

PROJECT INFORMATION:

CLIENT:
 SPRING CITY RESTAURANT & ROX BAR & GRILLE
 2820 N. GRANDVIEW BOULEVARD
 WAUKESHA, WI 53186
 CONTACT: DINO GIACOMANTONIO
 PHONE: 414-849-8000
 EMAIL: DINOGIACO@GMAIL.COM

GENERAL CONTRACTOR:
 TBD

HVAC CONTRACTOR:
 TBD

ELECTRICAL CONTRACTOR:
 TBD

PLUMBING CONTRACTOR:
 TBD

FIRE PROTECTION CONTRACTOR:
 TBD

SCOPE OF WORK:

THIS PROJECT INVOLVES AN ADDITION AND INTERIOR ALTERATIONS TO THE EXISTING ONE-STORY BUILDING. SITE IMPROVEMENTS AND PARKING LOT ALTERATIONS ARE INCLUDED IN THE SCOPE OF WORK.

GENERAL NOTES :

1. THE ARCHITECT / ENGINEER MAINTAINS NO RESPONSIBILITY FOR THE GENERAL CONTRACTOR, SUBCONTRACTORS OR THOSE WORKING IN SUCH CAPACITIES, FOR THE MEANS OR METHODS USED, OR LACK THEREOF, IN THE EXECUTION OF THE WORK AND SAFETY PROCEDURES AND PRECAUTIONS TAKEN AT THE PROJECT SITE.
2. ALL CONSTRUCTION SHALL BE PERFORMED IN STRICT CONFORMANCE WITH ALL APPLICABLE STATE AND LOCAL BUILDING CODES.
3. CONTRACTORS SHALL COMPLY WITH THE LATEST (OSHA) OCCUPATIONAL SAFETY AND HEALTH ACT REQUIREMENTS.
4. CONTRACTORS SHALL ASSUME FULL RESPONSIBILITY - UNRELIEVED BY REVIEW OF SHOP DRAWINGS NOR BY SUPERVISION OR PERIODIC OBSERVATION OF CONSTRUCTION FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS - FOR DIMENSIONS TO BE CONFIRMED AND CORRELATED ON THE JOB SITE AND BETWEEN INDIVIDUAL DRAWINGS OR SETS OF DRAWINGS; FOR FABRICATION PROCESSES AND CONSTRUCTION TECHNIQUES (INCLUDING EXCAVATION, SHORING, BRACING, SCAFFOLDING, FORMWORK ERECTION, ETC.); FOR COORDINATION OF THE VARIOUS TRADES; FOR SAFE CONDITIONS ON THE JOB SITE; AND FOR PROTECTION OF THE PEOPLE AND PROPERTY AT THE JOB SITE.
5. VARIATIONS IN FIELD CONDITIONS RELATIVE TO THE CONTRACT DOCUMENTS SHALL BE REPORTED TO THE ARCHITECT / ENGINEER. WORK SHALL NOT PROGRESS UNTIL WRITTEN PERMISSION FROM THE ARCHITECT / ENGINEER IS OBTAINED.
6. THE INFORMATION CONTAINED ON THE DRAWINGS IS IN ITSELF INCOMPLETE, AND VOID UNLESS USED IN CONJUNCTION WITH ALL THE SPECIFICATIONS, TRADE PRACTICES, APPLICABLE STANDARDS, CODES, ETC., INCORPORATED THEREIN BY REFERENCE, OF WHICH THE CONTRACTOR CERTIFIES KNOWLEDGE BY SIGNING THE CONTRACT.
7. UNLESS OTHERWISE NOTED, ALL DETAILS, SECTIONS AND NOTES ON THE DRAWINGS ARE INTENDED TO BE TYPICAL FOR SIMILAR SITUATIONS AND CONDITIONS ELSEWHERE.
8. DRAWINGS ARE NOT TO BE USED FOR SHOP DETAILING OR FOR CONSTRUCTION UNLESS SPECIFICALLY STAMPED BY THE ARCHITECT / ENGINEER ON THE DRAWINGS "FOR DETAILING" OR "FOR CONSTRUCTION". THESE DRAWINGS ARE NOT TO BE REPRODUCED FOR THE PURPOSE OF USING THEM AS SHOP DRAWINGS.
9. ARCHITECT / ENGINEER'S REVIEW OF DRAWINGS PREPARED BY THE CONTRACTORS, SUPPLIERS, ETC., ARE ONLY FOR CONFORMANCE WITH THE DESIGN CONCEPT. CONSTRUCTION SHALL NOT START WITHOUT SAID REVIEW, AND ONLY SHOP DRAWINGS STAMPED BY THE ARCHITECT / ENGINEER WILL BE ALLOWED AT THE JOB SITE.
10. SEE ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL OPENINGS, SLEEVES, EQUIPMENT PADS, DEPRESSIONS, CURBS, INSERTS, FLOOR FINISHES AND OTHER EMBEDDED ITEMS.
11. UNLESS OTHERWISE NOTED OR SHOWN, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE LOCATION AND PLACEMENT OF ANY INSERTS, HANGERS, ANCHOR BOLTS, HOLES OR PIPE SLEEVES THAT ARE REQUIRED BY THE MECHANICAL, ELECTRICAL OR PLUMBING EQUIPMENT.
12. ALL DIMENSIONS ON STRUCTURAL DRAWINGS ARE TO BE CHECKED BY THE CONTRACTORS AGAINST ARCHITECTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS. CONTRACTORS SHALL BE FULLY RESPONSIBLE FOR CONFIRMING AND CORRELATING ALL DIMENSIONS ON THE JOB SITE AND BETWEEN INDIVIDUAL DRAWINGS AND RESPECTIVE TRADES.
13. THIS PROJECT IS BEING DESIGNED AND CONSTRUCTED UTILIZING A DESIGN / BUILD DELIVERY PROCESS FOR THE MAJOR SUBCONTRACTOR TRADES OF MECHANICAL (HVAC), ELECTRICAL, PLUMBING AND FIRE PROTECTION SYSTEMS. EACH SUBCONTRACTOR IS RESPONSIBLE TO SUBMIT PLANS AND OBTAIN PERMITS FOR THEIR RESPECTIVE SPECIALTY TRADES. GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL COORDINATE ALL WORK WITHIN THE SCOPE OF THIS PROJECT FOR SYSTEMS INSTALLATION, INTERFERENCE CONTROL AND PROJECT CONSTRUCTION SCHEDULE.
14. INTERIOR WALL AND CEILING FINISH MATERIALS SHALL BE CLASSIFIED IN ACCORDANCE WITH ASTM E 84 OR UL 723. THEIR FLAME SPREAD AND SMOKE-DEVELOPED INDEXES SHALL BE:
 CLASS A: FLAME SPREAD INDEX 0-25;
 SMOKE-DEVELOPED INDEX 0-450.
 CLASS B: FLAME SPREAD INDEX 26-75;
 SMOKE-DEVELOPED INDEX 0-450.
 CLASS C: FLAME SPREAD INDEX 76-200;
 SMOKE DEVELOPED INDEX 0-450.
15. INTERIOR WALL AND CEILING FINISHES SHALL COMPLY WITH TABLE 803.9 WITH A MINIMUM RATING OF CLASS C.
16. INTERIOR FLOOR FINISH AND FLOOR COVERING MATERIALS SHALL COMPLY WITH THE DOC FF-1 "FILL TEST".
17. FIRE EXTINGUISHERS WITH A MINIMUM 2A, 10-B-C RATING PER NFPA 10 SHALL BE PROVIDED, INSTALLED AND MAINTAINED AS REQUIRED BY LOCAL GOVERNING CODES. THE NUMBER AND TYPE OF EXTINGUISHER SHALL BE DETERMINED BY THE LOCAL FIRE DEPARTMENT AND THE LANDLORD'S INSURANCE CARRIER. MAXIMUM TRAVEL DISTANCE TO EXTINGUISHERS SHALL BE 75 FEET. FIRE EXTINGUISHERS SHALL BE FURNISHED AND INSTALLED BY THE GENERAL CONTRACTOR.

CODE INFORMATION :

REFERENCED CODES ARE: IBC 2015; IEBC 2015; IECC 2015; ICC/ANSI A117.1-2009

USE AND OCCUPANCY CLASSIFICATION:
 ASSEMBLY: GROUP A-2 SECTION 303.3

TYPE OF CONSTRUCTION: (CHAPTER 6 - IBC)
 EXISTING BUILDING TYPE VB

CLASSIFICATION OF WORK:
 ALTERATION - LEVEL 2 (CHAPTER 8 - IEBC)
 NEW CONSTRUCTION (IBC)

BUILDING IS EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM PER NFPA 13.

EXISTING BUILDING IS ONE STORY IN HEIGHT.

ALLOWABLE BUILDING HEIGHT (TABLE 504.3 & 504.4):
 ASSEMBLY GROUP A-2 (TYPE VB) 60 FEET/ 2 STORIES ABOVE GRADE PLANE

ALLOWABLE BUILDING AREA (TABLE 506.2):
 ASSEMBLY GROUP A-2 TYPE VB CONSTRUCTION 24,000 SQ. FT. OF FLOOR AREA PER STORY

ACTUAL BUILDING AREA:
 FIRST FLOOR (EXISTING): 9,824 GROSS SQ. FT.
 FIRST FLOOR (ADDITION): 3,320 GROSS SQ. FT.
 TOTAL FLOOR AREA: 13,144 GROSS SQ. FT.

FIRE-RESISTANCE RATING REQUIREMENTS FOR NEW CONSTRUCTION (TABLES 601 & 602)

PRIMARY STRUCTURAL FRAME	0 HOUR RATING
BEARING WALLS (EXTERIOR)	0 HOUR RATING
BEARING WALLS (INTERIOR)	0 HOUR RATING
NON-BEARING WALLS & PARTITIONS (EXTERIOR)	
FIRE SEPARATION DISTANCE 0-5 FT.	1 HOUR RATING
FIRE SEPARATION DISTANCE 5-10 FT.	1 HOUR RATING
FIRE SEPARATION DISTANCE 10-30 FT.	0 HOUR RATING
FIRE SEPARATION DISTANCE 30+ FT.	0 HOUR RATING
NON-BEARING WALLS & PARTITIONS (INTERIOR)	0 HOUR RATING
FLOOR CONSTRUCTION & SECONDARY MEMBERS	0 HOUR RATING
ROOF CONSTRUCTION & SECONDARY MEMBERS	0 HOUR RATING

OCCUPANT LOAD: (BASED ON PATRONS AT PEAK TIMES)
 PATRONS = 350 OCCUPANTS
 STAFF = 30 OCCUPANTS
 TOTAL = 380 OCCUPANTS

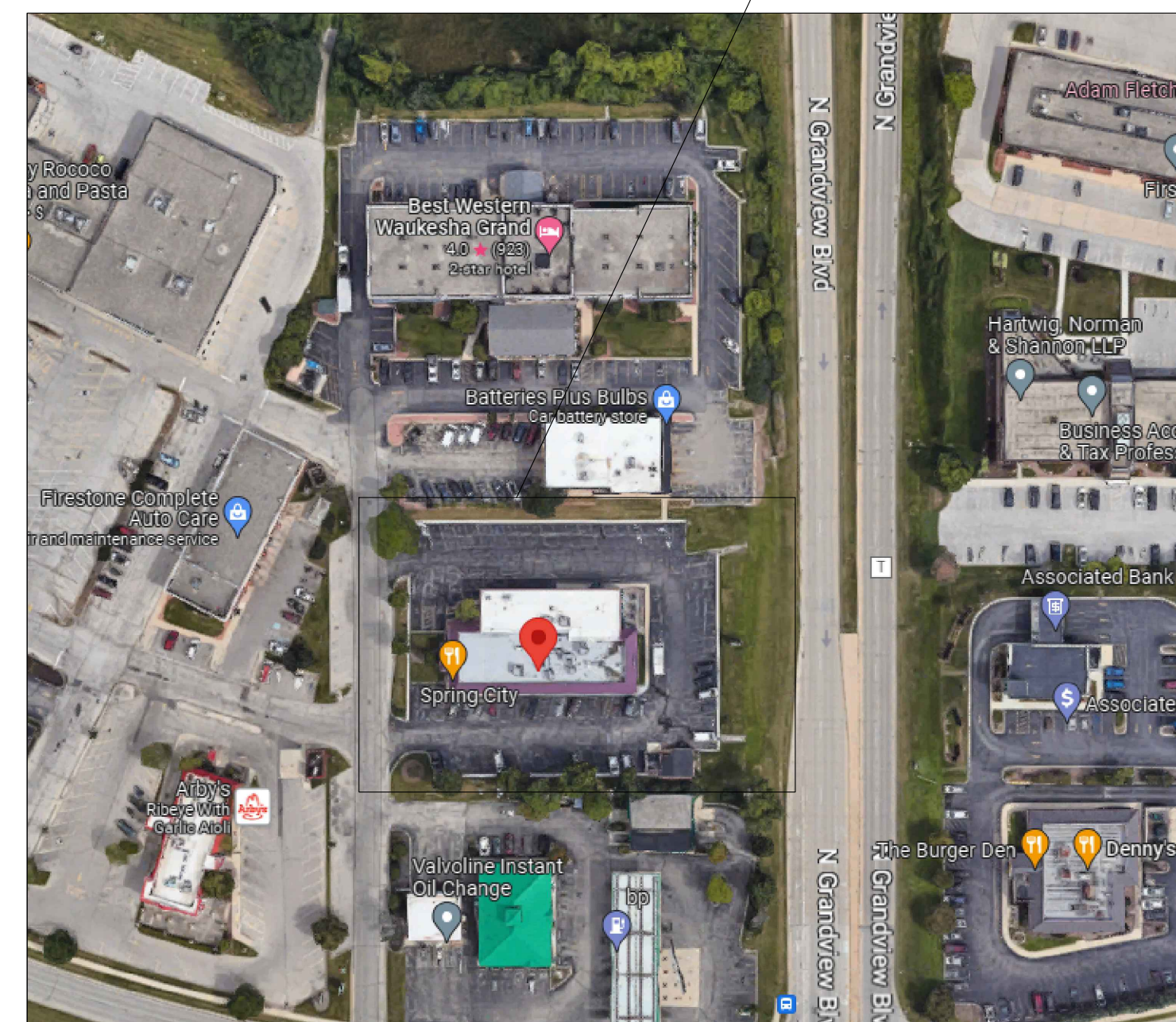
PLUMBING FIXTURES:
 WATER CLOSETS PROVIDED: 7
 URINALS PROVIDED: 4
 LAVATORIES PROVIDED: 8
 SERVICE SINKS PROVIDED: 1
 DRINKING FOUNTAINS PROVIDED: EXEMPT

STRUCTURAL INFORMATION:
 THIS BUILDING'S EXISTING STRUCTURAL SYSTEM AND FRAME WILL BE ALTERED BY THE SCOPE OF WORK BEING UNDERTAKEN FOR THIS PROJECT.

SHEET INDEX:

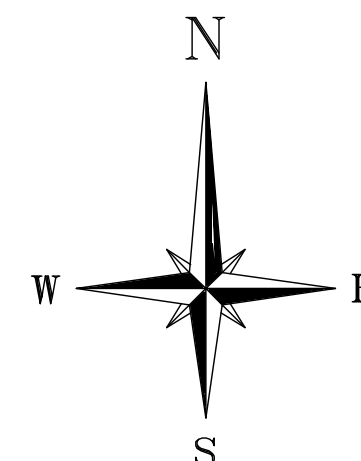
T1.0	TITLE SHEET
C1.0	EXISTING SURVEY
C1.1	PROPOSED SITE PLAN
A1.1	PROPOSED FIRST FLOOR PLAN
A2.1	PROPOSED ELEVATIONS
A6.1	3D PERSPECTIVES

PROJECT SITE



Vicinity Map :

NOT TO SCALE



* PLAN COMMISSION REVIEW SET - (02-20-23) *

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 WAUKESHA, WISCONSIN 53186

Sheet Title:
TITLE SHEET

Revisions:
 - 3/14/2023 RFI COMMENTS

Date: 02/20/23

Job No. 23-108

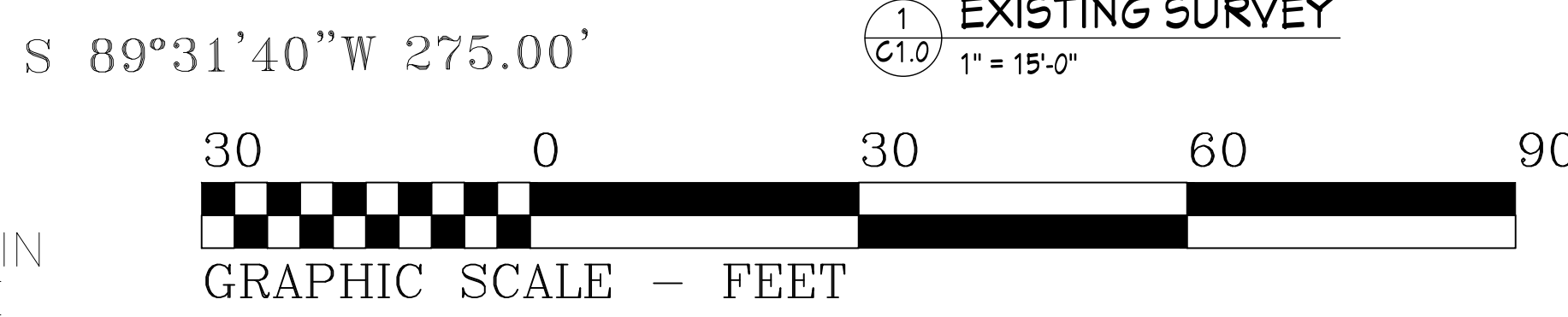
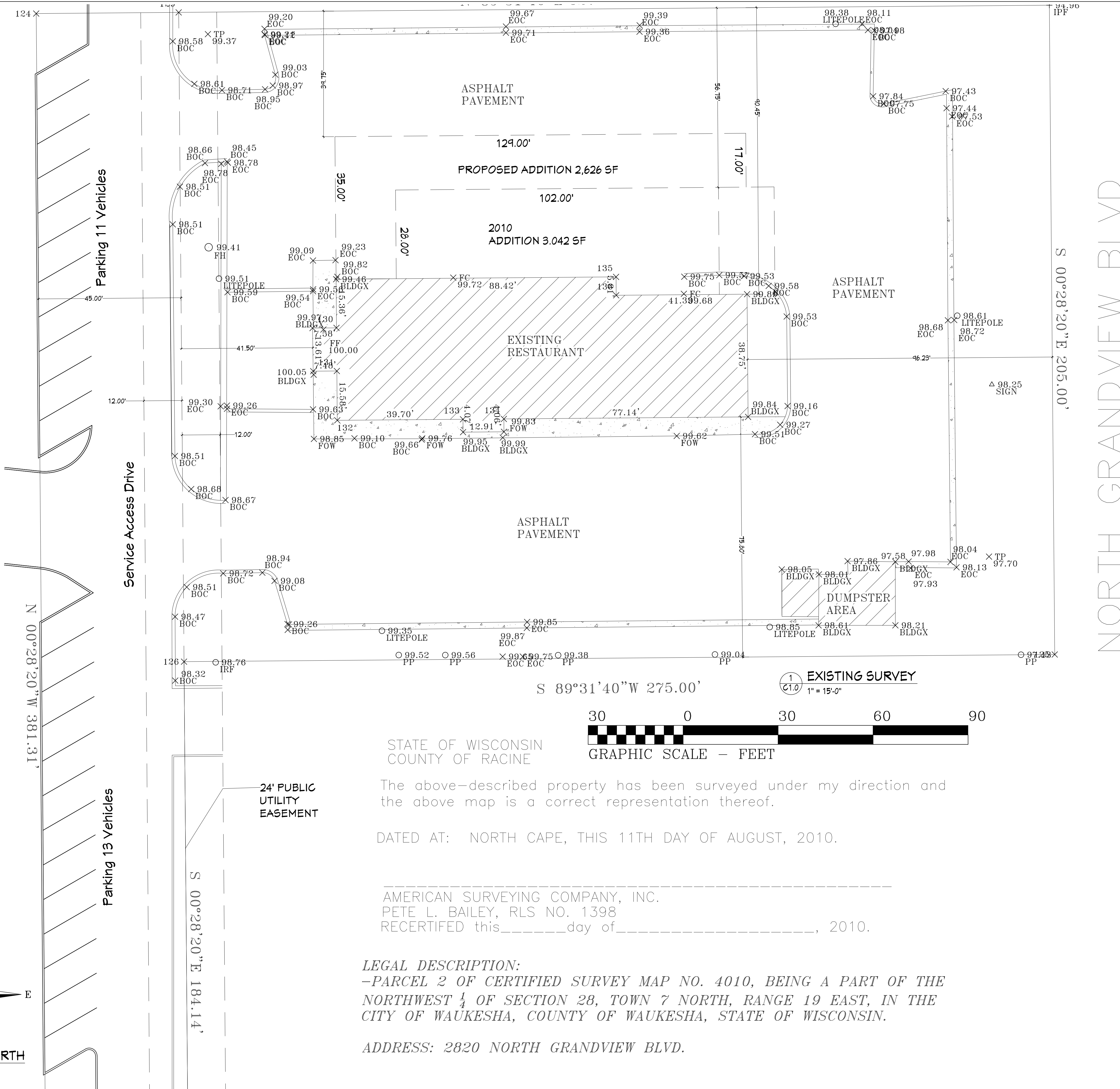
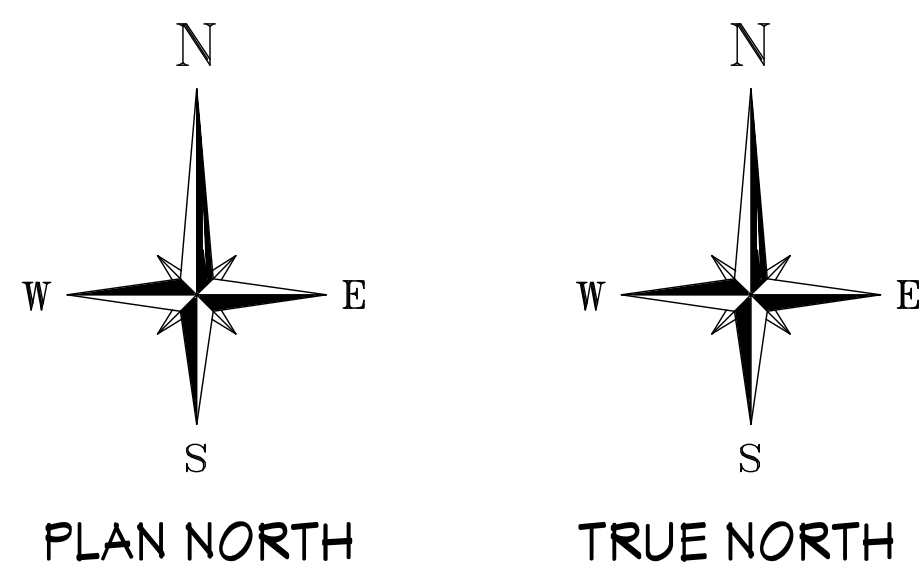
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 It's not simply Architecture, It's Konstruction!

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 www.kozitecture.com



STATE OF WISCONSIN
COUNTY OF RACINE

The above-described property has been surveyed under my direction and the above map is a correct representation thereof.

DATED AT: NORTH CAPE, THIS 11TH DAY OF AUGUST, 2010.

AMERICAN SURVEYING COMPANY, INC.
PETE L. BAILEY, RLS NO. 1398
RECERTIFIED this _____ day of _____, 2010.

LEGAL DESCRIPTION:
-PARCEL 2 OF CERTIFIED SURVEY MAP NO. 4010, BEING A PART OF THE NORTHWEST 1/4 OF SECTION 28, TOWN 7 NORTH, RANGE 19 EAST, IN THE CITY OF WAUKESHA, COUNTY OF WAUKESHA, STATE OF WISCONSIN.

ADDRESS: 2820 NORTH GRANDVIEW BLVD.

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EXISTING SURVEY

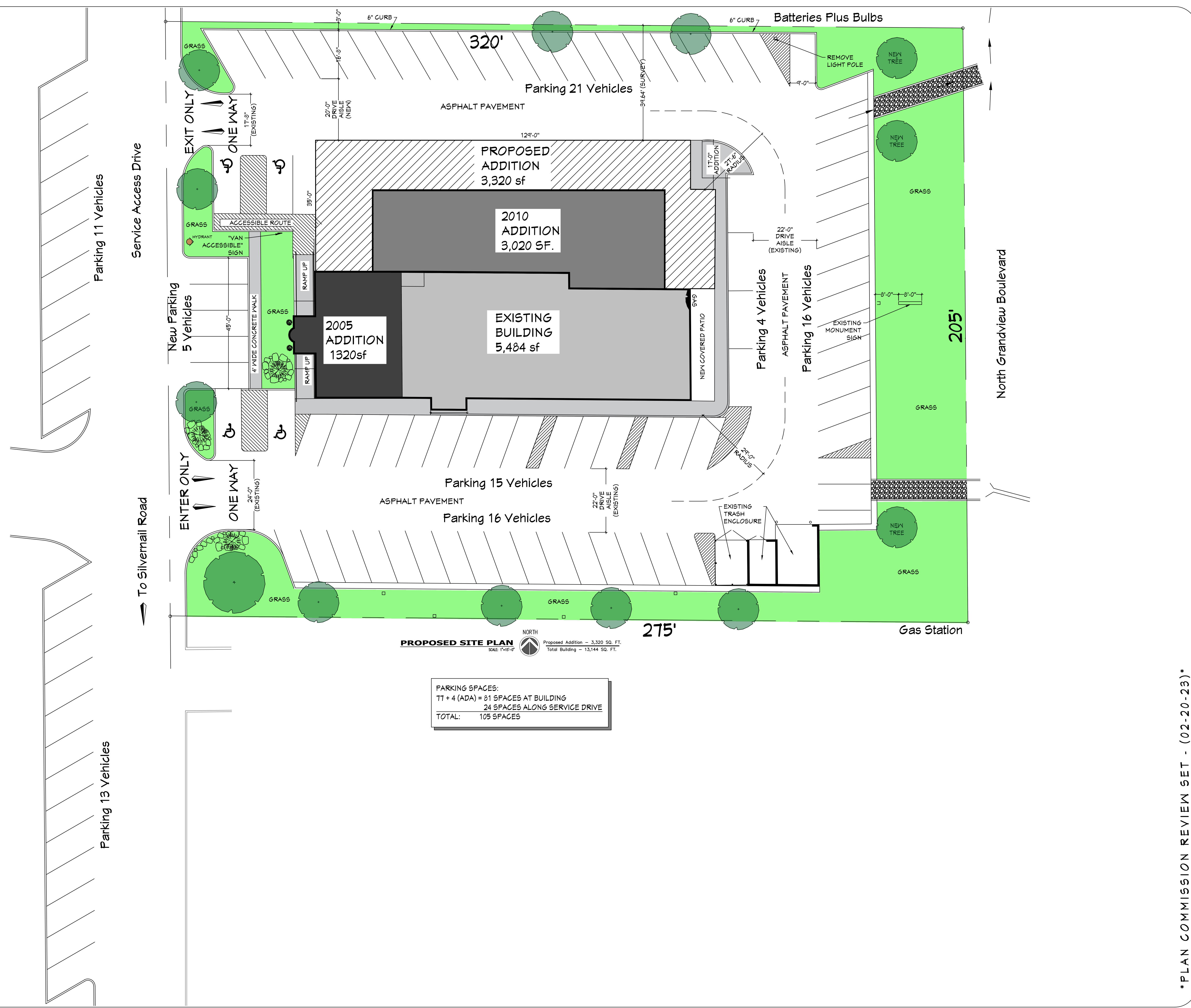
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Sheet No.

C1.0



PROPOSED SITE PLAN
 SCALE: 1"=15'-0"
 NORTH
 Proposed Addition - 3,320 SQ. FT.
 Total Building - 13,144 SQ. FT.

PARKING SPACES:
 77 + 4 (ADA) = 81 SPACES AT BUILDING
 24 SPACES ALONG SERVICE DRIVE
 TOTAL: 105 SPACES

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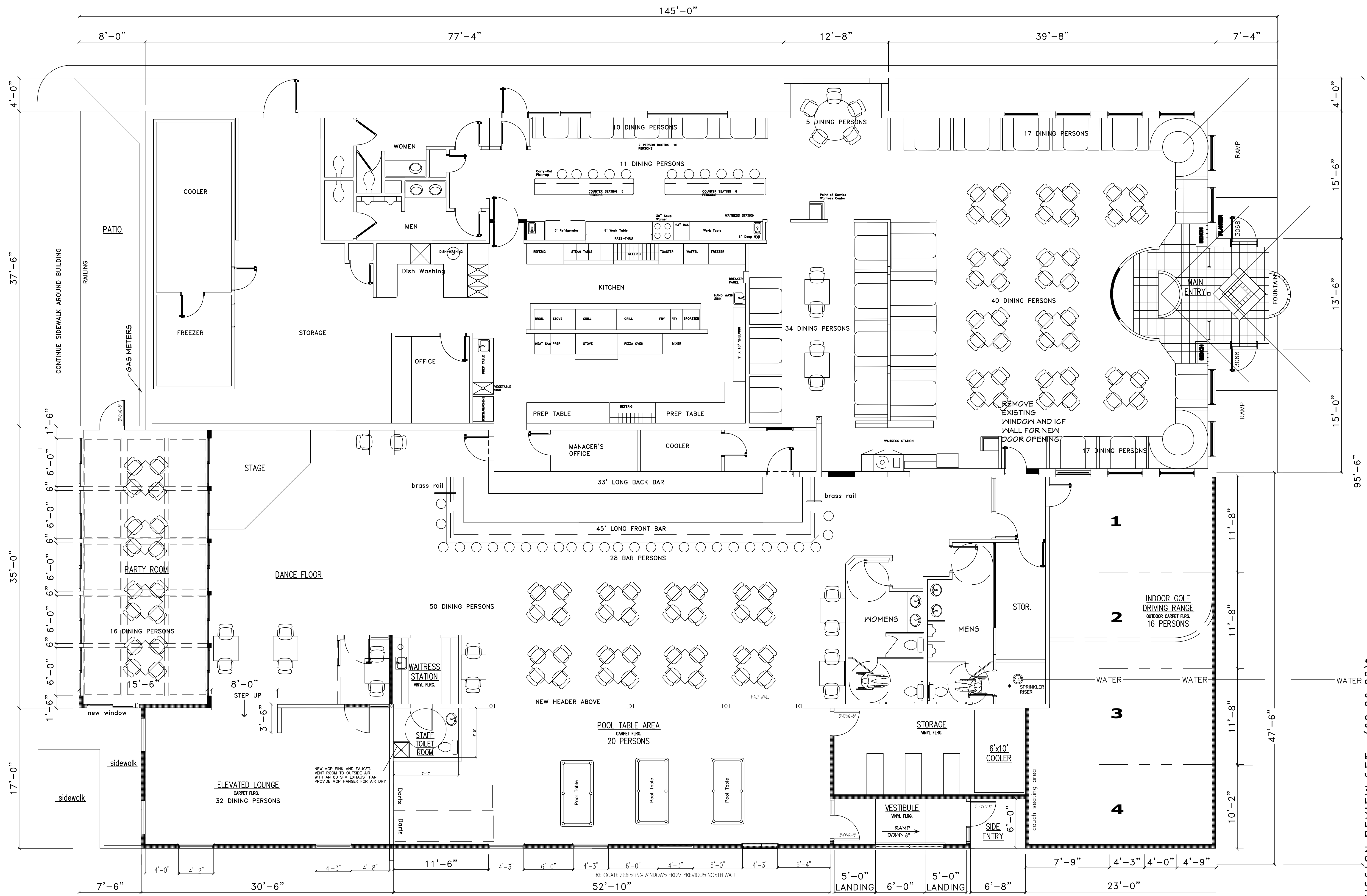
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PROPOSED SITE PLAN

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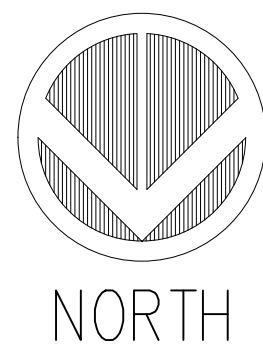
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Sheet No.

C1.1



PROPOSED FIRST FLOOR PLAN

SCALE: 3/16"=1'-0"



Proposed Addition – 3,320 SQ. FT.
Total Building – 13,144 SQ. FT.

KEY TO DRAWING

- EXISTING WALLS TO REMAIN
- EXISTING WALL TO BE REMOVED
- NEW 2X6 WOOD STUD WALLS

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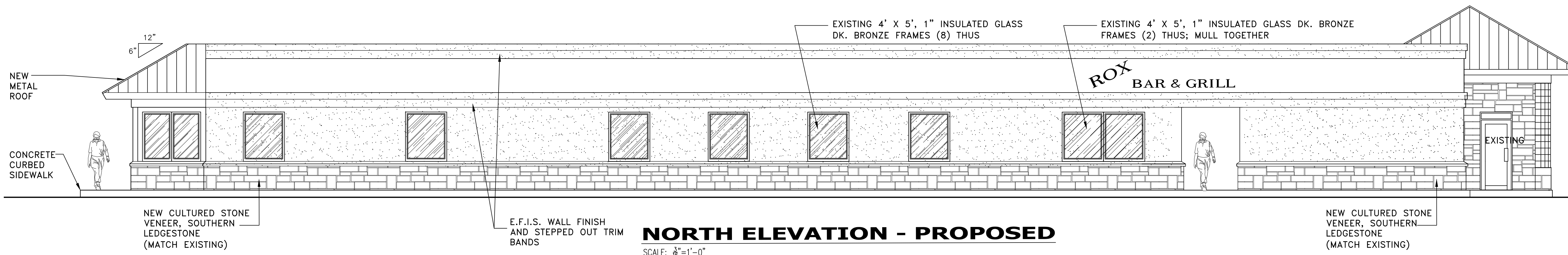
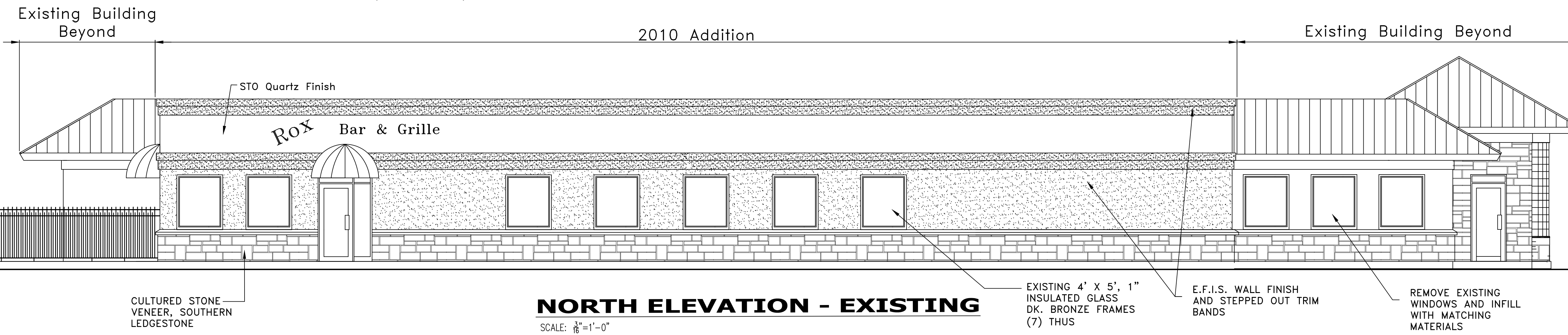
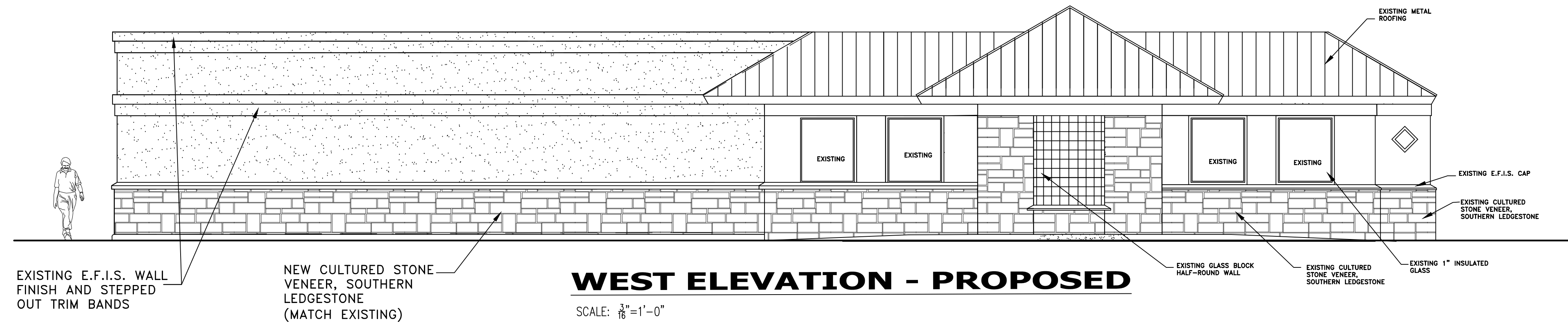
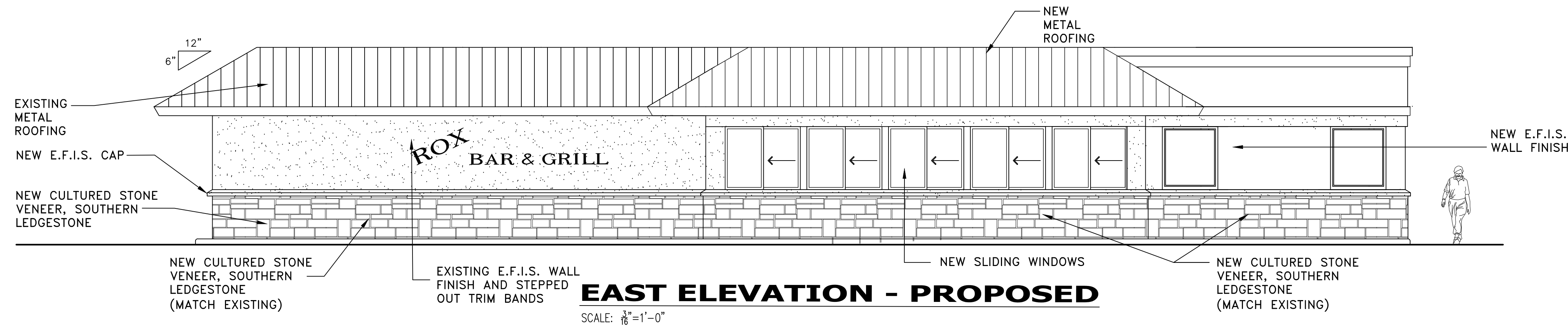
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PROPOSED ELEVATIONS

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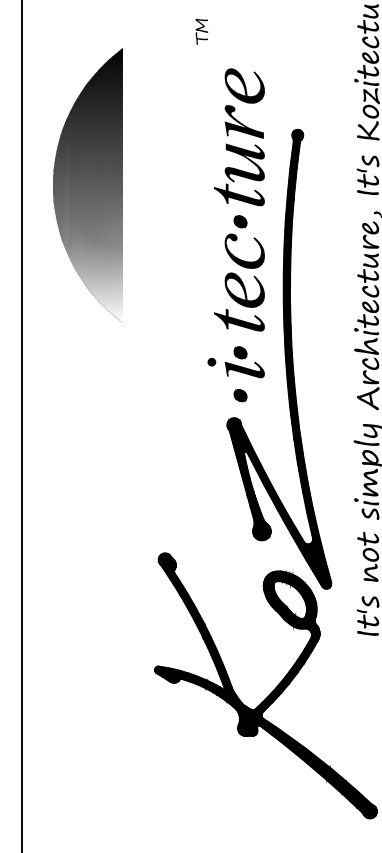


VIEW OF NORTHWEST CORNER FROM SERVICE ACCESS ROAD



VIEW OF NORTHEAST CORNER FROM NORTH GRANDVIEW BOULEVARD

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PERSPECTIVES

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