



THE REDMOND COMPANY

W 2 2 8 N 7 4 5 WESTMOUND DRIVE, WAUKESHA, WISCONSIN 53 PHONE: (2 6 2) 5 4 9 - 9 6 0 0 FAX: (2 6 2) 5 4 9 - 1 3 1 4
1 8 6 - 1 7 2 5

THE REDMOND COMPANY
• DESIGN • CONSTRUCTION
• CONSULTING • MANAGEMENT
W228 N745 Westmound Drive
Waukesha, Wisconsin 53186
tel 262.549.9600 fax:
2) 549-1314
Innovative Approach. Unique Solutions.
www.theredmondco.com

PROJECT INFORMATION

**FIELDS JAGUAR
LAND ROVER**
1901 E. MORELAND
WAUKESHA WI 53186

ISSUANCE AND REVISIONS

CITY SUBMITTAL

REVISIONS

#	Description	Date
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SHEET INFORMATION

OWNERSHIP AND USE OF DOCUMENTS

The drawings, specifications and other documents furnished by the Design/Builder are instruments of service and shall not become the property of the Owner whether or not the Project for which they are made is commenced. Drawings, specifications and other documents furnished by the Design/Builder shall not be used by the Owner on other projects, for additions to this project or for completion to use, liability and compensation. Submission or distribution of documents to meet official regulatory requirements or for other purposes in connection with the Project is not to be construed as publication in derogation of the Design/Builder's or the Architect's common law copyrights or other reserved rights. The Owner shall own neither the documents nor the copyrights.

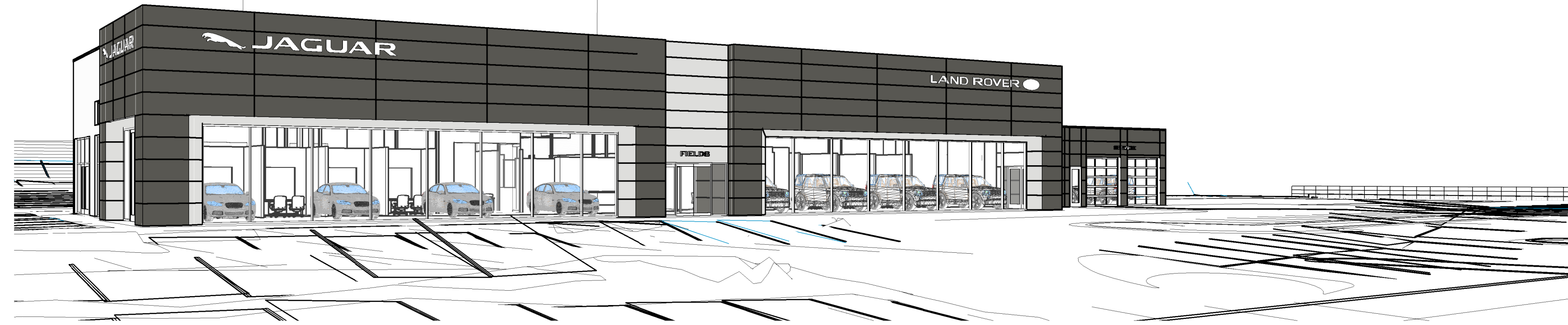
PROJECT NUMBER	16059
DATE	12.07.16
DRAWN BY	DRB

Index

G000

FIELDS JAGUAR LAND ROVER

1901 E. MORELAND
WAUKESHA WI 53186



PROJECT TEAM

OWNER
FIELDS WAUKESHA
1901 E MORELAND
WAUKESHA WI, 53186

LANDSCAPE ARCHITECT
INSITE LANDSCAPE DESIGN
11525 W. NORTH AVE
WAUKESHA WI, 53226

PROJECT CONTACT: MICHAEL DAVIS
EMAIL: MDAVIS@INSITELANDSCAPE.COM
P: 414.476.1204
F: -

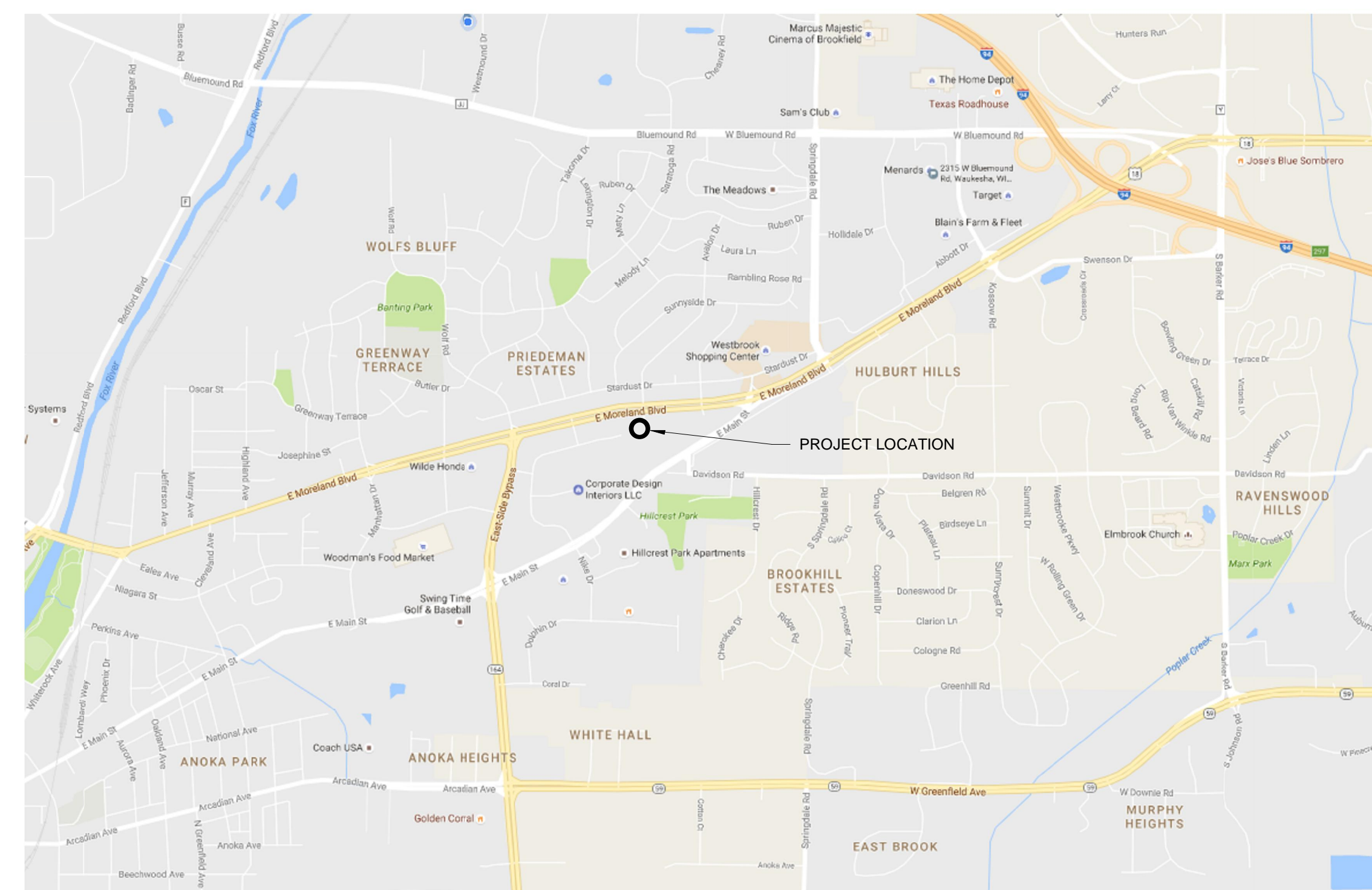
ARCHITECT
THE REDMOND COMPANY
W228 N745 WESTMOUND DRIVE
WAUKESHA WI, 53186

PROJECT CONTACT: JERRY MORTIER
EMAIL: JMORTIER@THEREDMONDCO.COM
P: 262.896.8753
F: 262.549.1314

CIVIL ENGINEER
VIERBICHER
999 FOURIER DRIVE
MADISON WI, 53717

PROJECT CONTACT: GARY BLAZEK
EMAIL: GBLA@VIERBICHER.COM
P: 608.826.0532
F: 608.826.0530

VICINITY MAP



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ALTA/NSPS LAND TITLE SURVEY

CLIENT
LGR LLC

SITE ADDRESS
1859 & 1901 E. Moreland Blvd., Waukesha, Wisconsin.

LEGAL DESCRIPTION
PARCEL I: All that part of the East 1/2 of Section 36, Township 7 North, Range 19 East, bounded and describe as follows: Beginning at a point on the center line of the U.S.H. "18" said point being North 85°45' East, 355.06 feet distant from the intersection of the North and South 1/4 line of Section 36 with the center line of said highway; thence South parallel with said 1/4 line, 492.10 feet; thence North 85°45' East 177.53 feet; thence North parallel with said 1/4 line, 492.10 feet to the center line of said highway; thence South 85°45' West along said center line, 177.53 feet to the place of beginning. Excepting therefrom the premises conveyed by Deed recorded in Volume 1028 of Deeds, Page 64, Document No. 647455. Said land being in the City of Waukesha, County of Waukesha, State of Wisconsin.

PARCEL II: The West 1/2 of the following described parcel of land, to-wit: All that part of the East 1/2 of Section 36, Township 7 North, Range 19 East, bounded and described as follows: Beginning at a point on the center line of U.S.H. "18" said point being North 85°45' East 532.59 feet distant from the intersection of the North and South 1/4 line of said Section 36 with the center line of said highway; thence South parallel with said 1/4 line of said highway, thence North parallel with said 1/4 line 492.10 feet; thence North parallel with said 1/4 line 492.10 feet to the center line of said highway; thence South 85°45' West along said center line 355.04 feet to the place of beginning. Excepting those lands within the U.S.H. "18" right of way. Said land being in the City of Waukesha, County of Waukesha, State of Wisconsin.

PARCEL III: The Easterly 1 acre of that piece of land known as Parcel "G" and described as follows: All that part of the East 1/2 of Section 36, Township 7 North, Range 19 East, in the City of Waukesha, County of Waukesha, State of Wisconsin, bounded and described as follows: Beginning at a point on the center line of United States Highway #18, said point being North 85°45' East 177.53 feet distant from the intersection of the North and South quarter line of said Section 36 with the center line of said highway; thence South parallel with said quarter line 492.10 feet; thence North 85°45' East 177.53 feet; thence North parallel with said quarter line 492.10 feet to the center line of said highway; thence South 85°45' West along said center line 177.53 feet to the place of beginning. Excepting therefrom that portion of the above real estate described in Award of Damages recorded as Document No. 642800.

BASIS OF BEARINGS
Bearings are referenced to the Wisconsin State Plane Coordinate System (South Zone), in which the West line of the NE 1/4 which bears N00°14'49"W.

TITLE COMMITMENT
This survey was prepared based on Chicago Title Insurance Company Commitment No. CO-3354, effective date of May 18, 2015 which lists the following easements and/or restrictions from schedule B-I:

- 1, 5, 6, 7, 8 & 10, visible evidence shown, if any.
- 2, 3, 4, 9, 13 & 14, not survey related.
11. Access limitations set forth in Award of Damages recorded as Document No. 642800, amended by Quit Claim Deed recorded as Document No. 1173138 and also by Quit Claim Deed recorded as Document No. 1173139. *Affects site by location, shown*
12. Easement(s) for the purpose(s) and rights incidental thereto, as granted in a document, granted to the City of Waukesha, for sanitary sewer purposes, recorded on August 20, 1992, as Document No. 1760001. *Does not affect site by location, shown*

- TITLE COMMITMENT**
This survey was prepared based on Knight Barry Title Group Loan Policy No. G47-3805776, effective date of September 27, 2006 which lists the following easements and/or restrictions from schedule B-I:
- 2, 3, 4, 16, 17, 19, 20, 21 & 22, visible evidence shown, if any.
 - 1, 5, 18, 23, 24 & 25, not survey related.
 6. Utility Easement recorded in the office of the Register of Deeds for Waukesha County, Wisconsin as Document No. 320565. *Affects property by location, shown.*
 7. Utility Easement recorded in the office of the Register of Deeds for Waukesha County, Wisconsin as Document No. 1254285. *Affects property by location, shown.*
 8. Limitations on Access as disclosed in a Quit Claim Deed recorded in the office of the Register of Deeds for Waukesha County, Wisconsin as Document No. 1252504. *Affects property by location, right to one access point, unable to determine exact location from record document.*
 9. Access Restrictions as contained in a Highway conveyance recorded in the office of the Register of Deeds for Waukesha County, Wisconsin as Document No. 637429. *Affects property by location, shown.*
 10. Utility Easement recorded in the office of the Register of Deeds for Waukesha County, Wisconsin as Document No. 991596. *Affects property by location, unable to determine exact location from record document.*
 11. Encroachment by asphalt located principal on the Northeast portion of the premises described in Schedule C hereof onto the Property located to the East to the extent of 0.8 feet as shown on a plat of survey prepared by Jahnke & Jahnke Associates Inc., dated August 23, 2004, as Job No. S-3762. The Company insures the insured against loss or damage (not exceeding the amount of this policy) resulting from the enforced removal of the above mentioned encroachment. *No encroachments of asphalt observed.*
 12. Easement for storm sewer as evidenced by stone rip-rap located on the Northeast portion of the premises described in Schedule C as shown on a plat of survey prepared by Jahnke & Jahnke Associates Inc. dated August 23, 2004, as Job No. S-3762. *No encroachments of stone rip-rap observed.*
 13. Encroachment of a retaining wall located principal on the Northwest portion of the premises described in Schedule C onto the premises abutting to the North as shown on a plat of survey prepared by Jahnke & Jahnke Associates Inc. dated August 23, 2004, as Job No. S-3762. The Company insures the insured against loss or damage (not exceeding the amount of this policy) resulting from the enforced removal of the above mentioned encroachment. *No encroachments of retaining walls observed.*
 14. Utility easement for overhead wires affecting the North portion of the subject premises as describe in Schedule C hereof as shown on the plat of survey prepared by Jahnke & Jahnke Associates Inc. dated August 23, 2004, as Job No. S-3762. *Affects property by location, utility service lines shown.*
 15. Utility easement for gas, electric, telephone and sanitary sewer affecting the East portion of the subject premises as described in Schedule C hereof as shown on the plat of survey prepared by Jahnke & Jahnke Associates Inc. dated August 23, 2004, as Job No. S-3762. *Affects property by location, utility service lines shown.*
 16. Temporary Limited Easement and other matters contained in instrument recorded on May 9, 2012, as Document No. 3916783. *Affects property by location, shown.*

PARKING SPACES
There are 252 regular parking spaces and 3 handicap spaces marked on this site.

FLOOD NOTE
According to the flood insurance rate map of the County of Waukesha, Community Panel No. 55133C0214G, effective date of November 5, 2014, this site falls in Zone X (Areas determined to be outside the 0.2% annual chance floodplain).

MUNICIPAL ZONING
Municipal Code: Waukesha Zoning Code Sec. 22.37
Site is zoned: B-5 (Community Business District)
Front setback: 50 feet
Side setback: 10 feet
Rear setback: 25 feet
Maximum building height: 55 feet
Parking restrictions: Two (2) customer parking spaces per salesperson, plus one (1) employee parking space per employee (including salespersons) for the work shift with the largest number of employees, and one (1) short-term bicycle parking space per 20,000 square feet of gross floor area, plus 1 long-term bicycle parking space per 12,000 square feet of gross floor area.

LAND AREA
The Land Area of the subject property is 194,510 square feet or 4.4653 acres.

TO: LGR LLC
Akerman Senterfitt
JPMorgan Chase Bank, N.A.
First American Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 7(a), 7(c), 8, 9, 11, 16, 18, 20, 21 and 22 of Table A thereof. The field work was completed on March 29, 2016.

Date of Map: April 7, 2016.

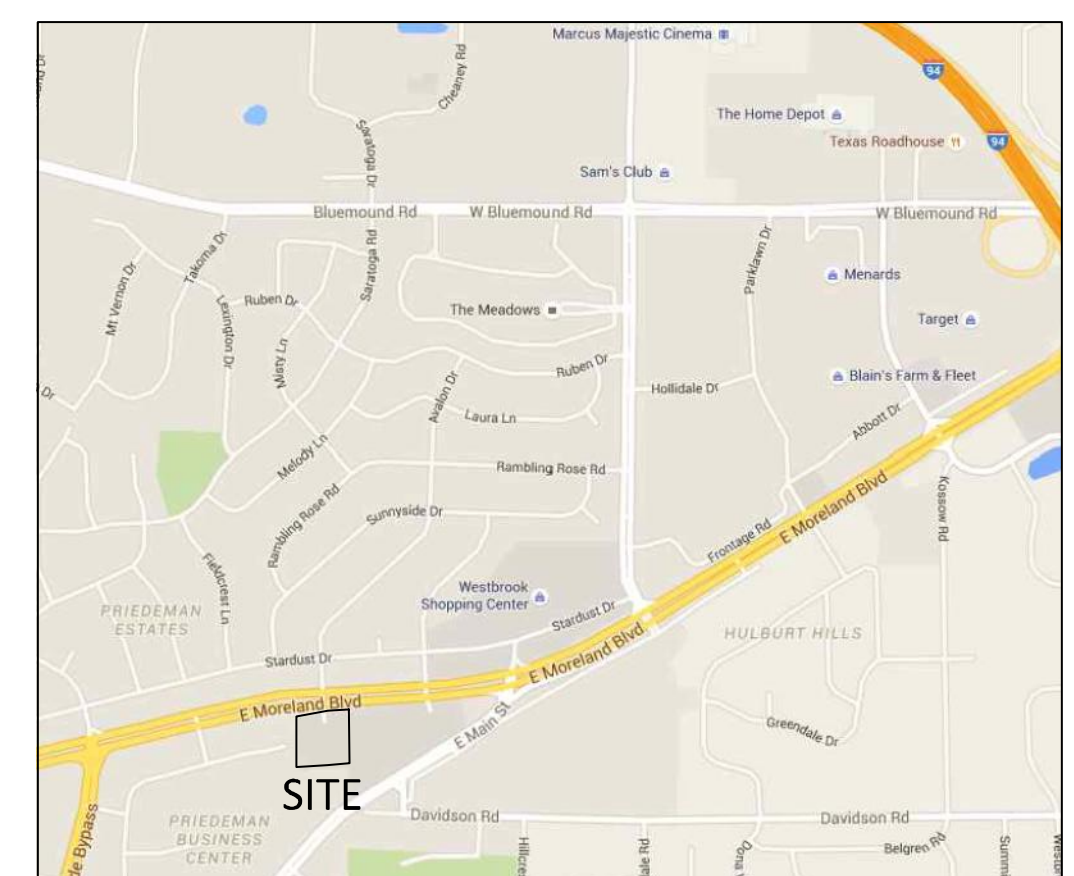
CHAPUT LAND SURVEYS LLC
234 W. FLORIDA STREET
MILWAUKEE, WI 53204
414-224-8068
www.chaputlandsurveys.com

Donald C. Chaput
S-1316
MILWAUKEE
WI
LAND SURVEYOR
Professional Land Surveyor
Registration Number S-1316

LEGEND

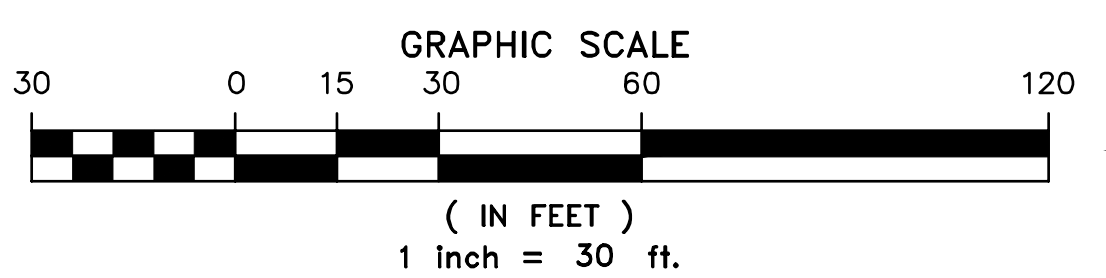
- INDICATES FOUND 1" IRON PIPE
- INDICATES SET 1" IRON PIPE
- ⊕ INDICATES FOUND CHISELED CROSS
- ⊙ SANITARY MANHOLE
- ⊕ SANITARY CLEANOUT OR VENT
- ⊙ M.I.S. MANHOLE
- ⊙ UNKNOWN MANHOLE
- ⊙ STORM MANHOLE
- ⊙ INLET (ROUND)
- ⊙ INLET (SQUARE)
- ⊙ CURB INLET
- ⊙ STORM SEWER END SECTION
- ⊙ GAS VALVE
- ⊙ GAS METER
- ⊙ WATER VALVE
- ⊙ HYDRANT
- ⊙ WATER MANHOLE
- ⊙ WATER SERVICE CURB STOP
- ⊙ WELL HEAD
- ⊙ STAND PIPE
- ⊙ WALL INDICATOR VALVE
- ⊙ POST INDICATOR VALVE
- ⊙ LIGHT POLE
- ⊙ SPOT/YARD LIGHT
- ⊙ UTILITY POLE
- ⊙ GUY POLE
- ⊙ GUY WIRE
- ⊙ ELECTRIC MANHOLE
- ⊙ ELECTRIC PEDESTAL
- ⊙ ELECTRIC METER
- ⊙ TELEPHONE MANHOLE
- ⊙ TELEPHONE PEDESTAL
- ⊙ CABLE PEDESTAL
- ⊙ CONTROL BOX
- ⊙ FIBER OPTIC SIGN
- ⊙ TRAFFIC LIGHT
- ⊙ COMMUNICATION MANHOLE
- ⊙ BOLLARD
- ⊙ SOIL BORING/MONITORING WELL
- ⊙ WATER SURFACE
- ⊙ WETLANDS FLAG
- ⊙ MARSH
- ⊙ FLAGPOLE
- ⊙ PARKING METER
- ⊙ SIGN
- ⊙ MAILBOX
- ⊙ RAILROAD CROSSING SIGNAL
- ⊙ HANDICAP SPACE
- ⊙ CONIFEROUS TREE
- ⊙ DECIDUOUS TREE
- SANITARY SEWER
- STORM SEWER
- WATERLINE
- MARKED GAS MAIN
- MARKED ELECTRIC
- OVERHEAD WIRES
- MARKED TELEPHONE
- MARKED CABLE TV LINE
- MARKED FIBER OPTIC
- FENCE

VICINITY MAP



Horizontal datum is based on the Wisconsin State Plane Coordinate System Grid, South zone (NAD-27)

Vertical datum is based on National Geodetic Vertical Datum of 1929.

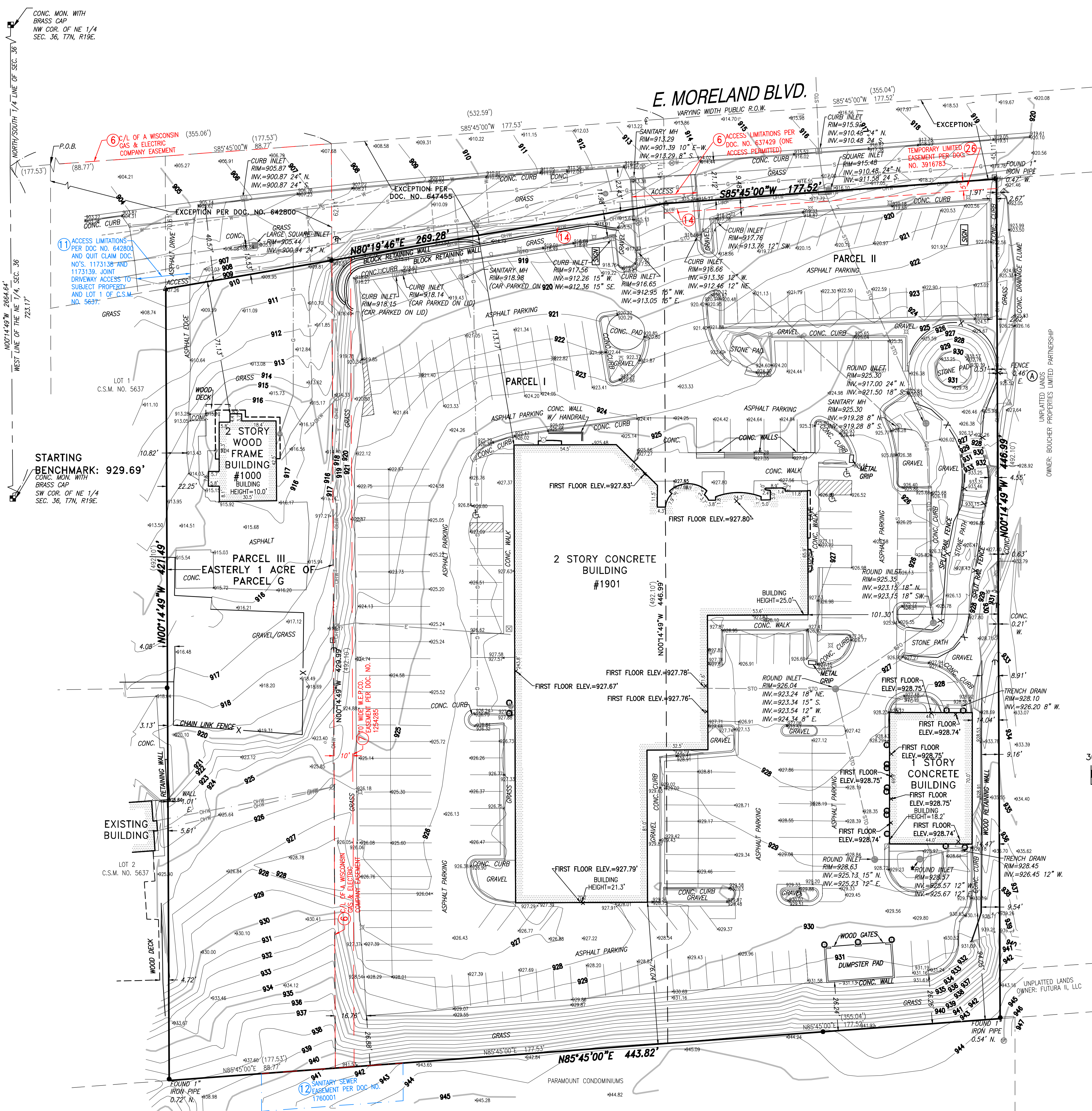


ENCROACHMENT TABLE

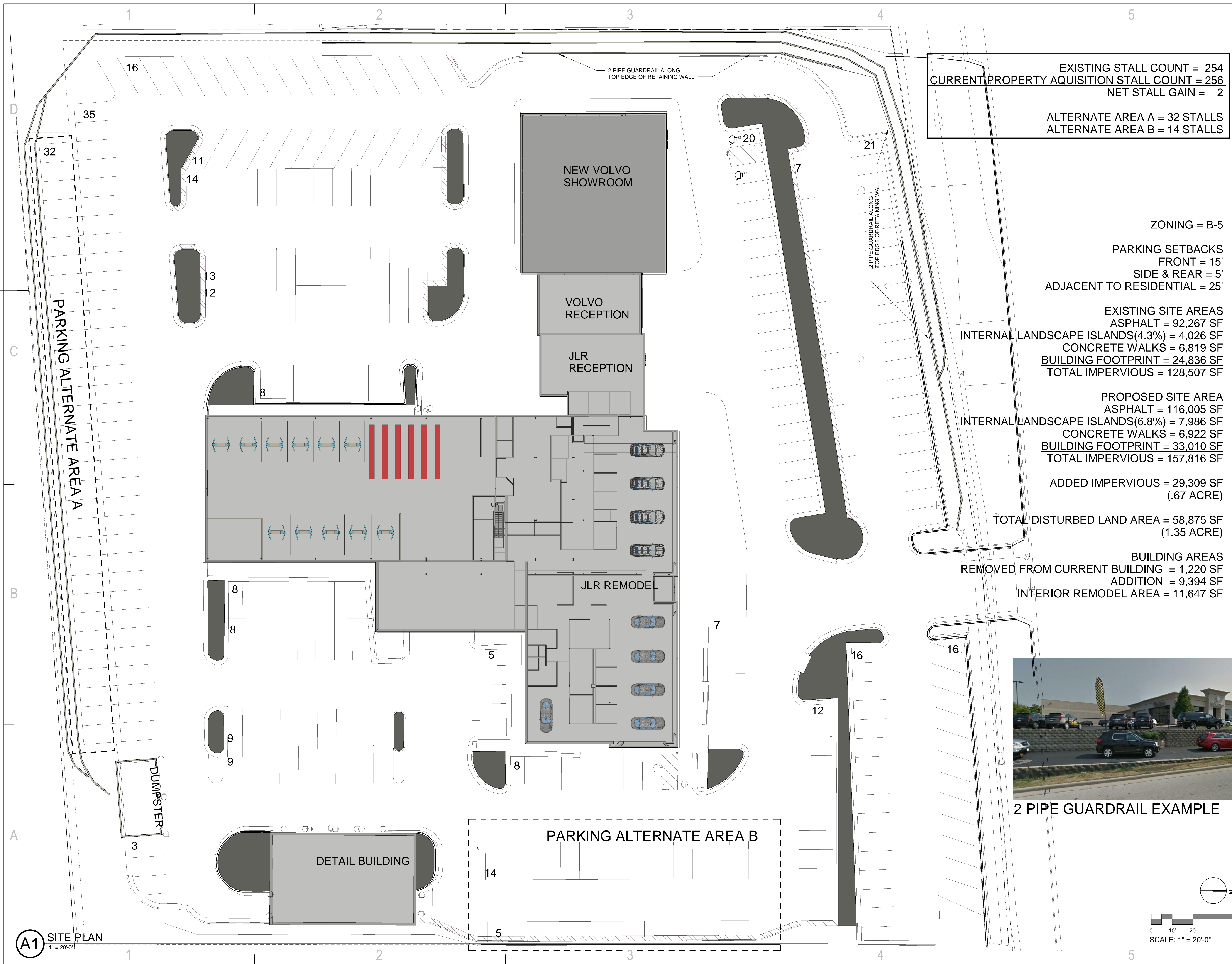
A	FENCE 0.46 FEET EAST EAST LOT LINE
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TABLE "A" ITEMS

11. Utility lines are shown from visible surface evidence, municipal plans and from plans and markings provided by Diggers Hotline, the One-call Utility Marking System (Wisconsin Statute 182.0175), Ticket Number 20161413515. This survey represents the underground utilities that participated with the request and were marked on the time of the survey. Additional utilities may exist, but were non-responsive to the request.
16. There is no visible evidence of earth moving, building construction or building additions within recent months.
18. There is no evidence on site of delineated wetlands areas.



STARTING BENCHMARK: 929.69'
CONC. MON. WITH BRASS CAP
SW COR. OF NE 1/4 SEC. 36, 17N, R19E.



EXISTING STALL COUNT = 254
 CURRENT PROPERTY ACQUISITION STALL COUNT = 256
 NET STALL GAIN = 2

ALTERNATE AREA A = 32 STALLS
 ALTERNATE AREA B = 14 STALLS

ZONING = B-5

PARKING SETBACKS
 FRONT = 15'
 SIDE & REAR = 5'
 ADJACENT TO RESIDENTIAL = 25'

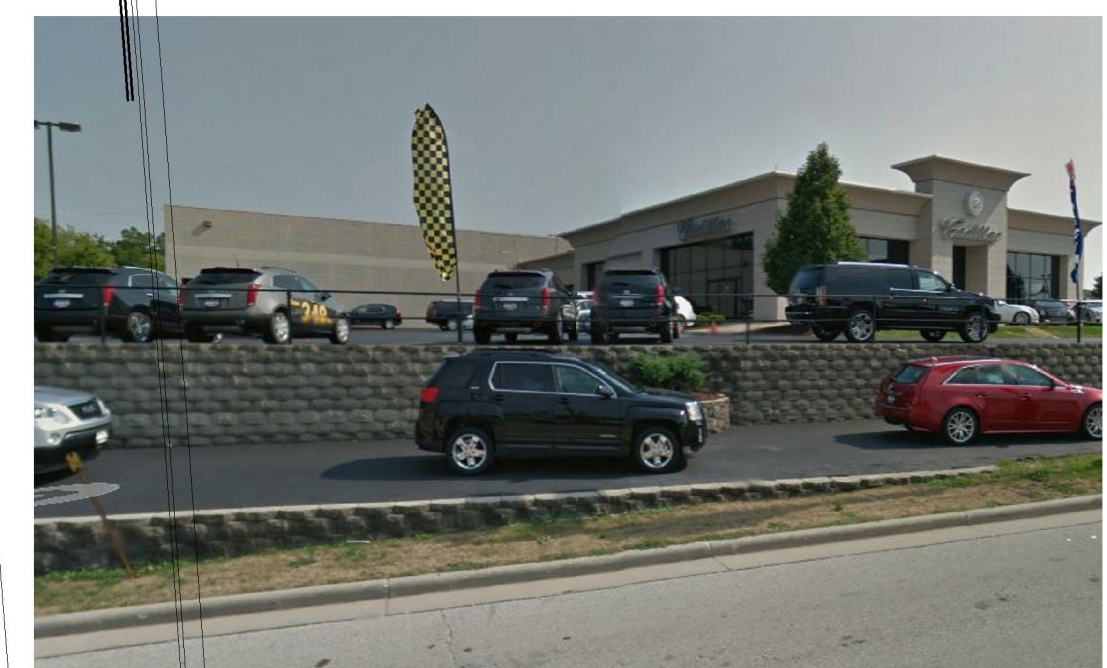
EXISTING SITE AREAS
 ASPHALT = 92,267 SF
 INTERNAL LANDSCAPE ISLANDS(4.3%) = 4,026 SF
 CONCRETE WALKS = 6,819 SF
 BUILDING FOOTPRINT = 24,836 SF
 TOTAL IMPERVIOUS = 128,507 SF

PROPOSED SITE AREA
 ASPHALT = 116,005 SF
 INTERNAL LANDSCAPE ISLANDS(6.8%) = 7,986 SF
 CONCRETE WALKS = 6,922 SF
 BUILDING FOOTPRINT = 33,010 SF
 TOTAL IMPERVIOUS = 157,816 SF

ADDED IMPERVIOUS = 29,309 SF
 (.67 ACRE)

TOTAL DISTURBED LAND AREA = 58,875 SF
 (1.35 ACRE)

BUILDING AREAS
 REMOVED FROM CURRENT BUILDING = 1,220 SF
 ADDITION = 9,394 SF
 INTERIOR REMODEL AREA = 11,647 SF



2 PIPE GUARDRAIL EXAMPLE



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PROJECT INFORMATION

**FIELDS JAGUAR
 LAND ROVER**

1901 E. MORELAND
 WAUKESHA WI 53186

ISSUANCE AND REVISIONS

CITY
 SUBMITTAL

REVISIONS

#	Description	Date

SHEET INFORMATION

OWNERSHIP AND USE
 OF DOCUMENTS

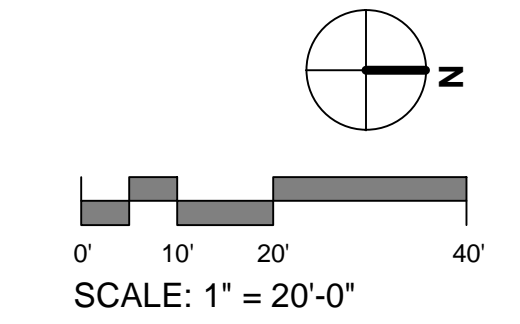
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PROJECT NUMBER	16059
DATE	12.07.16
DRAWN BY	JM

Architectural Site
 Plan

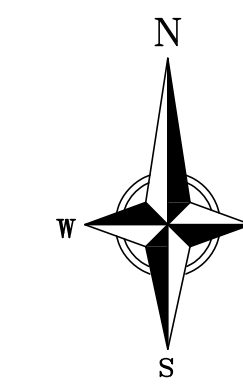
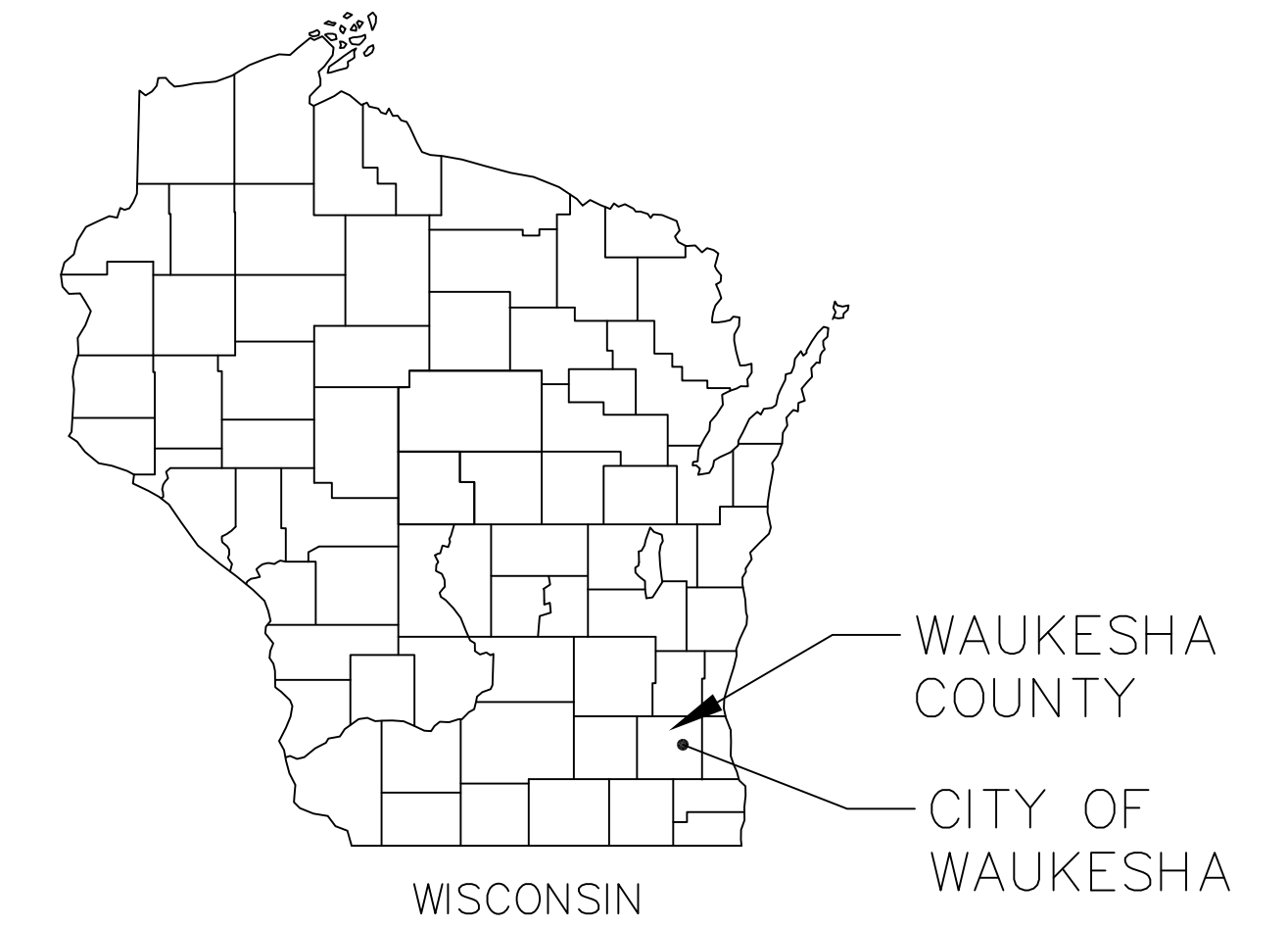
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A1 SITE PLAN
 1" = 20'-0"

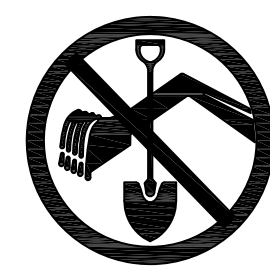
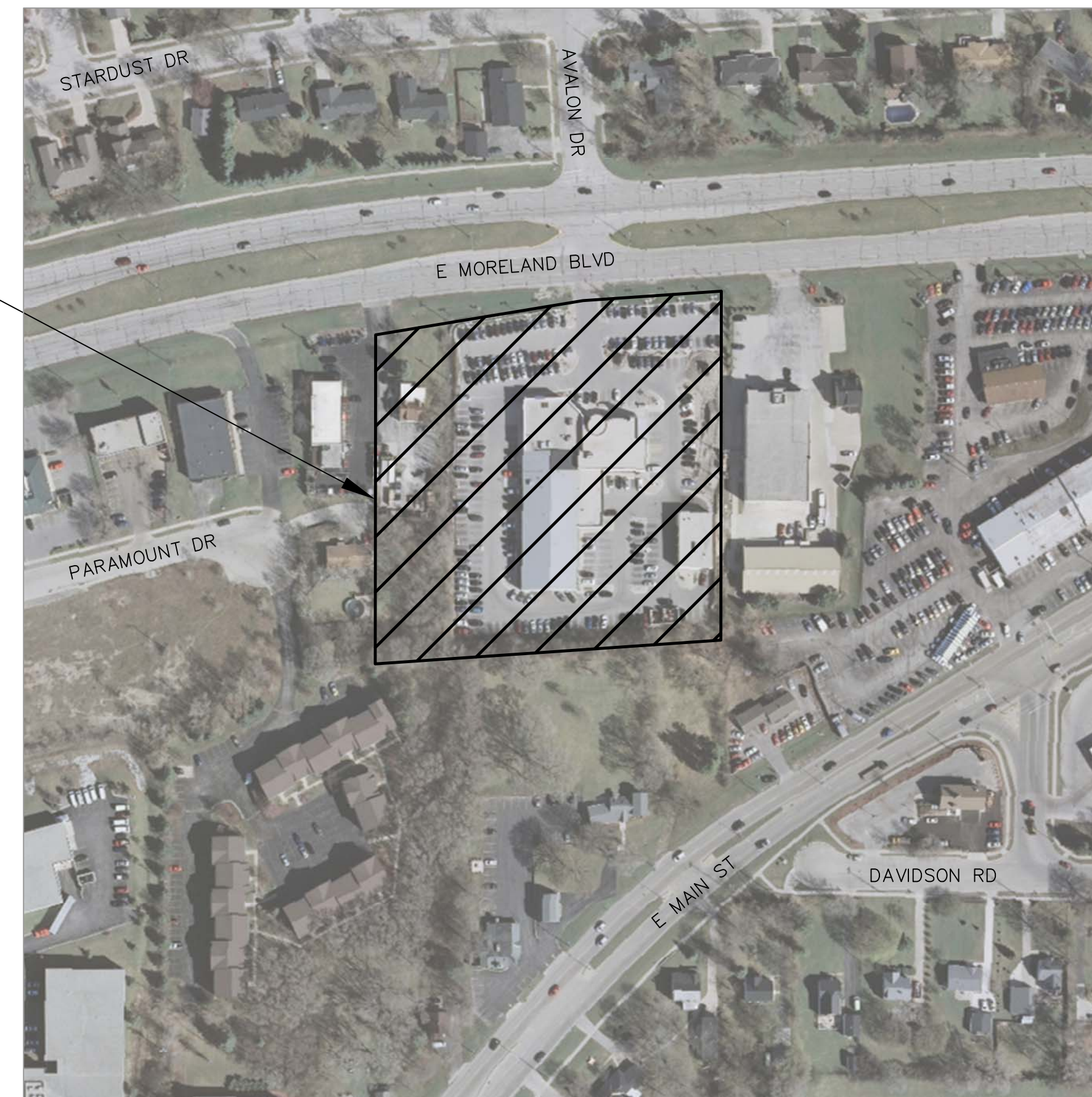


Waukesha Fields Jaguar-Land Rover

Civil Engineering Plans City of Waukesha, Wisconsin



PROJECT LOCATION



CALL DIGGER'S HOTLINE
1-800-242-8511
TOLL FREE

TELEFAX: 1-800-338-3860
TDC (FOR HEARING IMPAIRED):
1-800-542-2289
WS. STATUTE 182.0175 (1979)
REQUIRES MINIMUM OF 3 WORKING DAYS
NOTICE BEFORE YOU EXCAVATE.

THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THESE PLANS OR NOT, BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.

CALL DIGGER'S HOTLINE
1-800-242-8511

SITE BENCHMARK

CONC. MON. WITH
BRASS CAP
SW COR. OF NE 1/4
SEC. 36, T7N R19E.
ELEV = 929.69

SHEET NO.	DESCRIPTION
T1.0	TITLE SHEET
C1.0	EXISTING CONDITIONS AND DEMOLITION PLAN
C2.0	SITE PLAN
C3.0	GRADING AND EROSION CONTROL PLAN
C4.0	UTILITY PLAN
C5.0-C5.3	CONSTRUCTION DETAILS

Waukesha Fields Jaguar-Land Rover

Title Sheet

City of Waukesha

Waukesha County, Wisconsin

REVISIONS	NO.	DATE	REMARKS

SCALE
AS SHOWN

DATE
12/7/2016

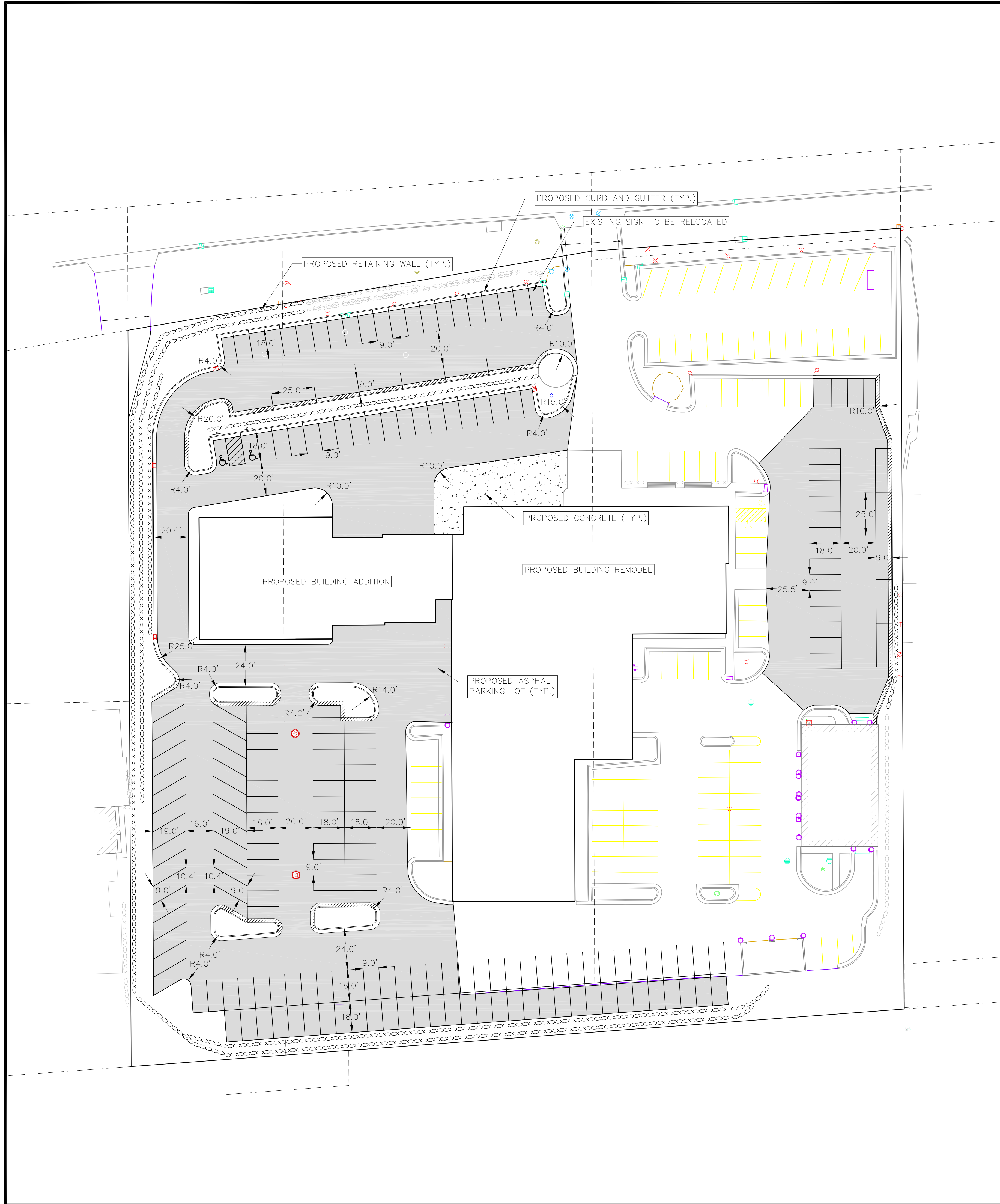
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JGOL

CHECKED
GBLA

PROJECT NO.
160333

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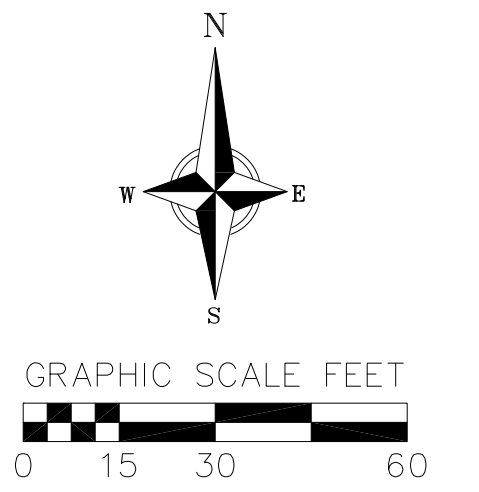


LEGEND

- PROPERTY BOUNDARY
- CURB AND GUTTER (REVERSE CURB HATCHED)
- PROPOSED CHAIN LINK FENCE
- PROPOSED WOOD FENCE
- PROPOSED CONCRETE
- PROPOSED LIGHT-DUTY ASPHALT
- PROPOSED HEAVY-DUTY ASPHALT
- PROPOSED SIGN
- PROPOSED LIGHT POLE
- PROPOSED BOLLARD
- PROPOSED ADA DETECTABLE WARNING FIELD
- PROPOSED HANDICAP PARKING

SITE CONSTRUCTION NOTES:

1. CONCRETE SIDEWALK TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED SAND OR CRUSHED STONE.
2. CONCRETE FOR DRIVEWAYS AND SIDEWALK AT DRIVEWAY ENTRANCES SHALL BE 7" THICK, CONSTRUCTED ON A BASE OF 5" COMPACTED SAND OR CRUSHED STONE.
3. CURB FACE HEIGHT SHALL BE 6 INCHES.
4. CONTRACTOR TO OBTAIN ANY NECESSARY UTILITY CONNECTION, DEMOLITION, DRIVEWAY CONNECTION, RIGHT-OF-WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
5. DIMENSIONS RELATING TO CURB ARE TO FACE OF CURB.



Waukesha Fields Jaguar-Land Rover
 Site Plan
 City of Waukesha
 Waukesha County, Wisconsin

REVISIONS	NO.	DATE	REMARKS

SCALE AS SHOWN

DATE 12/7/2016

DRAFTER JGOL

CHECKED GBLA

PROJECT NO. 160333

C

2.0



E. MORELAND BLVD.



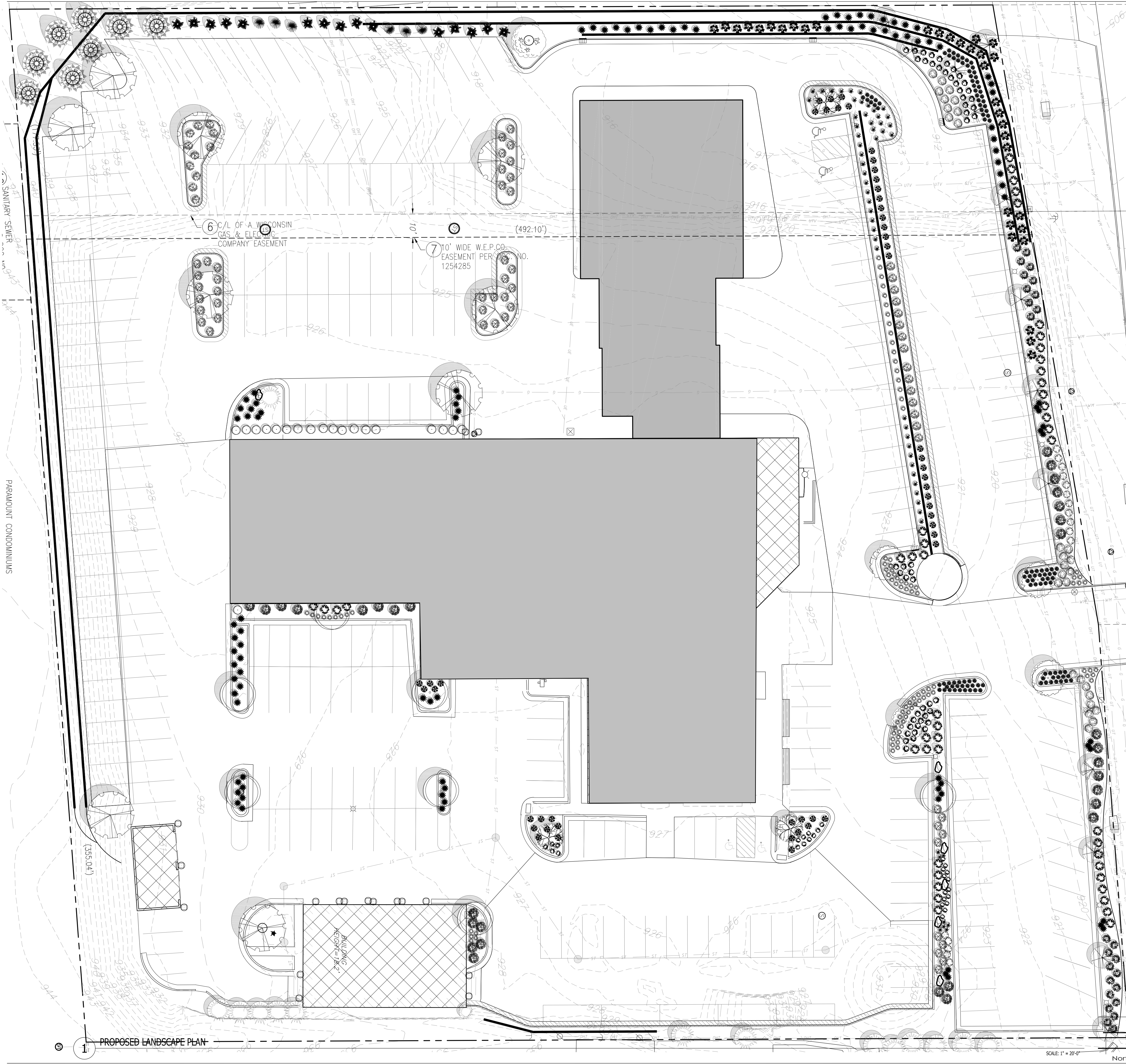
SCALE: NOT TO SCALE
 SHEET NUMBER: LSP1.0
 12/07/2016
 L16-076

INSITE
 LANDSCAPE DESIGN
 Landscape Architecture
 & Master Planning Design Consulting
 11525 W. North Avenue Suite 1B
 Wauwatosa, WI 53226
 Tel (414) 476-1204
 www.insitelandscape.com
 mdavis@insitelandscape.com

FIELDS JAGUAR LAND ROVER - WAUKESHA, WI

Proposed Preliminary Landscape Plan

Schematic - Not for Construction



LANDSCAPE PLAN GENERAL NOTES

- ** PLANT MATERIAL SHOWN ON LANDSCAPE PLAN IS DEPICTED AT MATURE GROWTH. **
- AT LEAST SEVENTY-TWO HOURS PRIOR TO ANY EXCAVATION, CONTRACTOR SHALL VERIFY UTILITY LOCATIONS AS GIVEN BY THE ELECTRIC, GAS, TELEPHONE, WATER, SEWER, AND CABLE TELEVISION COMPANIES, UTILITIES OR ENTITIES. REVIEW WITH OWNER'S REPRESENTATIVE SITE MECHANICAL, SITE ELECTRICAL AND LIGHTING, SITE GRADING AND DRAINAGE, SITE IRRIGATION AND ALL OTHER DRAWINGS PERTAINING TO UNDERGROUND UTILITY LOCATIONS. RECORD SET OF INFORMATION THE SAME AS IN POSSESSION OF OWNER'S REPRESENTATIVE. ALSO REVIEW OWNER'S "MARK SETS" OF ALL OF THESE DRAWINGS IN POSSESSION OF THE CONTRACTOR OR OWNER. MARK ALL SUCH UTILITIES ON THE SITE PRIOR TO COMMENCING. COORDINATE WITH OWNER BEFORE AND DURING CONSTRUCTION. REPAIR ANY DAMAGE TO ANY SYSTEM THAT IS CAUSED BY LANDSCAPE CONTRACTOR AT NO COST TO OWNER.
 - ALL PLANTINGS SPECIFIED FOR THE FIELDS JAGUAR LAND ROVER PROJECT PLANTING TABLESON SHEET LSP1.1 SHALL COMPLY WITH STANDARDS AS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK ANSI Z60.1 2014 AND ANSI STANDARDS FOR PLANTING 2012.
 - DEVIATIONS FROM THE APPROVED FIELDS JAGUAR LAND ROVER PROJECT PLANS SHALL BE NOTED ON THE RECORD DRAWING BY THE CONTRACTOR AND ONLY WITH PRIOR APPROVAL OF THE LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE. VERBAL AGREEMENTS OR REVISIONS WITHOUT A CHANGE ORDER WILL NOT BE RECOGNIZED BY LANDSCAPE ARCHITECT AND OWNER.
 - ALL PLANTS MUST BE BID AND SELECTED PER THE SPECIES SPECIFIED ON THE PLANS. THE SIZES OF PLANT MATERIAL LISTED HEREIN IS A MINIMUM ACCEPTABLE SIZE. ADDITIONALLY, IF EXCESSIVE PRUNING REDUCES THE CROWN THE PLANT SHALL BE REPLACED.
 - PROTECT PUBLIC FROM CONSTRUCTION WITH BARRIERS AND BARRICADES.
 - ALL AREAS THAT WERE DISTURBED DURING CONSTRUCTION AND AREAS NOT COVERED WITH PAVEMENT, BUILDING, PLANTING BEDS, OR TREE PITS ARE TO BE TOPSOILED 3" DEEP (MIN.) AND SHALL BE SODDED/SEEDED WITH SPECIFIED LAWN GRASS. LANDSCAPE CONTRACTOR SHALL INCLUDE COST PER SQUARE YARD FOR ADDITIONAL SEED OPERATIONS AS MAY BE POSSIBLY REQUIRED TO REESTABLISH ADJACENT TURF GRASS AREAS WHICH MAY BECOME DAMAGED DURING THE CONSTRUCTION PROCESS OR TO REPAIR DAMAGE DONE BY OTHERS.
 - CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL MATERIALS, TOOLS, EQUIPMENT, LABOR, AND PLANTS NECESSARY FOR PROPER PLANTING AND INSTALLATION OF ALL LANDSCAPE MATERIAL.
 - QUANTITIES ON PLANT MATERIALS LIST ARE FOR CONVENIENCE OF BIDDING ONLY. CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON LANDSCAPE PLANS AND COVERAGE OF ALL AREAS DELINEATED. THE PLANS ARE TO SUPERSEDE THE PLANT LIST IN ALL CASES.
 - CONTRACTOR IS RESPONSIBLE FOR ALL ESTIMATING AND BIDDING. ALL AREAS, QUANTITIES MATERIALS SHOULD BE FIELD VERIFIED WITH SITE CONDITIONS.
 - WHERE DISCREPANCIES OCCUR BETWEEN THE LANDSCAPE PLANS AND/OR ARCHITECTURAL AND/OR THE CIVIL DRAWINGS (AND ANY OTHER SITE DRAWINGS) THE DISCREPANCIES MUST BE BROUGHT TO THE LANDSCAPE ARCHITECTS ATTENTION FOR COORDINATION AND RESOLUTION.
 - ALL DISEASED, NOXIOUS OR INAPPROPRIATE MATERIALS SHALL BE REMOVED FROM THE PROPOSED SITE PRIOR TO THE START OF CONSTRUCTION AND DURING THE MAINTENANCE PERIOD.
 - GENERAL CONTRACTOR SHALL LEAVE THE SITE FREE OF CONSTRUCTION DEBRIS.
 - ALL LAWN AND PLANTING AREAS SHALL SLOPE TO DRAIN A MINIMUM OF 2% UNLESS NOTED OTHERWISE AND REVIEWED WITH OWNER'S REPRESENTATIVE FOR FINAL APPROVAL.
 - FINISH GRADES FOR SHRUB AND GROUND COVER AREAS SHALL BE HELD 1" BELOW TOP OF ADJACENT PAVEMENTS AND CURBS, UNLESS NOTED OTHERWISE ON THE PLANS. REFER TO LSP1.2 FOR FURTHER INFORMATION.
 - ALL PERENNIAL, ANNUAL AND GROUND COVER AREAS TO RECEIVE A BLEND OF ORGANIC SOIL AMENDMENTS PRIOR TO PLANTING. TILL THE FOLLOWING MATERIALS INTO EXISTING TOPSOIL TO A DEPTH OF APPROXIMATELY 8". A DEPTH OF 12" IN TREE PITS. PROPORTIONS AND QUANTITIES MAY REQUIRE ADJUSTMENT DEPENDING ON THE CONDITION OF EXISTING SOIL. REFER TO LSP1.2 FOR FURTHER INFORMATION.
 PER EVERY 100 SQUARE FEET ADD:
 ONE - 2 CUBIC FOOT BALE OF PEAT MOSS, 2 POUNDS OF 5-10-5 GARDEN FERTILIZER, 1/4 CUBIC YARD OF COMPOSTED MANURE OR OTHER COMPOSTED, ORGANIC MATERIAL
 - ALL SHRUBS TO BE POCKET PLANTED WITH A 50/50 MIX OF COMPOSTED, ORGANIC MATERIAL AND EXISTING SOIL. INSTALL TOPSOIL INTO ALL BEDS AS NEEDED TO ACHIEVE PROPER GRADE. REMOVE ALL EXCESSIVE GRAVEL, CLAY AND STONES. REFER TO LSP1.2 FOR FURTHER INFORMATION.
 - PLANT ALL TREES SLIGHTLY HIGHER THAN FINISHED GRADE AT ROOT FLARE. BACK FILL HOLE WITH 2/3 EXISTING TOPSOIL AND ORGANIC SOIL AMENDMENTS SPECIFIED IN NOTE 15. AVOID ANY AIR POCKETS. DISCARD ANY GRAVEL CLAY OR STONES. REFER TO LSP1.2 FOR FURTHER INFORMATION.
 - ALL TREES TO BE INSTALLED, STAKED AND GUYED ACCORDING TO DETAILS. REFER TO ANSI STANDARDS FOR PLANTING 2012 AND DETAILS ON LSP1.2 FOR FURTHER INFORMATION.
 - PROVIDE A 4'-0" - 5'-0" DIAMETER MULCH RING ALL LAWN TREES.
 - ALL PLANTINGS TO BE WATERED AT THE TIME OF PLANTING, THROUGHOUT CONSTRUCTION AND UPON COMPLETION OF PROJECT AS REQUIRED.
 - WHERE SPECIFIED, ALL PLANT BEDS, PITS AND TREE RINGS ARE TO RECEIVE A MINIMUM OF 2-3" DRESSING OF SHREDDED HARDWOOD OAK BARK MULCH SHAVINGS FREE OF GROWTH, WEEDS, FOREIGN MATTER DETRIMENTAL TO PLANT LIFE OR GERMINATION INHIBITING INGREDIENTS. LANDSCAPE CONTRACTOR TO PROVIDE A SAMPLE TO OWNER FOR APPROVAL. CONTRACTOR TO TAKE CARE WITH INSTALLATION NOT TO DAMAGE OR COVER PLANTS. REFER TO LSP1.2 FOR FURTHER INFORMATION.
 - LAWN INSTALLATION: CONTRACTOR TO FURNISH AND PREPARE TOPSOIL (3" MIN) AND SEED BED (REMOVE ALL STONES 1" OR LARGER). APPLY STARTER FERTILIZER AND SEED UNIFORMLY. PROVIDE A MULCH COVERING SUITABLE TO GERMINATE AND ESTABLISH TURF. EROSION CONTROL MESH SHOULD BE USED IN SWALES AND STEEP GRADIES WHERE APPLICABLE. METHODS OF INSTALLATION MAY VARY AT THE DISCRETION OF CONTRACTOR. IT IS HIS/HER RESPONSIBILITY TO ESTABLISH AND GUARANTEE A SMOOTH, UNIFORM, QUALITY TURF. IF STRAW MULCH IS USED AS A COVERING, A TACKIFIER MAY BE NECESSARY TO AVOID WIND DAMAGE.
 - REQUIRED SEED MIXES:
PREMIUM 60 GRASS SEED MIX REINDER'S (262) 786-3300
 20% AMERICAN KENTUCKY BLUE GRASS
 20% ALPINE KENTUCKY BLUE GRASS
 20% LANGARA KENTUCKY BLUE GRASS
 20% VICTORY CHEWINGS FESCUE
 10% FIESTA III PERENNIAL RYE GRASS
 10% CUTTER PERENNIAL RYE GRASS
 APPLY AT A RATE OF 175 POUNDS PER ACRE.
 REFER TO SUPPLIERS SPECIFICATIONS AND INSTALLATION CUT SHEETS FOR FURTHER INFORMATION
NO-MOW LOW GROW GRASS SEED MIX REINDER'S
 45% SPARTAN HARD FESCUE
 40% LAY SHEEP FESCUE
 15% TRANSIT ANNUAL RYE GRASS
 APPLY AT A RATE OF 175 POUNDS PER ACRE.
 REFER TO SUPPLIERS SPECIFICATIONS AND INSTALLATION CUT SHEETS FOR FURTHER INFORMATION
 - DURING THE INITIAL "30 DAY MAINTENANCE PERIOD" THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE AND ON-GOING PLEASANT VISUAL ENVIRONMENT WHEREAS ANY PLANT WHICH IS NOT RESPONDING TO TRANSPLANTING OR THRIVING SHALL IMMEDIATELY BE REPLACED. NEW LAWNS SHALL WATERED AND REPAIRED AND WEEDS MUST CONSTANTLY BE REMOVED. NO EXCEPTIONS WILL BE GRANTED.
 - ALL NEWLY PLANTED TREES AND SHRUBS ARE TO RECEIVE AN ANTI-TRANSPIRANT SPPA THAT WILL EFFECTIVELY REDUCE THE WATER LOSS OF TRANSPIRATION OF PLANT MATERIAL AND REDUCE THE STRESS OF TRANSPLANTATION. IT IS RECOMMENDED AS PART OF THE ONGOING MAINTENANCE THAT ANY BROADLEAF EVERGREEN AND CONIFEROUS TREE AND SHRUBS (EXCLUDING ARBORVITAE) RECEIVE AN APPLICATION OF AN ANTI-DESICCANT SPRAY TO REDUCE THE LOSS OF MOISTURE DUE TO WINTER DESICCATION MAINTENANCE. THE OWNER SHALL TEND AND MAINTAIN ALL PLANT MATERIALS IN A HEALTHY GROWING CONDITION AS PER THE APPROVED PLAN. PLANTINGS SHALL BE REPLACED WHEN NECESSARY AND KEPT FREE FROM REFUSE & DEBRIS. ALL PLANTING MATERIAL WHICH IS DYING OR DAMAGED BEYOND RECOVERY SHALL BE REPLACED WITHIN SIX (6) MONTHS OR BY THE NEXT PLANTING SEASON, WHICHEVER COMES FIRST.
 - LANDSCAPE / SITE DEMOLITION CONTRACTOR TO VERIFY LOCATIONS OF EXISTING TREES AND SHRUBS BE SALVAGED AND CLEARLY TAG THEM WITH MARKING TAPE AND CONSTRUCTION FENCE.
 - LANDSCAPE / SITE DEMOLITION CONTRACTOR TO VERIFY LOCATIONS OF EXISTING TREES AND SHRUBS TO BE RELOCATED. ALL PLANT MATERIAL IS TO BE RELOCATED IS TO BE CLEARLY TAGGED WITH MARKING TAPE BEFORE AND SITE DEMOLITION IS TO BEGIN.
 - ALTERNATE BID: DESIGN IRRIGATION SYSTEM TO BE DESIGNED FOR A OVERLAPPING ZONED SPRINKLER HEAD SYSTEM IN ALL LAWN & ISLAND AREAS AND A DRIP SYSTEM FOR ALL FOUNDATION PLANTING AREAS.

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Issuance and Revisions:

Date	Number	Description
11/16/16		Plan Commission Submittal
12/07/16		Revisions Based on Plan Commission Comments
12/08/16		Revisions Based on New Civil Plan

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Sheet Title:
 PROPOSED LANDSCAPE PLAN,
 GENERAL NOTES,
 AND PLANT MATERIAL TABLE

Date of Drawing: 12/08/16
 Scale: 1" = 20'-0"
 Drawn By: MCD
 Job Number: L16-076
 Sheet Number:

LSP1.1

TO OBTAIN LOCATION OF PARTICIPANT'S UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

DIGGERS HOT LINE

WISCONSIN STATUTE 182.0175 (1974) REQUIRES A MINIMUM OF 3 DAYS NOTICE BEFORE YOU EXCAVATE (NOT INCLUDING SATURDAY, SUNDAY OR LEGAL HOLIDAYS)

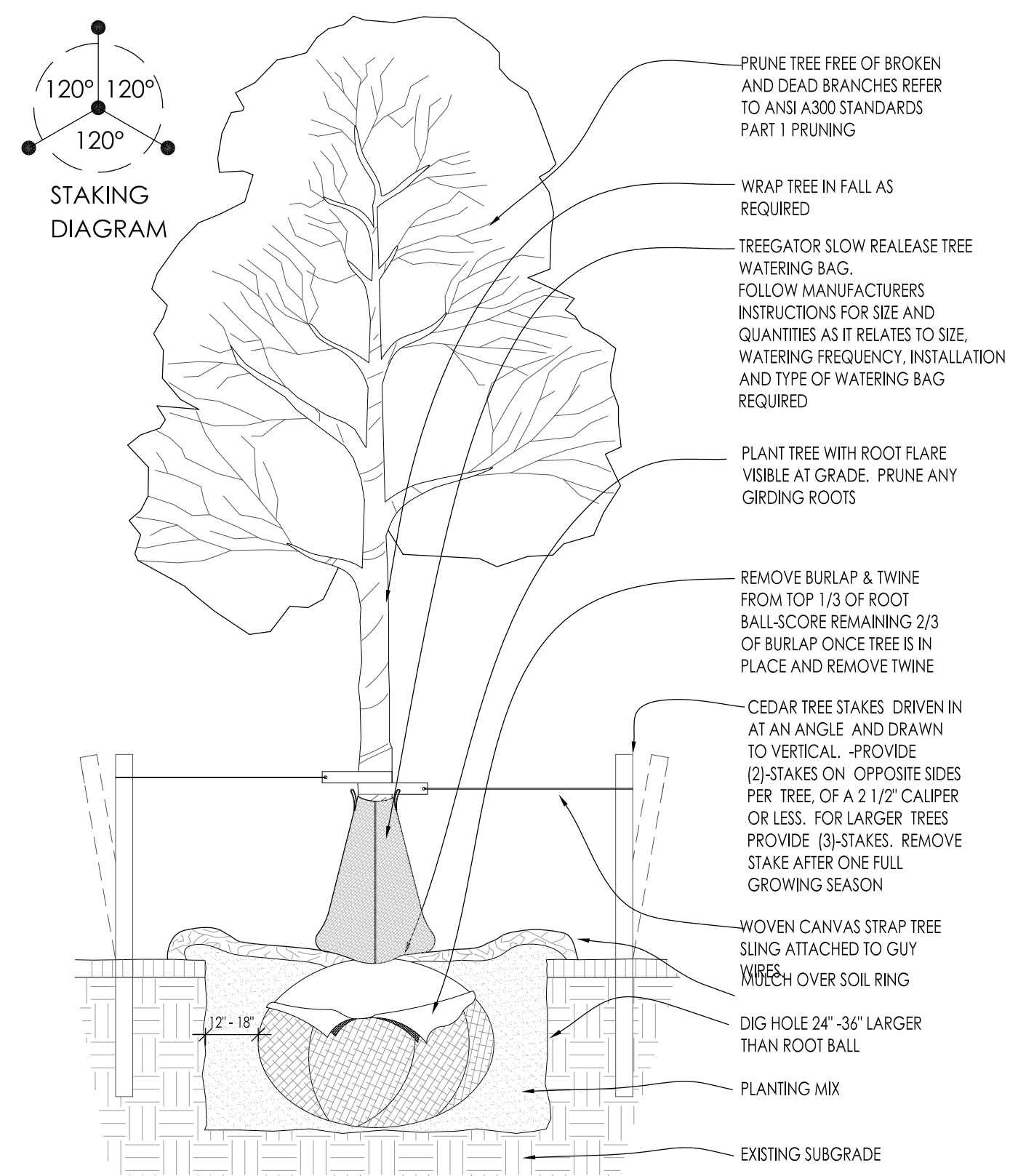
UNDERGROUND SEWER AND UTILITY INFORMATION AS SHOWN IS OBTAINED FROM THE RECORDS OF MUNICIPALITY AND LOCAL UTILITY COMPANIES. THE ACCURACY OF WHICH CAN NOT BE GUARANTEED OR CERTIFIED TO.

THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS SURVEY ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

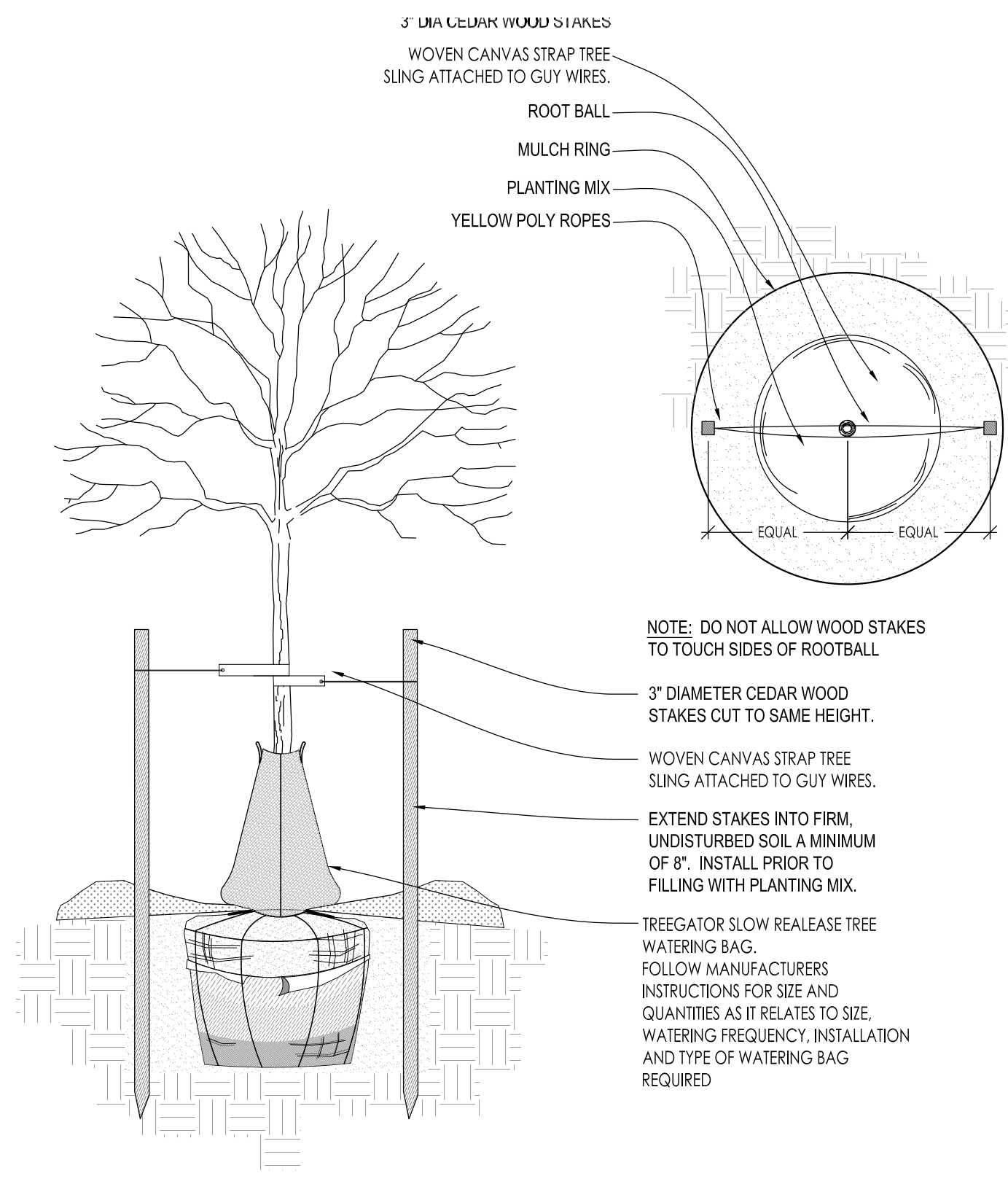
TO OBTAIN LOCATION OF PARTICIPANT'S UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN CALL THE MILWAUKEE UTILITY ALERT NETWORK (800) 242-8511, (262) 432-7910 (971) 500-9592
 www.DiggersHotline.com OR

811
 Know what's below.
 Call before you dig.

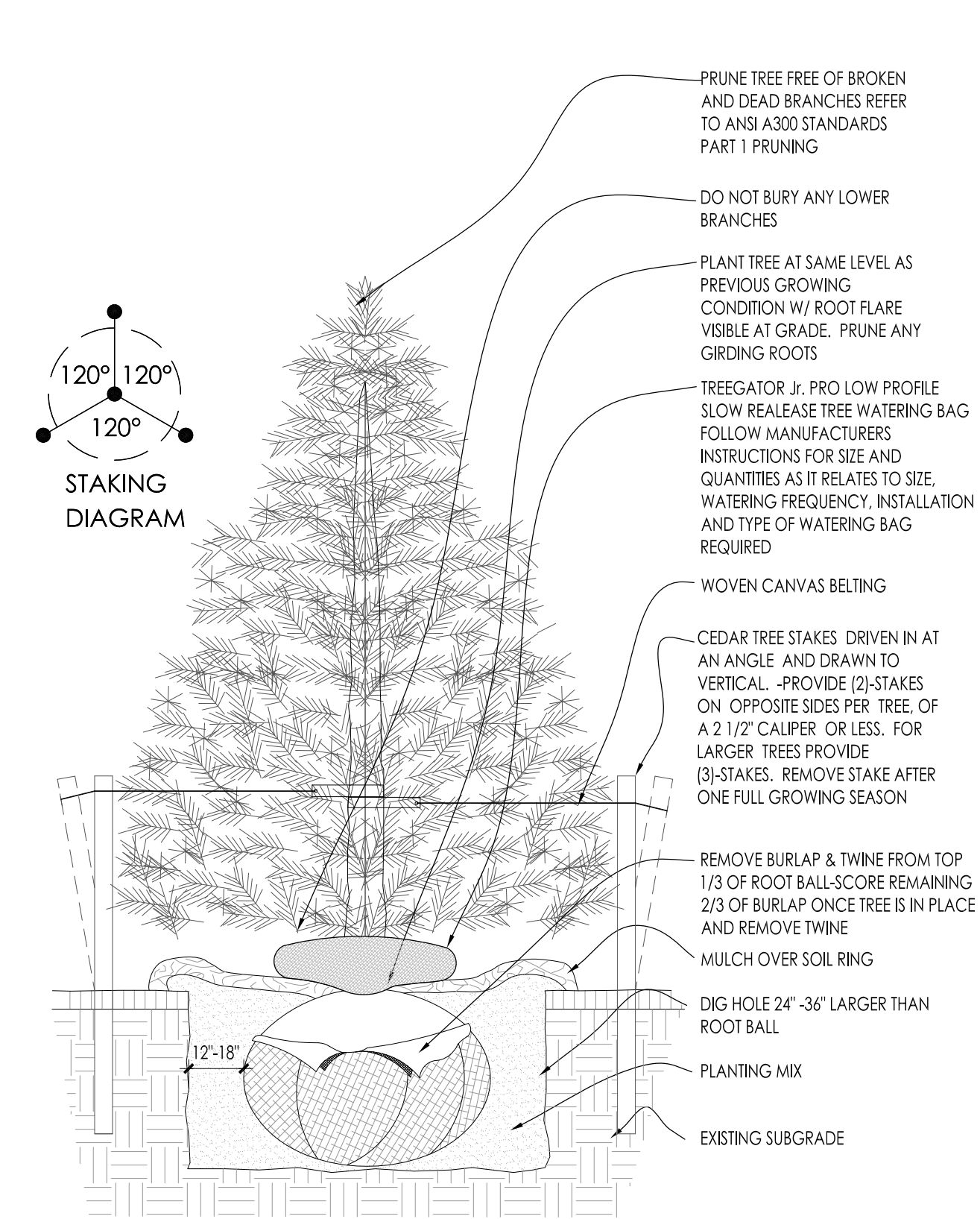
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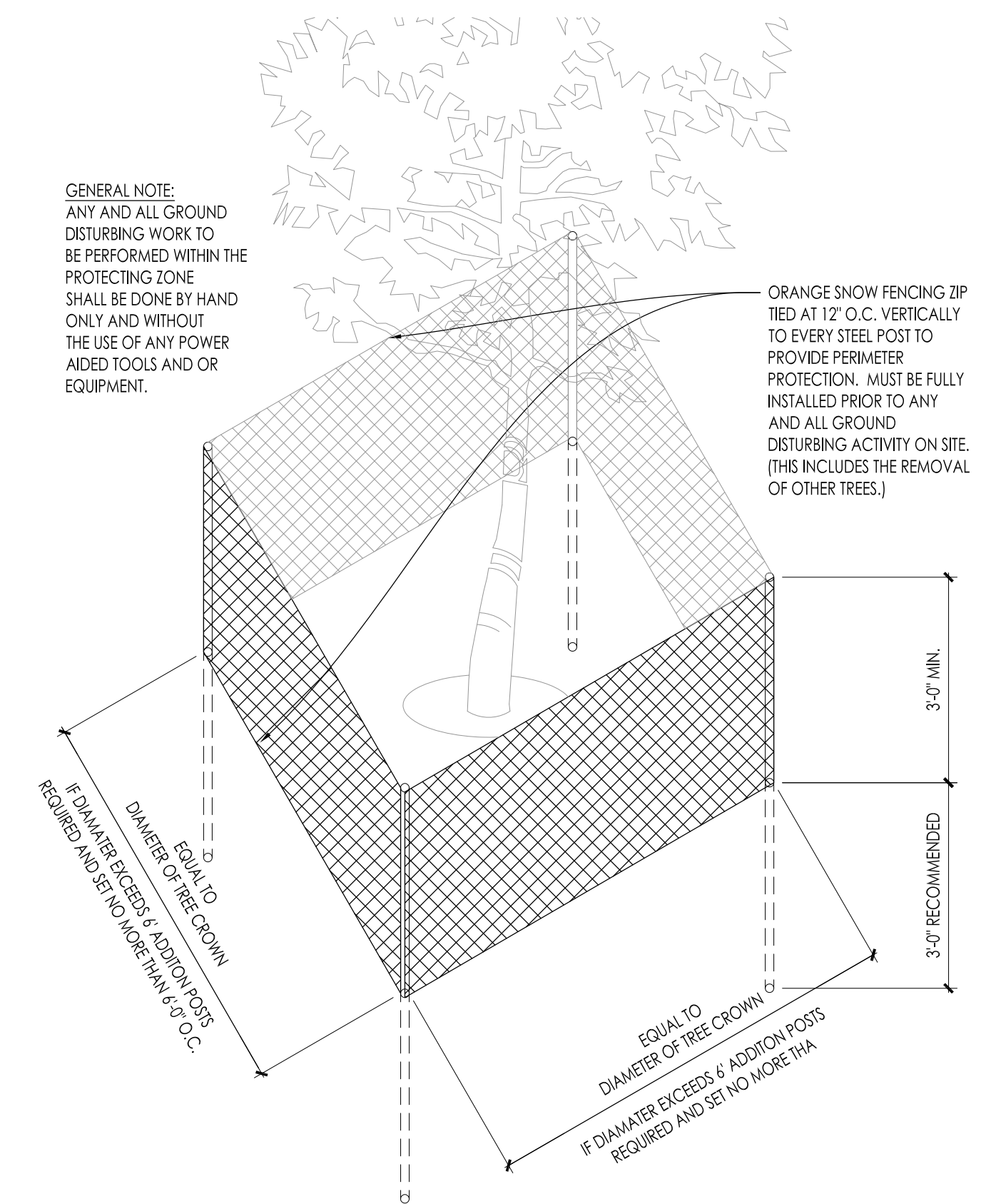
1 DECIDUOUS TREE PLANTING DETAIL SCALE: NONE



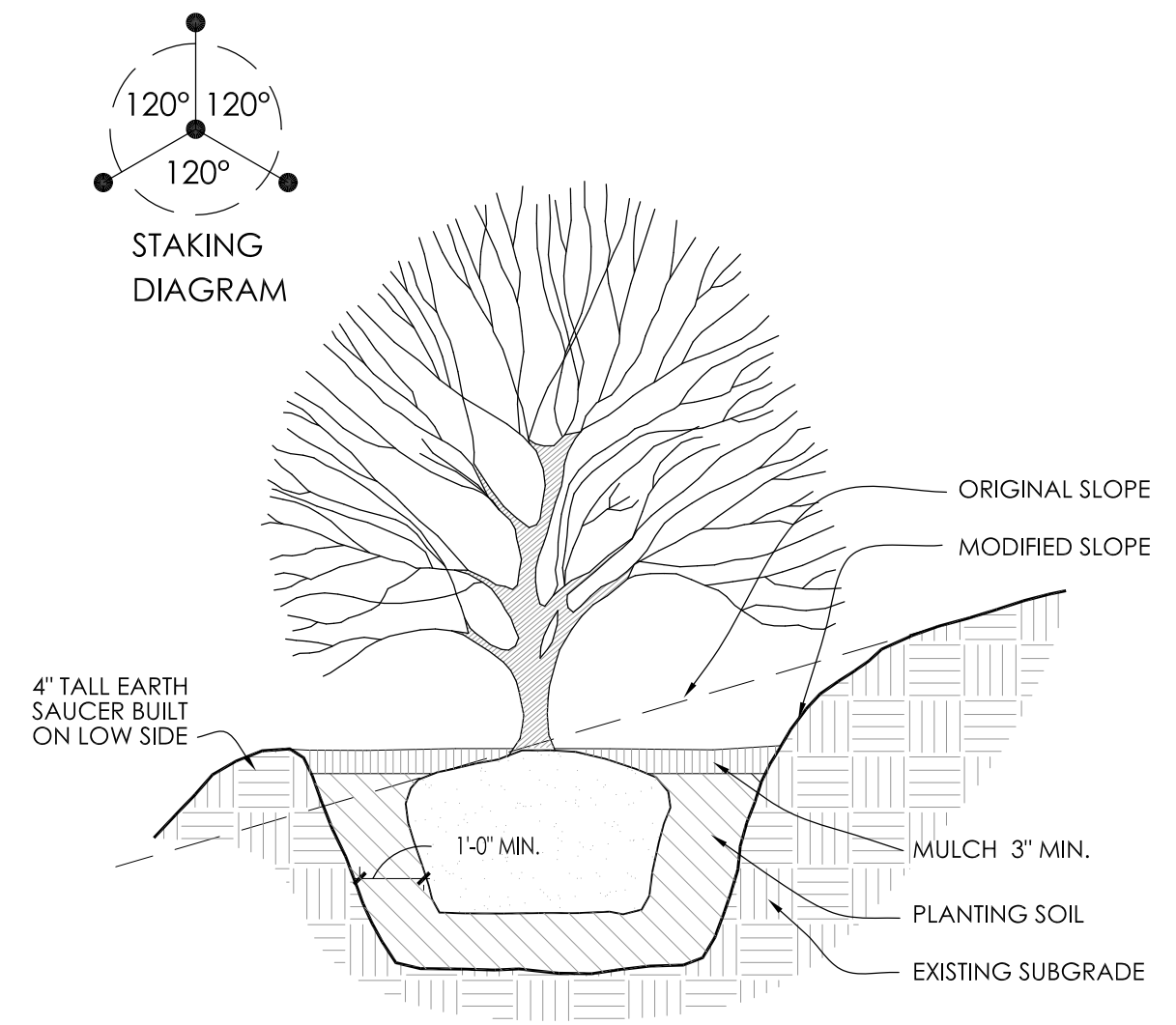
2 DECIDUOUS TREE STAKING PARKING ISLAND/RESTRICTED AREAS SCALE: NONE



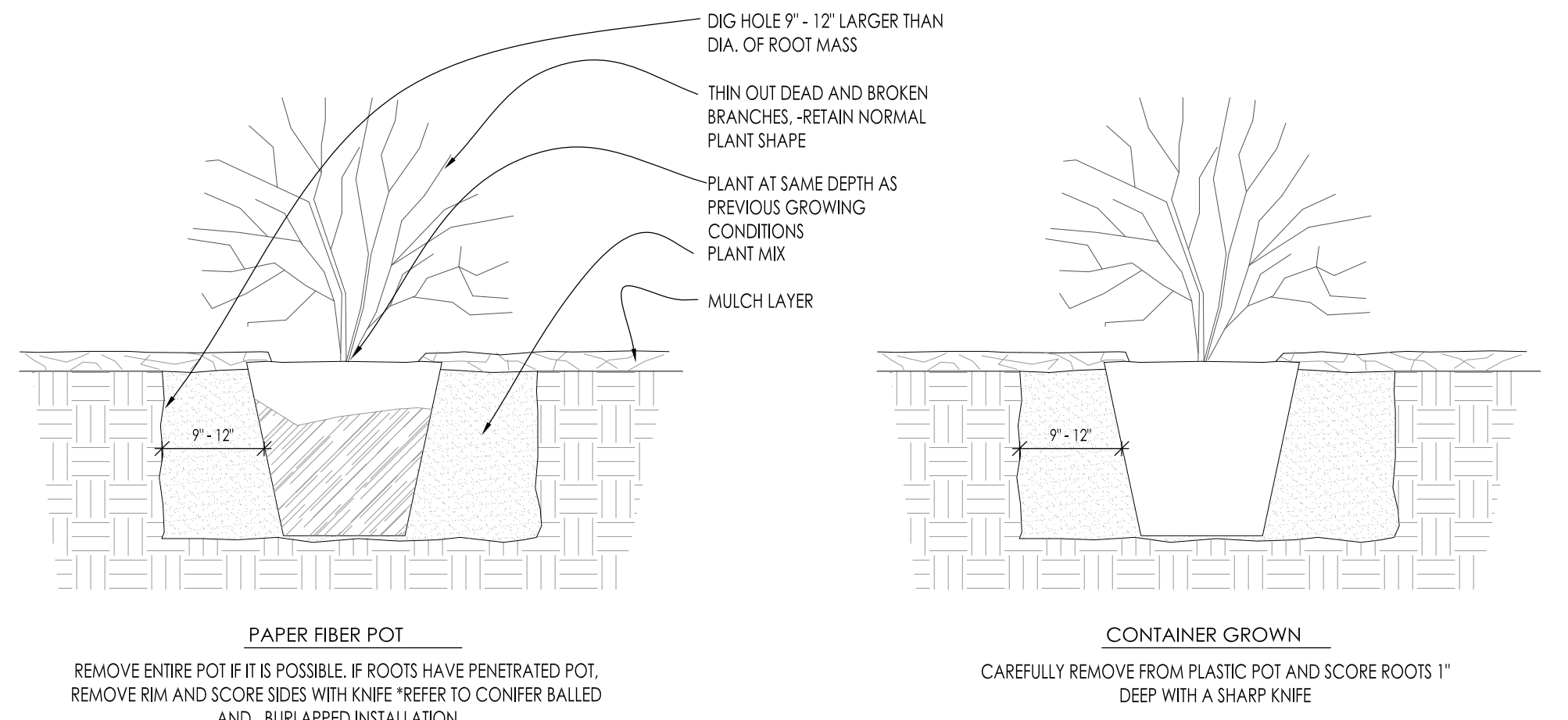
3 CONIFEROUS TREE PLANTING DETAIL SCALE: NONE



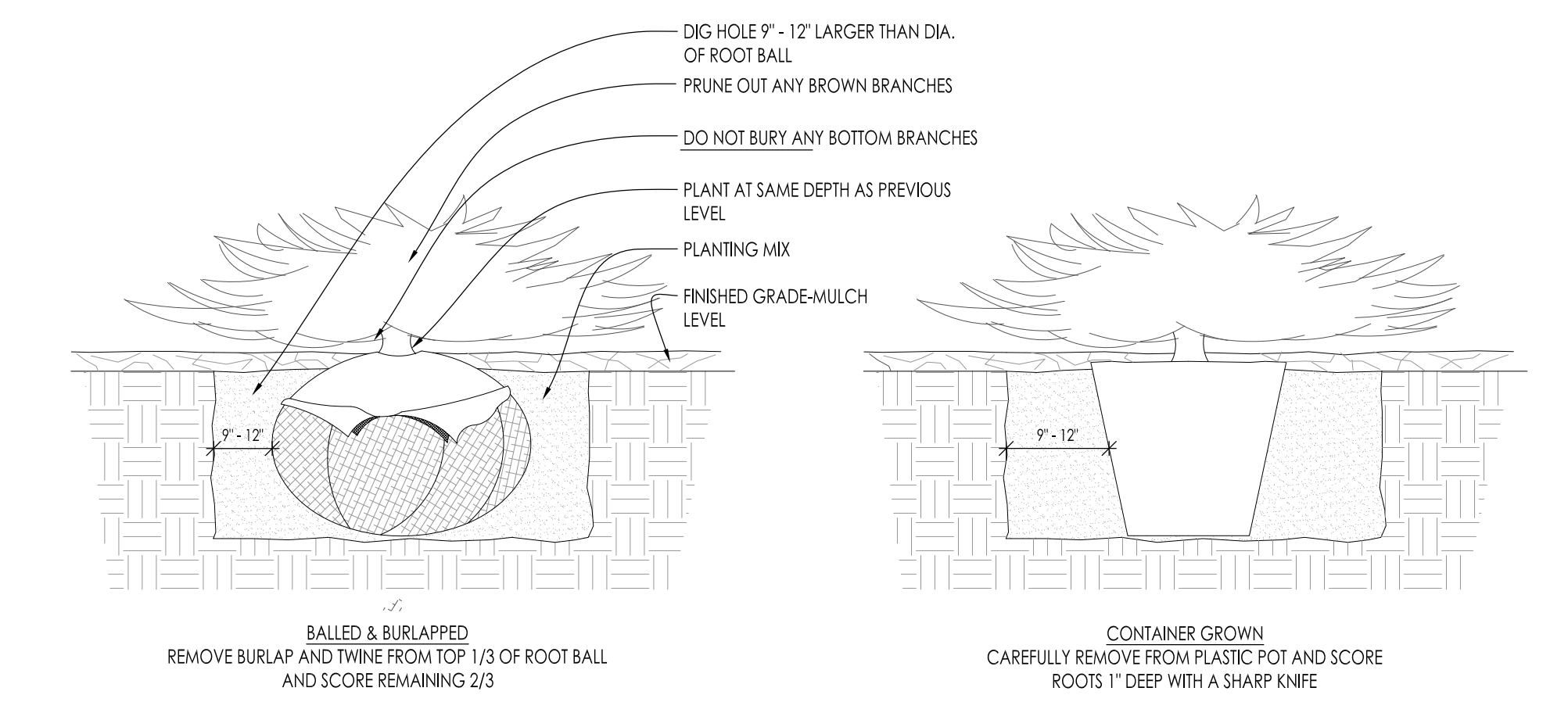
4 EXISTING TREE PROTECTION DETAIL SCALE: NONE



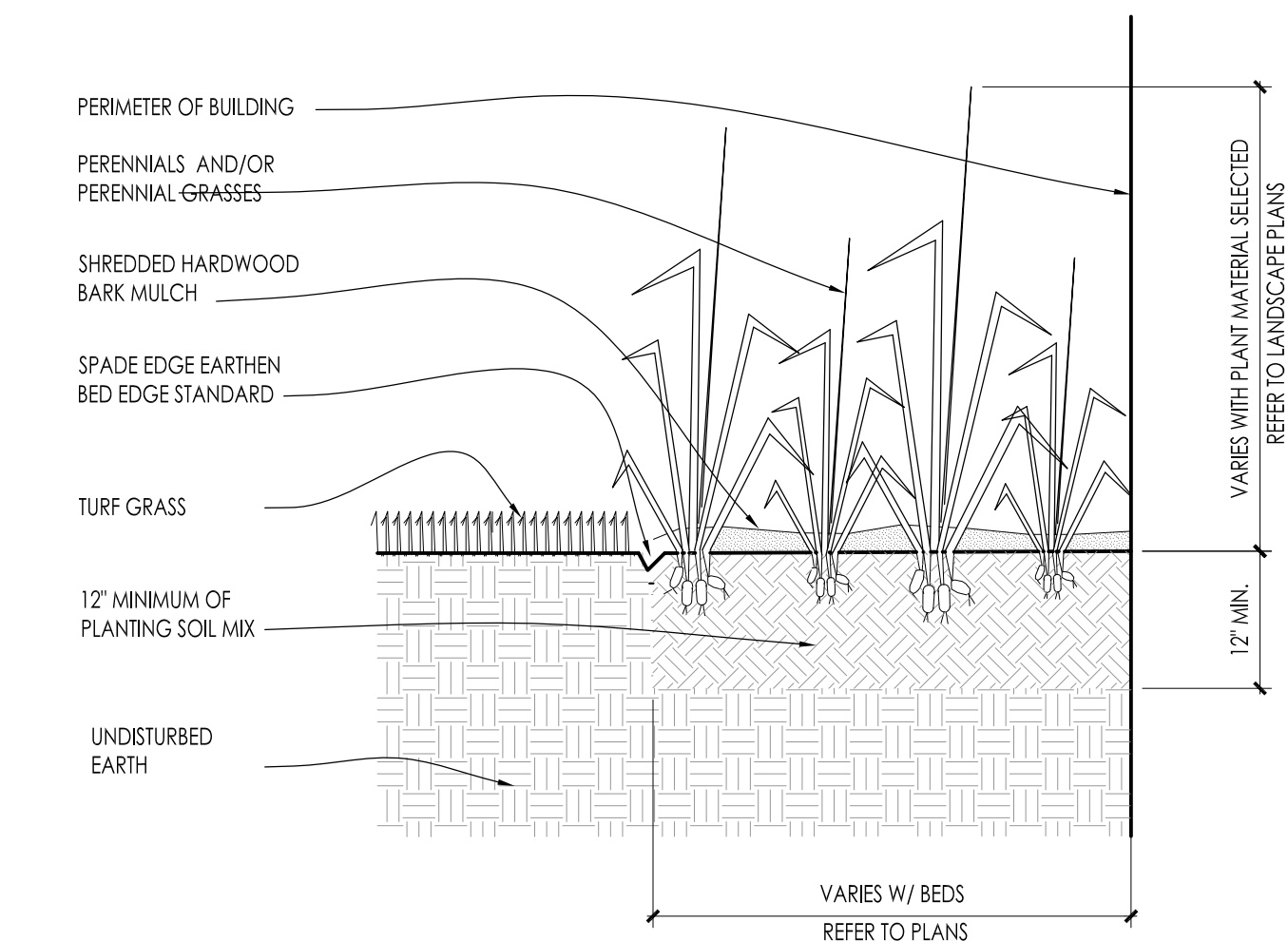
5 SLOPE PLANTING DETAIL SCALE: NONE



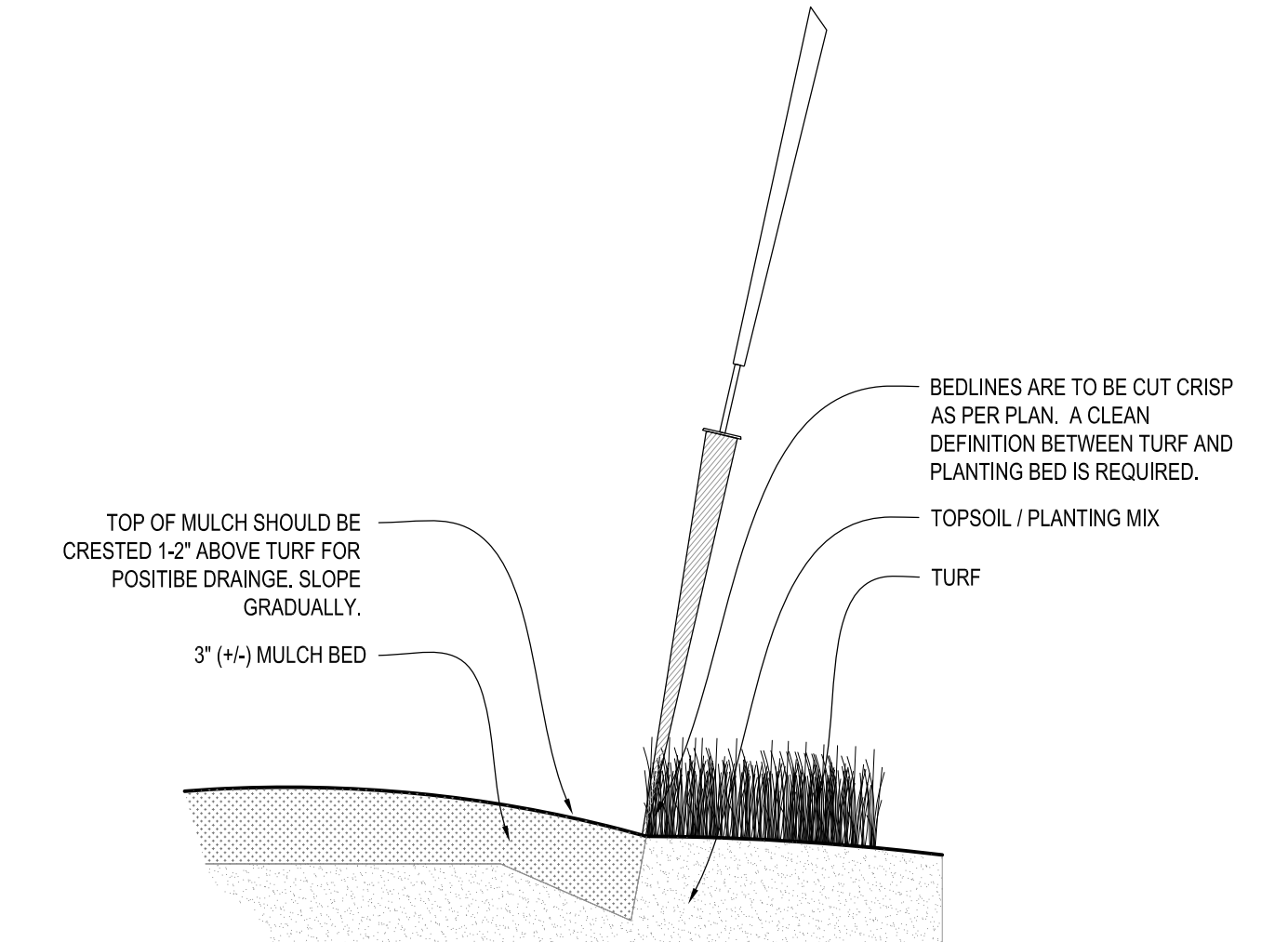
6 DECIDUOUS SHRUB PLANTING DETAIL SCALE: NONE



7 CONIFEROUS SHRUB PLANTING DETAIL SCALE: NONE



8 PERENNIAL BED PLANTING DETAIL SCALE: NONE



9 SPADE EDGE PLANT BED EDGE DETAIL SCALE: NONE

Issuance and Revisions:

Date	Number	Description
11/16/16		Plan Commission Submittal
12/07/16		Revisions Based on Plan Commission Comments
12/08/16		Revisions Based on New Civil Plan

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Sheet Title:
PROPOSED LANDSCAPE PLAN, PLANTING DETAILS

Date of Drawing: 12/08/16
Scale: As Noted
Drawn By: MCD
Job Number: L16-076
Sheet Number:

LSP1.2

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 1901 E. MORELAND
 WAUKESHA WI 53186

ISSUANCE AND REVISIONS

**CITY
 SUBMITTAL**

REVISIONS

#	Description	Date

SHEET INFORMATION

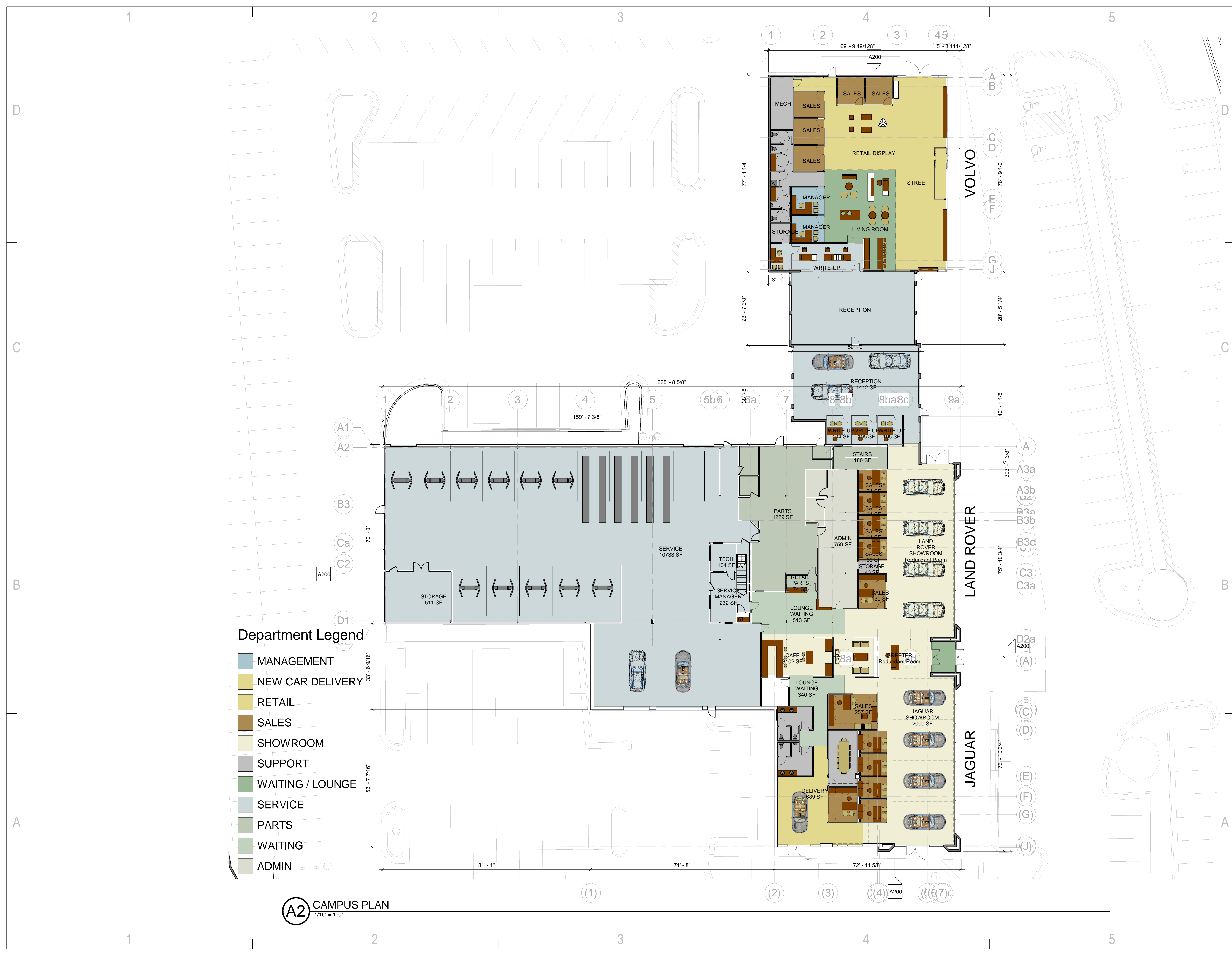
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PROJECT NUMBER	16059
DATE	12.07.16
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Campus Plan

A100



- Department Legend**
- MANAGEMENT
 - NEW CAR DELIVERY
 - RETAIL
 - SALES
 - SHOWROOM
 - SUPPORT
 - WAITING / LOUNGE
 - SERVICE
 - PARTS
 - WAITING
 - ADMIN

A2 CAMPUS PLAN
 1/16" = 1'-0"



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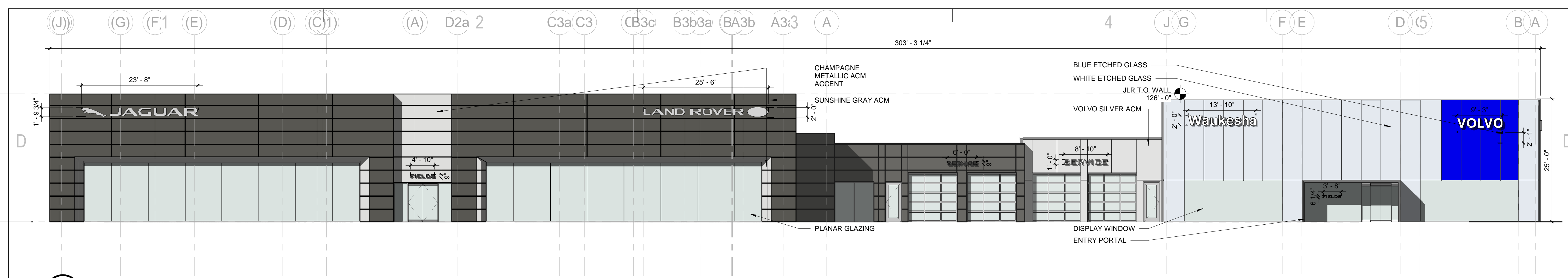
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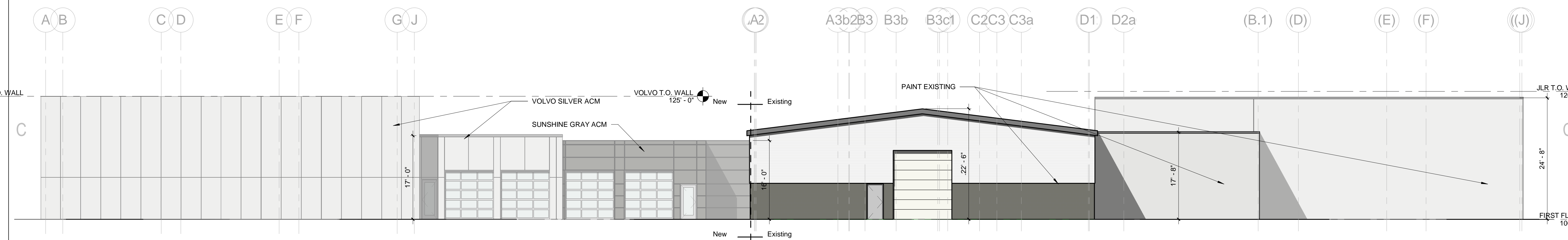
PROJECT NUMBER	16059
DATE	11.14.16
DRAWN BY	Author

Exterior Elevations

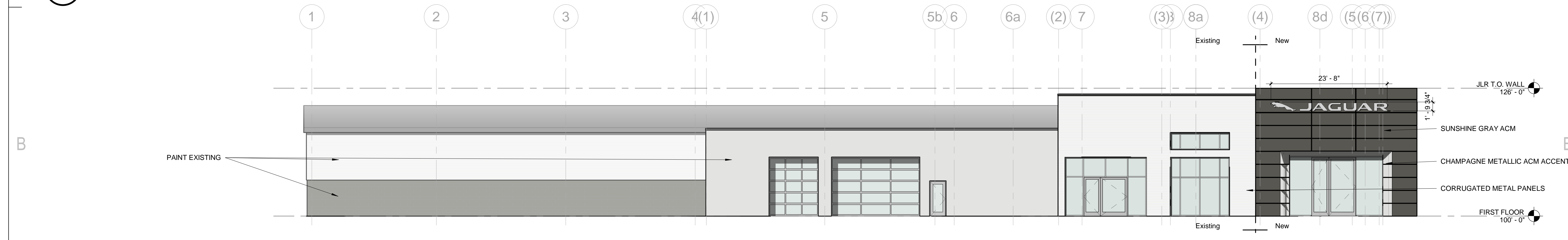
A200



D1 NORTH ELEVATION
 3/32" = 1'-0"

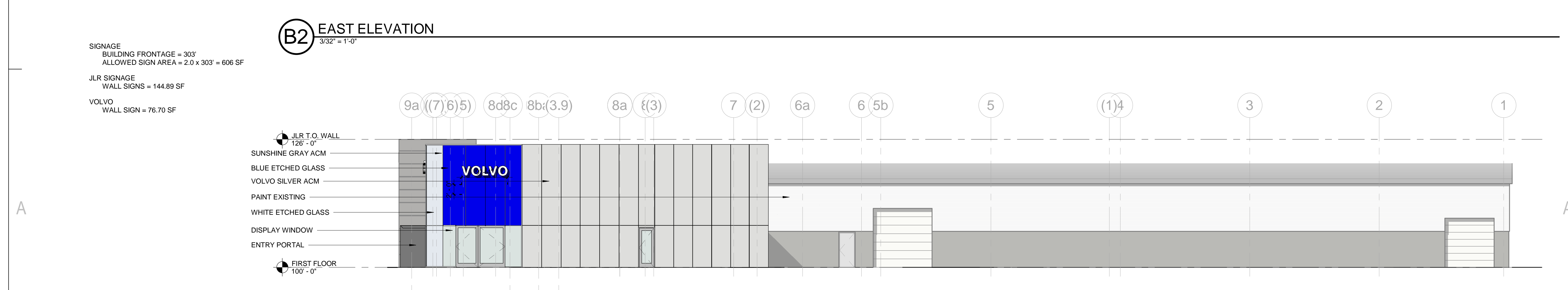


C1 SOUTH ELEVATION
 3/32" = 1'-0"

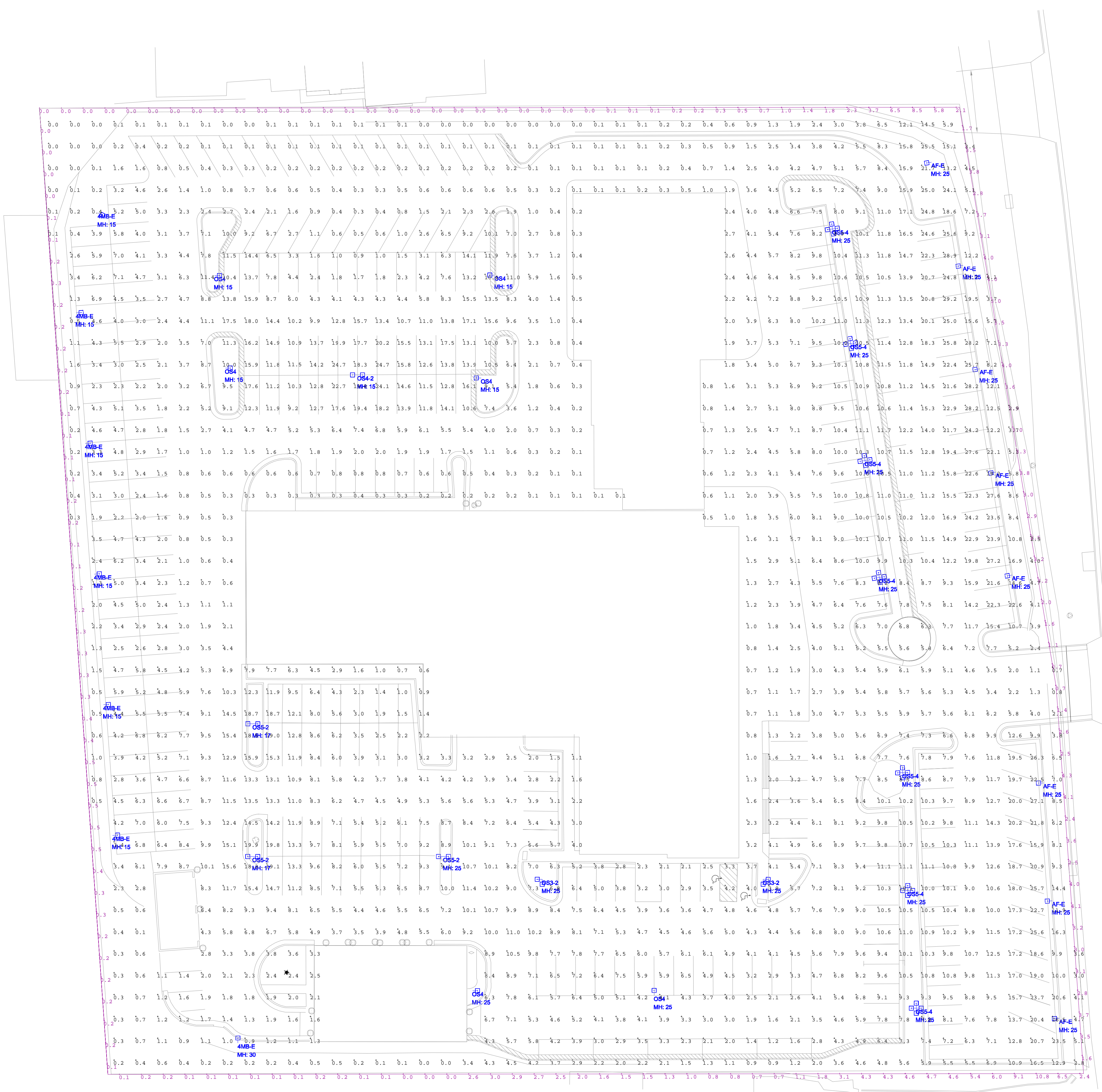


B2 EAST ELEVATION
 3/32" = 1'-0"

SIGNAGE
 BUILDING FRONTAGE = 303'
 ALLOWED SIGN AREA = 2.0 x 303' = 606 SF
JLR SIGNAGE
 WALL SIGNS = 144.89 SF
VOLVO
 WALL SIGN = 76.70 SF



A2 WEST ELEVATION
 3/32" = 1'-0"



Qty	Label	Arrangement	Lum. Lumens	Lum. Watts	LLF	Description
8	AF-E	SINGLE	36341	428.6	0.900	CREE + (1) ARE-EHO-AF-xx-12-E-UL-xx-1000-40K
2	OS3-2	2 @ 90 DEGRE	20860	134.2	0.900	CREE + (2) ARE-EHO-3M-12-UL-1000-40K
6	OS4	SINGLE	30657	426	0.900	ARE-EHO-4M-...-12-E-UL-1000-40K (1000mA)
3	OS5-2	BACK-BACK	64656	431.2	0.900	CREE + (2) ARE-EHO-5M-xx-12-E-UL-xx-1000-40K
7	OS5-4	4 @ 90 DEGRE	51224	132.4	0.900	CREE + (2) ARE-EHO-S-12-UL-1000-40K
7	AMB-E	SINGLE	9015	132.8	0.900	For use with Series E Edge High Output, 228.
1	OS4-2	BACK-BACK	61314	426	0.900	ARE-EHO-4M-...-12-E-UL-1000-40K (1000mA)

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PROP LINE	Illuminance	Fc	1.54	10.8	0.0	N.A.	N.A.
SITE	Illuminance	Fc	6.31	29.2	0.0	N.A.	N.A.
DISPLAY	Illuminance	Fc	10.12	12.3	7.6	1.33	1.62
FRONT LINE	Illuminance	Fc	22.94	29.2	10.7	2.14	2.73



**FIELD'S JAGUAR/VOLVO
WAUKESHA, WISCONSIN**

**CREE EDGE HIGH OUT-PUT
LIGHTING PLAN**