

City of Waukesha Application for Development Review

Last Revision
Date:
Dec. 2019

City of Waukesha Community Development Department - 201 Delafield Street, Suite 200, Waukesha, WI 53188 262-524-3750
City of Waukesha Department of Public Works Engineering Division—130 Delafield Street, Waukesha, WI 53188 262-524-3600
www.waukesha-wi.gov

APPLICANT INFORMATION

Applicant Name: C/O BONNIE WOSCIK
Applicant Company Name: SALEM UNITED METHODIST
Address: 541 S.T.H. 59
City, State: WAUKESHA, WI Zip: 53186
Phone: 262-751-1590
E-Mail: bonnie.pool2001@yahoo.com

ARCHITECT/ENGINEER/SURVEYOR INFORMATION

Name: BRAD KROPP
Company Name: PERSPECTIVE DESIGN, INC.
Address: 11525 W. NORTH AVE.
City, State: WAUWATOSA, WI Zip: 53226
Phone: 414-302-1780 x202
E-Mail: bkropp@pdi-grch.com

PROPERTY OWNER INFORMATION

Applicant Name: SAME AS APPLICANT
Applicant Company Name: _____
Address: _____
City, State: _____ Zip: _____
Phone: _____
E-Mail: _____

PROJECT & PROPERTY INFORMATION

Project Name: SALEM UNITED METHODIST CHURCH
Property Address: 541 STH 59
Tax Key Number(s): WAKC1342998
Zoning: I-1
Total Acreage: Exst. 23.19 Existing Building Square Footage: Exst. 14,350 SF
Proposed Building/Addition Square Footage: N/A
Current Use of Property: CHURCH

PROJECT SUMMARY (Please provide a brief project description.)

MINOR FACADE (DOOR & WINDOW) MODIFICATIONS FOR NEW PATIO. ALTERNATIVES TO HVAC DESIGN TO PROVIDE A/C TO THE BLDG.

All submittals require a complete scaled set of digital plans (Adobe PDF) and shall include a project location map showing a 1/2 mile radius, a COLOR landscape plan, COLOR building elevation plans, and exterior lighting photometric maps and cut sheets. A pre-application meeting is required prior to submittal of any applications for Subdivisions, Planned Unit Developments, and Site and Architectural Plan Review. **The deadline for all applications requiring Plan Commission Reviews is Monday at 4:00 P.M, 30 days prior to the meeting date. The Plan Commission meets the Fourth Wednesday of each month.**

APPLICATION ACKNOWLEDGEMENT AND SIGNATURES

I hereby certify that I have reviewed the City of Waukesha Development Handbook, City Ordinances, Submittal Requirements and Checklists and have provided one PDF of all required information. Any missing or incomplete information may result in a delay of the review of your application. By signing this I also authorize The City of Waukesha or its agents to enter upon the property for the purpose of reviewing this application.

Applicant Signature: Brad Kropp (agent)
Applicant Name (Please Print): BRAD KROPP
Date: 7-24-20

For Internal Use Only:

Amount Due (total from page 2): _____ Amount Paid: _____ Check #: _____
Trakit ID(s) _____ Date Paid: _____

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TYPE OF APPLICATION & FEES (CHECK ALL THAT APPLY) Please note that each application type has different submittal requirements. Detailed submittal checklists can be found in Appendix A of the Development Handbook.

FEES

Plan Commission Consultation **\$200**

Traffic Impact Analysis

Commercial, Industrial, Institutional, and Other Non-Residential **\$480**

Residential Subdivision or Multi-Family **\$480**

Resubmittal (3rd and all subsequent submittals) **\$480**

ONE OF THE THREE FOLLOWING ITEMS IS REQUIRED FOR SITE PLAN & ARCHITECTURAL REVIEWS (*):

* **Preliminary Site Plan & Architectural Review**

Level 1: Buildings/additions less than 10,000 sq.ft. or sites less than 1 acre **\$2,200**

Level 2: Buildings/additions between 10,001-50,000 sq.ft. or sites between 1.01 and 10 acres **\$2,320**

Level 3: Buildings/additions between 50,001-100,000 sq.ft. or sites between 10.01 and 25 acres **\$2,440**

Level 4: Buildings/additions over 100,001 sq.ft. or sites greater than 25.01 acres. **\$2,560**

Resubmittal Fees (after 2 permitted reviews) **\$750**

* **Final Site Plan & Architectural Review**

Level 1: Buildings/additions less than 10,000 sq.ft. or sites less than 1 acre **\$1,320**

Level 2: Buildings/additions between 10,001-50,000 sq.ft. or sites between 1.01 and 10 acres **\$1,440**

Level 3: Buildings/additions between 50,001-100,000 sq.ft. or sites between 10.01 and 25 acres **\$1,560**

Level 4: Buildings/additions over 100,001 sq.ft. or sites greater than 25.01 acres. **\$1,680**

Resubmittal Fees (3rd and all subsequent submittals) **\$750**

* **Minor Site Plan & Architectural Review (total site disturbance UNDER 3,000 total square feet)**

Projects that do not require site development plans **\$330**

Resubmittal Fees (3rd and all subsequent submittals) **\$330**

Certified Survey Map (CSM)

1-3 Lots **\$500**

4 lots or more **\$560**

Resubmittal (3rd and all subsequent submittals) **\$180**

Extra-territorial CSM **\$260**

Preliminary Subdivision Plat (Preliminary Site Plan Review is also required.)

Up to 12 lots **\$1,270**

13 to 32 lots **\$1,390**

36 lots or more **\$1,510**

Resubmittal (3rd and all subsequent submittals) **\$630**

Final Subdivision Plat (Final Site Plan Review is also required.)

Up to 12 lots **\$660**

13 to 32 lots **\$780**

36 lots or more **\$900**

Resubmittal (3rd and all subsequent submittals) **\$480**

Extra-territorial Plat **\$540**

Rezoning and/or Land Use Plan Amendment

Rezoning **\$630**

Land Use Plan Amendment: **\$630**

Conditional Use Permit

Conditional Use Permit with no site plan changes **\$480**

Conditional Use Permit with site plan changes **\$480** plus applicable preliminary and final site plan fees above

Planned Unit Development or Developer's Agreement (Site Plan Review is also required)

New Planned Unit Development or Developer's Agreement **\$1,760**

Planned Unit Development or Developer's Agreement Amendment **\$610**

Annexation **NO CHARGE**

House/Building Move **\$150**

Street or Alley Vacations **\$150**

TOTAL APPLICATION FEES:

\$ 330.00

330.00

FINAL SITE PLAN & ARCHITECTURAL REVIEW PLAN SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

Final site and architectural plans are submitted only after the Plan Commission has approved Preliminary Site Plans for any new residential development with 4 or more units and all non-residential developments, including modifications to existing developments. Some projects may bypass Preliminary approval but only if it is determined by City staff in the Pre-Application meeting.

Review Time: Approximately 30 days (45 if Common Council review is needed)

Reviewing Departments: Community Development Planning Division, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission. Common Council and Board of Public Works review may be required for certain projects.

In addition to this application and corresponding application fee you will also need:

- One (1) digital (PDF) that includes of items listed below
 - Cover letter outlining project details.
 - Color architectural elevations of all sides of the building and color perspective renderings
 - Landscape Plan (see Attachment I: Landscape Plan Checklist)
 - Attachment A: Development Review Checklist
 - Site Plan (see Attachment B: Engineering Plan Checklist)
 - Grading Plan (see Attachment C: Site Grading and Drainage Plan Checklist)
 - Stormwater Management Plan (see Attachment D: Stormwater Management Plan Checklist)
 - Utility Plans (see Attachment H: Sewer Plan Review Checklist)

MINOR SITE PLAN & ARCHITECTURAL REVIEW SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

Minor Site and Architectural review is intended for projects that may not need the extensive submittal requirements for Preliminary and Final Site Plan approval. Projects that qualify for Minor Site Plan submittal may include landscape, façade and building changes or minor site modifications that don't result in the addition of impervious surface.

Review Time: Approximately 30 days (45 if Common Council review is needed)

Reviewing Departments: Community Development Planning Division, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission. Common Council and Board of Public Works review may be required for certain projects.

In addition to this application and corresponding application fee you will also need:

- One (1) digital (PDF) that includes of items listed below
 - Cover letter outlining project details.
 - Architectural elevations of all sides of the building being modified
- In addition, depending on the type of project, you may also need the following items:
 - Site Plan (see Attachment B: Engineering Plan Checklist)
 - Landscape Plan (see Attachment I: Landscape Plan Checklist)

CERTIFIED SURVEY MAP SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

A Certified Survey Map may be used to divide up to eight (8) lots in Commercial, Industrial, and Mixed Use zoning districts and up to four (4) lots in all other zoning districts.

Review Time: Approximately 45-60 days. An extension letter will be required if the approval process will take more than 90 days.

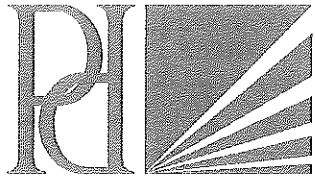
Reviewing Departments: Community Development Planning Division, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission. Common Council and Board of Public Works review may be required for certain projects.

In addition to this application and corresponding application fee you will also need:

- One (1) digital (PDF) that includes of items listed below
 - Attachment E: Certified Survey Map Checklist
 - Attachment A: Development Review Checklist and other attachments as applicable.

**Please note If any exterior architectural, landscape, or site plan changes are required you must also go through Site Plan Review and meet all of those submittal requirements.*



PERSPECTIVE
DESIGN, INC.

11525 W. North Avenue
Wauwatosa, WI 53226
Tel (414) 302-1780 Fax (414) 302-1781

July 24, 2020

City of Waukesha
Community Development Department
201 Delafield Street, Ste 200
Waukesha, WI 531888

Project: Salem United Methodist Church
541 S.T.H. 59
Waukesha, WI 53186

Dear Staff / Plan Commission Members,

Thank you for allowing Perspective Design (PDI) to present the following proposal for minor site and architectural modifications for Salem United Methodist Church.

Please review the description of the proposed work provided below:

- Scope of Project:
 - The church is in the process of taking on some overall finish and decor upgrades to their facility, which will also include accessibility upgrades to the sanctuary and toilet room. As part of that process there are a couple elements which require modifications to the building façade / site.
 - The church has been working with New Perspective Senior Living who is providing a sidewalk and patio to provide access from the new development to the church. As part of that work the church is proposing a new aluminum storefront entry door, to match the existing, on the north elevation to provide closer access to New Perspective Senior Living.
 - The toilet room remodeling will require the infill of a single window on the north elevation with stone veneer, to match the existing.
 - The church is exploring options to provide air conditioning through-out the facility, which are being priced separately to see if all or any will be within their budget.
 - Air conditioning in the sanctuary is being proposed as on-grade units that will be ducted behind the existing overhang and vented into the sanctuary. The duct work will be hidden with new soffit installed between the overhang and building. This system will also replace the hopper windows that were the original ventilation for the sanctuary and be replaced with in-fill wall construction. The units will be screened with stained lattice fence to match existing.
 - Air Conditioning for the Narthex, Business Areas, and Fellowship Area is being proposed as separate roof top units with duct work supply drops into the building.

If necessary, Perspective Design would be willing to answer any questions or concerns regarding this project.

Sincerely,

Brad Kropp
Senior Project Manager
Perspective Design, Inc.
Tele: (414) 302-1780