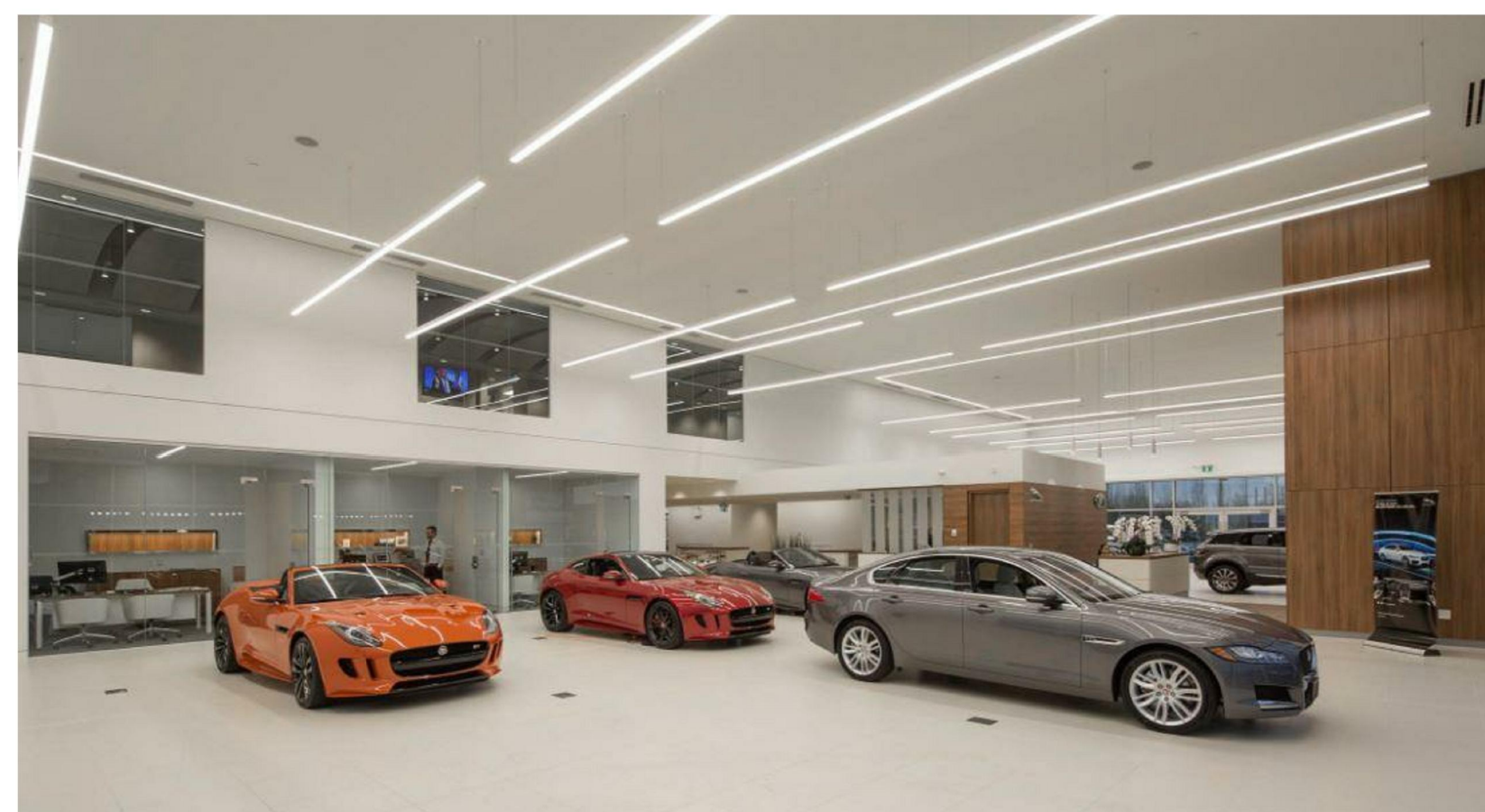
VOLVO PROTOTYPICAL INTERIOR



VOLVO EXTERIOR RENDERING



VOLVO PROTOTYPICAL EXTERIOR EVENING VIEW



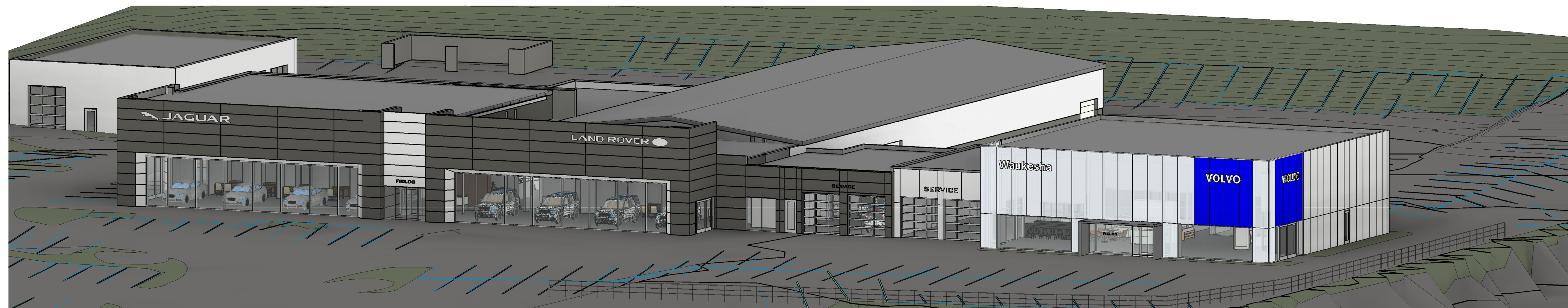
JLR INTERIOR REFERENCE



JLR EXTERIOR REFERENCE



JLR EXTERIOR REFERENCE



BIRDS EYE VIEW

REFERENCE IMAGES



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PROJECT NUMBER	16059
DATE	12.27.16
DRAWN BY	DRB


Exterior Rendering

A201



Luminaire Schedule						
Qty	Label	Arrangement	Lum. Lumens	Lum. Watts	LLF	Description
8	AF-E	SINGLE	36341	428.6	0.900	CREE + (1) ARE-EHO-AF-xx-12-E-UL-xx-1000-40K
2	OSS-2	2 @ 90 DEGRE	20880	134.2	0.900	CREE + (2) ARE-EHO-3M-12-UL-1000-40K
2	OS4	SINGLE	30657	426	0.900	ARE-EHO-4M-xx-12-E-UL-1000-40K (1000mA)
3	OSS-2	BACK-BACK	64656	431.2	0.900	CREE + (2) ARE-EHO-5M-xx-12-E-UL-xx-1000-40K
9	OSS-4	4 @ 90 DEGRE	51224	132.4	0.900	CREE + (2) ARE-EHO-5S-12-UL-1000-40K
6	4MB-E	SINGLE	9015	132.8	0.900	For use with Series E Edge, Edge High Output, 228.
2	OSS	SINGLE	12806	132.4	0.900	CREE + ARE-EHO-5S-12-UL-1000-40K

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PROP LINE	Illuminance	Fc	1.59	10.7	0.0	N.A.	N.A.
SITE	Illuminance	Fc	5.89	29.7	0.0	N.A.	N.A.
DISPLAY	Illuminance	Fc	10.48	12.3	8.0	1.31	1.54
FRONT LINE	Illuminance	Fc	23.23	29.7	10.7	2.17	2.78



Enterprise Lighting LTD

**FIELD'S JAGUAR/VOLVO
WAUKESHA, WISCONSIN**

**CREE EDGE HIGH OUT-PUT
LIGHTING PLAN**

DATE DEC. 22, 2015	SCALE 1" = 20'-0"	SHEET NUMBER E1
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