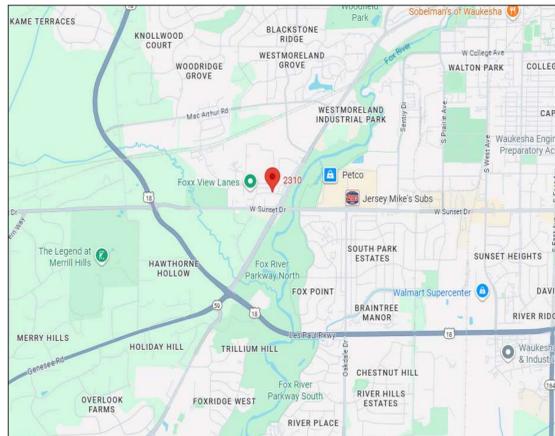


# FOX DEN II

2310 FOX RUN BLVD  
WAUKESHA, WI 53188

OWNER	GENERAL CONTRACTOR	PROJECT ARCHITECT	STRUCTURAL ENGINEER	CIVIL ENGINEER	COLD FORM METAL FRAMING ENGINEER
FOX RUN 3, LLC 19035 W CAPITOL DR, SUITE 108 BROOKFIELD, WI 53045	VJS CONSTRUCTION SERVICES W233 N2847 ROUNDY CIRCLE WEST PEWAUKEE, WI 53072 P: 262.542.9000 VJSCS.COM	BRIAN GRIEBL, AIA VJS CONSTRUCTION SERVICES W233 N2847 ROUNDY CIRCLE WEST PEWAUKEE, WI 53072 P: 262.542.9000 VJSCS.COM	SPIRE ENGINEERING, INC. 305 N PLANKINTON AVE STE 101 MILWAUKEE, WI 53203 P: 414.278.9200	PINNACLE ENGINEERING GROUP 20725 WATERTOWN RD WAUKESHA, WI 53186 P: 262.754.8888	ADAM HEDTCKE, P.E., S.E. LSF ENGINEERING LLC 20355 WEIHERBERRY COURT BROOKFIELD, WI 53045 P: 262.352.3229

TITLE	PRELIMINARY DESIGN	SCHEMATIC DESIGN	DESIGN DEVELOPMENT	PERMITS	CONSTRUCTION
T1.01	TITLE SHEET				
<b>CIVIL</b>					
C-1	CIVIL COVER SHEET				
C-2	CIVIL EXISTING SITE PLAN				
C-3	CIVIL PROPOSED SITE PLAN				
C-4	CIVIL GRADING PLAN				
C-5	CIVIL EROSION CONTROL PLAN				
C-6	CIVIL UTILITY PLAN				
C-7	CIVIL CONSTRUCTION DETAILS				
C-8	TRAFFIC CONTROL PLAN				
L-1	LANDSCAPE OVERVIEW				
L-2	LANDSCAPE ENLARGEMENT				
L-3	LANDSCAPE ENLARGEMENT				
L-4	LANDSCAPE GENERAL NOTES + DETAILS				
E501	EXTERIOR LIGHTING LAYOUT				
E502	EXTERIOR LIGHTING LAYOUT				
E503	EXTERIOR LIGHTING LAYOUT				
<b>ARCHITECTURAL</b>					
A0.01	STANDARD MOUNTING HEIGHTS & CLEARANCES				
A0.02	CODE PLANS & ANALYSIS				
A0.03	CODE PLANS & ANALYSIS				
A0.04	WALL TYPES & ASSEMBLIES				
A1.00	LOWER LEVEL PLAN				
A1.01	FIRST FLOOR PLAN				
A1.02	SECOND FLOOR PLAN				
A1.03	THIRD FLOOR PLAN				
A1.04	ROOF PLAN				
A1.05	AMENITY SPACES				
A1.06	UNIT PLANS - TYPE A				
A1.07	UNIT PLANS - STUDIO				
A1.08	UNIT PLANS - 1 BED				
A1.09	UNIT PLANS - 1 BED				
A1.10	UNIT PLANS - 2 BED				
A1.11	UNIT PLANS - 2 BED				
A1.12	UNIT PLANS - 3 BED				
A1.20	LOWER LEVEL REFLECTED CEILING PLAN				
A1.21	FIRST FLOOR REFLECTED CEILING PLAN				
A1.22	SECOND FLOOR REFLECTED CEILING PLAN				
A1.23	THIRD FLOOR REFLECTED CEILING PLAN				
A1.25	AMENITY SPACE REFLECTED CEILING PLAN				
A1.26	UNIT PLANS - TYPE A - REFLECTED CEILING PLAN				
A1.27	UNIT PLANS - STUDIO - REFLECTED CEILING PLAN				
A1.28	UNIT PLANS - 1 BED - REFLECTED CEILING PLAN				
A1.30	UNIT PLANS - 2 BED - REFLECTED CEILING PLAN				
A1.31	UNIT PLANS - 2 BED - REFLECTED CEILING PLAN				
A1.32	UNIT PLANS - 3 BED - REFLECTED CEILING PLAN				
A2.01	EXTERIOR ELEVATIONS				
A2.02	EXTERIOR ELEVATIONS				
A3.01	BUILDING SECTIONS				
A3.02	BUILDING SECTIONS				
A3.11	WALL SECTIONS				
A3.12	WALL SECTIONS				
A3.13	WALL SECTIONS				
A3.14	WALL SECTIONS				
A5.01	ENLARGED ELEVATOR/STAIR PLANS & SECTIONS				
A5.02	ENLARGED ELEVATOR/STAIR PLANS & SECTIONS				
A5.03	ENLARGED ELEVATOR/STAIR PLANS & SECTIONS				
A8.01	FINISH & ROOM SCHEDULES				
A8.02	DOOR SCHEDULE				
A8.03	DOOR & FRAME TYPES				
A9.01	FINISH PLANS				
<b>STRUCTURAL</b>					
S1.00	STRUCTURAL FOUNDATION PLAN				
S2.00	STRUCTURAL FIRST FLOOR FRAMING PLAN				
S2.01	STRUCTURAL SECOND FLOOR FRAMING PLAN				
S2.02	STRUCTURAL THIRD FLOOR FRAMING PLAN				
S2.03	STRUCTURAL ROOF FRAMING PLAN				



1 PROJECT LOCATION  
N.T.S.

ISSUANCE & REVISIONS

1	10/20/2025	SD BUDGET SET
2	11/18/2025	PRELIM SITE PLAN + ARCH REVIEW
3	01/05/2026	FINAL SITE PLAN + ARCH REVIEW

PROJECT NUMBER	8240076
PROJECT ISSUED	8/25/2025
DRAWN BY	BG
CHECKED BY	BG

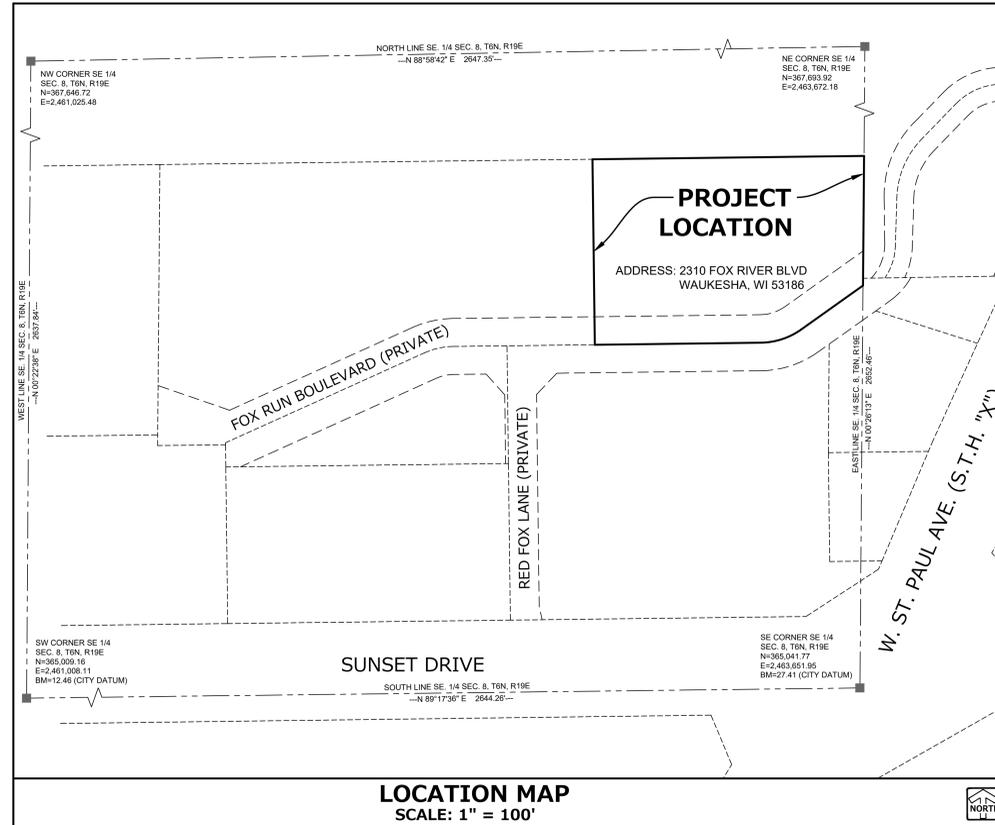
NOT FOR CONSTRUCTION

# ENGINEERING IMPROVEMENT PLANS FOR FOX DEN APARTMENTS II

PART OF THE SE 1/4 OF SECTION 8, T 6 N, R 19 E  
CITY OF WAUKESHA, WAUKESHA COUNTY, WISCONSIN

**LEGEND:**

- FOUND MAG NAIL
- FOUND 3/4" IRON REBAR
- EX. MONUMENT
- EX. HYDRANT
- ⊕ EX. WATER VALVE
- ⊙ EX. SANITARY MANHOLE
- ⊙ EX. STORM MANHOLE
- ⊙ EX. CATCH BASIN ROUND
- ⊙ EX. CATCH BASIN SQUARE
- ⊙ EX. ELECTRIC PEDESTAL
- ⊙ EX. ELECTRIC TRANSFORMER
- ▲ EX. GAS MARKER
- ⊙ EX. GAS MARKER
- EX. BOLLARD
- ☆ EX. LIGHT POLE
- w — w — w — EX. UNDERGROUND WATER
- s — s — s — s — EX. STORM SEWER
- e — e — e — e — EX. SANITARY LINE
- e — e — e — e — EX. UNDERGROUND ELECTRIC
- e — e — e — e — EX. UNDERGROUND GAS
- t — t — t — t — EX. TREE LINE
- f — f — f — f — EX. FENCE LINE
- d — d — d — d — EX. DITCH LINE



REFERENCE BEARING: THE SOUTH LINE OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 8, TOWN 6 NORTH, RANGE 19 EAST WAS USED AS THE REFERENCE BEARING AND HAS A BEARING OF S 89°17'36" W BASED ON THE WISCONSIN STATE PLANE COORDINATE SYSTEM (SOUTH ZONE).

REFERENCE BENCHMARK: SW CORNER OF THE SE 1/4 OF SECTION 8 CONCRETE MONUMENT WITH A BRASS CAP. ELEV = 12.46 (NGVD-29, SEWRPC CSSD)  
SE CORNER OF THE SE 1/4 OF SECTION 8 CONCRETE MONUMENT WITH A BRASS CAP. ELEV = 27.41 (NGVD-29, SEWRPC CSSD)

ALL SITE IMPROVEMENTS AND CONSTRUCTION SHOWN ON THE PLANS SHALL CONFORM TO THE CITY OF WAUKESHA DEVELOPMENT HANDBOOK & INFRASTRUCTURE SPECIFICATIONS. WHERE THE PLANS DO NOT COMPLY, IT SHALL BE THE SOLE RESPONSIBILITY AND EXPENSE OF THE DEVELOPER TO MAKE REVISIONS TO THE PLANS AND/OR CONSTRUCTED INFRASTRUCTURE TO COMPLY.

INDEX OF SHEETS	
C-1	COVER SHEET
C-2	EXISTING SITE PLAN
C-3	PROPOSED SITE PLAN
C-4	GRADING PLAN
C-5	EROSION CONTROL PLAN
C-6	UTILITY PLAN
C-7	CONSTRUCTION DETAILS
C-8	TRAFFIC CONTROL PLAN
L-1 - L-4	LANDSCAPE PLANS
ES01 - ES03	EXTERIOR LIGHTING LAYOUT

**GENERAL NOTES**

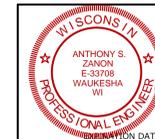
- THE INTENTION OF THE PLANS AND SPECIFICATIONS IS TO SET FORTH PERFORMANCE AND CONSTRUCTION MATERIAL STANDARDS FOR THE PROPER EXECUTION OF WORK. ALL WORKS CONTAINED WITHIN THE PLANS AND SPECIFICATIONS SHALL BE COMPLETED IN ACCORDANCE WITH ALL REQUIREMENTS FROM LOCAL, STATE, FEDERAL OR OTHER GOVERNING AGENCY'S LAWS, REGULATIONS, JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., AND THE OWNER'S DIRECTION.
- THE CONTRACTOR IS RESPONSIBLE TO REVIEW AND UNDERSTAND ALL COMPONENTS OF THE PLANS AND SPECIFICATIONS, INCLUDING FIELD VERIFYING SOIL CONDITIONS, PRIOR TO SUBMISSION OF A BID PROPOSAL.
- THE CONTRACTOR SHALL PROMPTLY REPORT ANY ERRORS OR AMBIGUITIES LEARNED AS PART OF THEIR REVIEW OF PLANS, SPECIFICATIONS, REPORTS AND FIELD INVESTIGATIONS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE COMPUTATION OF QUANTITIES AND WORK REQUIRED TO COMPLETE THIS PROJECT. THE CONTRACTOR'S BID SHALL BE BASED ON ITS OWN COMPUTATIONS AND IN NO SUCH INSTANCE RELY ON THE ENGINEER'S ESTIMATE.
- QUESTIONS/CLARIFICATIONS WILL BE INTERPRETED BY ENGINEER/OWNER PRIOR TO THE AWARD OF CONTRACT. ENGINEER/OWNER WILL SUBMIT OFFICIAL RESPONSES IN WRITING. INTERPRETATIONS PRESENTED IN OFFICIAL RESPONSES SHALL BE BINDING ON ALL PARTIES ASSOCIATED WITH THE CONTRACT. IN NO WAY SHALL WORD-OF-MOUTH DIALOG CONSTITUTE AN OFFICIAL RESPONSE.
- PRIOR TO START OF WORK, CONTRACTOR SHALL BE COMPLETELY FAMILIAR WITH ALL CONDITIONS OF THE SITE, AND SHALL ACCOUNT FOR CONDITIONS THAT AFFECT, OR MAY AFFECT CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, LIMITATIONS OF WORK ACCESS, SPACE LIMITATIONS, OVERHEAD OBSTRUCTIONS, TRAFFIC PATTERNS, LOCAL REQUIREMENTS, ADJACENT ACTIVITIES, ETC. FAILURE TO CONSIDER SITE CONDITIONS SHALL NOT BE CAUSE FOR CLAIM OF JOB EXTRAS.
- COMMENCEMENT OF CONSTRUCTION SHALL EXPLICITLY CONFIRM THAT THE CONTRACTOR HAS REVIEWED THE PLANS AND SPECIFICATIONS IN ENTIRETY AND CERTIFIES THAT THEIR SUBMITTED BID PROPOSAL CONTAINS PROVISIONS TO COMPLETE THE PROJECT, WITH THE EXCEPTION OF UNFORESEEN FIELD CONDITIONS; ALL APPLICABLE PERMITS HAVE BEEN OBTAINED; AND CONTRACTOR UNDERSTANDS ALL OF THE REQUIREMENTS OF THE PROJECT.
- SHOULD ANY DISCREPANCIES OR CONFLICTS IN THE PLANS OR SPECIFICATIONS BE DISCOVERED AFTER THE AWARD OF CONTRACT, ENGINEER SHALL BE NOTIFIED IN WRITING IMMEDIATELY AND CONSTRUCTION OF ITEMS AFFECTED BY THE DISCREPANCIES/CONFLICTS SHALL NOT COMMENCE OR CONTINUE, UNTIL A WRITTEN RESPONSE FROM ENGINEER/OWNER IS DISTRIBUTED. IN THE EVENT OF A CONFLICT BETWEEN REFERENCED CODES, STANDARDS, SPECIFICATIONS AND PLANS, THE ONE ESTABLISHING THE MOST STRINGENT REQUIREMENTS SHALL BE FOLLOWED.
- THE CONTRACTOR SHALL, AT ITS OWN EXPENSE, OBTAIN ALL NECESSARY PERMITS AND LICENSES TO COMPLETE THE PROJECT. OBTAINING PERMITS, OR DELAYS, IS NOT CAUSE FOR DELAY OF THE CONTRACT OR SCHEDULE. CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS.
- THE CONTRACTOR SHALL NOTIFY ALL INTERESTED GOVERNING AGENCIES, UTILITY COMPANIES AFFECTED BY THIS CONSTRUCTION PROJECT, AND DIGGERS' HOTLINE IN ADVANCE OF CONSTRUCTION TO COMPLY WITH ALL JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., PERMIT STIPULATIONS, AND OTHER APPLICABLE STANDARDS.
- SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE TO INITIATE, INSTITUTE, ENFORCE, MAINTAIN, AND SUPERVISE ALL SAFETY PRECAUTIONS AND JOB SITE SAFETY PROGRAMS IN CONNECTION WITH THE WORK.
- CONTRACTOR SHALL KEEP THE JOBSITE CLEAN AND ORDERLY AT ALL TIMES. ALL LOCATIONS OF THE SITE SHALL BE KEPT IN A WORKING MANNER SUCH THAT DEBRIS IS REMOVED CONTINUOUSLY AND ALL RESPECTIVE CONTRACTORS OPERATE UNDER GENERAL "GOOD HOUSEKEEPING."
- THE CONTRACTOR SHALL INDEMNIFY THE OWNER, ENGINEER, AND THEIR AGENTS FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.

**APPLICANT/ DEVELOPER**

FOX RUN 3, LLC  
C/O SOMERSTONE LLC  
19035 W. CAPITOL DRIVE, SUITE 108  
BROOKFIELD, WI 53045

**CIVIL ENGINEERING CONTACTS**

ANTHONY S. ZANON, P.E.  
JOHN P. KONOPACKI, P.L.S.  
PINNACLE ENGINEERING GROUP  
20725 WATERTOWN ROAD, SUITE 100  
BROOKFIELD, WI 53186  
(262) 754-8888  
tony.zanon@pinnacle-engr.com



**DIGGERS' HOTLINE**  
Toll Free (800) 242-8511  
Milwaukee Area (414) 259-1181  
Hearing Impaired TDD (800) 542-2289  
www.DiggersHotline.com

**PINNACLE ENGINEERING GROUP, LLC**  
ENGINEER'S LIMITATION  
PINNACLE ENGINEERING GROUP, LLC AND THEIR CONSULTANTS DO NOT WARRANT OR GUARANTEE THE ACCURACY AND COMPLETENESS OF THE DELIVERABLES HEREIN BEYOND A REASONABLE DILIGENCE. IF ANY MISTAKES, OMISSIONS, OR DISCREPANCIES ARE FOUND TO EXIST WITHIN THE DELIVERABLES, THE ENGINEER SHALL BE PROMPTLY NOTIFIED PRIOR TO BID SO THAT HE MAY HAVE THE OPPORTUNITY TO TAKE WHATEVER STEPS NECESSARY TO RESOLVE THEM. FAILURE TO PROMPTLY NOTIFY THE ENGINEER OF SUCH CONDITIONS SHALL ABSOLVE THE ENGINEER FROM ANY RESPONSIBILITY FOR THE CONSEQUENCES OF SUCH FAILURE. ACTIONS TAKEN WITHOUT THE KNOWLEDGE AND CONSENT TO THE ENGINEER, OR IN CONTRADICTION TO THE ENGINEER'S DELIVERABLES OR RECOMMENDATIONS, SHALL BECOME THE RESPONSIBILITY NOT OF THE ENGINEER BUT OF THE PARTIES RESPONSIBLE FOR TAKING SUCH ACTION.  
FURTHERMORE, PINNACLE ENGINEERING GROUP, LLC IS NOT RESPONSIBLE FOR CONSTRUCTION SAFETY OR THE MEANS AND METHODS OF CONSTRUCTION.

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**FOX DEN APARTMENTS II**  
CITY OF WAUKESHA, WAUKESHA COUNTY, WI

**COVER SHEET**

**REVISIONS**

NO.	DESCRIPTION	DATE
1	Prelim Site Plan & Arch Review	11-18-25
2	City Review	12-29-25

REG. JOB No. 2206-LO  
REG. PM. ASZ  
START DATE 10-20-25  
SCALE: N.T.S.

**C-1**  
**C-8**

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GRAPHICAL SCALE (FEET)  
0 1" = 20' 40'

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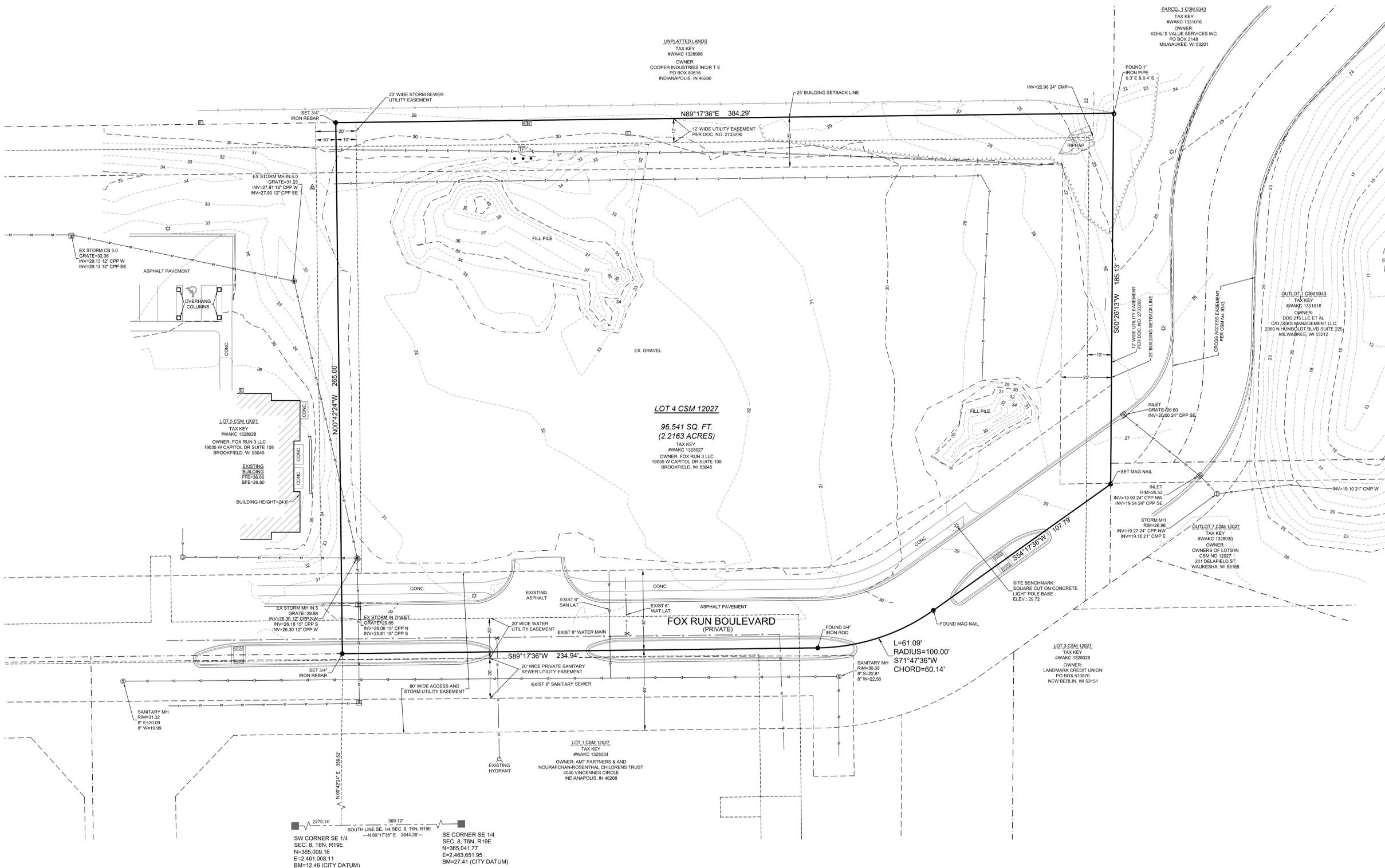
NOT FOR CONSTRUCTION

EXISTING SITE PLAN



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TOLL FREE  
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MILV. AREA 259-1181

NOTE: The location and size of the underground structures and utilities shown herein have been located to a reasonable degree of accuracy, but the Engineer and/or Surveyor does not guarantee their exact location or the location of others not shown.  
Contact Diggers Hotline, Inc., Etc.



**LEGAL DESCRIPTION:**

Lot 4 of Certified Survey Map No. 12027 recorded in the Waukesha County Register of Deeds on June 26, 2020 in Book 122 of Certified Survey Maps on pages 191-199, inclusive, as Document No. 4487657, being part of the Southeast 1/4 of the Southeast 1/4 of Section 8, Town 6 North, Range 19 East and Southwest 1/4 of the Southwest 1/4 of Section 9, Town 6 North, Range 19 East, in the City of Waukesha, County of Waukesha, State of Wisconsin.

TKN: WAKC 1328027

ADDRESS: 2310 FOX RUN BLVD

**GENERAL NOTES**

- Existing improvements graphically shown on this survey are limited to a predefined "Project Area" specified by the Owner/Client. Pinnacle Engineering Group, LLC takes no responsibility for improvements outside of this "Project Area".
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- No title commitment or easement report was provided; easements shown are from best available records and does not reflect all, or additional easements of record.
- Field work completed October 6, 2025.

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WISCONSIN OFFICE:  
20725 WATERLOO ROAD  
BROOKFIELD, WI 53196  
(262) 754-8888

**FOX DEN APARTMENTS II**  
CITY OF WAUKESHA, WAUKESHA COUNTY, WI

**EXISTING SITE PLAN**

**REVISIONS**

NO.	DESCRIPTION	DATE
1	Prelim Site Plan & Arch Review	11-18-25
2	City Review	12-29-25

REG. JOB NO.: 2206-10  
REG. PM: ASZ  
START DATE: 10-20-25  
SCALE: 1"=20'

C-2  
C-8

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GRAPHICAL SCALE (FEET)  
0 1" = 20' 40'

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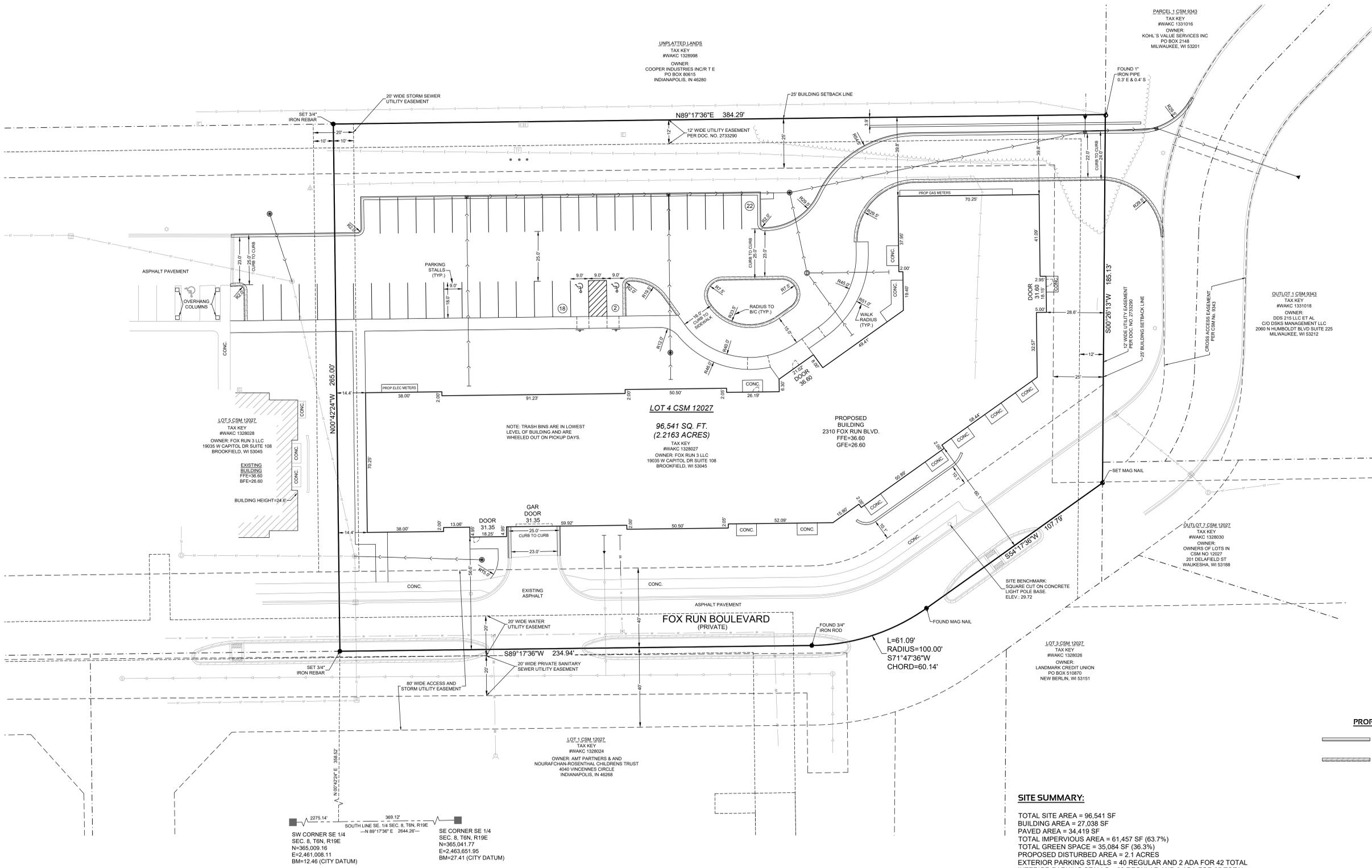
NOT FOR CONSTRUCTION

PROPOSED SITE PLAN



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MILWAUKEE AREA 259-1181

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Contact Diggers Hotline, Inc., Etc.



**PROP CURB & GUTTER:**  
= STANDARD 18" VERTICAL FACE CURB & GUTTER  
= INVERTED 18" VERTICAL FACE CURB & GUTTER

**SITE SUMMARY:**  
TOTAL SITE AREA = 96,541 SF  
BUILDING AREA = 27,038 SF  
PAVED AREA = 34,419 SF  
TOTAL IMPERVIOUS AREA = 61,457 SF (63.7%)  
TOTAL GREEN SPACE = 35,084 SF (36.3%)  
PROPOSED DISTURBED AREA = 2.1 ACRES  
EXTERIOR PARKING STALLS = 40 REGULAR AND 2 ADA FOR 42 TOTAL  
INTERIOR PARKING STALLS = 62 REGULAR AND 3 ADA FOR 65 TOTAL  
TOTAL PARKING STALLS = 102 REGULAR AND 5 ADA FOR 107 TOTAL (PROVIDED)  
REQUIRED PARKING STALLS = 92 FOR BUILDING TENANTS PLUS 7 VISITOR SPACES FOR 99 TOTAL (REQUIRED)

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TKN: WAKC 1328027  
ADDRESS: 2310 FOX RUN BLVD

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# FOX DEN APARTMENTS II

## CITY OF WAUKESHA, WAUKESHA COUNTY, WI

# PROPOSED SITE PLAN

REVISIONS	
1	Prelim Site Plan & Arch Review 11-18-25
2	City Review 12-29-25

REG. JOB No. 2206-10-ASZ  
SCALE: 1"=20'  
START DATE: 10-20-25  
DATE: 12-29-25

C-3  
C-8

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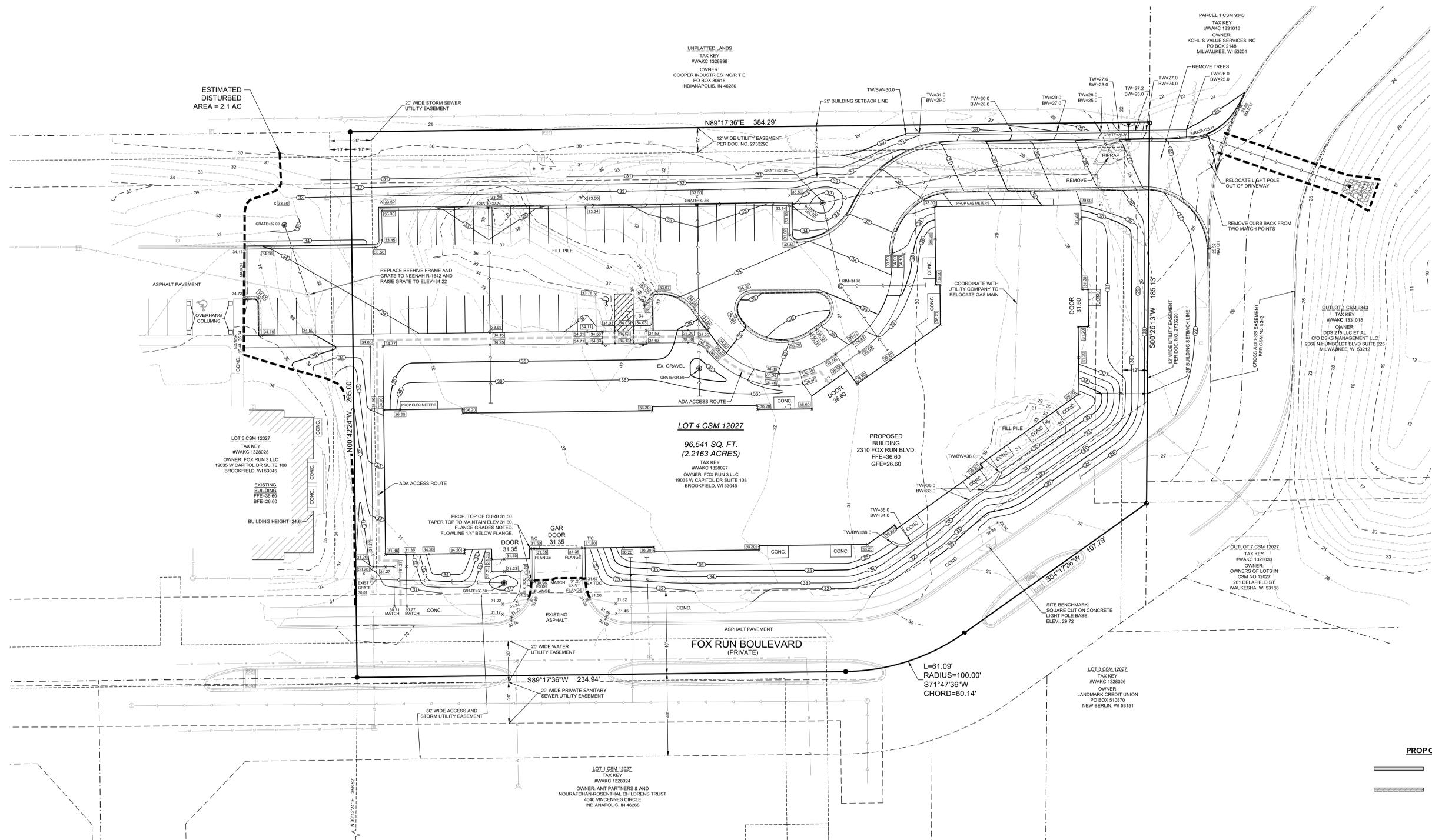


GRAPHICAL SCALE (FEET)  
0 1" = 20' 40'

www.pinnacle-engr.com

NOT FOR CONSTRUCTION

GRADING PLAN



**PROP CURB & GUTTER:**  
= STANDARD 18" VERTICAL FACE CURB & GUTTER  
= INVERTED 18" VERTICAL FACE CURB & GUTTER

SW CORNER SE 1/4 SEC. 8, T6N, R19E  
N=365,009.16  
E=2,461,008.11  
BM=12.46 (CITY DATUM)

SE CORNER SE 1/4 SEC. 8, T6N, R19E  
N=365,041.77  
E=2,463,651.95  
BM=27.41 (CITY DATUM)

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PLAN | DESIGN | DELIVER  
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# FOX DEN APARTMENTS II

## CITY OF WAUKESHA, WAUKESHA COUNTY, WI

# GRADING PLAN

REVISIONS	
1	Prelim Site Plan & Arch Review 11-18-25
2	City Review 12-29-25

REG. JOB NO. 2206-10  
AS2  
START DATE 10-20-25  
SCALE 1"=20'

C-4  
C-8

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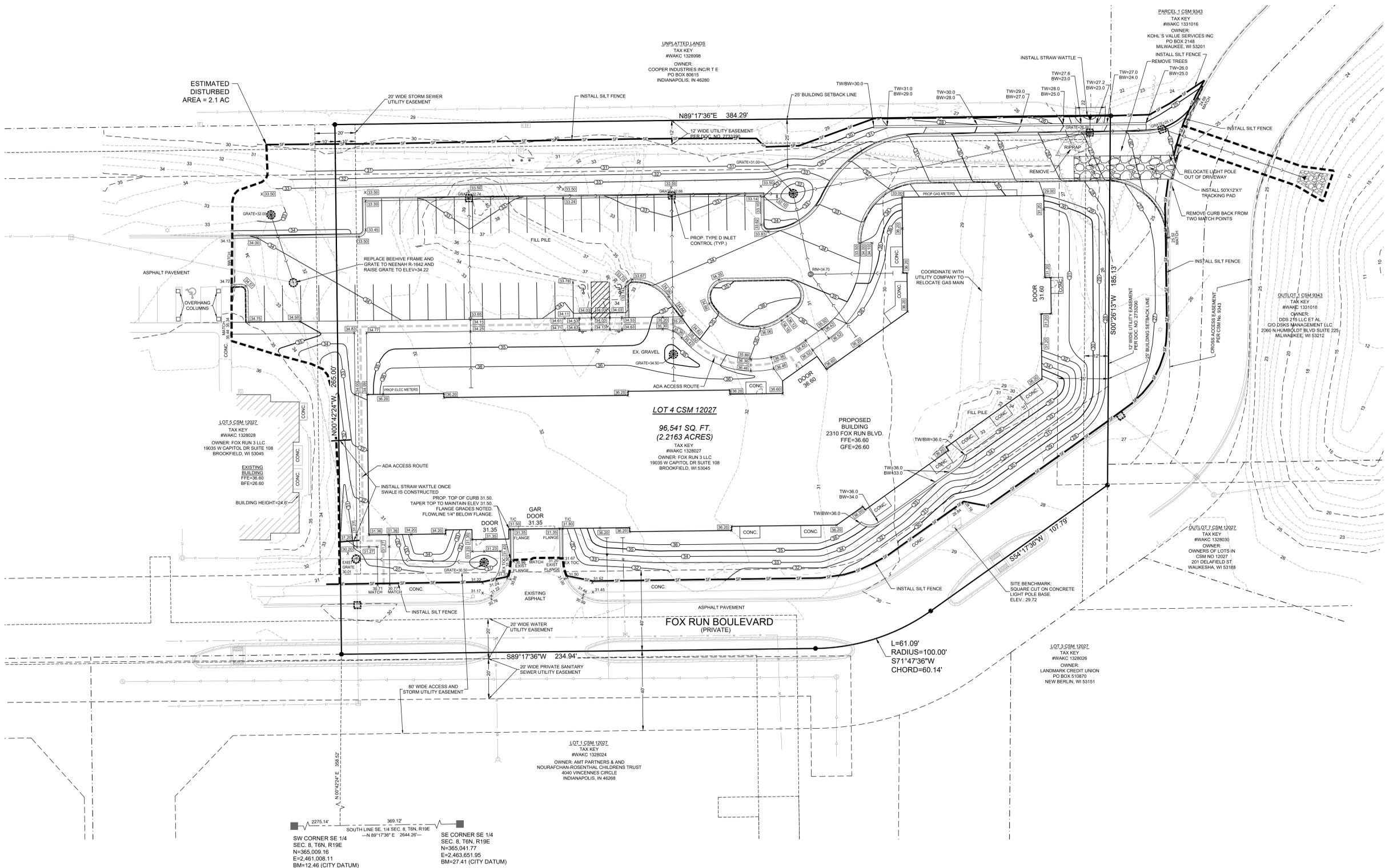


GRAPHICAL SCALE (FEET)  
0 1" = 20' 40'

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EROSION CONTROL PLAN



2275.14' 369.12'

SOUTH LINE SE 1/4 SEC. 8, T6N, R19E  
N 89°17'36" E 2644.26'

SW CORNER SE 1/4 SEC. 8, T6N, R19E  
N=365,009.16  
E=2,461,008.11  
BM=12.46 (CITY DATUM)

SE CORNER SE 1/4 SEC. 8, T6N, R19E  
N=365,041.77  
E=2,463,651.95  
BM=27.41 (CITY DATUM)

REFERENCE BEARING: THE SOUTH LINE OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 8, TOWN 6 NORTH, RANGE 19 EAST WAS USED AS THE REFERENCE BEARING AND HAS A BEARING OF S 89°17'36" W BASED ON THE WISCONSIN STATE PLANE COORDINATE SYSTEM (SOUTH ZONE).

REFERENCE BENCHMARK: SW CORNER OF THE SE 1/4 OF SECTION 8 CONCRETE MONUMENT WITH A BRASS CAP. ELEV = 12.46 (NGVD-29, SEWRPC CSSD)

SE CORNER OF THE SE 1/4 OF SECTION 8 CONCRETE MONUMENT WITH A BRASS CAP. ELEV = 27.41 (NGVD-29, SEWRPC CSSD)



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MIL W. AREA 259-1181

NOTE: The location and size of the underground structures and utilities shown herein have been located to a reasonable degree of accuracy, but the Engineer and/or Surveyor does not guarantee their exact location or the location of others not shown.  
Contact Diggers Hotline, Inc., Etc.

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**FOX DEN APARTMENTS II**  
CITY OF WAUKESHA, WAUKESHA COUNTY, WI

**EROSION CONTROL PLAN**

REVISIONS		
1	Prelim Site Plan & Arch Review	11-18-25
2	City Review	12-29-25

REG. JOB NO.	2206-10	C-5 C-8
REG. PM	ASZ	
START DATE	10-20-25	
SCALE	1"=20'	

DESIGNED: ASZ  
CHECKED: ASZ  
DATE: 12-29-25  
PROJECT: 2020.10-WI/CAD/MASTER/2206.10 MASTER.DWG



GRAPHICAL SCALE (FEET)  
0 1" = 20' 40'



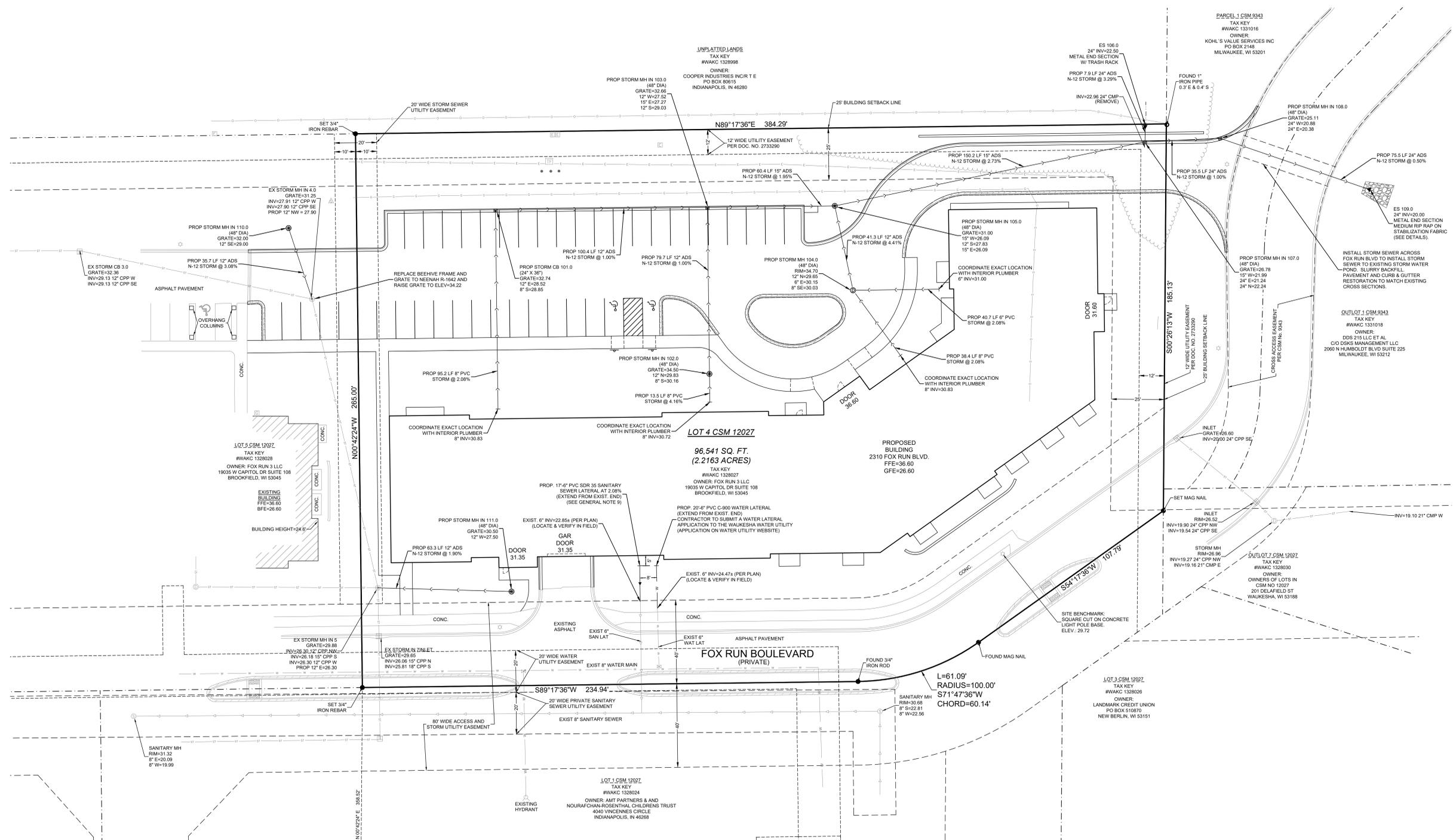
CALL DIGGERS HOTLINE  
1-800-441-8511  
TOLL FREE  
USE STAKE MARKERS  
MARKED WITH 3" WIDE WHITE STRIPS 100' DEEP  
MILWAUKEE, WI 53212

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UTILITY PLAN



**UTILITY NOTES**

**GENERAL:**

1. WORK PERFORMED AND MATERIALS SUPPLIED SHALL CONFORM TO THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (STANDARD SPECIFICATIONS), THE CITY OF WAUKESHA STANDARD CONSTRUCTION SPECIFICATIONS AND THE SPECIFICATIONS OF THE WAUKESHA WATER UTILITY.
2. CONTACT DIGGERS HOTLINE 3 DAYS PRIOR TO BEGINNING WORK. COORDINATE ALL UTILITY WORK WITH THE OWNER PRIOR TO BEGINNING WORK.
3. ALL SANITARY SEWER TO BE INSTALLED IN ACCORDANCE WITH CITY OF WAUKESHA STANDARDS. PVC SDR-35 MEETING ASTM D-3034 WITH RUBBER GASKET JOINTS. SANITARY SEWER SHALL HAVE A GREEN #12 LOCATOR WIRE INSTALLED ALONG ENTIRE LENGTH. LOCATOR WIRE SHALL BE BROUGHT TO THE SURFACE AT THE EDGE OF THE BUILDING AND ENCLOSED IN A CURB BOX WITH "SEWER" ON THE COVER.
4. ALL APPLICATIONS AND FEES FOR SANITARY SEWER MUST BE COMPLETED AND PAID PRIOR TO CONNECTION TO SEWER SYSTEMS.
5. ANY UTILITY WORK IN THE RIGHT-OF-WAY AND ALL SANITARY SEWER CONNECTIONS TO BE INSPECTED BY CITY. NOTIFY CITY 72 HOURS IN ADVANCE OF CONNECTING TO SEWER.
6. UTILITY CONTRACTOR IS RESPONSIBLE FOR LEVELING ALL TRENCH SPOIL UNLESS OTHERWISE DIRECTED BY OWNER.
7. BEDDING MATERIAL SHALL BE CRUSHED STONE CHIPS PER STANDARD SPEC SECTION 8.43.2(A). BACKFILL SHALL BE CRUSHED ROAD GRAVEL PER TABLE 39 SECTION 8.43.7. IF AN EXISTING ROADWAY, USE SLURRY BACKFILL PER SECTION 8.43.8. IN AREAS FIVE FEET OUTSIDE OF PAVED AREAS, SPOIL BACKFILL MEETING SECTION 8.43.5 CAN BE USED.
8. THE STORM SEWER SHALL BE INSTALLED WITH A TRACER WIRE CONSISTING OF AN INSULATED AW#12 COPPER SOLID CORE WIRE TAPED TO THE LATERAL MAIN. THIS IS IN ACCORDANCE WITH SPS382.30(1)(H). LATERALS SHALL HAVE A TRACER WIRE ATTACHED FROM THE MAINLINE TO A POINT FIVE FEET AWAY FROM THE BUILDING. THE TRACER WIRE SHALL BE DAYLIGHTED AT THIS POINT USING A VALVCO CATHODIC PROTECTION TEST STATION MODEL NO. 2531M301800.1PT.
9. PROVIDE A PRE AND POST CONSTRUCTION SANITARY SEWER LATERAL VIDEO TO CITY ENGINEERING DEPARTMENT (CITY) FOR REVIEW AND APPROVAL. CONTACT CITY FOR VIDEO FORMAT. IF LATERAL MAINTENANCE IS NEEDED THEN THE LATERAL IMPROVEMENTS WILL NEED TO BE INCLUDED AS PART OF THIS PROJECT. THE LATERAL PIPE AND CONNECTION TO THE MAIN MAY NEED TO BE LINED OR RELAYED TO REDUCE INFILTRATION INTO THE CITY'S SANITARY SEWER SYSTEM OR TO IMPROVE THE STRUCTURAL INTEGRITY.

**STORM SEWER:**

1. STORM SEWER SHALL BE ADS N-12 WITH WT JOINTS. DOWNSPOUTS DRAINS SHALL BE PVC ASTM D-3034 SDR35. PVC JOINTS SHALL BE MADE BY THE USE OF AN ELASTOMERIC SEAL CONFORMING TO ASTM D3212. PIPE MATERIAL IS NOTED ON THE PLANS.
2. STORM SEWER MANHOLES AND MANHOLE INLETS SHALL BE A MINIMUM 48" DIAMETER PRECAST CONCRETE. CATCH BASINS SHALL BE 24"x36" CONCRETE.
3. STORM MANHOLE FRAME AND COVER SHALL BE NEENAH R-1642. STORM MANHOLE INLETS AND CATCH BASIN FRAME AND GRATES SHALL BE R-3067 IN CURB LINES AND R-2560-E1 IN LANDSCAPE AREAS.
4. THE UTILITY CONTRACTOR SHALL INSTALL INLET PROTECTION ON ALL STORM INLETS PER THE DETAILS ON THE PLANS. THE PROTECTION SHALL BE REMOVED AND DISPOSED OF BY THE UTILITY CONTRACTOR UPON THE SITE BEING STABILIZED AND AT THE DIRECTION OF THE OWNER.

REFERENCE BEARING: THE SOUTH LINE OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 8, TOWN 6 NORTH, RANGE 19 EAST WAS USED AS THE REFERENCE BEARING AND HAS A BEARING OF S 89°17'36" W BASED ON THE WISCONSIN STATE PLANE COORDINATE SYSTEM (SOUTH ZONE).

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# FOX DEN APARTMENTS II

## CITY OF WAUKESHA, WAUKESHA COUNTY, WI

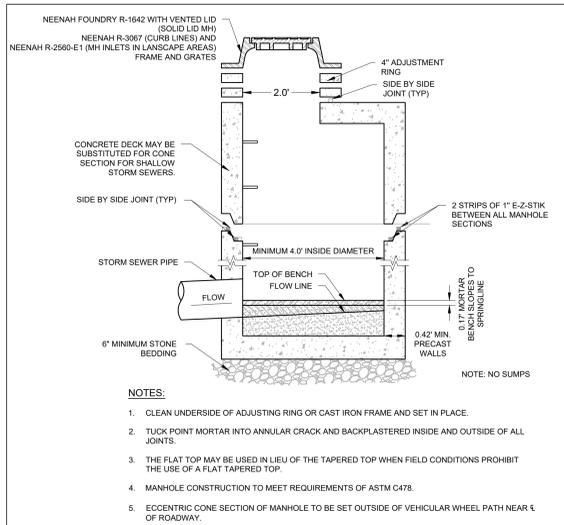
### UTILITY PLAN

REVISIONS		
NO.	DESCRIPTION	DATE
1	Prelim Site Plan & Arch Review	11-18-25
2	City Review	12-29-25

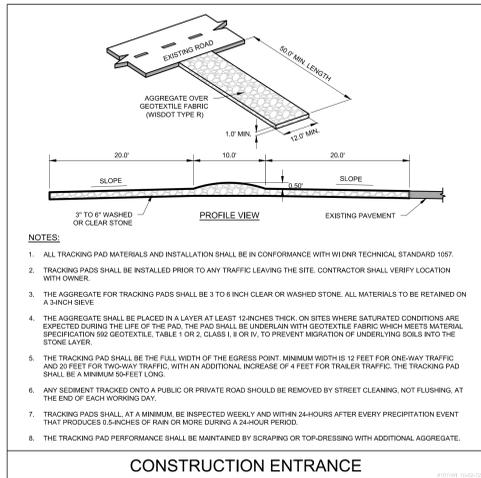
PROJECT NO.: 2206.10  
ASZ  
START DATE: 10-20-25  
SCALE: 1"=20'

C-6  
C-8

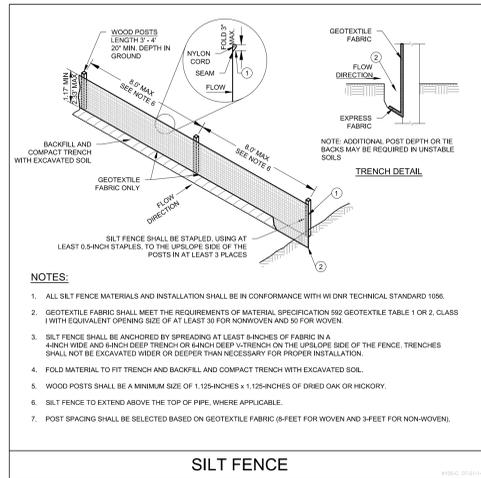
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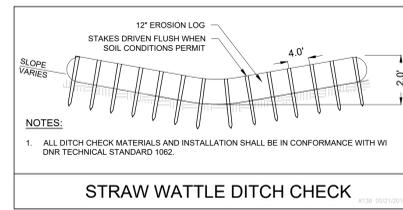
**STORM SEWER MANHOLE/MANHOLE INLET**



**CONSTRUCTION ENTRANCE**



**SILT FENCE**



**STRAW WATTLE DITCH CHECK**

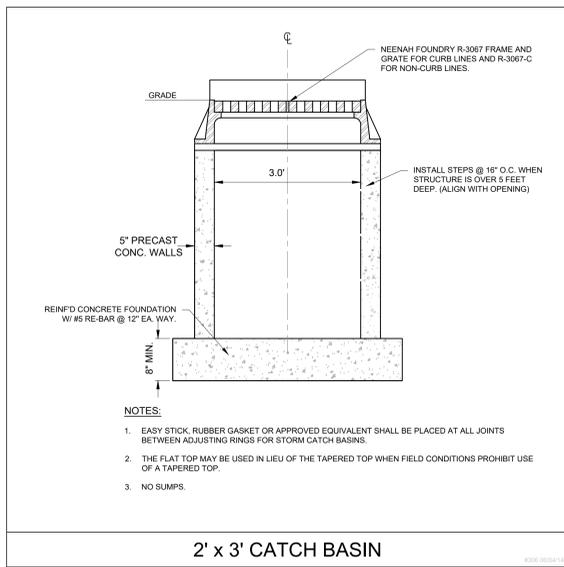
**CONSTRUCTION SEQUENCE:**

1. INSTALL TRACKING PAD, SILT FENCE AND INLET PROTECTION, CONTINUOUS INSPECTION OF EROSION CONTROL MEASURES THROUGHOUT THE PROJECT. THE GENERAL CONTRACTOR SHALL INSPECT EROSION AND SEDIMENT CONTROL PRACTICES WEEKLY AND WITHIN 24 HOURS AFTER EVERY RAIN EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE IN A 24 HOUR PERIOD. WRITTEN DOCUMENTATION OF EACH INSPECTION SHALL BE MAINTAINED AT THE CONSTRUCTION SITE AND SHALL INCLUDE THE TIME, DATE AND LOCATION OF INSPECTION, THE PHASE OF LAND DISTURBANCE AT THE CONSTRUCTION SITE, PERSON CONDUCTING THE INSPECTION, ASSESSMENT OF CONTROL PRACTICES, AND DESCRIPTION OF ANY EROSION OR SEDIMENT CONTROL MEASURE INSTALLATION OR MAINTENANCE PERFORMED IN RESPONSE TO THE INSPECTION.
2. STRIP TOPSOIL AND BEGIN BUILDING CONSTRUCTION.
3. ROUGH GRADE SITE.
4. INSTALL UTILITIES.
5. FINISH GRADE SITE.
6. INSTALL STONE.
7. INSTALL CURB & GUTTER AND SIDEWALK.
8. PAVE DRIVES AND PARKING.
9. RESPADE TOPSOIL, SEED, FERTILIZE AND STABILIZE DISTURBED AREAS.
10. MAINTAIN EROSION CONTROL MEASURES UNTIL THE SITE IS 80% REVEGETATED. THE CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL TEMPORARY EROSION CONTROL MEASURES. RESTORE ANY DISTURBED AREAS DUE TO EROSION CONTROL MEASURE REMOVAL.

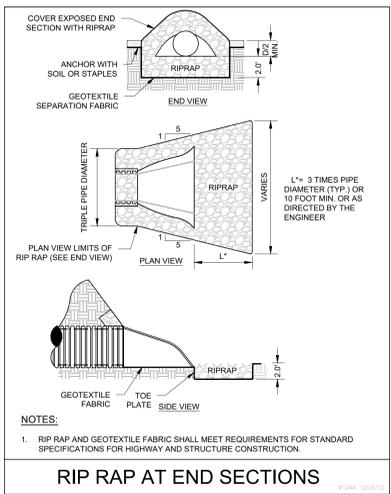
ESTIMATED START DATE: APRIL 2026  
ESTIMATED COMPLETION DATE: NOVEMBER 2026  
ESTIMATED DISTURBED AREA: 1.1 ACRES

**GRADING & EROSION CONTROL NOTES:**

- A. ALL CONSTRUCTION PRACTICES TO COMPLY WITH THE CITY OF WAUKESHA, WISCONSIN DNR AND THE WISCONSIN DNR TECHNICAL STANDARDS.
- B. DISTURBED AREAS SHALL BE TOPSOILED (4" THICK, SEEDS) AND MULCHED OR SODDED (SEE LANDSCAPE PLAN).
- C. TEMPORARY STABILIZATION IS REQUIRED FOR ANY AREA LEFT INACTIVE FOR MORE THAN SEVEN DAYS. TOPSOIL AND SPOIL STOCKPILES SHALL BE SEEDS AND MULCHED WITHIN 7 DAYS OF LAYUP USING AGRICULTURAL RYE WITH A SEEDING RATE OF 3 LBS/1000 SQUARE FEET. INSTALL SILT FENCE ON THE DOWN-SLOPE SIDE OF THE PILE TO REDUCE SEDIMENT RUNOFF.
- D. ALL CONSTRUCTION TRAFFIC IS TO ENTER/EXIT THE SITE OVER THE TRACKING PAD FROM FOX RUN BOULEVARD. THE TRACKING PAD IS PER WISCONSIN DNR TECHNICAL STANDARD 1057. ALL PRIVATE AND PUBLIC STREETS ARE TO BE KEPT CLEAN AT ALL TIMES. NO CONSTRUCTION ACCESS FROM ANY OTHER PUBLIC ROADS.
- E. THE PERMANENT SEED MIXTURE SHALL BE WISCONSIN DOT SEED MIXTURE NO. 40 AND SOWN AT THE RATE OF 4 LBS/1000 SQ. FT. SEED MIXTURE NO. 40 CONSISTS OF 35% KENTUCKY BLUEGRASS, 20% RED FESCUE, 20% HARD FESCUE AND 25% IMPROVED PERENNIAL Ryegrass. THE TEMPORARY SEED MIX SHALL BE WINTER WHEAT.
- F. FERTILIZE SOIL WITH 10 LBS/1000 SQ. FT. OF 20-0-10 FERTILIZER.
- G. ANY DRAINAGE THAT MAY BE REQUIRED DUE TO CONSTRUCTION SHALL BE COMPLETED SO THAT THE WATER IS PUMPED INTO A TYPE II GEOTEXTILE BAG ON THE UPSLOPE SIDE OF THE SILT FENCE. THE GEOTEXTILE BAG SHOULD BE PLACED IN A LOCATION THAT ALLOWS THE DISCHARGED WATER TO FLOW OVER A VEGETATIVE COVER. FOLLOW WISCONSIN DNR TECHNICAL STANDARD 1062.
- H. ALL BUILDING AND WASTE MATERIAL SHALL BE DISPOSED OF OFF SITE TO PREVENT RUNOFF OF MATERIAL.
- I. DUST CONTROL SHOULD BE ADDRESSED PER WISCONSIN DNR TECHNICAL STANDARD 1068. AT A MINIMUM USE WATER. USE POLYMERS, TACKIFIERS AND SOIL STABILIZERS IF NEEDED. INSPECT DAILY TO DETERMINE THE NEED TO IMPLEMENT A CONTROL.
- J. CONCRETE TRUCKS, IF NEEDED, ARE TO BE WASHED OUT IN PAVEMENT SUB-BASE AREAS.



**2' x 3' CATCH BASIN**



**RIP RAP AT END SECTIONS**

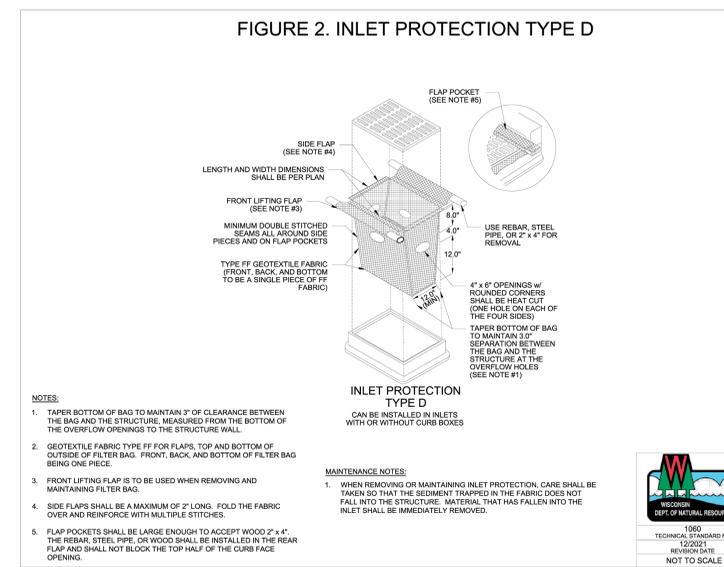
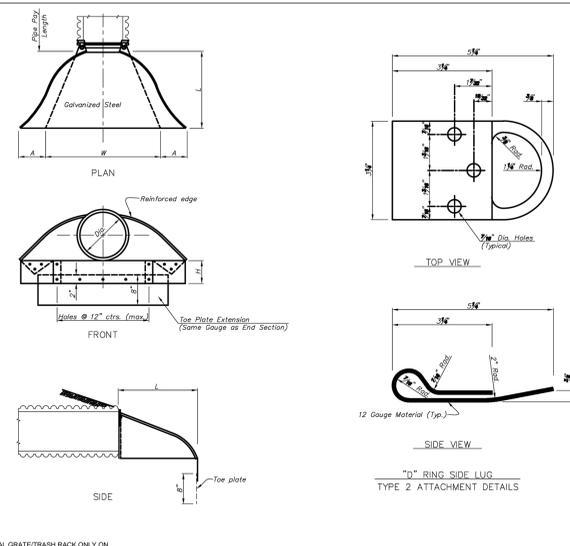
Di.	Gauge	Weight	* A	* H	* L	* W	Slope	Overall Wdn.
6"	18	10	4	2	8	12	2	20"
8"	18	14	5 1/2	2	11 1/2	16	2 1/2	27 1/2"
10"	18	17	7 1/2	2	14 1/2	20	2 1/2	33 1/2"
12"	16	25	7	6	21	24	2 1/2	36"
15"	16	33	8	6	26	30	2 1/2	46"
18"	16	42	8	6	31	36	2 1/2	52"
21"	16	49	9	6	36	42	2 1/2	60"
24"	16	65	10	6	41	48	2 1/2	66"
30"	14	123	12	6	51	60	2 1/2	84"
36"	14	155	14	7	60	72	2 1/2	102"
42"	12	220	16	11	69	84	2 1/2	116"
48"	12	275	18	12	78	90	2 1/2	126"
54"	12	440	18	12	84	102	2 1/2	138"
60"	12	510	18	12	87	114	2	150"

Top plate extensions where specified, to be punched to match holes in open top. 3/8" bolts to be furnished. The length of top plate to be as follows: W = 10" for 12" to 30" diameter plates inclusive. W = 20" for 36" to 60" diameter plates inclusive.

Multiple panel end sections shall have lap seams which are to be tightly joined by bolts. Corner plate, and toe plate to be same gauge as end section.

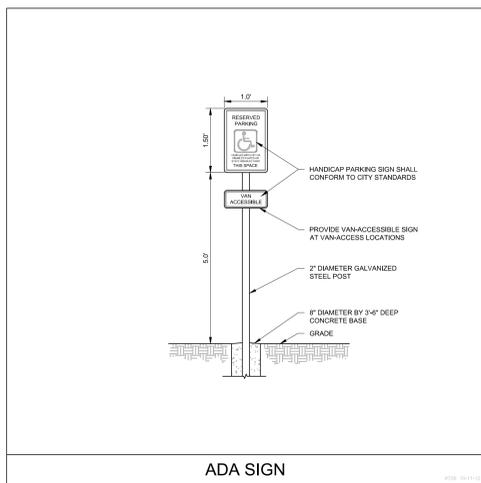
\* - Dimensions in Inches Plus or Minus Standard Shop Tolerances.

**END SECTION FOR HDPE PIPES**

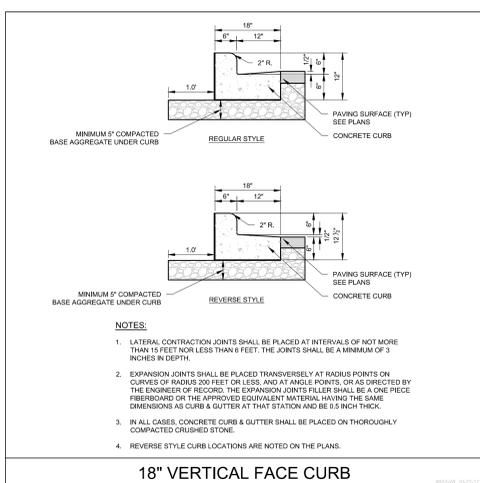


**FIGURE 2. INLET PROTECTION TYPE D**

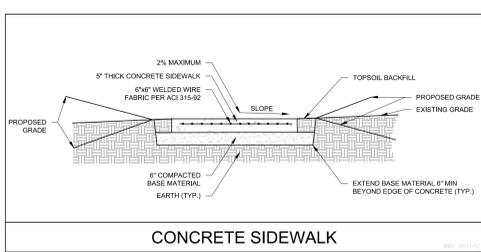
**INLET PROTECTION TYPE D**



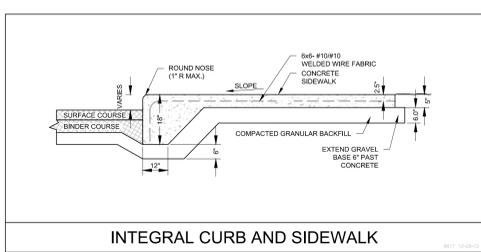
**ADA SIGN**



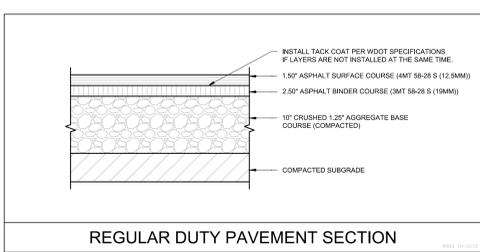
**18" VERTICAL FACE CURB**



**CONCRETE SIDEWALK**



**INTEGRAL CURB AND SIDEWALK**



**REGULAR DUTY PAVEMENT SECTION**

Prescriptive Compliance Areas	Table 1 - Prescriptive Compliance Area Soil Stabilization			
	Bare Soil	Slope & Channel Management	Periods of Inactivity	Final Grade
Soil stockpiles that will exist for more than 7 days	Areas that Do Not Drain to Sediment Basins or Traps	General	Planned Inactivity	Permanent Features
Utility trench backfills	Limit the duration of soil exposure to no more than 30 days.	Design and implement approved soil stabilization practices per DNR technical standards.	Stabilize area immediately if area will be left inactive for more than 14 days.	Stabilize area immediately after reaching final grade.
Temporary ditches/swales that will exist for more than 7 days	Areas that Drain to Sediment Basins or Traps	Refer to WisDOT Slope & Channel Matrices for appropriate slope and slope length conditions.	Unplanned Inactivity	Temporary Features
Permanent ditches/swales	Limit the duration of soil exposure to no more than 90 days. However, use the duration from the soil loss and sediment discharge calculations for the other areas of the site if less than 90 days.	Slopes Steeper than 20%	Stabilize area immediately if period of inactivity reaches 14 days.	Stabilize area immediately after establishment of temporary feature or reaching specified temporary grade.
Small areas - Less than 1 acre and less than 1% of site	Provide slope diversion of off-site runoff around the slope.	Provide slope interruption devices in accordance with Manufactured Polymer Control & Slope Interruption Products Technical Standard 1071 or equivalent methods to reduce uninterrupted slope length.		
Discrete areas - Less than 1 acre				
Storm water practice side slopes				
Slopes steeper than 20%				

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CONSTRUCTION DETAILS

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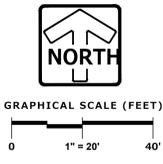
DESIGNED: ASZ  
CHECKED: BR  
DATE: 10/20/25



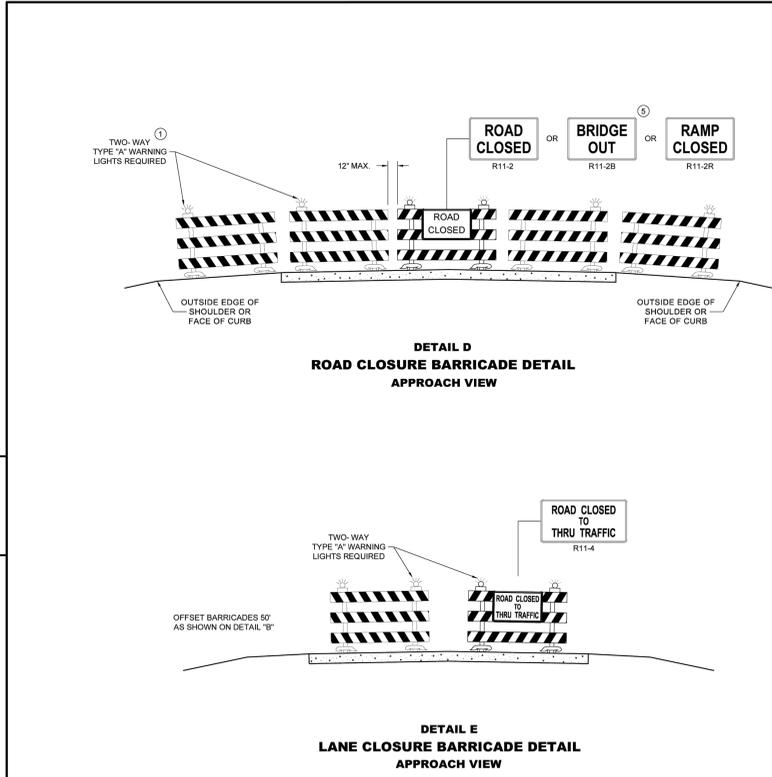
TO OBTAIN LOCATIONS OF UTILITIES, REFER TO SHEET 15C02-100B OR 15C02-100C

**CALL DIGGERS HOTLINE**  
1-800-242-8511  
TOLL FREE  
SEE STATE REGULATIONS FOR MORE INFORMATION  
M.I.V. AREA 259-1181

NOTE: The location and size of the underground structures and utilities shown herein have been located to a reasonable degree of accuracy, but the Engineer and/or Surveyor does not guarantee their exact location or the location of others not shown.  
Contact Diggers Hotline, Inc. Etc.



SDD 15C02-10B



SEE SDD 15C2 - SHEET "a" FOR LEGEND

**GENERAL NOTES**

THE EXACT NUMBER, LOCATION, AND SPACING OF ALL SIGNS AND BARRICADES SHALL BE ADJUSTED TO FIT FIELD CONDITIONS AS APPROVED BY THE ENGINEER.

ANY SIGNS TEMPORARY OR EXISTING, WHICH CONFLICT WITH TRAFFIC CONTROL "IN USE", SHALL BE REMOVED OR COVERED AS NEEDED AND AS APPROVED BY THE ENGINEER.

THE SPACING BETWEEN TRAFFIC CONTROL SIGNS SHOULD BE ADJUSTED TO NOT CONFLICT WITH AND SHOULD PROVIDE A DESIRABLE MINIMUM OF 200 FEET CLEARANCE TO EXISTING SIGNS THAT WILL REMAIN IN PLACE.

BARRICADES THAT MUST BE MOVED FOR A WORK OPERATION SHALL BE IMMEDIATELY RE-ESTABLISHED UPON COMPLETION OF THE OPERATION, OR FOR CONTINUING OPERATIONS, AT THE END OF EACH WORKING DAY.

SIGNS THAT WILL BE IN PLACE LESS THAN 7 CONTINUOUS DAYS AND NIGHTS MAY BE MOUNTED ON PORTABLE SUPPORTS.

ALL TYPE III BARRICADES SHALL HAVE RAILS REFLECTORIZED ON BOTH FACES. STRIPES SHALL BE PROPERLY SLOPED DOWN TOWARD THE TRAFFIC SIDE OR AS SHOWN IN THE ROAD CLOSURE BARRICADE DETAIL "D" FOR FULL ROAD CLOSURES.

TYPE "A" LOW - INTENSITY FLASHING WARNING LIGHTS SHALL BE VISIBLE ON BOTH SIDES OF THE BARRICADE. PARTIAL NUMBERS ON SIGNS SHALL BE DISPLAYED AS A WHOLE NUMBER (AS NEEDED) FOLLOWED BY A FRACTION. SIGNS SHALL NOT DISPLAY NUMBERS IN DECIMAL FORM.

"WO" AND "MO" SIGNS ARE THE SAME AS "W" AND "M" SIGNS EXCEPT THE BACKGROUND IS ORANGE.

ALL SIGNS SHALL BE 48" X 48" UNLESS OTHERWISE NOTED BELOW:

- R11 - 2 SHALL BE 48" X 30"
- R11 - 3 SHALL, R11 - 4 AND R10 - 61 SHALL BE 60" X 30"
- M4 - 9 SHALL BE 30" X 24"
- M0 - X SHALL BE 24" X 12" (36" X 18" IF NEEDED TO MATCH EXISTING SIGNS)
- M4 - 8 SHALL BE 24" X 12" (36" X 18" IF NEEDED TO MATCH EXISTING SIGNS)
- M1 - 4, M1 - 5A AND M1 - 8 SHALL BE 24" X 24" (36" X 36" IF NEEDED TO MATCH EXISTING SIGNS)
- M05 - 1 AND M06 - 1 SHALL BE 21" X 21" (30" X 30" IF NEEDED TO MATCH EXISTING SIGNS)
- D1 - X SHALL BE AS SHOWN ON SPECIFIC PROJECT SIGNING DETAIL SHEETS
- R1 - 1 SHALL BE 36" X 36"

SIGNS PLACED ON TYPE III BARRICADES THAT ARE SIZES OTHER THAN 48"X30" SHALL HAVE A CORRUGATED POLYPROPYLENE OR POLYETHYLENE PLASTIC SIGN BASE.

TWO WARNING LIGHTS SHALL BE PROVIDED ON THE CENTER BARRICADE AND A MINIMUM OF ONE WARNING LIGHT SHALL BE PROVIDED ON EACH OF THE OTHER BARRICADES WITHIN THE ROADWAY LIMITS. SPACING OF THE WARNING LIGHTS SHALL BE UNIFORM TO THE EDGE OF ROADWAY AS SHOWN (APPROX. 8 FOOT LIGHT SPACING).

- THESE SIGNS AND BARRICADES ARE NOT REQUIRED IF ROAD CLOSURE BEGINS AT AN INTERSECTION.
- FOR ROAD CLOSURE WITHOUT LOCAL ACCESS TO PROJECT, SEE ROAD CLOSURE BARRICADE DETAIL "D".
- FOR ROAD CLOSURE WITH LOCAL ACCESS TO PROJECT, SEE ROAD CLOSURE BARRICADE DETAIL "E".
- FOR BRIDGE OR CULVERT REPLACEMENTS, SUBSTITUTE "BRIDGE OUT" INSTEAD OF "ROAD CLOSED" ON R11 - 3 AND R11 - 3 SIGNS.
- INSTALL DETOUR AND COMMUNITY GUIDE SIGNS AND ARROWS ONLY IF SPECIFIED IN THE CONTRACT. IF THERE ARE EXISTING ROUTE MARKER ASSEMBLIES THAT WILL REMAIN IN PLACE, ADJUST THE LOCATION OF THE DETOUR ROUTE SIGNS TO CORRESPOND WITH THE EXISTING ASSEMBLIES. MODIFY EXISTING SIGNS WHERE POSSIBLE. SEE SPECIFIC PROJECT DETOUR SIGNING DETAIL SHEETS. IF DETOUR SIGNS ARE BEING INSTALLED BY OTHERS, PLACE THE CONTRACTED TRAFFIC CONTROL SIGNS TO ALLOW FOR PLACEMENT OF ALL WARNING, DETOUR AND GUIDE SIGNS AS SHOWN.
- "EAST" CARDINAL DIRECTION MARKERS AND RIGHT TURN ARROWS ARE SHOWN. USE OTHER CARDINAL DIRECTIONS AND ARROWS AS APPROPRIATE.

<b>BARRICADES AND SIGNS FOR VARIOUS CLOSURES</b>	
STATE OF WISCONSIN DEPARTMENT OF TRANSPORTATION	
APPROVED	DATE
November 2025	10/20/25
DATE	WORK ZONE ENGINEER
ASZ	Andrew Heitke

REVISIONS	
1	Prelim Site Plan & Arch Review 11-18-25
2	City Review 12-29-25

REG. JOB No. 2206-LD  
REG. No. ASZ  
START DATE 10-20-25  
SCALE N.T.S.

# FOX DEN APARTMENTS II

## CITY OF WAUKESHA, WAUKESHA COUNTY, WI

# TRAFFIC CONTROL PLAN

PLAN | DESIGN | DELIVER  
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**PINNACLE ENGINEERING GROUP**  
ENGINEERING | NATURAL RESOURCES | SURVEYING

WISCONSIN OFFICE:  
20725 WATEROWN ROAD  
BROOKFIELD, WI 53196  
(262) 754-8888

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Z:\PROJECTS\2020\2206-10-WI\CAD\MASTER\2206-10 MASTER.DWG

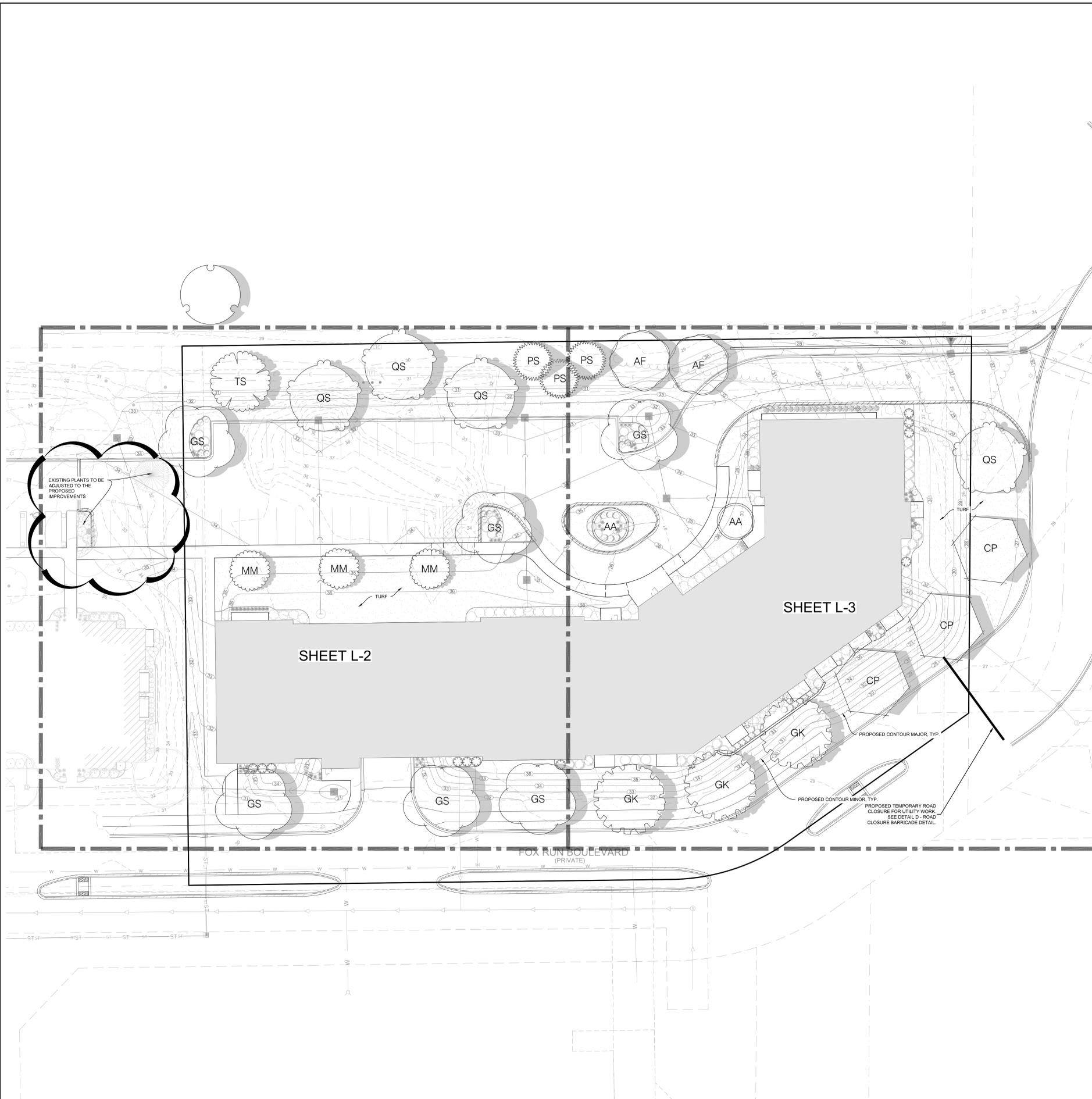
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SDD 15C02-10B

TRAFFIC CONTROL PLAN

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 DESIGNED: JSJ  
 DRAFTED: JSJ  
 REVIEWED: DAB



CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS
<b>CANOPY TREES</b>						
AF	2	Acer freemani 'Autumn Fantasy'	Autumn Fantasy Maple	2.5' Cal.		45' T x 35' W
CP	3	Celtis occidentalis 'Prairie Pride'	Prairie Pride Hackberry	2.5' Cal.		50' T x 40' W
GS	6	Gleditsia trachanthos 'Shademaster'	Shademaster Locust	2.5' Cal.		60' T x 50' W
GK	3	Gymnocladia dioica	Kentucky Coffee Tree	2.5' Cal.		60' T x 45' W
QS	4	Quercus x schuetlii	Swamp Bur Oak	2.5' Cal.		70' T x 65' W
TS	1	Tilia tomentosa 'Sterling'	Sterling Silver Linden	2.5' Cal.		60' T x 35' W
<b>EVERGREEN TREES</b>						
PS	3	Pinus strobus	White Pine	6' Ht.		65' T x 30' W
<b>ORNAMENTAL TREES</b>						
AGA	1	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	1.5' Cal.		20' T x 20' W
AA	2	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	1.5' Cal.		20' T x 20' W
MM	3	Malus x 'Prairie Maid'	Prairie Maid Crabapple	1.5' Cal.		20' T x 25' W
<b>LARGE DECIDUOUS SHRUB</b>						
PG	1	Physocarpus opulifolius 'Center Glow'	Center Glow Ninebark TF	2' Ht.		8' T x 8' W
<b>LARGE EVERGREEN SHRUBS</b>						
JS	11	Juniperus chinensis 'Sea Green'	Sea Green Juniper	18' Ht.		5' T x 5' W
TG	5	Thuja occidentalis 'Little Giant'	Little Giant Arborvitae	18' Ht.		5' T x 5' W
<b>MEDIUM DECIDUOUS SHRUBS</b>						
HV	16	Hydrangea p 'Vanilla Strawberry'	Vanilla Strawberry Hydrangea	18' Ht.		6' T x 5' W
HJ	8	Hydrangea quercifolia 'PillHQ-I'	Jetstream Oakleaf Hydrangea	18' Ht.		5' T x 5' W
IJ	1	Ilex verticillata 'Jim Dandy'	Jim Dandy Winterberry	18' Ht.		5' T x 5' W
IR	6	Ilex verticillata 'Red Sprite'	Red Sprite Winterberry	18' Ht.		5' T x 5' W
SB	9	Sambucus nigra 'Black Lace'	Black Lace Elderberry	18' Ht.		6' T x 6' W
SP	10	Syringa meyeri 'Palibin'	Dwarf Korean Lilac	18' Ht.		5' T x 6' W
<b>MEDIUM EVERGREEN SHRUBS</b>						
EV	5	Euonymus fortunei 'Vegetus'	Bigleaf Wintercreeper	18' Ht.		4' T x 5' W
JB	17	Juniperus sabina 'Buffalo'	Buffalo Juniper	18' W		1' T x 7' W
JG	4	Juniperus virginiana 'Grey Owl'	Eastern Redcedar Juniper	18' Ht.		3' T x 5' W
TM	13	Taxus x media 'Tautonii'	Tauton Yew	18' Ht.		4' T x 5' W
<b>ORNAMENTAL GRASSES</b>						
CKF	22	Calamagrostis x a 'Karl Foerster'	Karl Foerster Reed Grass	1 gal.		36" T x 24" W
CFO	8	Calamagrostis x a 'Overdam'	Overdam Reed Grass	1 gal.		24" T x 24" W
DS2	23	Deschampsia cespitosa 'Schottland'	Schottland Tufted Hair Grass	1 gal.		48" T x 36" W
MSO	2	Miscanthus sinensis 'Oktoberfest'	Oktoberfest Miscanthus	1 gal.		48" T x 36" W
SLB	24	Schizachyrium scoparium 'Blue Heaven'	Blue Heaven Little Bluestem Grass	1 gal.		30" T x 28" W
STD	9	Sporobolus heterolepis 'Tara'	Prairie Dropseed	1 gal.		15" T x 20" W
<b>SMALL DECIDUOUS SHRUBS</b>						
CAF	11	Cornus stolonifera 'Arctic Fire'	Arctic Fire Dogwood	18' Ht.		3' T x 3' W
HM2	8	Hydrangea arborescens 'NCHA2'	Invincible Spirit II Hydrangea	18' Ht.		4' T x 4' W
HM1	10	Hydrangea arborescens 'NCHA1'	Invincible Mini Mauvette Hydrangea	18' Ht.		3' T x 3' W
HBO	9	Hydrangea paniculata 'Bobo'	Bobo Hydrangea	18' Ht.		3' T x 4' W
SMC	5	Spiraea japonica 'Magic Carpet'	Magic Carpet Spirea	18' Ht.		2' T x 3' W
SOP	6	Syringa x SMNJRP1	Blooming Dwarf Pink Lilac	15' Ht.		3' T x 3' W
<b>PERENNIALS</b>						
AHA	12	Amsonia c 'Halfway to Arkansas'	Halfway to Arkansas Blue-star	4.5' cont.	25' o.c.	30" T x 30" W
CVZ	16	Coreopsis verticillata 'Zagreb'	Zagreb Coreopsis	4.5' cont.	16" o.c.	20" T x 16" W
HRT	13	Helianthus x Ruby Tuesday	Ruby Tuesday Sneezeweed	4.5' cont.	18" o.c.	24" T x 18" W
HSD	12	Hemerocallis 'Stella De Oro'	Stella De Oro Daylily	4.5' cont.	20" o.c.	12" T x 20" W
HBD	3	Hosta x 'Big Daddy'	Big Daddy Hosta	4.5' cont.	36" o.c.	23" T x 60" W
HGS	6	Hosta x 'Gold Standard'	Gold Standard Hosta	4.5' cont.	32" o.c.	20" T x 50" W
LGS	15	Leucanthemum superbum 'Goldfinch'	Goldfinch Shasta Daisy	4.5' cont.	22" o.c.	18" T x 22" W
NPB	12	Nepeta x faassenii 'Purrsian Blue'	Purrsian Blue Catmint	4.5' cont.	24" o.c.	14" T x 24" W
PLS	6	Perovskia atriplicifolia 'Little Spire'	Little Spire Russian Sage	4.5' cont.	22" o.c.	24" T x 24" W
RVS	8	Rudbeckia l 'Vitto's Little Suzy'	Vitto's Little Suzy Showy Coneflower	4.5' cont.	12" o.c.	10" T x 12" W
SAJ	6	Sedum 'Autumn Joy'	Autumn Joy Sedum	4.5' cont.	24" o.c.	12" T x 24" W
<b>SYMBOL</b>						
TURF	29,798 sf	Turf Hydroseed	Reinders - Cadet 70/30 Fescue/Blue Mix			

PLAN | DESIGN | DELIVER  
 www.pinnacleengr.com  
**PINNACLE ENGINEERING GROUP**  
 ENGINEERING | NATURAL RESOURCES | SURVEYING  
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 BROOKFIELD, WI 53186  
 (262) 754-8888  
 CHICAGO | MILWAUKEE | NATIONWIDE

## FOX DEN APARTMENTS II

### CITY OF WAUKESHA, WAUKESHA COUNTY, WI

## LANDSCAPE OVERVIEW

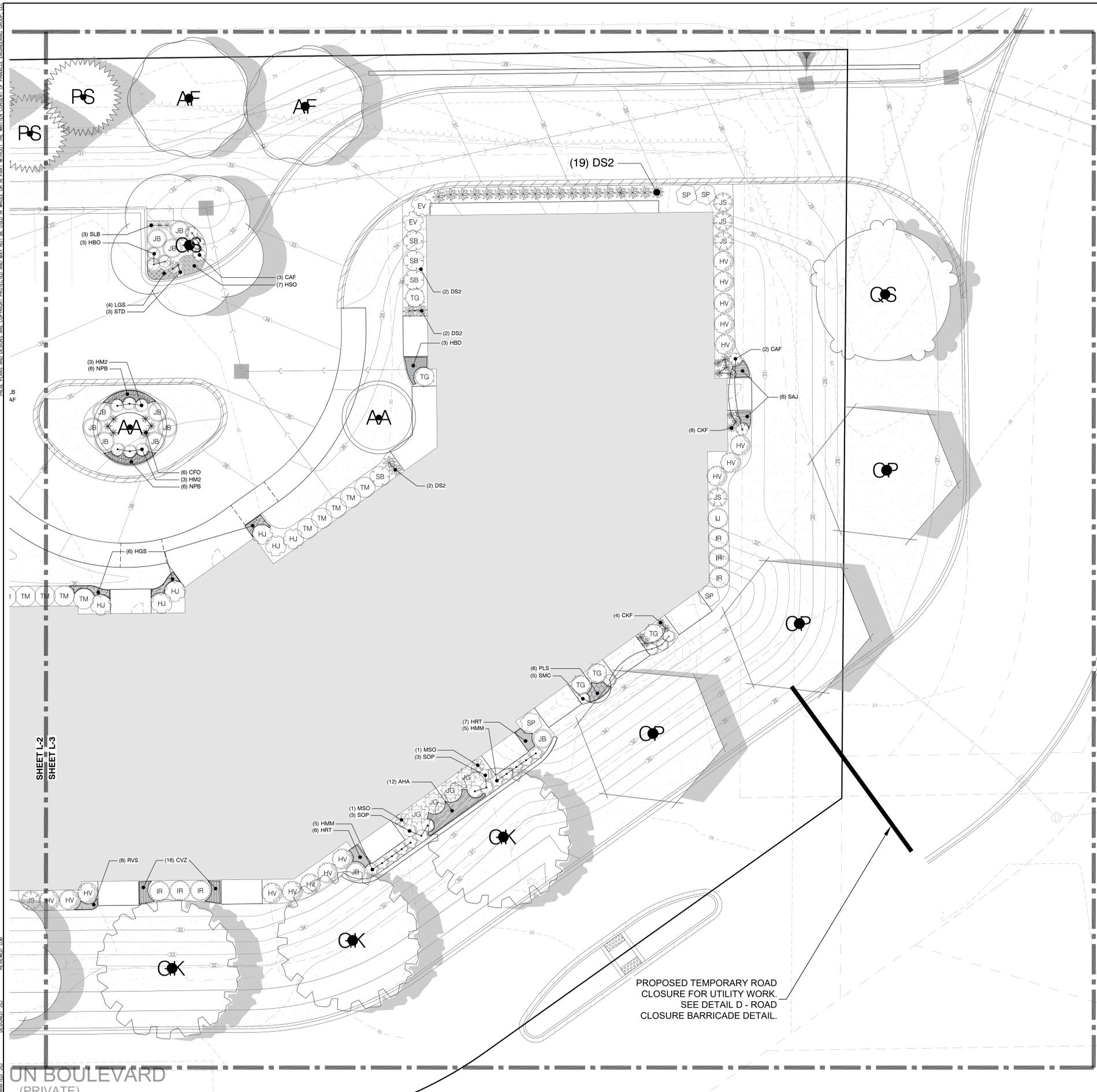
REVISIONS	
1. Prelim Site Plan & Arch Review	11-18-25
2. City Review	12-29-25

  
 GRAPHICAL SCALE (FEET)  
 0 1" = 20' 40'  
 REC. JOB No. 2206.10  
 REC. PM ASZ  
 START DATE 10-20-25  
 SCALE 1"=10'  
 L-1  
 L-4  
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 LANDSCAPE OVERVIEW



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 DESIGNED: JSJ  
 DRAWN: JSJ  
 REVIEWED: DJB



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SHEET L-2  
SHEET L-3

UN BOULEVARD  
(PRIVATE)

PROPOSED TEMPORARY ROAD  
CLOSURE FOR UTILITY WORK.  
SEE DETAIL D - ROAD  
CLOSURE BARRICADE DETAIL.

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**FOX DEN APARTMENTS II**  
CITY OF WAUKESHA, WAUKESHA COUNTY, WI

**LANDSCAPE ENLARGEMENT**

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GRAPHICAL SCALE (FEET)  
 0 1" = 10' 20'  
 REC. JOB No. 2206.10  
 REC. PM ASZ  
 START DATE 10-20-25  
 SCALE 1/8"=1'-0"  
**L-3**  
**L-4**

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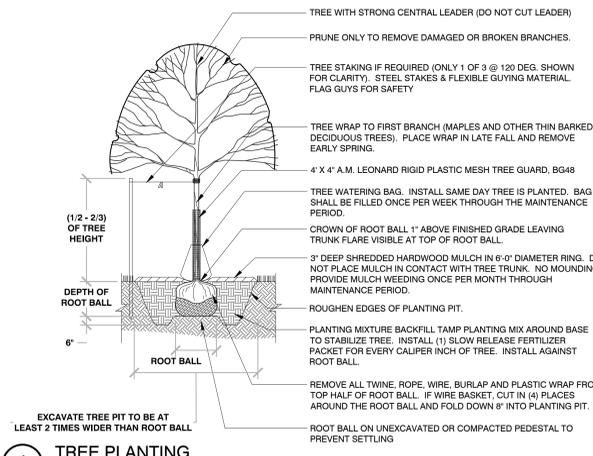
**GENERAL PLANTING NOTES**

- THE LAYOUT OF ALL PLANTING BEDS AND INDIVIDUAL TREES AND SHRUBS SHALL BE STAKED BY THE CONTRACTOR IN ADVANCE OF INSTALLATION. FLAGGING, STAKES, OR PAINT MAY BE USED TO DELINEATE LOCATIONS AS SCALED FROM THE PLANS. AN APPROVED REPRESENTATIVE WILL REVIEW THESE LOCATIONS WITH THE CONTRACTOR AND MAKE MINOR ADJUSTMENTS AS NECESSARY. BED LAYOUT SHALL ALSO INCLUDE PERENNIAL GROUPINGS BY SPECIES.
- THE CONTRACTOR IS RESPONSIBLE FOR INDEPENDENTLY DETERMINING THE PLANT MATERIAL QUANTITIES REQUIRED BY THE LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.
- NO PLANT MATERIAL OR PLANT SIZE SUBSTITUTIONS WILL BE ACCEPTED WITHOUT APPROVAL BY THE LANDSCAPE ARCHITECT. ANY CHANGES SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT IN WRITING PRIOR TO INSTALLATION.
- ALL BNB STOCK SHALL BE NURSERY GROWN IN A CLAY LOAM SOIL FOR A MINIMUM OF THREE GROWING SEASONS WITHIN 200 MILES OF PROJECT LOCATION, IN A ZONE COMPATIBLE WITH USDA HARDINESS ZONE 5A. SEED SHALL BE PROVIDED FROM A NURSERY (WITHIN 200 MILES) WITH A SIMILAR PLANT HARDINESS ZONE AS PROJECT LOCATION. EXISTING SOIL SHALL BE AMENDED PER SOIL ANALYSIS REPORT TO ENSURE A PROPER GROWING MEDIUM IS ACHIEVED.
- ALL PLANT MATERIAL SHALL COMPLY WITH STANDARDS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK - 260.1 ANSI. LANDSCAPE ARCHITECT OR OWNERS AUTHORIZED REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND POTENTIALLY REJECT ANY PLANT MATERIAL DEEMED TO NOT MEET THE REQUIRED STANDARDS.
- ALL STOCK SHALL BE FREE OF DISEASES AND HARMFUL INSECTS, DAMAGE, DISORDERS AND DEFORMITIES.
- TREES SHALL HAVE SINGLE, STRAIGHT TRUNKS AND WELL BALANCED BRANCH SYSTEMS. MULTI-STEM TREES SHALL HAVE 3-4 STRAIGHT TRUNKS AND WELL BALANCED BRANCH SYSTEMS. HEIGHT-TO-CALIPER RATIOS SHALL BE CONSISTENT WITH THE LATEST EDITION OF ANSI Z60.1.
- ROOT SYSTEMS SHALL BE LARGE ENOUGH TO ALLOW FOR FULL RECOVERY OF THE TREE, AND SHALL CONFORM TO STANDARDS AS THEY APPEAR IN THE MOST CURRENT REVISION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S AMERICAN STANDARD OF NURSERY STOCK ANSI Z60.1.
- BNB TREES SHALL BE DUG WITH A BALL OF SOIL, NOT SOFT BALLED OR POTTED AND SHALL BE FIRM IN THEIR ROOTBALL. ROOT BALL SHALL BE WRAPPED (WITH BIODEGRADABLE MATERIAL). THE TREE ROOT FLARE, OR COLLAR, SHALL BE AT OR WITHIN THE TOP THREE INCHES OF GRADE.
- ALL SPRING TREES MUST BE FRESHLY DUG IN THE MOST RECENT SPRING.
- ALL AUTUMN TREES MUST BE FRESHLY DUG IN THE MOST RECENT AUTUMN.
- TREES SHALL BE ALIVE, HEALTHY AND APPROPRIATELY MOIST, AT TIME OF DELIVERY. TREES SHALL BE SUBJECT TO INSPECTION FOR CONFORMITY TO SPECIFICATION REQUIREMENTS AND APPROVAL BY THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE. THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY TREES THAT DO NOT MEET THE SPECIFICATIONS OR THAT HAVE BEEN DAMAGED DURING SHIPMENT. THE LANDSCAPE INSTALLER MUST RECEIVE APPROVAL FROM LANDSCAPE ARCHITECT FOR ANY SUBSTITUTIONS OR ALTERATIONS.
- ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH PLANTING DETAILS.
- ALL PLANTING BEDS SHALL HAVE A MINIMUM 10" DEPTH OF PREPARED SOIL. WITH APPROVAL, EXISTING SOIL MAY BE UTILIZED PROVIDED THE PROPER SOIL AMENDMENTS ARE TILLED THOROUGHLY INTO THE TOP 10" OF SOIL. REFER TO SOIL PLACEMENT NOTES.
- WHILE PLANTING TREES AND SHRUBS, BACKFILL 2/3 OF PLANTING HOLE AND WATER TREE THOROUGHLY BEFORE INSTALLING THE REMAINDER OF SOIL MIXTURE. AFTER ALL SOIL HAS BEEN PLACED INTO THE PLANTING HOLE WATER THOROUGHLY AGAIN.
- THE CONTRACTOR MUST LABEL ALL TREES WITH THE COMMON AND BOTANICAL NAMES PRIOR TO FINAL INSPECTION.
- OAK TREES SHALL BE TREATED FOR TWO-LINE CHESTNUT BORER BOTH AT THE TIME OF INSTALLATION AND DURING THE SECOND GROWING SEASON.
- ALL PLANTING BEDS SHALL BE MULCHED WITH 3" DEEP SHREDDED HARDWOOD MULCH, AND ALL TREES PLANTED IN TURF AREAS SHALL RECEIVE A 3" DEEP SHREDDED HARDWOOD MULCHED RING AS SHOWN IN PLANTING DETAILS.
- ALL PLANTING BEDS AND TREE RINGS SHALL HAVE A 4" DEEP TRENCHED BED EDGE CREATED BY EITHER A FLAT LANDSCAPE SPADE OR MECHANICAL EDGER. BED EDGES ARE TO BE CUT CLEAN AND SMOOTH AS SHOWN ON LANDSCAPE PLANS WITH A CLEAR DEFINITION BETWEEN TURF AND PLANTING AREAS.
- ALL TURF SEED AREAS SHALL RECEIVE A MINIMUM OF 6" DEPTH OF TOPSOIL. WITH APPROVAL, EXISTING SOIL MAY BE UTILIZED PROVIDED THE PROPER SOIL AMENDMENTS ARE TILLED THOROUGHLY INTO THE TOP 6" OF SOIL AS INDICATED IN THE SOIL PLACEMENT NOTES. REQUIRED AMENDMENTS SHALL BE DETERMINED BASED ON A SOIL ANALYSIS TO BE PERFORMED. ALL TOPSOIL AMENDMENT SHALL BE AGED WEED FREE MANURE OR CLASS 1 ORGANIC MATTER.
- FOR LAWN SEEDING, APPLY A STARTER FERTILIZER AND SEED UNIFORMLY AT THE RATE RECOMMENDED BY MANUFACTURER, AND PROVIDE A MULCH COVERING THAT IS SUITABLE TO PROMOTE SEED GERMINATION AND TURF ESTABLISHMENT. CONTRACTOR TO PROVIDE FERTILIZER, SEED, AND MULCH SPECIFICATIONS TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. EROSION CONTROL MEASURES ARE TO BE INSTALLED IN THOSE AREAS REQUIRING STABILIZATION (SWALES, SLOPES EXCEEDING 1:3, AND THOSE LOCATIONS INDICATED IN CIVIL DRAWINGS).
- THE CONTRACTOR TO ENSURE A SMOOTH, UNIFORM QUALITY TURF IS ACHIEVED WITH NO BARE SPOTS LARGER THAN 6" X 6". ANY BARE SPOTS LARGER THAN 6" X 6" AT THE END OF ESTABLISHMENT PERIOD SHALL BE RESEDED AT THE CONTRACTORS EXPENSE TO OBTAIN A DENSE, UNIFORM LAWN.
- ALL FINISH GRADING AND LAWN AREAS TO BE INSTALLED BY LANDSCAPE CONTRACTOR.
- ALL DISTURBED AREAS WITHIN THE PROJECT SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION.

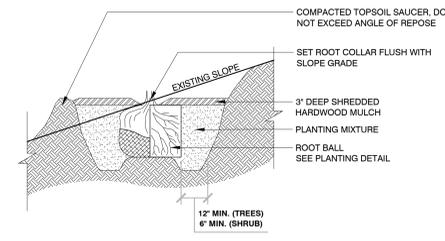
- ALL DISTURBED AREAS OUTSIDE THE LIMITS OF WORK SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, INCLUDING ANY IRRIGATION LINES, PRIOR TO DIGGING. CONSULT DIGGERS HOTLINE.
- TREES SHALL BE INSTALLED NO CLOSER THAN:
  - 10 FEET FROM ANY FIRE HYDRANT
  - 7 FEET FROM STORM SEWER, SANITARY SEWER LATERALS, DRIVEWAYS, AND WATER SERVICE
- THE CONTRACTOR SHALL ENSURE THAT SOIL CONDITIONS AND COMPACTION ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AROUND THE CONSTRUCTION SITE. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN ALL AREAS
- THE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, FEES, AND LICENSES NECESSARY FOR THE INSTALLATION OF THIS PLAN.
- THE CONTRACTOR IS TO REVIEW ALL SITE ENGINEERING DOCUMENTS PRIOR TO INSTALLATION. ANY CONFLICTS MUST BE REPORTED TO THE LANDSCAPE ARCHITECT. THESE LANDSCAPE DRAWINGS ARE FOR THE INSTALLATION OF PLANT MATERIALS ONLY UNLESS OTHERWISE STATED.
- THE CONTRACTOR SHALL PROVIDE WATERING AND MAINTENANCE SERVICES FOR A PERIOD OF 60 DAYS TO ENSURE VEGETATIVE ESTABLISHMENT. UPON COMPLETION OF THE PROJECT, CONTRACTOR SHALL SUPPLY THE OWNER IN WRITING WITH ONGOING WATERING AND MAINTENANCE INSTRUCTIONS.
- PLANT MATERIALS SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM TIME OF OWNER ACCEPTANCE. ONLY ONE REPLACEMENT PER PLANT WILL BE REQUIRED DURING THE WARRANTY PERIOD EXCEPT IN THE EVENT OF FAILURE TO COMPLY WITH THE SPECIFIED REQUIREMENTS.
- THE CONTRACTOR IS RESPONSIBLE TO CONDUCT A FINAL WALK THROUGH WITH THE LANDSCAPE ARCHITECT AND OR OWNERS REPRESENTATIVE TO ANSWER QUESTIONS, PROVIDE INSTRUCTIONS, AND ENSURE THAT PROJECT REQUIREMENTS HAVE BEEN MET.

**SOIL PLACEMENT NOTES**

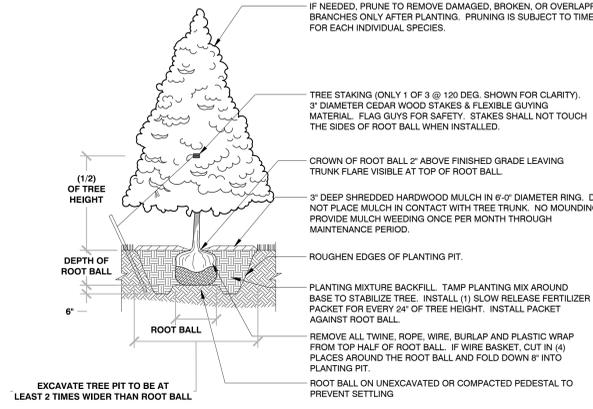
- LOOSEN SUBGRADE TO A MINIMUM DEPTH INDICATED IN PLANTING NOTES USING A CULTI-MULCHER OR SIMILAR EQUIPMENT, AND REMOVE STONES MEASURING OVER 1-1/2 INCHES IN ANY DIMENSION, STICKS, RUBBISH AND OTHER EXTRANEOUS MATTER. AREAS ADJACENT TO WALKS AND PAVEMENT SHALL BE FREE OF EXCESS STONE AND PAVING MATERIALS SO AS TO PROVIDE AN UNINTERRUPTED CROSS SECTION OF SOIL. INTERNAL PARKING ISLANDS SHALL BE LOOSENED TO A DEPTH OF 30".
- THOROUGHLY BLEND PLANTING SOIL MIX FOR PLANTING BED AREAS. (1 PART EXISTING SOIL, 1 PART TOPSOIL, 1 PART ORGANIC SOIL AMENDMENT, 2.9 POUNDS PER CUBIC YARD OF 4-4-4 ANALYSIS SLOW-RELEASE FERTILIZER)
- TREE AND SHRUB HOLES SHALL BE FILLED WITH A PREPARED PLANTING MIXTURE OF 1 PART TOPSOIL, 2 PARTS PLANTING SOIL MIX.
- SPREAD SOIL AND SOIL AMENDMENTS TO DEPTH INDICATED ON DRAWINGS, BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT. (FINISH GRADE OF PLANTING BEDS SHALL BE 3" BELOW ALL ADJACENT SURFACES. FINISH GRADE OF TURF SEEDING AREAS SHALL BE 1" BELOW ALL ADJACENT HARD SURFACES, WALKS, AND CURBS).
- PLACE APPROXIMATELY 1/2 OF TOTAL AMOUNT OF SOIL REQUIRED. WORK INTO TOP OF LOOSENED SUBGRADE TO CREATE A TRANSITION LAYER, THEN PLACE REMAINDER OF THE SOIL. SOIL TRANSITION LAYER SHALL BE TILLED TO A MINIMUM DEPTH OF 6" BELOW THE DEPTH OF NEWLY PLACED SOIL. PARKING LOT ISLANDS SHALL BE CROWNED TO A HEIGHT OF 6" TO PROVIDE PROPER DRAINAGE UNLESS OTHERWISE NOTED.
- DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
- FINISH GRADING: GRADE SOIL TO A SMOOTH, UNIFORM SURFACE PLANE WITH A LOOSE, UNIFORMLY FINE TEXTURE.
- ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES.
- RESTORE PLANTING BEDS IF ERODED OR OTHERWISE DISTURBED AFTER FINISH GRADING AND BEFORE PLANTING.



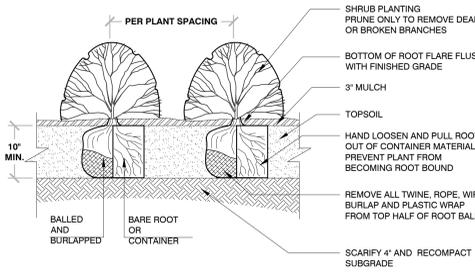
**1 TREE PLANTING**  
1/4" = 1'-0"  
3293-01



**2 TREE PLANTING ON SLOPE**  
3/8" = 1'-0"  
3293-02

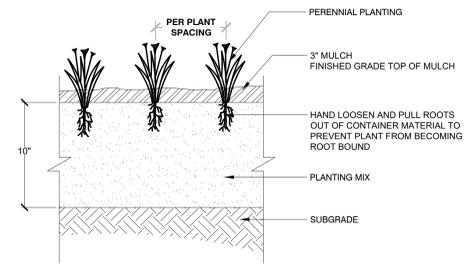


**3 EVERGREEN TREE PLANTING**  
1/4" = 1'-0"  
3293-03

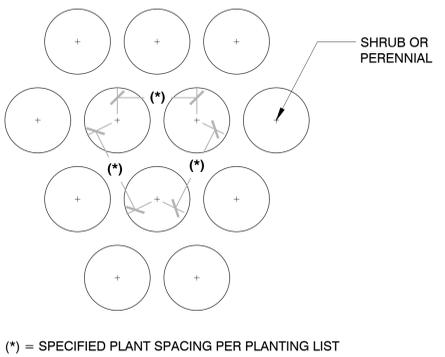


- BAREROOT PLANTING NOTES:**
- SOAK ROOTS IN WATER FOR AT LEAST ONE HOUR BUT NOT MORE THAN 24 HOURS PRIOR TO PLANTING.
  - SCARIFY SIDES AND BOTTOMS OF HOLE.
  - PROCEED WITH CORRECTIVE PRUNING OF THE TOP AND BOTTOM ROOTS.
  - TRANSFER PLANT DIRECTLY FROM WATER TO HOLE. SET PLANT SO THE ROOT FLARE IS APPROXIMATELY AT THE FINISHED SOIL ELEVATION. SPREAD ROOTS OUT EVENLY. PLUMB AND IMMEDIATELY BACKFILL WITH PLANTING SOIL MIX.
  - WATER THOROUGHLY WITHIN 2 HOURS TO SETTLE PLANTS AND FILL VOIDS.
  - BACKFILL VOIDS AND WATER SECOND TIME.
  - PLACE MULCH WITHIN 48 HOURS OF THE SECOND WATERING UNLESS SOIL MOISTURE IS EXCESSIVE.

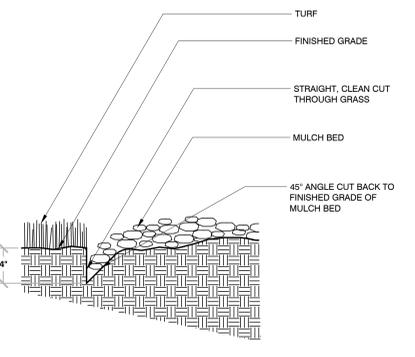
**4 SHRUB PLANTING**  
1/2" = 1'-0"  
3293-02



**5 PERENNIAL PLANTING**  
1" = 1'-0"  
3293-01



**6 PLANT SPACING**  
3/4" = 1'-0"  
3293-02



**7 TRENCHED BED EDGE**  
3/4" = 1'-0"  
3293-02

PLAN | DESIGN | DELIVER  
 www.pinnacle-engr.com  
**PINNACLE ENGINEERING GROUP**  
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 WISCONSIN OFFICE:  
 20725 WATKINSON ROAD  
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 (262) 754-8888  
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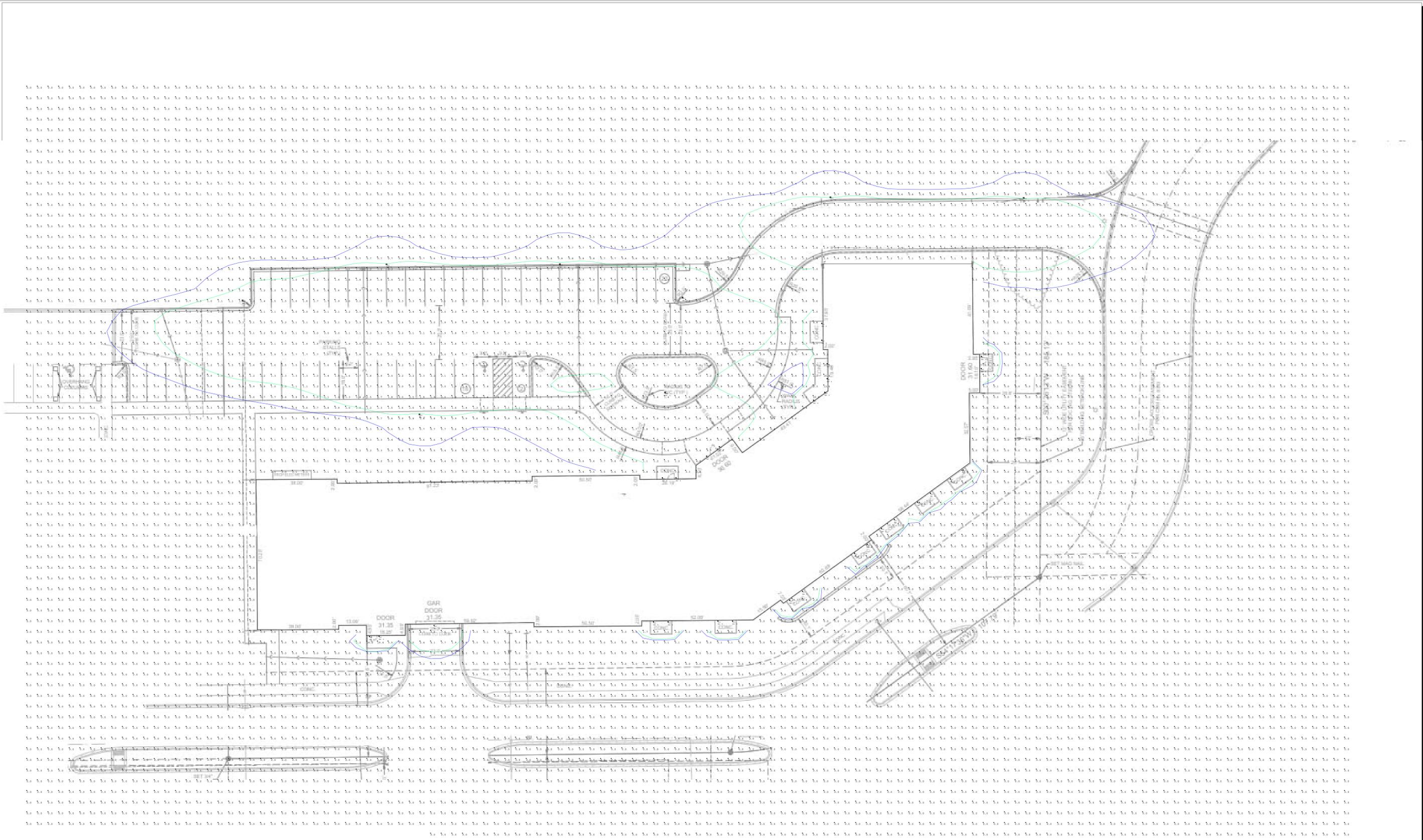
**FOX DEN APARTMENTS II**  
CITY OF WAUKESHA, WAUKESHA COUNTY, WI

**LANDSCAPE GENERAL NOTES & DETAILS**

REVISIONS	
1. Prelim Site Plan & Arch Review	11-18-25
2. City Review	12-29-25

REG. JOB No. 2206-10  
 REG. PH. ASZ  
 START DATE 10-20-25  
 SCALE 1/8"=1'-0"  
**L-4**  
**L-4**

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 LANDSCAPE GENERAL NOTES & DETAILS  
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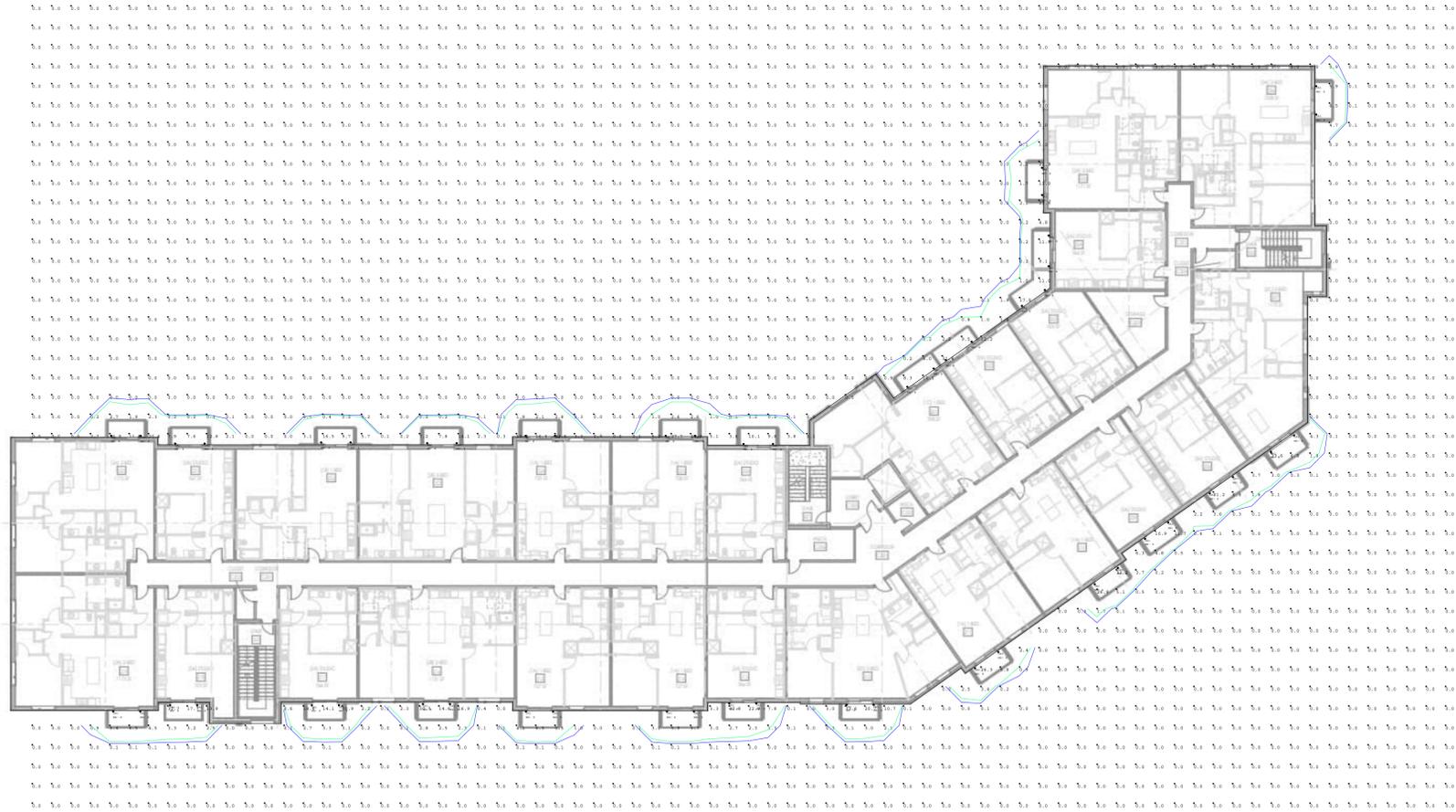
Luminaire Schedule				
Symbol	Qty	Label	Description	LLF
⊞	1	WP1	K7-WPLED35PS-S3-8CSB-VDIM	0.900
⊙	28	OA1	K7-CYLED20PS-4A-WDI-OSG-8CSB-VDIM	1.000
⊞	8	OK2	GALN-SA1C-740-U-T2R	1.000

**FOX DEN APARTMENTS**

RECORDS INFO  
 DRAWN BY: DP  
 Date: 12/30/2025  
 SCALE: 1" = 10'  
 JOB #: 94817

SHEET DESCRIPTION  
 EXTERIOR  
 LIGHTING  
 LAYOUT

SHEET NO.  
**ES01**



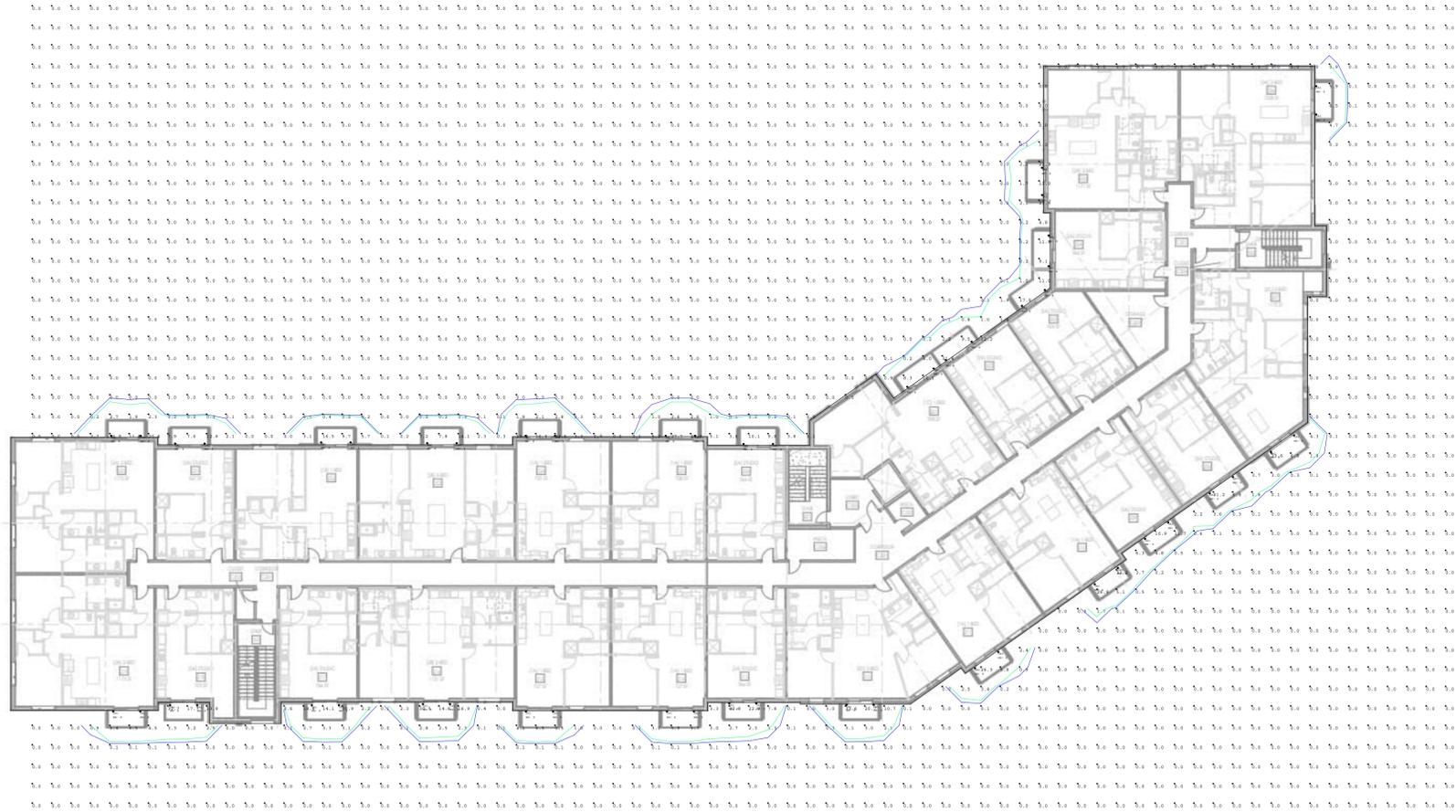
Luminaire Schedule				
Symbol	Qty	Label	Description	LLF
⊙	52	OAL	RT-CVLEd20FS-4A-WD1-OSG-8CSB-VDIM	1.000

**FOX DEN APARTMENTS**

RECORDS INFO  
 DRAWN BY: DP  
 Date: 12/30/2025  
 SCALE: 1" = 20'  
 JOB #: 94817

SHEET DESCRIPTION  
 EXTERIOR  
 LIGHTING  
 LAYOUT

SHEET NO.  
**ES02**



Luminaire Schedule				
Symbol	Qty	Label	Description	LLF
⊙	52	OAL	RT-CVLED20FS-4A-WD1-OSG-8CSB-VDIM	1.000

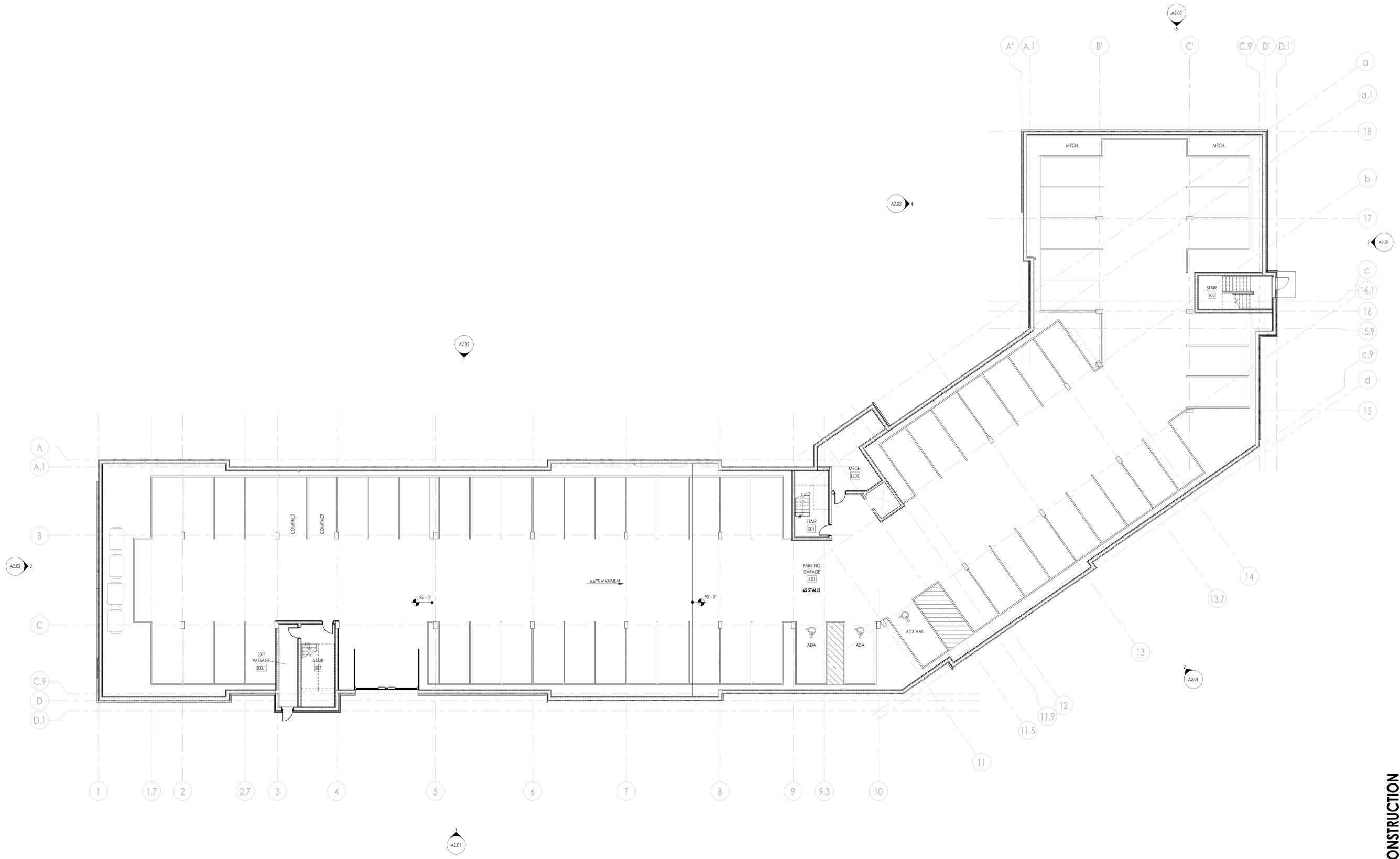
**FOX DEN APARTMENTS**

RECORDS INFO  
 DRAWN BY: DP  
 Date: 12/30/2025  
 SCALE: 1" = 20'  
 JOB #: 94817

SHEET DESCRIPTION  
 EXTERIOR  
 LIGHTING  
 LAYOUT

SHEET NO.  
**ES03**

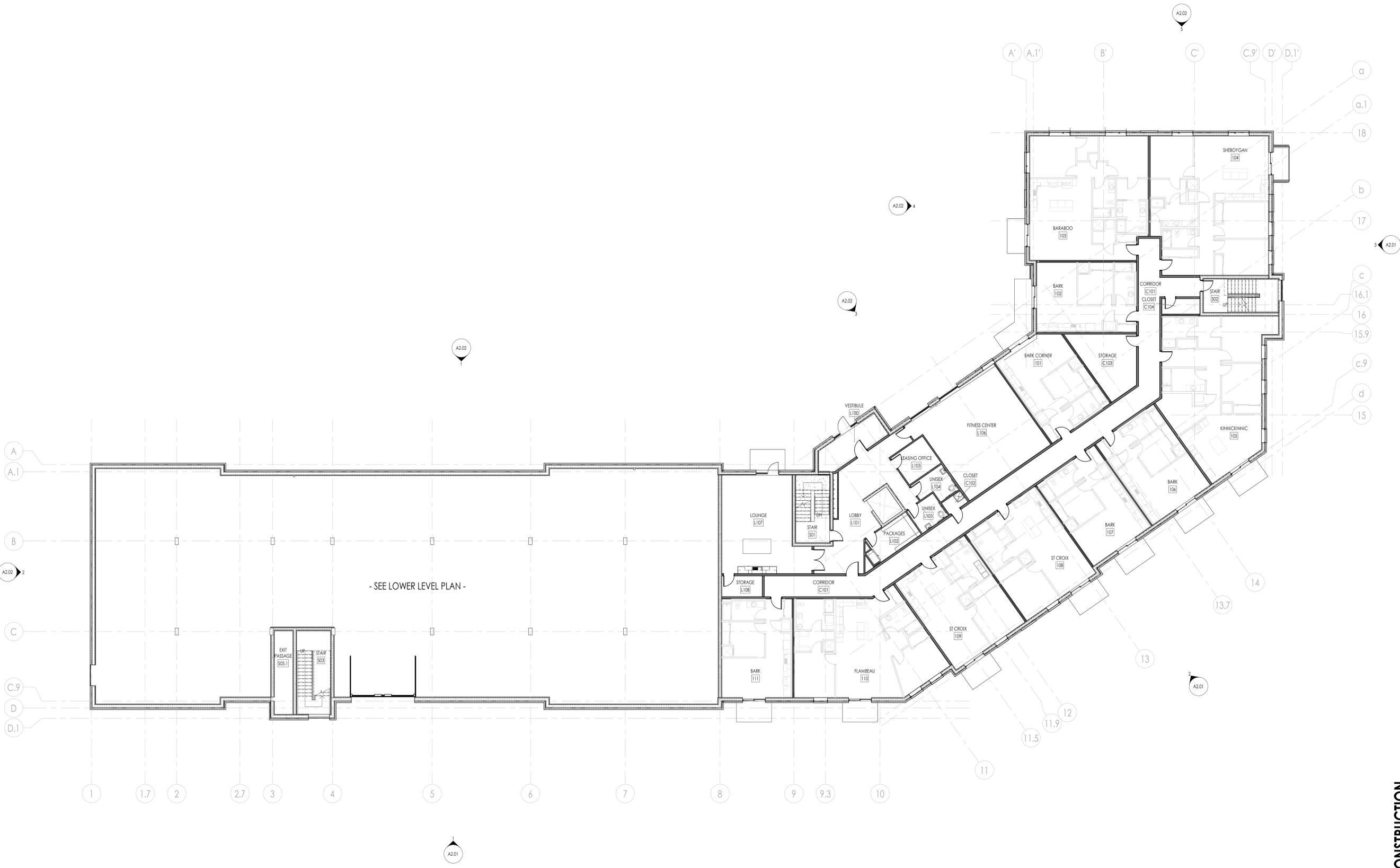
**NOT FOR CONSTRUCTION**



**1 LOWER LEVEL PLAN**  
3/32" = 1'-0"

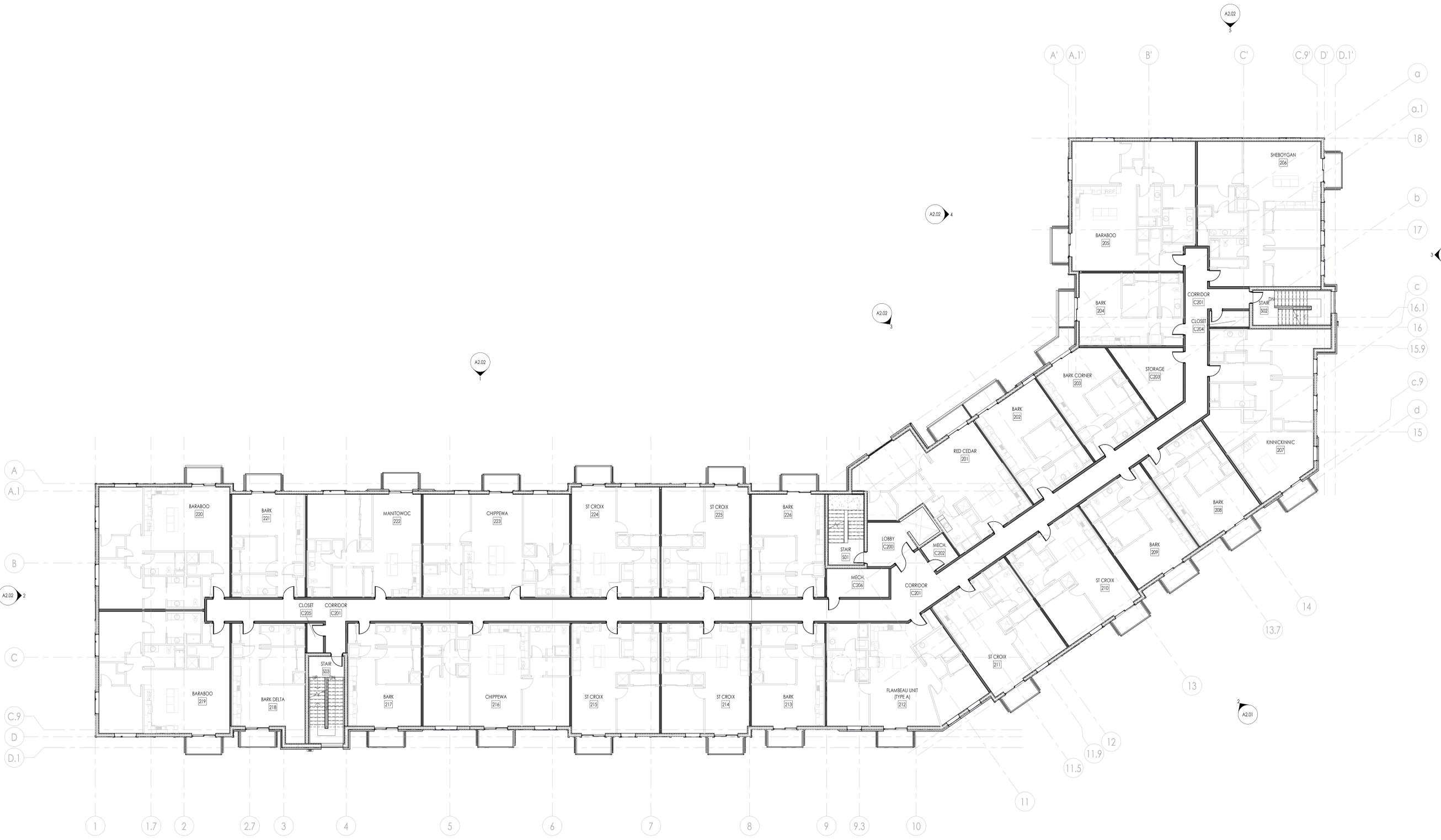
1/25/2026 11:46:53 AM

**NOT FOR CONSTRUCTION**



**1 FIRST FLOOR**  
3/32" = 1'-0"

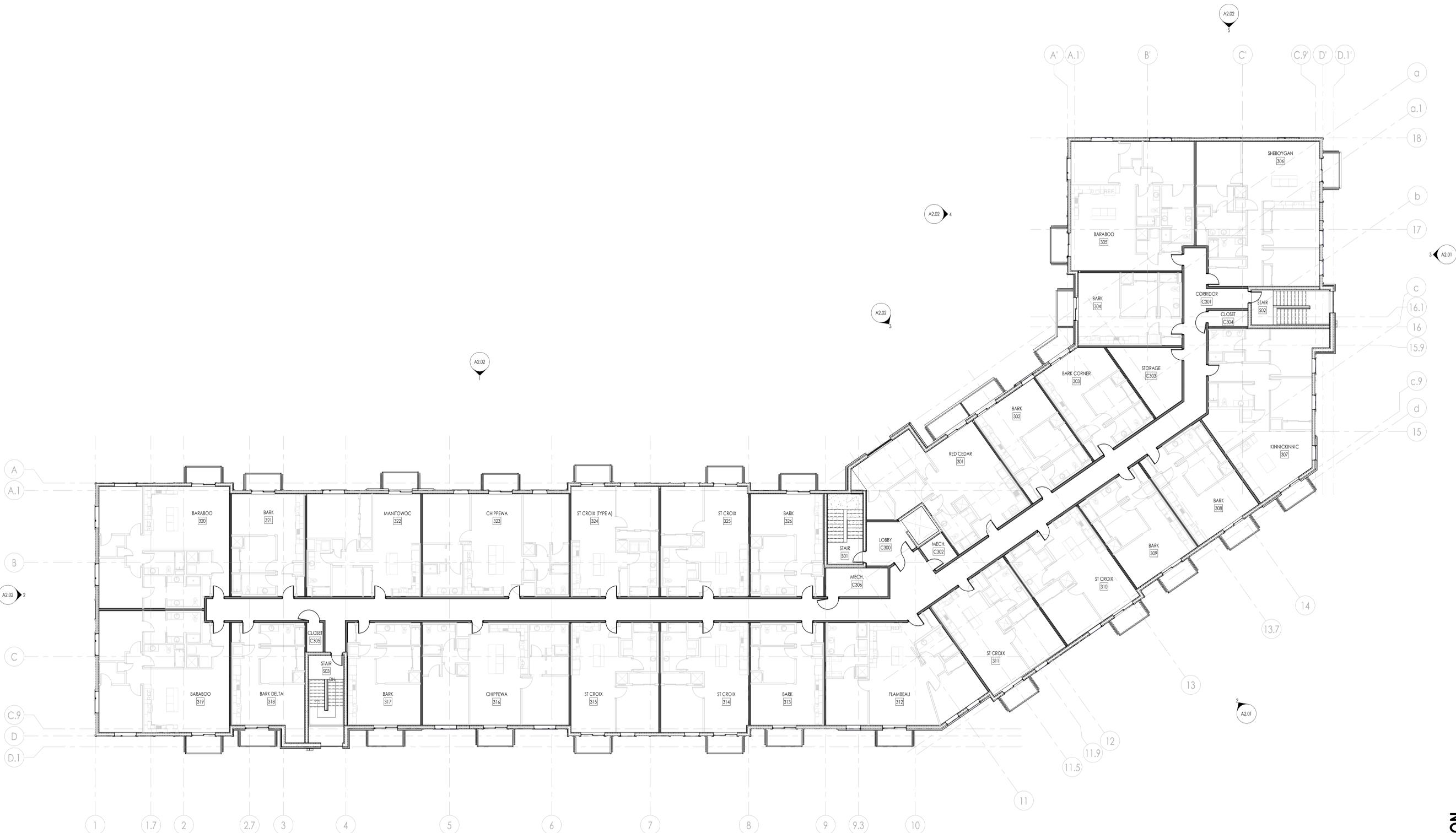
**NOT FOR CONSTRUCTION**



1 SECOND FLOOR PLAN  
3/24 = 11'-0"



**NOT FOR CONSTRUCTION**



**1 THIRD FLOOR PLAN**  
3/32" = 1'-0"



**ROOF PLAN GENERAL NOTES**

SEE MECHANICAL DRAWINGS FOR LOCATION AND SIZE OF ALL ROOF PENETRATIONS AND CURBS REQUIRED FOR MECHANICAL EQUIPMENT.

ROOFING CONTRACTOR SHALL PROVIDE MEMBRANE FORM FLASHING FOR ALL ROOF PENETRATIONS PER ROOF MEMBRANE MANUFACTURER'S REQUIREMENTS.

PROVIDE WALKWAY FROM ROOF ACCESS TO ALL MOTORIZED EQUIPMENT AND SIDES OF EQUIPMENT REQUIRING ACCESS.

ARROWS INDICATE ROOF PITCH DIRECTION. TYP.

COORDINATE AND VERIFY ALL ROOF OPENINGS AND PENETRATIONS WITH STRUCTURAL, PLUMBING, HVAC, AND ELECTRICAL REQUIREMENTS.

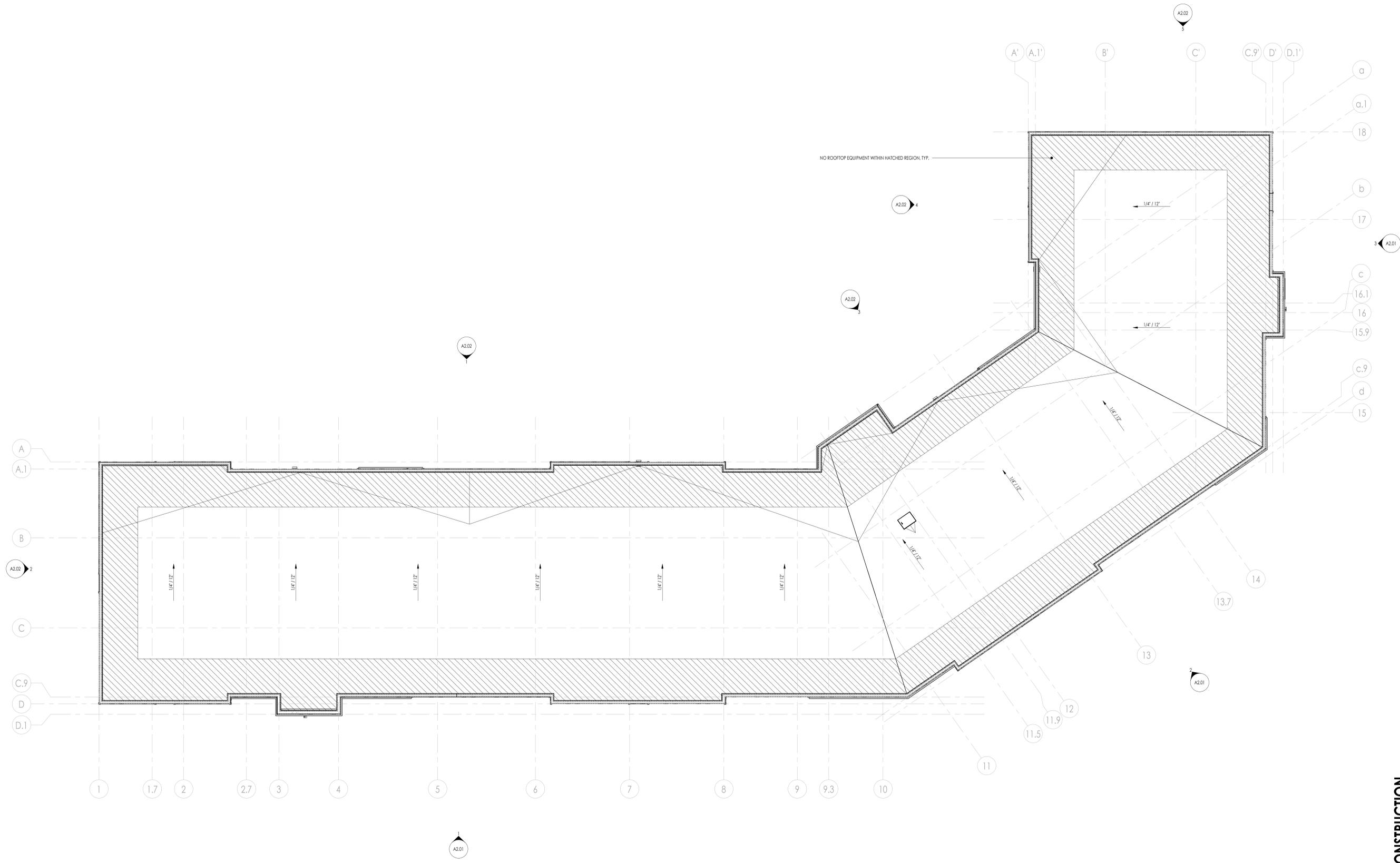
PROVIDE SADDLES AND CRICKETS AT ALL ROOFTOP EQUIPMENT AND PENETRATIONS TO ENSURE POSITIVE DRAINAGE.

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ISSUANCE & REVISION
1 10/20/2025 SD BUDGET SET
3 01/05/2026 FINAL SITE PLAN + ARCH REVIEW

PROJECT NUMBER	8240076
PROJECT ISSUED	8/25/2025
DRAWN BY	BG
CHECKED BY	BG

**NOT FOR CONSTRUCTION**



**1 ROOF PLAN**  
3/32" = 1'-0"

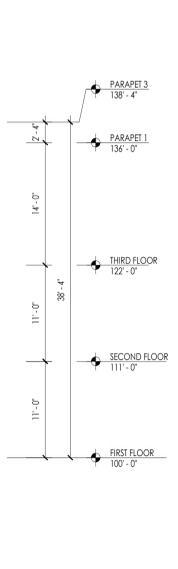
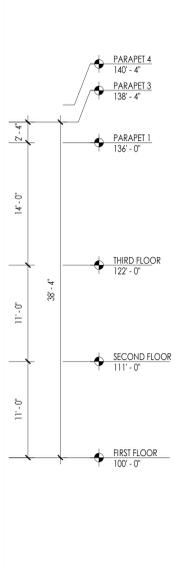
**EXTERIOR FINISHES LEGEND**

1	<b>MASONRY VENEER</b> HEBRON BRICK COMPANY COLOR: SEA GRAY #6; SIZE: UTILITY; TEXTURE: VELOUR COURSGING: 1/3 RUNNING BOND
2	<b>MASONRY VENEER</b> HEBRON BRICK COMPANY COLOR: SLATE GRAY; SIZE: UTILITY; TEXTURE: VELOUR COURSGING: 1/3 RUNNING BOND
3	<b>LAP SIDING</b> LP SMARTSIDE COLOR: TIMBERLAND SUEDE; SIZE: 7.84"; TEXTURE: CEDAR
4	<b>LAP SIDING</b> LP SMARTSIDE COLOR: RAPIDS BLUE; SIZE: 7.84"; TEXTURE: CEDAR
5	<b>REVEAL WALL PANEL</b> PAC-CLAD COLOR: TRADITIONAL BLACK; SIZE: 11" x 11" REVEAL PANEL: TEXTURE: SMOOTH PANEL
6	<b>SIDING TRIM</b> LP SMARTSIDE S40 SERIES; COLOR: DESERT STONE; SIZE: VARIES
7	<b>PRECAST SIL</b> ROCKRIDGE CAST STONE COLOR: #N2276 IMITATION LIMESTONE; SIZE: 3-5/8"
8	<b>PREFINISHED METAL COPING</b> FIRESTONE COLOR: SANDSTONE
9	<b>PREFINISHED METAL COPING</b> FIRESTONE COLOR: DARK BRONZE

**KEYNOTES**

04-01	BRICK SOLDIER COURSE TO MATCH ADJACENT FIELD OF BRICK AND MORTAR.
05-01	PREFINISHED ALUMINUM BALCONY WITH ALUMINUM GUARDRAIL WITH CABLE RAILING SYSTEM. BLACK. SEE STRUCTURAL DRAWINGS FOR BALCONY DESIGN AND REINFORCEMENT.
23-01	4" PREFINISHED DRYER VENT OR BATHROOM FAN.
23-02	4" CONE STYLE FURNACE VENT
26-01	INSTALL BLACK ALVA LIGHTING BRIAN 15 DOWN LIGHT WALL SCONCE OR APPROVED EQUAL. TYP.
26-02	INSTALL BLACK ALVA LIGHTING BRIAN 31 DOWN LIGHT WALL SCONCE OR APPROVED EQUAL. TYP.
26-03	INSTALL 24" H x 4" D WHITE CERAMIC COATED ALUMINUM BACKLIT LETTERING MOUNTED ON ALUMINUM POSTS HELD 1" FROM SURFACE OF SUBSTRATE.
26-04	WALL PACK LIGHT. BLACK TO MATCH FINISH OF OTHER SCONCES ON ELEVATION.

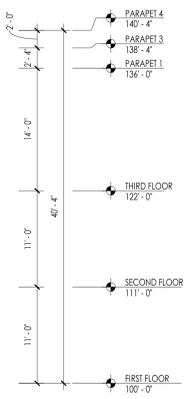




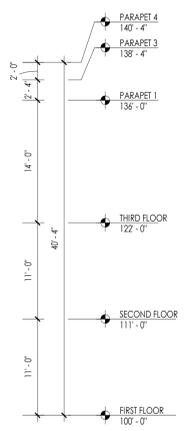
EXTERIOR FINISHES LEGEND	
1	<b>MASONRY VENEER</b> HEBRON BRICK COMPANY COLOR: SEA GRAY #6; SIZE: UTILITY; TEXTURE: VELOUR COURSING: 1/3 RUNNING BOND
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KEYNOTES	
04-01	BRICK SOLDIER COURSE TO MATCH ADJACENT FIELD OF BRICK AND MORTAR.
05-01	PREFINISHED ALUMINUM BALCONY WITH ALUMINUM GUARDRAIL WITH CABLE RAILING SYSTEM BLACK. SEE STRUCTURAL DRAWINGS FOR BALCONY DESIGN AND REINFORCEMENT.
22-01	THRU WALL STAINLESS STEEL SCUPPER
23-01	4" PREFINISHED DRYER VENT OR BATHROOM FAN.
23-02	4" CONE STEEL FIREPLACE VENT
23-03	PREFINISHED METAL LOUVER
26-01	INSTALL BLACK ALVA LIGHTING BRIAN 15 DOWN LIGHT WALL SCONCE OR APPROVED EQUAL, TYP.
26-02	INSTALL BLACK ALVA LIGHTING BRIAN 31 DOWN/UP LIGHT WALL SCONCE OR APPROVED EQUAL, TYP.

5 NORTH END ELEVATION  
1/8" = 1'-0"

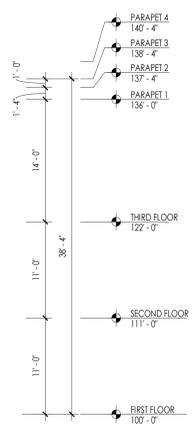


4 WEST ELEVATION NORTH END  
1/8" = 1'-0"



3 NORTHWEST ELEVATION AT ENTRY  
1/8" = 1'-0"

2 WEST END ELEVATION  
1/8" = 1'-0"



1 NORTH ELEVATION  
1/8" = 1'-0"

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ISSUANCE & REVISION	
1	10/20/2025 SD BUDGET SET
2	11/18/2025 PRELIM SITE PLAN + ARCH REVIEW
3	01/05/2026 FINAL SITE PLAN + ARCH REVIEW

PROJECT NUMBER	8240076
PROJECT ISSUED	8/25/2025
DRAWN BY	-
CHECKED BY	-

NOT FOR CONSTRUCTION