



STIER CONSTRUCTION INC.

N8 W22195 Johnson Drive, Suite 160 • Waukesha, WI 53186 • 262-574-0306 • FAX 262-574-0313

December 23, 2022

City of Waukesha
Attn: Doug Koehler – Principal Planner
201 Delafield Street
Waukesha, WI 53188

Re: 735 Pleasant Street

Dear City of Waukesha,

Stier Construction, Inc. has been contracted by LaCasa de Esperanza, Inc., owner of 735 Pleasant Street, to remodel their building at 735 Pleasant Street. We would like to request the City of Waukesha to review and approve the proposed project for LaCasa Weatherization at 735 Pleasant Street.

This project consists of remodeling an existing building for use as general offices for their Weatherization program. The scope of work includes repairs to the exterior CMU walls, painting of the exterior of the building, replacement of existing windows, creating new window openings, creating a new more attractive main entrance to the building, new roof, complete finish out of interior for offices, along with new mechanical systems.

Please note, this property has soil contamination. It is considered a closed site by the Wisconsin Department of Natural Resources but there are continuing obligations. Part of those continuing obligations is to maintain a cover or barrier over the site to minimize infiltration of water and prevent additional groundwater contamination. With that, this cover/barrier needs to be maintained on the property. This requirement does not allow green spaces or landscaped/planting areas on the property. Any buffer areas will need to be covered.

Stier Construction, Inc. and LaCasa de Esperanza, Inc. look forward to working with the City of Waukesha as we move forward.

Sincerely,

Dave Bergmann
Senior Project Manager



General Contractor

Construction Management

Design/Build



BUILDING ALTERATION FOR LaCASA - WEATHERIZATION

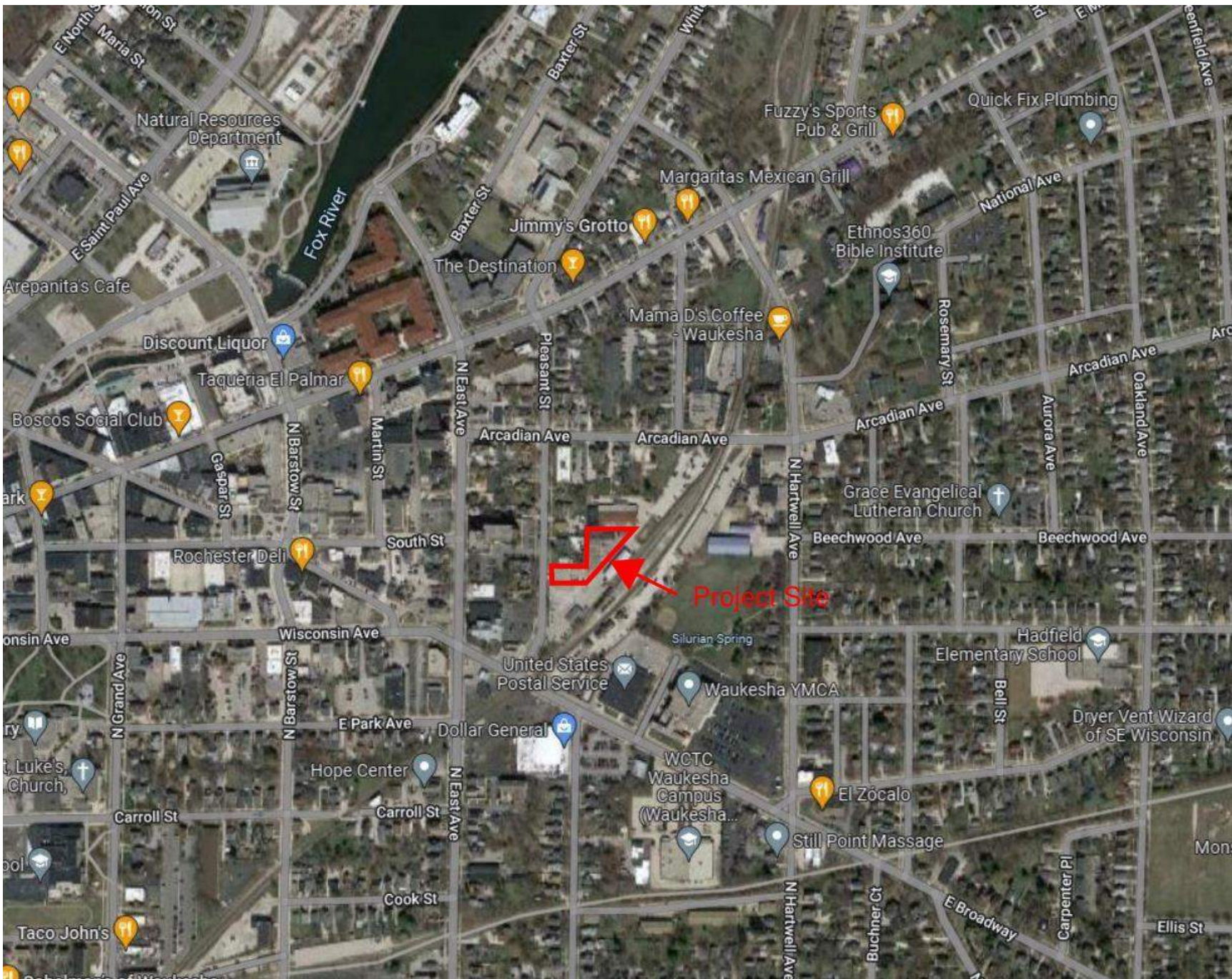
735 PLEASANT STREET
WAUKESHA WI 53186



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	ASPHALT REPLACEMENT LOCATION

735 PLEASANT STREET, WAUKESHA WI 53186



ABBREVIATIONS

# & @	Pound OR Number And At
A	Acoustic Ceiling Tile
AD	Area Drain
AFF	Above Finished Floor
ALUM	Aluminum
ANOD	Anodized
APPROX	Approximately
B	
BES	Bank Equipment Supplier
BLKG	Blocking
BLKHD	Bulkhead
BRG	Bearing
BSMT	Basement
BT	Base Tile
BYND	Beyond
BO	Bottom Of
BOT	Bottom
C	
CABT	Cabinet
CIP	Cast In Place
CHNL	Channel
CJ	Control Joint
CL	Closed
CLG	Ceiling
CLR	Clear
CM	Construction Manager
CMU	Concrete Masonry Unit
COL	Column
COMPR	Compressible
CONC	Concrete
CONC BLK	Concrete Block
CONT	Continuous
CONTR	Contractor
CPT	Carpet
CRS	Course
CT	Ceramic Tile
CTB	Ceramic Tile Base
CTYD	Courtyard

DBL	Double
DEMO	Demolish or Demolition
DIA	Diameter
DIM	Dimension
DIMS	Dimensions
DISP	Dispenser
DN	Down
DR	Door
DRWR	Drawer
DS	Downspout
DTL	Detail
DWL	Dishwasher
DWG	Drawing
E	
EA	Each
EFS	Exterior Insulation Finish System
EJ	Expansion Joint
EL	Elevation
ELEC	Electrical
ELEV	Elevator or Elevation
EPDM	Ethylene Propylene Diene M-Class (Roofing)
EQ	Equal
ETR	Existing To Remain
EXIST	Existing
EXP	Expansion
EXP JT	Expansion Joint
EXT	Exterior
F	
FD	Floor Drain or Fire Department
FE	Fire Extinguisher
FEC	Fire Extinguisher Cabinet
FIN FLR	Finished Floor
FIXT	Fixture
FLR	Floor
FLSHG	Flashing
FM	Filled Metal
FO	Foot
FT	Foot
FTG	Footing
FND	Foundation

G	
GA	Gauge
GALV	Galvanized
GB	Grid Bar
GWB	Gypsum Wall Board
H	
HC	Hollow Core
HWD	Hardwood
HDR	Header
HI	High
HM	Hollow Metal
HORIZ	Horizontal
HP	High Point
HR	Hour
HT	Height
HRDBD	Hardboard
HVAC	Heating, Ventilating, And Air Conditioning
I	
IRGWB	Impact Resistant Gypsum Wall Board
ILO	In Lieu Of
INSTR	Instructions
INSUL	Insulated or Insulation
INT	Interior
J	
JNT	Joint
M	
MAX	Maximum
MFR	Manufacturer
MO	Masonry Opening
MECH	Mechanical
MEMBR	Membrane
MICRO	Microwave
MIN	Minimum
MISC	Miscellaneous
MRDW	Moisture Resistant Dry Wall
MRGWB	Moisture-Resistant Gypsum Wall Board
MTL	Metal
MTR	Mortar
MTRL	Material

N	
NIC	Not In Contract
NO	Number
NOM	Nominal
O	
OC	On Center
OH	Opposite Hand
OPNG	Opening
OZ	Ounce
P	
PCC	Pre-Cast Concrete
PLUMB	Plumbing
PLAM	Plastic Laminate
PLUMB	Plumbing
PLYWD	Plywood
P&SH	Pole & Shelves / Shelf
PREFIN	Prefinished
PT	Pressure Treated
PNT	Paint or Painted
PVC	Polyvinyl Chloride
R	
RB	Rubber Base
RBR	Rubber
RCP	Reflected Ceiling Plan
RD	Roof Drain
REF	Refrigerator
REINF	Reinforced
REGD	Required
RM	Room
S	
SHTHG	Sheathing
SF	Sheet Flooring
SIM	Similar
SPEC	Specified OR Specification
SPK	Sprinkler or Speaker
SS	Stainless Steel
ST	Stain
STC	Sound Transmission Coefficient
STL	Steel
STRUCT	Structure or Structural

T	
T&G	Tongue And Groove
TELE	Telephone
TLT	Toler
TO	Top Of
TOC	Top Of Concrete
TOS	Top Of Steel
TPD	Toilet Paper Dispenser
TQD	Telephone/Data
TYP	Typical
U	
UNO	Unless Noted Otherwise
UIS	Underside
V	
VB	Vinyl Base
VCT	Vinyl Composition Tile
VERT	Vertical
VIF	Verify In Field
VP	Vision Panel
VWC	Vinyl Wall Covering
W	
WI	With
WD	Wood
WDW	Window

SYMBOL KEY

--- A ---	COLUMN GRID LINE. SEE STRUCTURAL DRAWINGS.	100A	DOOR NUMBER - SEE DOOR SCHEDULE.
ROOM NAME 100	ROOM NAME & NUMBER	A	WINDOW TYPE - SEE WINDOW SCHEDULE.
A200	ELEVATION TAG	NEW DOOR - SEE DOOR SCHEDULE	
1 A300	SECTION TAG	EXISTING DOOR - SEE DOOR SCHEDULE	
1 A100 / ROOM	DRAWING NAME	4 A400 2	INTERIOR ELEVATION TAG I.E. ELEVATION ON SHEET A400 DETAILS 1, 2, 3, 4
B	WALL TAG	1 A500	DETAIL TAG I.E. DETAIL 1 ON SHEET A500
8'-0"	HEIGHT TAG	T.O. FOUND = SPOT ELEVATION MARKER	

DRAWING ISSUE
REVIEW SET

DATE
11-9-22

PROJECT #
22065

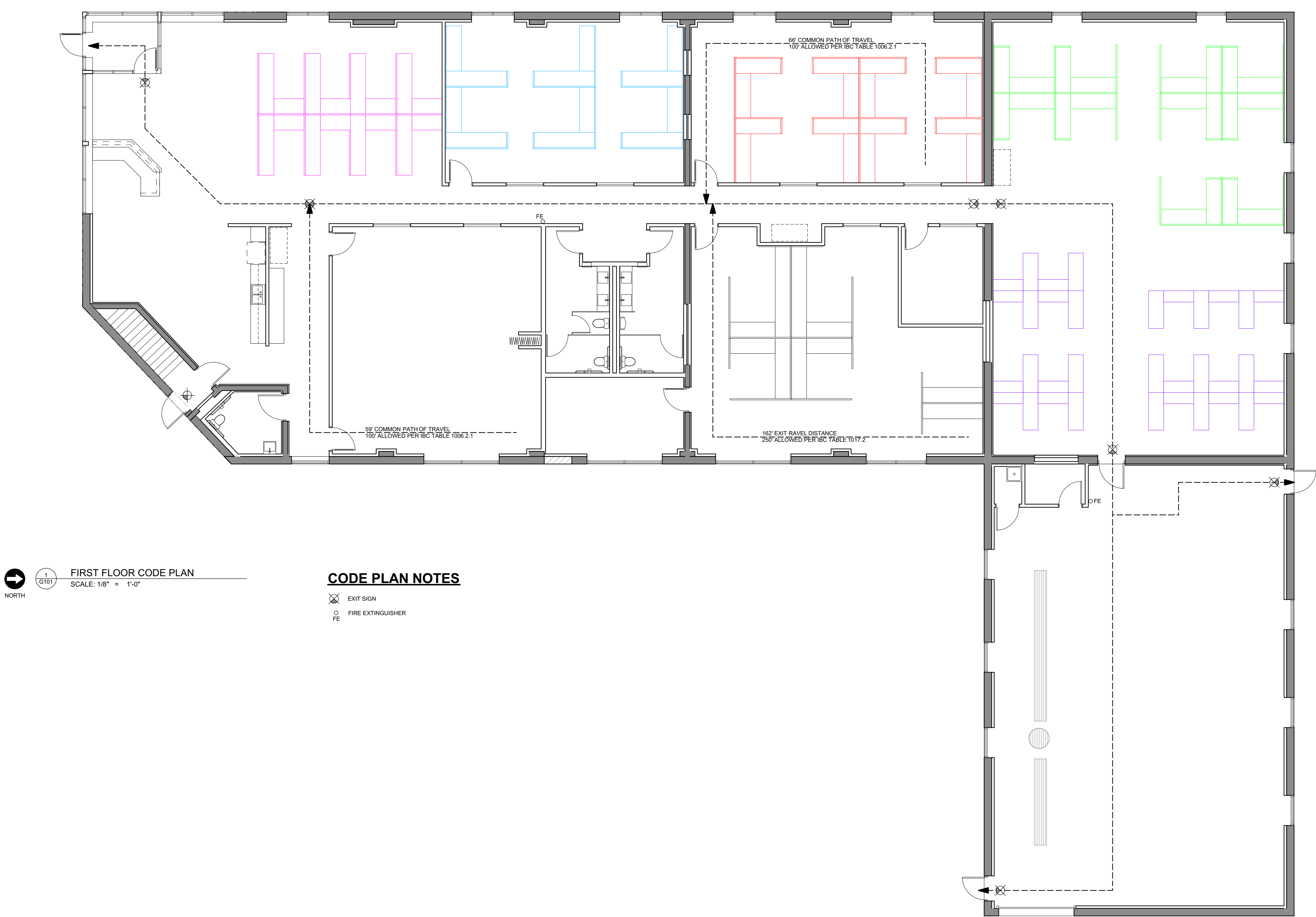
COVER SHEET

G100

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ARCHITECTURE /
DEVELOPMENT, S.C.

BUILDING CODE SUMMARY	
BASED ON THE	2015 INTERNATIONAL BUILDING CODE WITH WISCONSIN AMENDMENTS SPS 362 2015 INTERNATIONAL EXISTING BUILDING CODE WITH WISCONSIN AMENDMENTS SPS 366 ACCESSIBILITY CODE: 2009 ICC/ANSI A117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES ENERGY CODE: 2015 IECC INTERNATIONAL ENERGY CONSERVATION CODE WITH WISCONSIN AMENDMENTS SPS 363 MECHANICAL CODE: 2015 INTERNATIONAL MECHANICAL CODE WITH WISCONSIN AMENDMENTS SPS 364 PLUMBING CODE: 2014 WISCONSIN PLUMBING CODE SPS 381-387 ELECTRICAL CODE: 2011 NFPA 70 NATIONAL ELECTRICAL CODE WITH WISCONSIN AMENDMENTS SPS 316
ALTERATION TYPE	CHANGE OF USE M.S1 TO B,S1
ALTERATION AREA	11,500 SF
OCCUPANCY/USE	B - BUSINESS S - STORAGE
SPRINKLER SYSTEM	COMPLETE
CONSTRUCTION TYPE	TYPE IIIB
SEPERATION REQUIREMENT	NONE PER IBC TABLE 508.4
CORRIDOR RATING	NONE PER IBC TABLE 1020.1

	TOILETS		
	B1 OCCUPANCY = 115 PEOPLE 50/25 = 2 TOILETS 65/50 = 1.30 TOILETS	B1 OCCUPANCY MEN = 1.65 TOILETS WOMEN = 1.65 TOILETS	MENS TOILETS REQ 2 TOILET REQUIRED 2 PROVIDED WOMENS TOILETS REQ 2 TOILET REQUIRED 2 PROVIDED PLUS 1 UNISEX
	LAVATORIES		
	B1 OCCUPANCY = 115 PEOPLE 100/104 = 1.15 LAVS	B1 OCCUPANCY MEN = .58 LAVS WOMEN = .58 LAVS	MENS LAV REQ 1 LAV REQUIRED 2 PROVIDED WOMENS TOILETS REQ 1 LAV REQUIRED 2 PROVIDED



FIRST FLOOR CODE PLAN
SCALE: 1/8" = 1'-0"

CODE PLAN NOTES

- EXIT SIGN
- FIRE EXTINGUISHER



CITYSCAPE
ARCHITECTURE/
DEVELOPMENT, S.C.

13700 W. GREENFIELD AVE
BROOKFIELD, WI 53005
262-370-5865

www.cityscapearchitecture.com

CONSULTANTS:

LaCASA - WEATHERIZATION

735 PLEASANT STREET, WAUKESHA WI 53186

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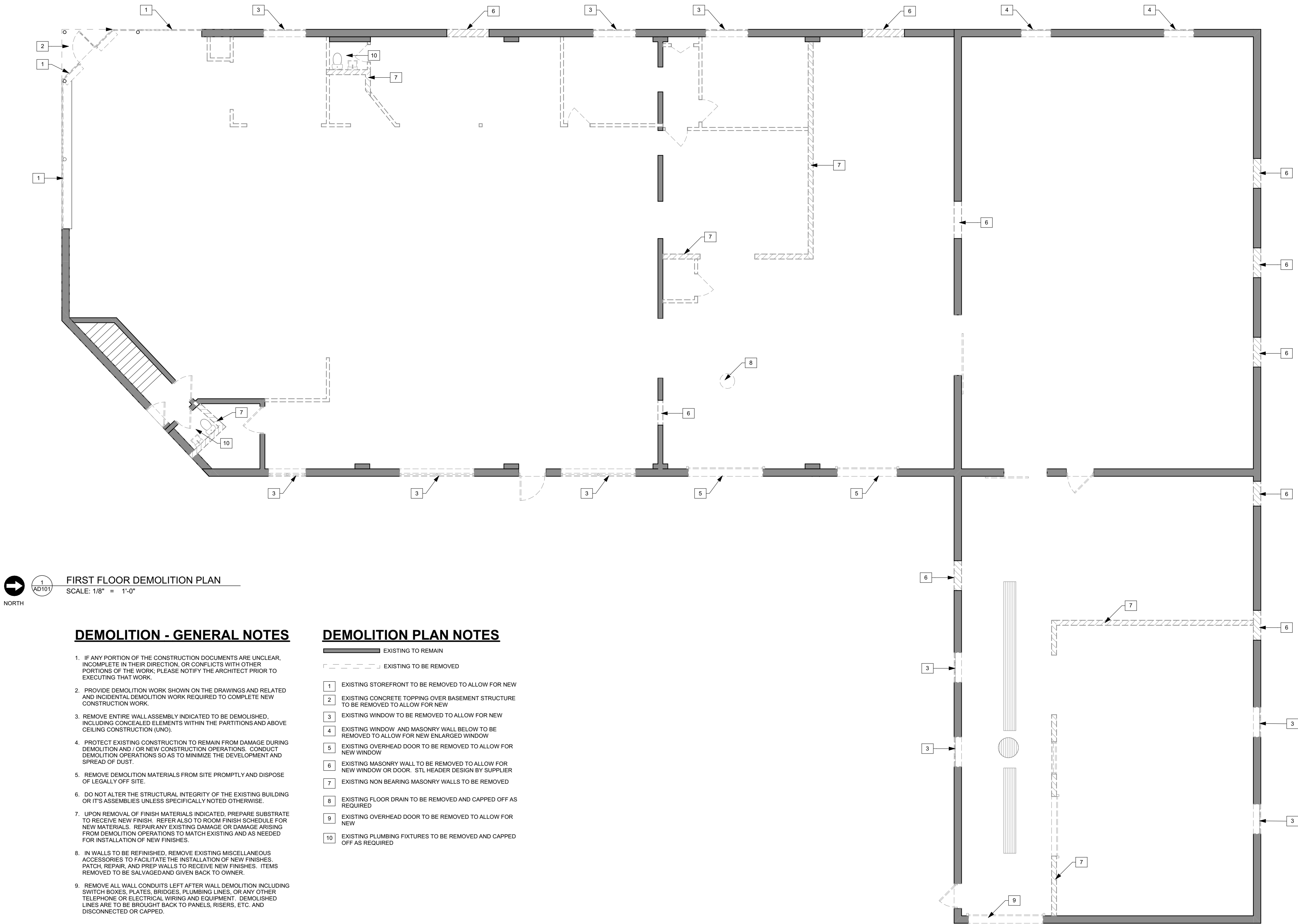
CODE PLANS

G101

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LaCASA - WEATHERIZATION

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FIRST FLOOR DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

DEMOLITION - GENERAL NOTES

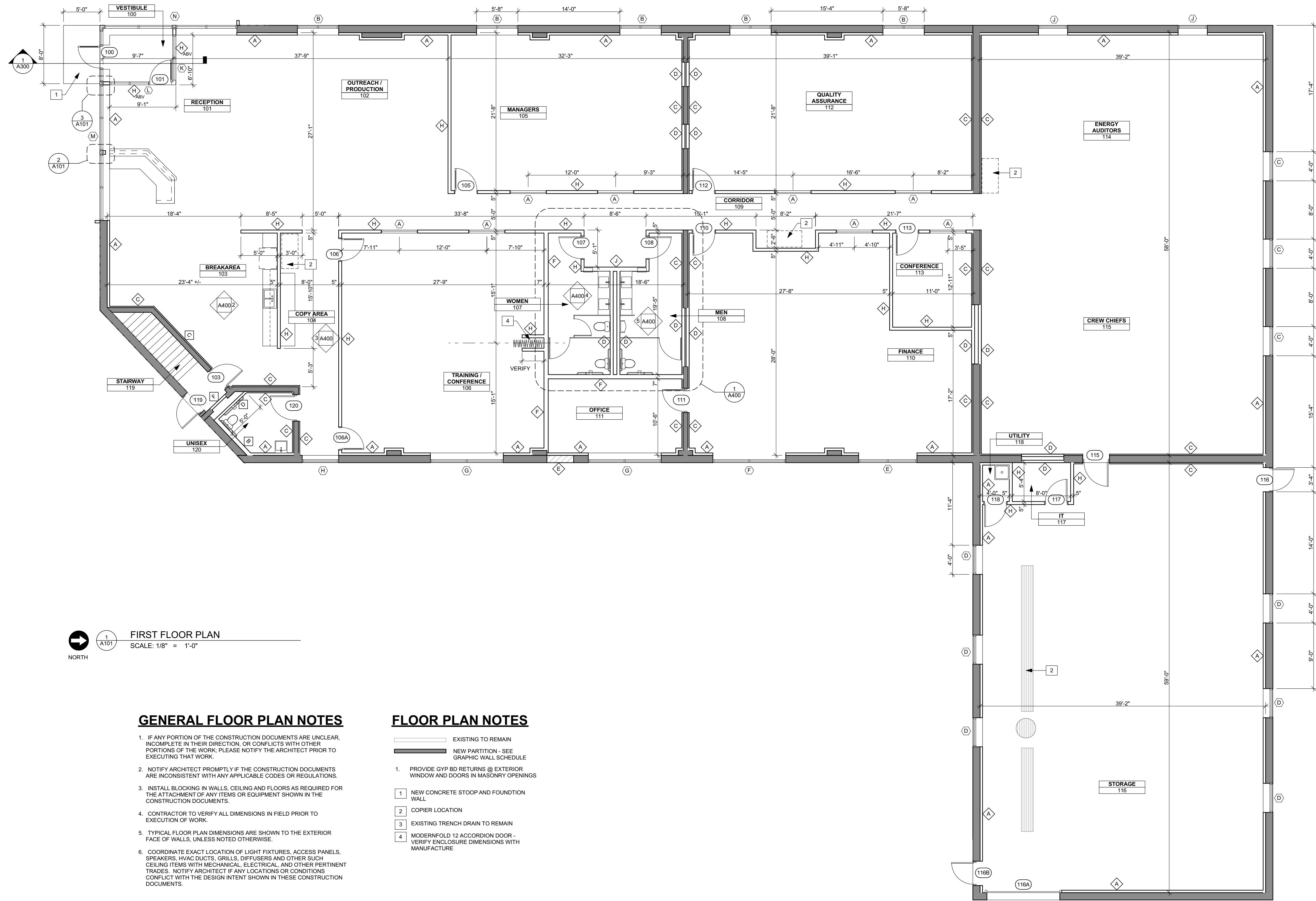
- IF ANY PORTION OF THE CONSTRUCTION DOCUMENTS ARE UNCLEAR, INCOMPLETE IN THEIR DIRECTION, OR CONFLICTS WITH OTHER PORTIONS OF THE WORK, PLEASE NOTIFY THE ARCHITECT PRIOR TO EXECUTING THAT WORK.
- PROVIDE DEMOLITION WORK SHOWN ON THE DRAWINGS AND RELATED AND INCIDENTAL DEMOLITION WORK REQUIRED TO COMPLETE NEW CONSTRUCTION WORK.
- REMOVE ENTIRE WALL ASSEMBLY INDICATED TO BE DEMOLISHED, INCLUDING CONCEALED ELEMENTS WITHIN THE PARTITIONS AND ABOVE CEILING CONSTRUCTION (UNO).
- PROTECT EXISTING CONSTRUCTION TO REMAIN FROM DAMAGE DURING DEMOLITION AND / OR NEW CONSTRUCTION OPERATIONS. CONDUCT DEMOLITION OPERATIONS SO AS TO MINIMIZE THE DEVELOPMENT AND SPREAD OF DUST.
- REMOVE DEMOLITION MATERIALS FROM SITE PROMPTLY AND DISPOSE OF LEGALLY OFF SITE.
- DO NOT ALTER THE STRUCTURAL INTEGRITY OF THE EXISTING BUILDING OR ITS ASSEMBLIES UNLESS SPECIFICALLY NOTED OTHERWISE.
- UPON REMOVAL OF FINISH MATERIALS INDICATED, PREPARE SUBSTRATE TO RECEIVE NEW FINISH. REFER ALSO TO ROOM FINISH SCHEDULE FOR NEW MATERIALS. REPAIR ANY EXISTING DAMAGE OR DAMAGE ARISING FROM DEMOLITION OPERATIONS TO MATCH EXISTING AND AS NEEDED FOR INSTALLATION OF NEW FINISHES.
- IN WALLS TO BE REFINISHED, REMOVE EXISTING MISCELLANEOUS ACCESSORIES TO FACILITATE THE INSTALLATION OF NEW FINISHES. PATCH, REPAIR, AND PREP WALLS TO RECEIVE NEW FINISHES. ITEMS REMOVED TO BE SALVAGED AND GIVEN BACK TO OWNER.
- REMOVE ALL WALL CONDUITS LEFT AFTER WALL DEMOLITION INCLUDING SWITCH BOXES, PLATES, BRIDGES, PLUMBING LINES, OR ANY OTHER. TELEPHONE OR ELECTRICAL WIRING AND EQUIPMENT. DEMOLISHED LINES ARE TO BE BROUGHT BACK TO PANELS, RISERS, ETC. AND DISCONNECTED OR CAPPED.

DEMOLITION PLAN NOTES

- EXISTING TO REMAIN
- EXISTING TO BE REMOVED
- EXISTING STOREFRONT TO BE REMOVED TO ALLOW FOR NEW
 - EXISTING CONCRETE TOPPING OVER BASEMENT STRUCTURE TO BE REMOVED TO ALLOW FOR NEW
 - EXISTING WINDOW TO BE REMOVED TO ALLOW FOR NEW
 - EXISTING WINDOW AND MASONRY WALL BELOW TO BE REMOVED TO ALLOW FOR NEW ENLARGED WINDOW
 - EXISTING OVERHEAD DOOR TO BE REMOVED TO ALLOW FOR NEW WINDOW
 - EXISTING MASONRY WALL TO BE REMOVED TO ALLOW FOR NEW WINDOW OR DOOR. STL HEADER DESIGN BY SUPPLIER
 - EXISTING NON BEARING MASONRY WALLS TO BE REMOVED
 - EXISTING FLOOR DRAIN TO BE REMOVED AND CAPPED OFF AS REQUIRED
 - EXISTING OVERHEAD DOOR TO BE REMOVED TO ALLOW FOR NEW
 - EXISTING PLUMBING FIXTURES TO BE REMOVED AND CAPPED OFF AS REQUIRED

LaCASA - WEATHERIZATION

735 PLEASANT STREET, WAUKESHA WI 53186



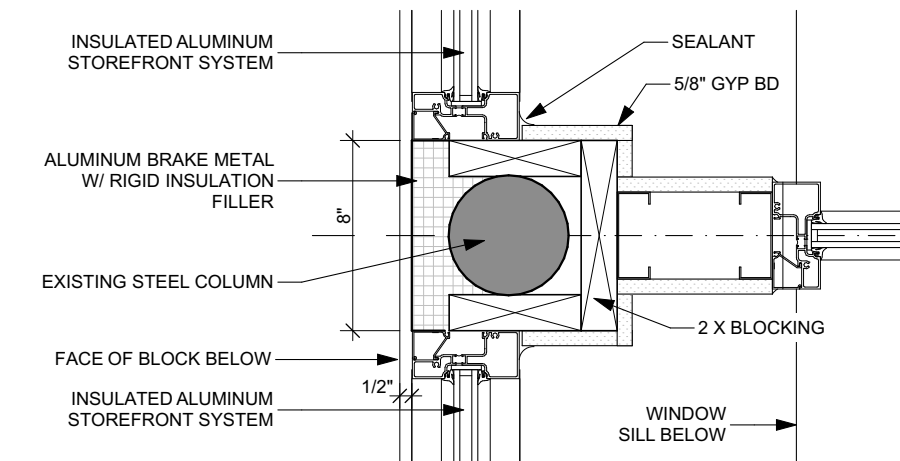
FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

GENERAL FLOOR PLAN NOTES

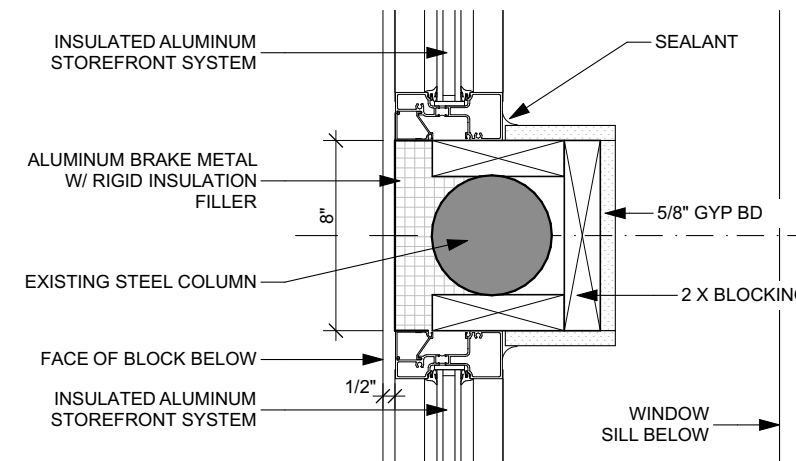
- IF ANY PORTION OF THE CONSTRUCTION DOCUMENTS ARE UNCLEAR, INCOMPLETE IN THEIR DIRECTION, OR CONFLICTS WITH OTHER PORTIONS OF THE WORK, PLEASE NOTIFY THE ARCHITECT PRIOR TO EXECUTING THAT WORK.
- NOTIFY ARCHITECT PROMPTLY IF THE CONSTRUCTION DOCUMENTS ARE INCONSISTENT WITH ANY APPLICABLE CODES OR REGULATIONS.
- INSTALL BLOCKING IN WALLS, CEILING AND FLOORS AS REQUIRED FOR THE ATTACHMENT OF ANY ITEMS OR EQUIPMENT SHOWN IN THE CONSTRUCTION DOCUMENTS.
- CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD PRIOR TO EXECUTION OF WORK.
- TYPICAL FLOOR PLAN DIMENSIONS ARE SHOWN TO THE EXTERIOR FACE OF WALLS, UNLESS NOTED OTHERWISE.
- COORDINATE EXACT LOCATION OF LIGHT FIXTURES, ACCESS PANELS, SPEAKERS, HVAC DUCTS, GRILLS, DIFFUSERS AND OTHER SUCH CEILING ITEMS WITH MECHANICAL, ELECTRICAL, AND OTHER PERTINENT TRADES. NOTIFY ARCHITECT IF ANY LOCATIONS OR CONDITIONS CONFLICT WITH THE DESIGN INTENT SHOWN IN THESE CONSTRUCTION DOCUMENTS.

FLOOR PLAN NOTES

- EXISTING TO REMAIN
 - NEW PARTITION - SEE GRAPHIC WALL SCHEDULE
- PROVIDE GYP BD RETURNS @ EXTERIOR WINDOW AND DOORS IN MASONRY OPENINGS
 - NEW CONCRETE STOOP AND FOUNDATION WALL
 - COPIER LOCATION
 - EXISTING TRENCH DRAIN TO REMAIN
 - MODERNFOLD 12 ACCORDION DOOR - VERIFY ENCLOSURE DIMENSIONS WITH MANUFACTURE.



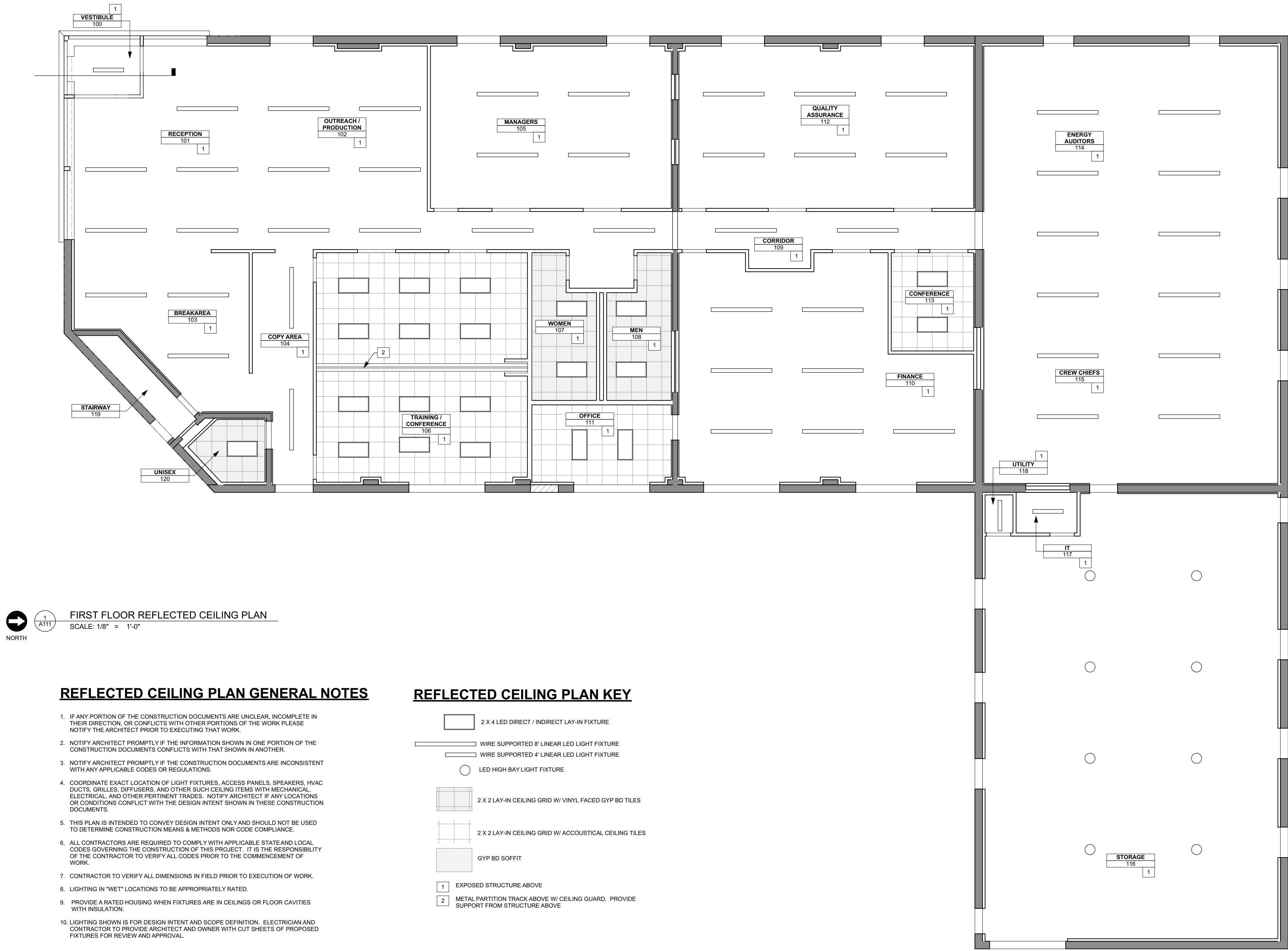
COLUMN COVER AT STOREFRONT
SCALE: 1 1/2" = 1'-0"

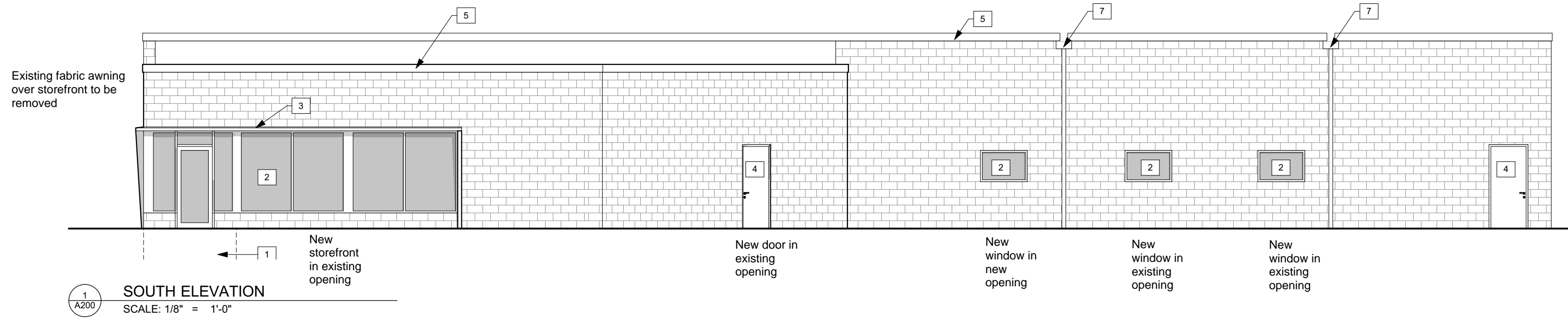


COLUMN COVER AT STOREFRONT
SCALE: 1 1/2" = 1'-0"

LaCASA - WEATHERIZATION

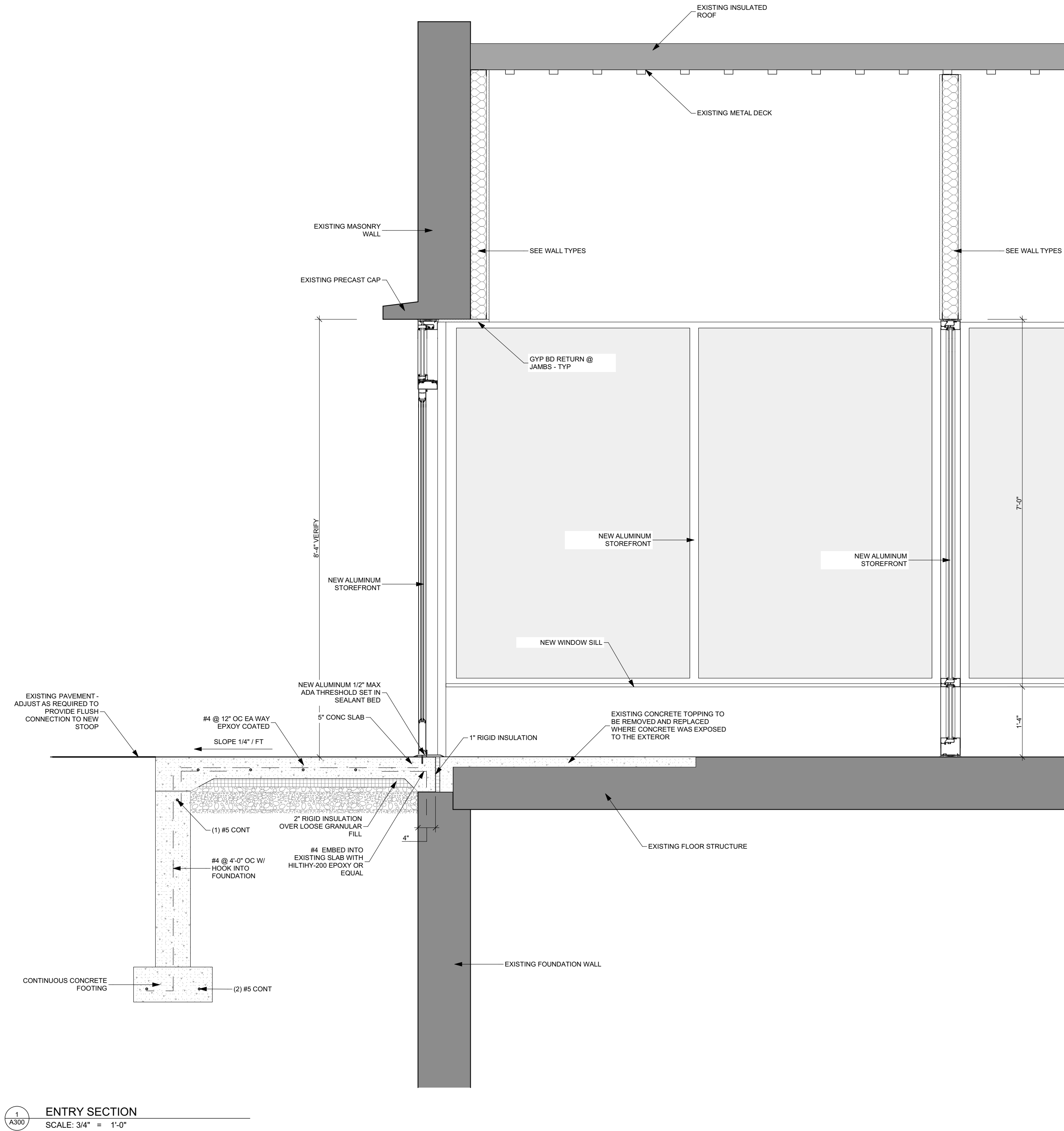
735 PLEASANT STREET, WAUKESHA WI 53186



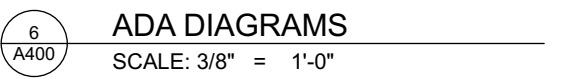
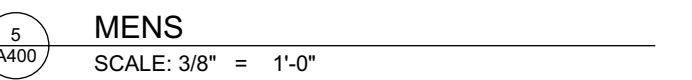
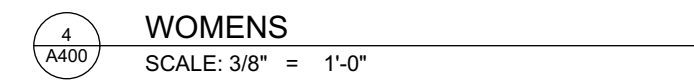
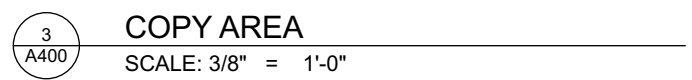
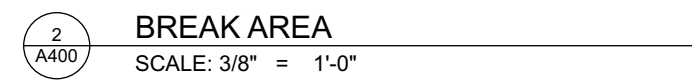


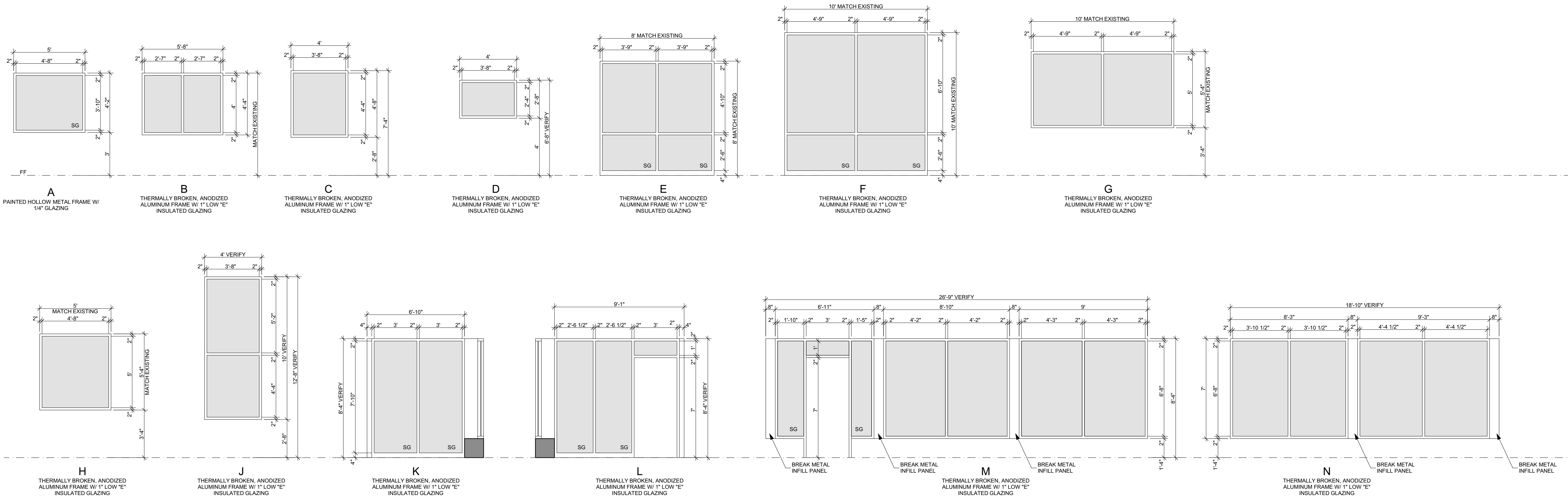
LaCASA - WEATHERIZATION

735 PLEASANT STREET, WAUKESHA WI 53186



1 ENTRY SECTION
SCALE: 3/4" = 1'-0"





GRAPHIC WINDOW SCHEDULE

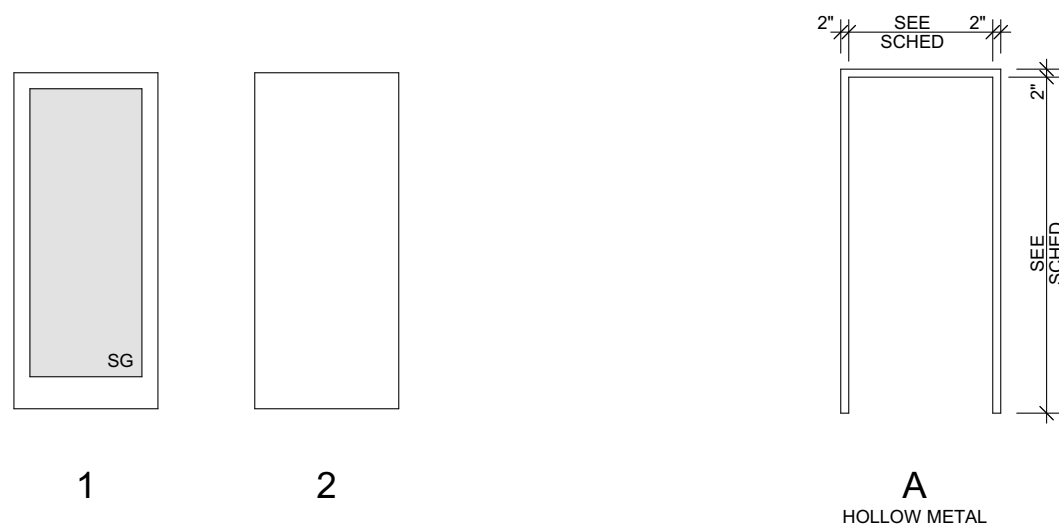
SCALE: 1/4" = 1'-0"

DOOR SCHEDULE

DOOR							FRAME				
ID	ROOM NAME	DOOR SIZE	TYPE	MATERIAL	FINISH	HDWR	TYPE	MATERIAL	FINISH	RATING	NOTES
100	VESTIBULE	3'-0" X 7'-0" X 1-3/4"	1	ALUM / GLASS	ANODIZED	1	*	ALUMINUM	ANODIZED		* SEE GRAPHIC WINDOW SCHEDULE - TYPE M
101	RECEPTION	3'-0" X 7'-0" X 1-3/4"	1	ALUM / GLASS	ANODIZED	2	*	ALUMINUM	ANODIZED		* SEE GRAPHIC WINDOW SCHEDULE - TYPE L
103	BREAK AREA	3'-0" X 7'-0" X 1-3/4"	2	SC WOOD	STAIN	3	A	HOLLOW METAL	PAINT	1 HR	VERIFY FRAME HEAD HEIGHT
105	MANAGERS	3'-0" X 7'-0" X 1-3/4"	1	SC WOOD/ GLASS	STAIN	4	A	HOLLOW METAL	PAINT		
106	TRAINING / CONF	3'-0" X 7'-0" X 1-3/4"	1	SC WOOD/ GLASS	STAIN	5	A	HOLLOW METAL	PAINT		
106A	TRAINING / CONF	3'-0" X 7'-0" X 1-3/4"	1	SC WOOD/ GLASS	STAIN	5	A	HOLLOW METAL	PAINT		
107	WOMEN	3'-0" X 7'-0" X 1-3/4"	2	SC WOOD	STAIN	6	A	HOLLOW METAL	PAINT		
108	MEN	3'-0" X 7'-0" X 1-3/4"	2	SC WOOD	STAIN	6	A	HOLLOW METAL	PAINT		
110	FINANCE	3'-0" X 7'-0" X 1-3/4"	1	SC WOOD/ GLASS	STAIN	4	A	HOLLOW METAL	PAINT		
111	OFFICE	3'-0" X 7'-0" X 1-3/4"	1	SC WOOD/ GLASS	STAIN	4	A	HOLLOW METAL	PAINT		
112	QUALITY ASSURANCE	3'-0" X 7'-0" X 1-3/4"	1	SC WOOD/ GLASS	STAIN	4	A	HOLLOW METAL	PAINT		
113	CONFERENCE	3'-0" X 7'-0" X 1-3/4"	1	SC WOOD/ GLASS	STAIN	5	A	HOLLOW METAL	PAINT		
115	CREW CHIEFS	3'-0" X 7'-0" X 1-3/4"	2	SC WOOD	STAIN	3	A	HOLLOW METAL	PAINT		VERIFY FRAME HEAD HEIGHT
116	STORAGE	3'-0" X 7'-0" X 1-3/4"	2	INSULATED METAL	PAINT	7	A	HOLLOW METAL	PAINT		VERIFY FRAME HEAD HEIGHT
116A	STORAGE	10'-0" X 14'-0"		INSULATED METAL	PREFINISHED						OVERHEAD DOOR VERIFY OPENING SIZE
116B	STORAGE	3'-0" X 7'-0" X 1-3/4"	2	INSULATED METAL	PAINT	7	A	HOLLOW METAL	PAINT		VERIFY FRAME HEAD HEIGHT
117	IT	3'-0" X 7'-0" X 1-3/4"	2	SC WOOD	STAIN	8	A	HOLLOW METAL	PAINT		
118	UTILITY	3'-0" X 7'-0" X 1-3/4"	2	SC WOOD	STAIN	5	A	HOLLOW METAL	PAINT		
119	STAIRWAY	3'-0" X 7'-0" X 1-3/4"	2	INSULATED METAL	PAINT	7	A	HOLLOW METAL	PAINT		VERIFY FRAME HEAD HEIGHT
120	UNISEX	3'-0" X 7'-0" X 1-3/4"	2	SC WOOD	STAIN	9	A	HOLLOW METAL	PAINT		

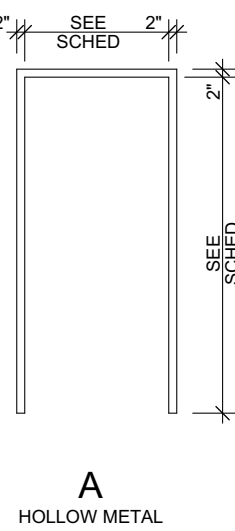
HARDWARE SCHEDULE NOTES:

- ENTRY LOCKSET, PUSH/PULL HARDWARE, CLOSER, DOOR STOP
- PUSH/PULL HARDWARE, CLOSER, DOOR STOP, MAG LOCK
- PASSAGE LOCKSET, LEVER HANDLES, DOOR STOP, CLOSER
- OFFICE LOCKSET, LEVER HANDLES, DOOR STOP
- PASSAGE LOCKSET, LEVER HANDLES, DOOR STOP
- PUSH/PULL HARDWARE, CLOSER, DOOR STOP
- ENTRY LOCKSET, LEVER HANDLES, CLOSER, DOOR STOP
- STORAGE LOCKSET, LEVER HANDLES, DOOR STOP
- PRIVACY LOCKSET, LEVER HANDLES, CLOSER, DOOR STOP



GRAPHIC DOOR SCHEDULE

SCALE: 1/4" = 1'-0"



GRAPHIC FRAME SCHEDULE

SCALE: 1/4" = 1'-0"

Flooring finishes	
Vestibule 100	Walk off carpet tile
Reception 101	Carpet tile
Outreach/Production 102	Carpet tile
Break Area 103	LVT
Copy Area 104	Carpet tile
Managers 105	Carpet tile
Training/Conference 106	Carpet tile
Womens 107	Ceramic tile, cut base, 5' on wet wall
Men 108	Ceramic tile, cut base, 5' on wet wall
Corridor 109	Carpet tile
Finance 110	Carpet tile
Office 111	Carpet tile
Quality Assurance 112	Carpet tile
Conference 113	Carpet tile
Energy Auditors 114	Carpet tile
Crew Chiefs 115	Carpet tile
Storage 116	Clean and degrease existing concrete
IT 117	LVT
Utility 118	Clean and degrease existing concrete
Stairway 119	Walk off carpet tile at top landing only
Unisex 120	Ceramic tile, cut base
All carpet and LVT locations to receive 4" vinyl base	
All transitions from carpet to LVT to be Schluter strip	



1 ENTRY VIEW
SCALE: 1:1.41



2 NORTH SIDE VIEW
SCALE: 1:1.31



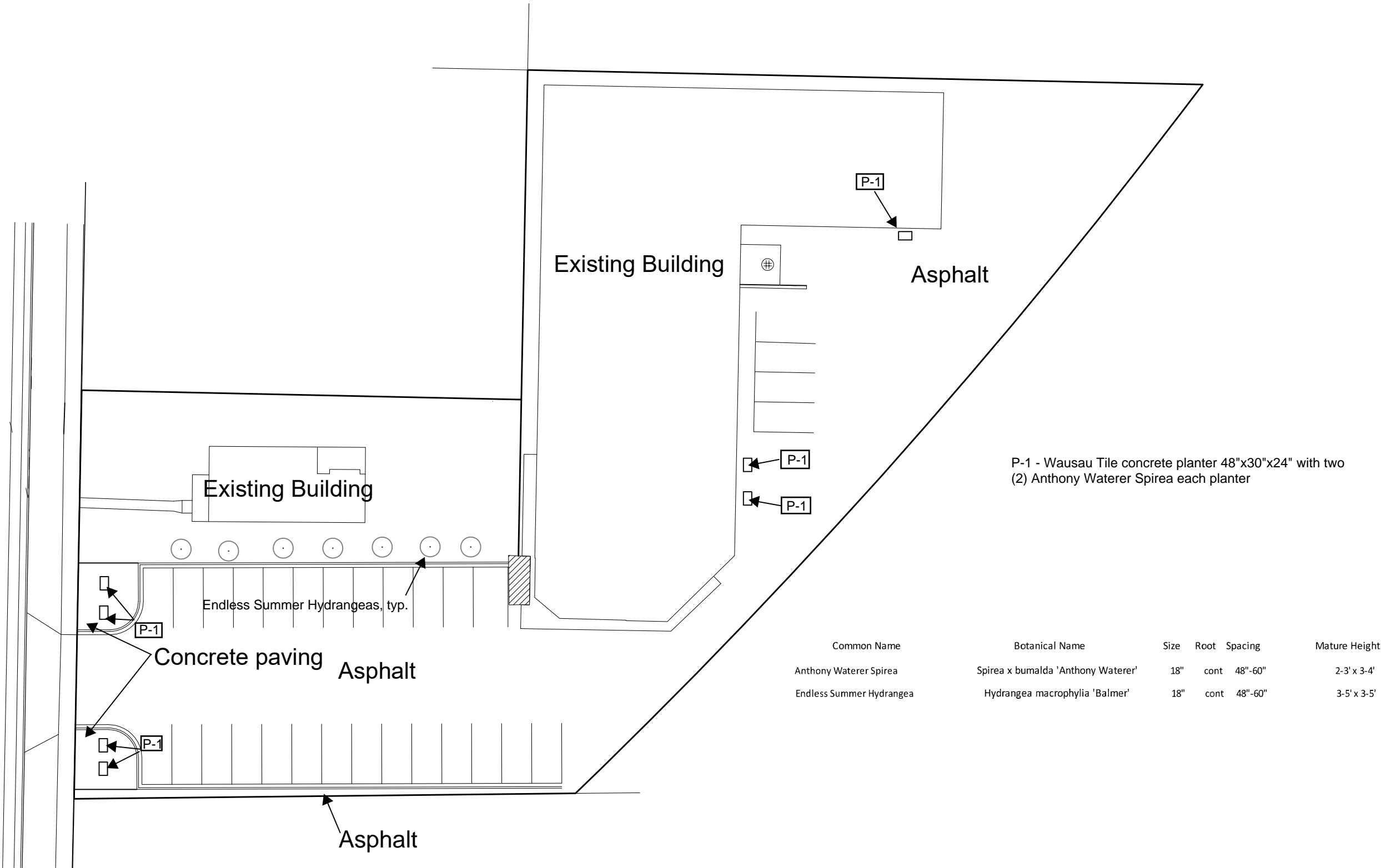
3 EAST SIDE VIEW
SCALE: 1:1.46



4 SOUTH SIDE VIEW
SCALE: 1:1.55



STIER CONSTRUCTION, INC.
N8W22915 JOHNSON DRIVE
SUITE 160
WAUKESHA, WI 53186
262-574-0306



P-1 - Wausau Tile concrete planter 48"x30"x24" with two
(2) Anthony Waterer Spirea each planter

Common Name	Botanical Name	Size	Root	Spacing	Mature Height
Anthony Waterer Spirea	Spirea x bumalda 'Anthony Waterer'	18"	cont	48"-60"	2-3' x 3-4'
Endless Summer Hydrangea	Hydrangea macrophylla 'Balmer'	18"	cont	48"-60"	3-5' x 3-5'

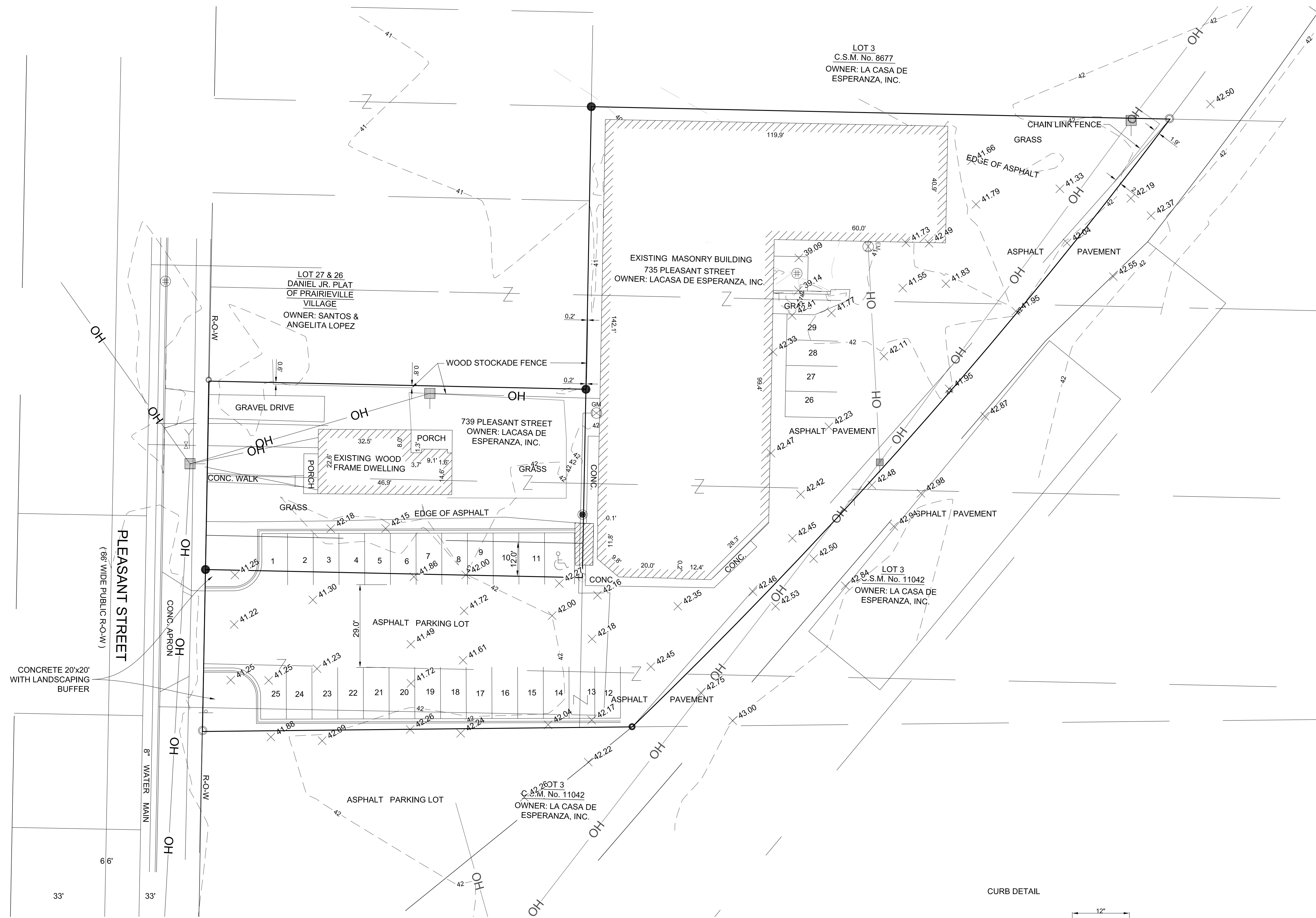
DESIGN FOR:

LaCasa de Esperanza
Weatherization
735 Pleasant St.
Waukesha, WI

PROPOSED SITE/GRADING PLAN

Parcel A, Legal Description:
The South 1/2 of Lot 26 and the North 1/2 of Lot 25 of Daniel Wells' Jr. Plat of Prairieville, n/k/a the City of Waukesha, Waukesha County, Wisconsin.
Address: 739 Pleasant Street, Waukesha, WI 53186
Tax Key No: WAKC 1302 320

Parcel B, Legal Description:
The South 1/2 of Lot 25 and all of Lots 50, 51, 52, 53, and 54 of Daniel Wells' Jr. Plat of Prairieville, n/k/a the City of Waukesha, Waukesha County, Wisconsin, excepting so much of said Lots as has been heretofore sold and conveyed to the Wisconsin Central Railroad Company.
Address: 735 Pleasant Street, Waukesha, WI 53186
Tax Key No: WAKC 1302 319



COPYRIGHT NOTICE

THIS DRAWING IS THE PROPERTY OF JAHNKE AND JAHNKE ASSOCIATES, LLC AND IS NOT TO BE USED FOR ANY PURPOSE OTHER THAN THE SPECIFIC PROJECT AND SITE NAMED HEREIN AND CANNOT BE REPRODUCED IN ANY MANNER WITHOUT THE EXPRESSED WRITTEN PERMISSION FROM JAHNKE AND JAHNKE ASSOCIATES, LLC.

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TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE
811 OR 1-800-242-8511 TOLL FREE
WIS STATUTE 182.0175(1974) REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE
MILW. AREA 1-414-259-1181

NOTE: The location and size of the underground structures and utilities shown hereon have been located to a reasonable degree of accuracy, but the Engineer and/or Surveyor does not guarantee their exact location or the location of others not shown. Contact Diggers Hotline, Inc., Etc.

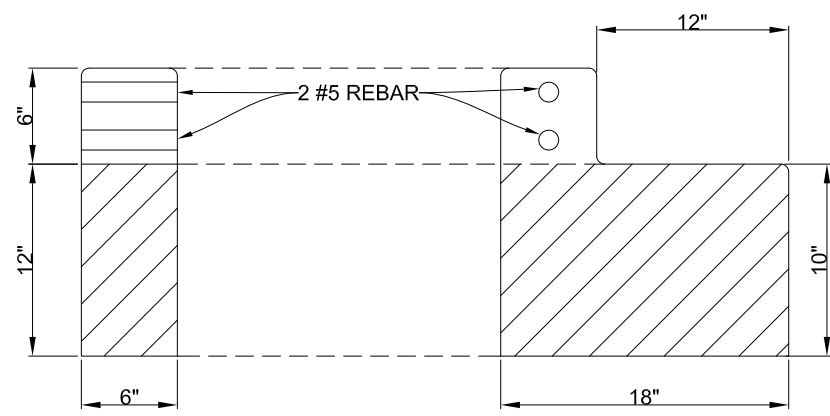
- LEGEND:**
- SECTION CORNER MONUMENT
 - EX. CHISELED CROSS FOUND
 - EX. IRON ROD FOUND
 - EX. IRON PIPE FOUND
 - EX. STORM MANHOLE
 - EX. CATCH BASIN ROUND
 - EX. CATCH BASIN SQUARE
 - EX. SIAMESE HYDRANT
 - EX. GAS VALVE
 - EX. AIR CONDITIONER
 - EX. ELECTRIC METER
 - EX. GAS METER
 - EX. ELECTRIC PEDESTAL
 - EX. TELEPHONE PEDESTAL
 - EX. CLEANOUT
 - EX. POWER POLE
 - EX. MAILBOX
 - EX. SANITARY MANHOLE
 - EX. UNKNOWN MANHOLE
 - EX. COMBINED SEWER MANHOLE
 - EX. ELECTRIC MANHOLE
 - EX. ELECTRIC TRANSFORMER
 - EX. TELEPHONE MANHOLE
 - EX. GUY WIRE
 - EX. LIGHT POLE
 - EX. SIGN
 - EX. BOLLARD (BOL)
 - EX. WATER VALVE
 - EX. OVERHEAD WIRES
 - EX. BUREAU OF ELECTRICAL SERVICES
 - EX. FENCE LINE
 - EX. COMMUNICATIONS
 - EX. TELEPHONE LINE
 - EX. GAS LINE
 - EX. FIBER OPTICS
 - EX. SANITARY SEWER (SAN)
 - EX. STORM SEWER (STO)
 - EX. WATER MAIN
 - EX. TREE LINE
 - UNDERGROUND COMBUSTIBLE GAS LINE
 - PRELIMINARY GRADE

- SURVEY NOTES:**
- Date of the Survey field work: 12/14/2022
 - Building lines, easements and other restrictions not shown herein, should refer to deed, title policy and local zoning ordinances.
 - All dimensions shown are in decimal feet, US survey units.
 - Legal description was obtained from the client which may not be current, accurate or complete. Review legal description and record measurements on this plat and at once report any apparent difference to the surveyor.
 - Utilities have not been certified, therefore the location and size of the underground structures and utilities shown hereon have been located to a reasonable degree of accuracy, but Jahnke & Jahnke Associates LLC does not guarantee their exact location or the location of others not shown. Contact Diggers Hotline, Inc., Etc.
 - Reference bearing is assumed unless noted.
 - No measurements are to be assumed by scaling.
 - Any comments, modifications, alterations and revisions to this Survey must be brought to our attention within 30 days from date of completion on this sheet.
 - To insure legitimacy of this Plat of Survey, it must carry the Embossed Corporate Seal of Jahnke & Jahnke Associates LLC.
 - Per scope of this survey, no improvements are shown.

NOTES:

PARKING STALLS:
29 STANDARD 1 HANDICAP

BENCHMARK:
ELEV. 43.38 TOP OF RR SPIKE IN POWER POLE
(CITY OF WAUKESHA DATUM)



STATE OF WISCONSIN } ss.
COUNTY OF WAUKESHA }

I CERTIFY, THAT THIS SURVEY WAS PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF, THAT HEREON DRAWN IS A REPRESENTATION OF SAME.

DATED AT WAUKESHA, WISCONSIN THIS 22ND DAY OF DECEMBER, 2022.

BY: *John R. Stigler*
JOHN R. STIGLER - WISCONSIN PROFESSIONAL LAND SURVEYOR NO. S-1820

W
N
E
S

SCALE IN FEET
0 20'

BY:

REVISIONS
DESCRIPTION
DATE

CHECKED BY: JRS
BOOK NO.: BK-WAUK 204 PG: 1-5

DRAWN BY: JB
JOB NO.: 22-0764

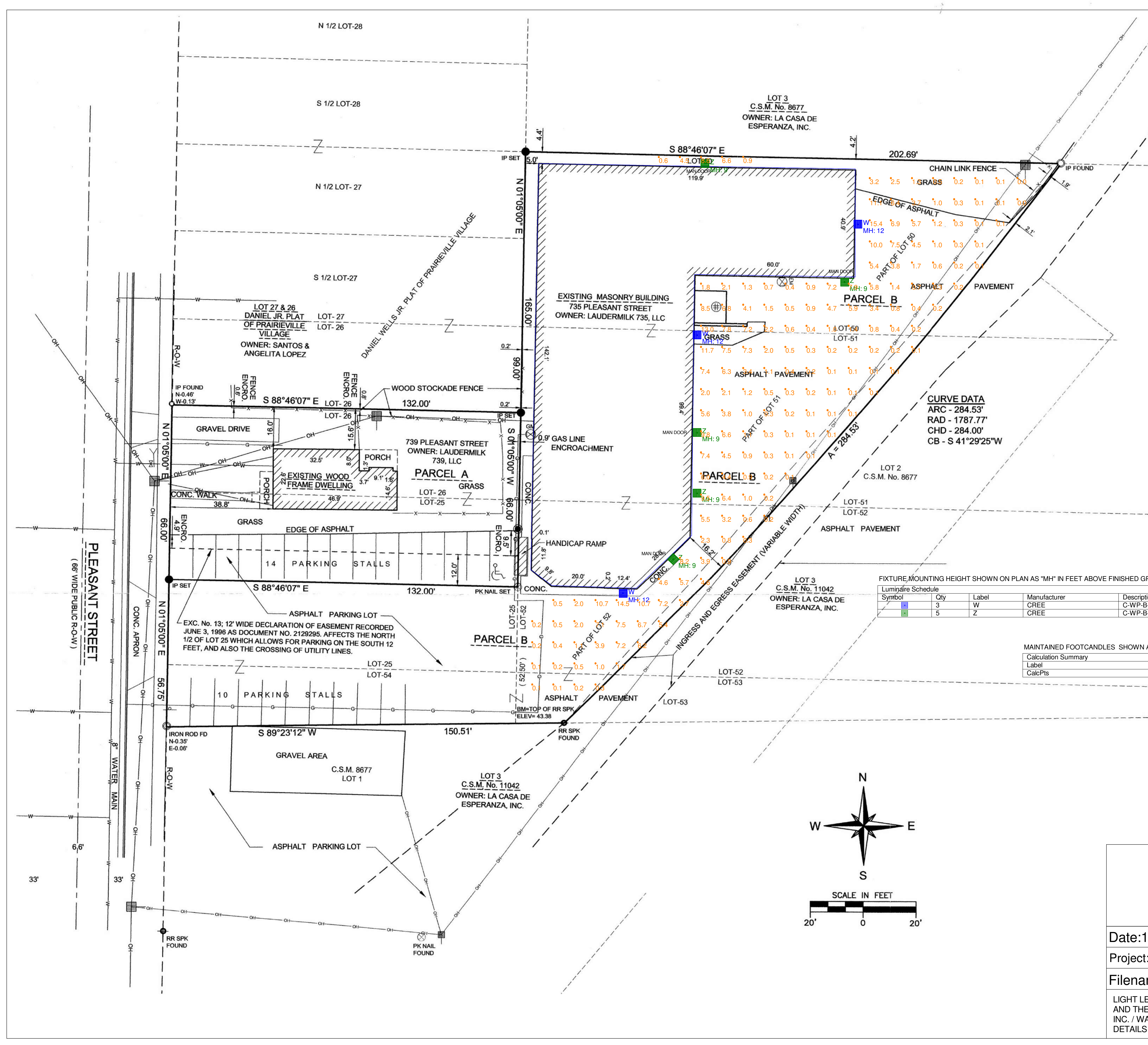
PROJECT
LACASA DE ESPERANZA, INC.
735 PLEASANT STREET,
WAUKESHA, WI 53186

CLIENT
STIER CONSTRUCTION
SUITE 160 WAUKESHA, WI 53186

JAHNKE & JAHNKE
ASSOCIATES, LLC
ENGINEERS • PLANNERS • SURVEYORS
CONNECT ► EMPOWER ► DESIGN
WWW.JAHNKEANDJAHNKE.COM
524 BLUEMOUND ROAD, WAUKESHA, WI 53188
PHONE: (262) 542-5797 EMAIL: SURVEY@JAHNKEANDJAHNKE.COM

SHEET: 1 OF 1

FILE NAME: S:\projects\58484\dwg\22-0764.dwg



Luminaire Schedule						LLF		
Symbol	Qty	Label	Manufacturer	Description				
W	3	W	CREE	C-WP-B-RDC-10L-50K-DB	0.890	76.2	10634	
Z	5	Z	CREE	C-WP-B-RDC-3L-50K-DB	0.890	23	3207	

Calculation Summary						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPis	Fc	2.75	15.4	0.0	N.A.	N.A.



4606 N. 132ND STREET
BUTLER, WI 53007
(262) 783-7700
WISCONSIN 800-244-6671
FAX (262) 790-8935

CONTRACTORS - ENGINEERS

Date:12/13/2022

Scale: 1"=20'

0 10 20

Layout By: Andy

Project: LACASA WEATHERIZATION EXTERIOR - WAUKESHA, WI

Filename: 221212CE1AKCR1.AGI

LIGHT LEVELS SHOWN ARE STRICTLY FOR PURPOSES OF ESTIMATING BILL OF MATERIALS AND THE RESULTS ARE BASED ON PROJECT DETAILS GIVEN TO ENGINEERED REPRESENTATION INC. / WALLOCK DAVIES & COMPANY LLC. BEFORE OCCUPANCY OF SPACE. ALL PROJECT DETAILS AND LIGHT LEVELS SHOULD BE VERIFIED TO COMPLY WITH SAFETY AND MUNICIPAL CODES.

C-WP-B-RDC Series

Cutoff LED Wall Pack

Replaces up to 400W PSMH

C-LITE
LED LIGHTING

OFF THE WALL SAVINGS

Our cULus listed C-Lite Cutoff LED Wall Pack delivers up to 21,100 lumens and is available in 4000K and 5000K. It's dimmable, for maximum energy savings, and comes with a 5-year limited warranty. It also comes with a DLC Premium 5.1 Listing.



PRODUCT SPECIFICATIONS

OVERVIEW

- Initial Delivered Lumens: 1500 - 21,000 Lumens
- CRI: ≥ 70
- CCT: 4000K, 5000K
- Mounting height: 12 - 25 feet
- Input Power: 12W/22W/47W/77W/144W
- Dimmable: Yes, 0-10V
- Operating Temperature Range: -40°F to 104°F (-40°C to 40°C)
- Estimated L70 Lifetime @ 25°C: > 100,000 hours
- Power Factor: > 0.9
- Total Harmonic Distortion: < 20%
- Limited Warranty: 5 Years*
- Replaces up to 400 PSMH