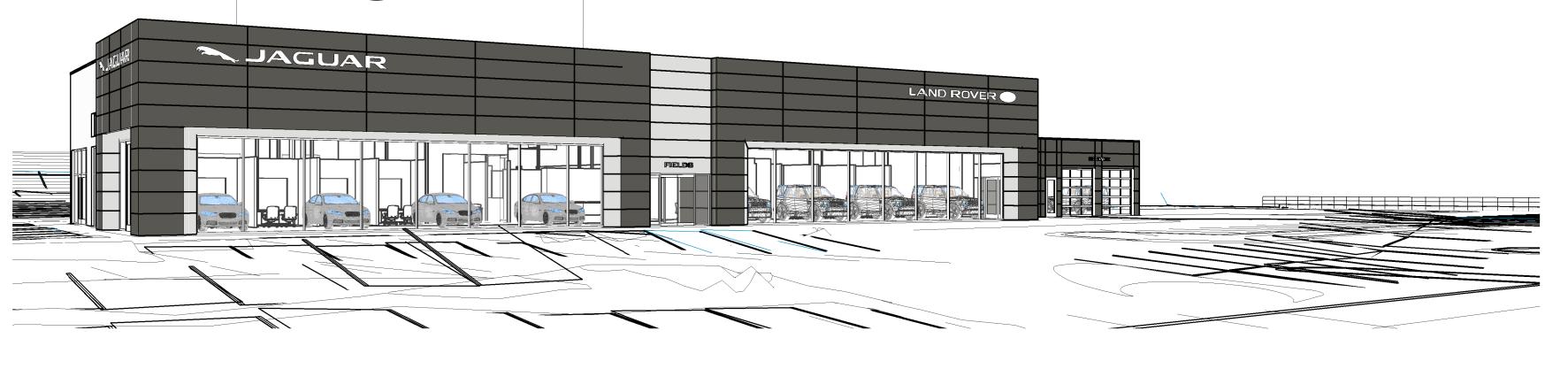


THE REDMOND COMPANY

W 2 2 8 N 7 4 5 W E S T M O U N D D R I V E , W A U K E S H A , W I S C O N S I N 5 3 P H O N E : (262) 5 4 9 - 9 6 0 0 F A X : (261) 1 8 6 - 1 7 2 5 2) 5 4 9 - 1 3 1 4

FIELDS JAGUAR LAND ROVER

1901 E. MORELAND WAUKESHA WI 53186



PROJECT TEAM

OWNER FIELDS WAUKESHA

1901 E MORELAND WAUKESHA WI, 53186

LANDSCAPE ARCHITECT INSITE LANDSCAPE DESIGN

11525 W. NORTH AVE WAUWATOSA WI, 53226

PROJECT CONTACTMICHAEL DAVIS EMAIL:MDAVIS@INSITELANDSCAPE.COM P: 414.476.1204

ARCHITECT THE REDMOND COMPANY

W228 N745 WESTMOUND DRIVE WAUKESHA WI, 53186

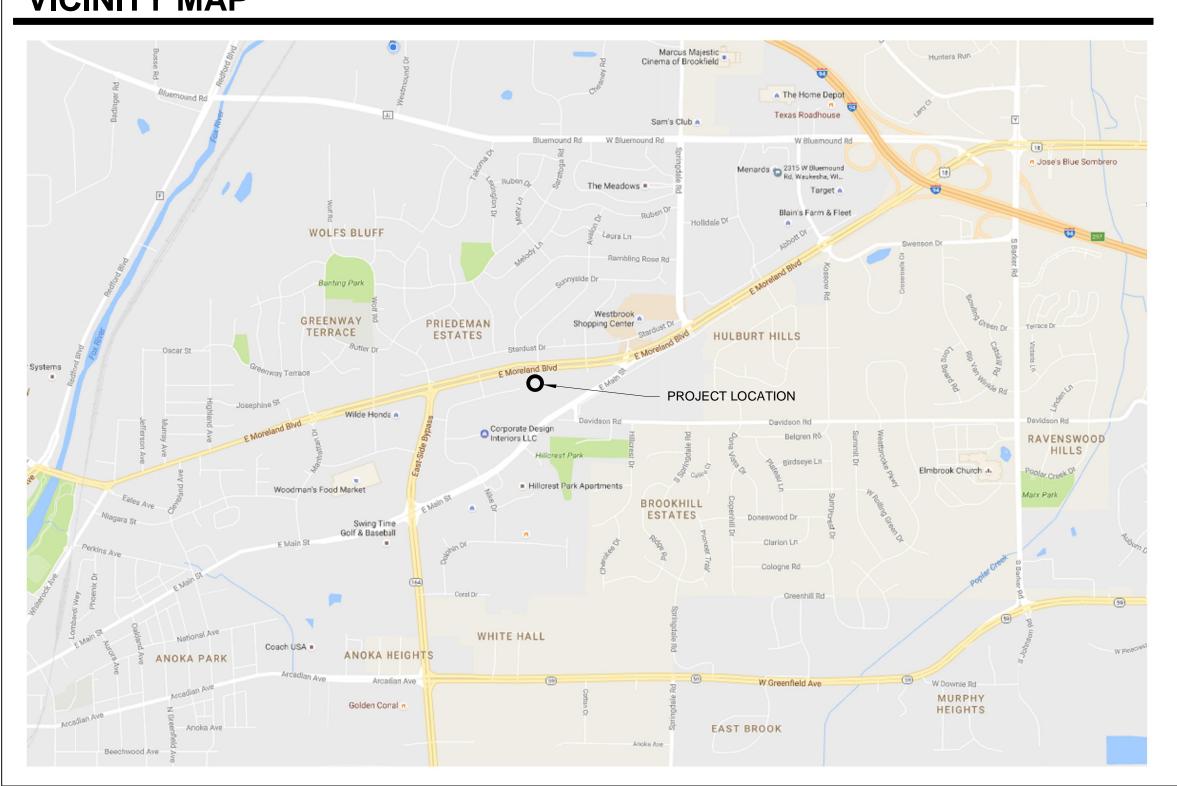
PROJECT CONTACTJERRY MORTIER EMAIL:jmortier@theredmondco.com P: 262.896.8753 F: 262.549.1314

CIVIL ENGINEER VIERBICHER

999 FOURIER DRIVE MADISON WI, 53717

PROJECT CONTACTGARY BLAZEK EMAIL:GBLA@VIERBICHER.COM P: 608.826.0532 F: 608.826.0530

VICINITY MAP



SHEET INDEX

SHEET INDEX							
ARCHITECTURA	L						
G000	Index						
ARCHITECTURA	L SITE						
	Survey						
AS100	Architectural Site Plan						
CIVIL							
T1.0	Civil Title Sheet						
C1.0	Existing and Demolition Plan						
C2.0	Site Plan						
C3.0	Grading and Erosion Control						
C4.0	Utility Plan						
C5.0	Construction Details						
C5.1	Construction Details						
C5.2	Construction Details						
C5.3	Construction Details						
LANDSCAPE							
LSP1.0	Colored Landscape Plan						
LSP1.1	Landscape Drawing						
LSP1.2	Landscape Details						
ARCHITECTURA							
A100	Campus Plan						
A200	Exterior Elevations						
ELECTRICAL							
E101	Site Lighting						

THE REDMOND COMPANY • DESIGN• CONSTRUCTION • CONSULTING• MANAGEMENT W228 N745 Westmound Drive Waukesha, Wisconsin 53186

tel 262.549.9600 fax

Innovative Approach. Unique Solutions www.theredmondco.com

PROJECT INFORMATION

IELDS JAGUAR LAND ROVER

ISSUANCE AND REVISIONS

CITY SUBMITTAL

REVISIONS

#	Description	Date

SHEET INFORMATION

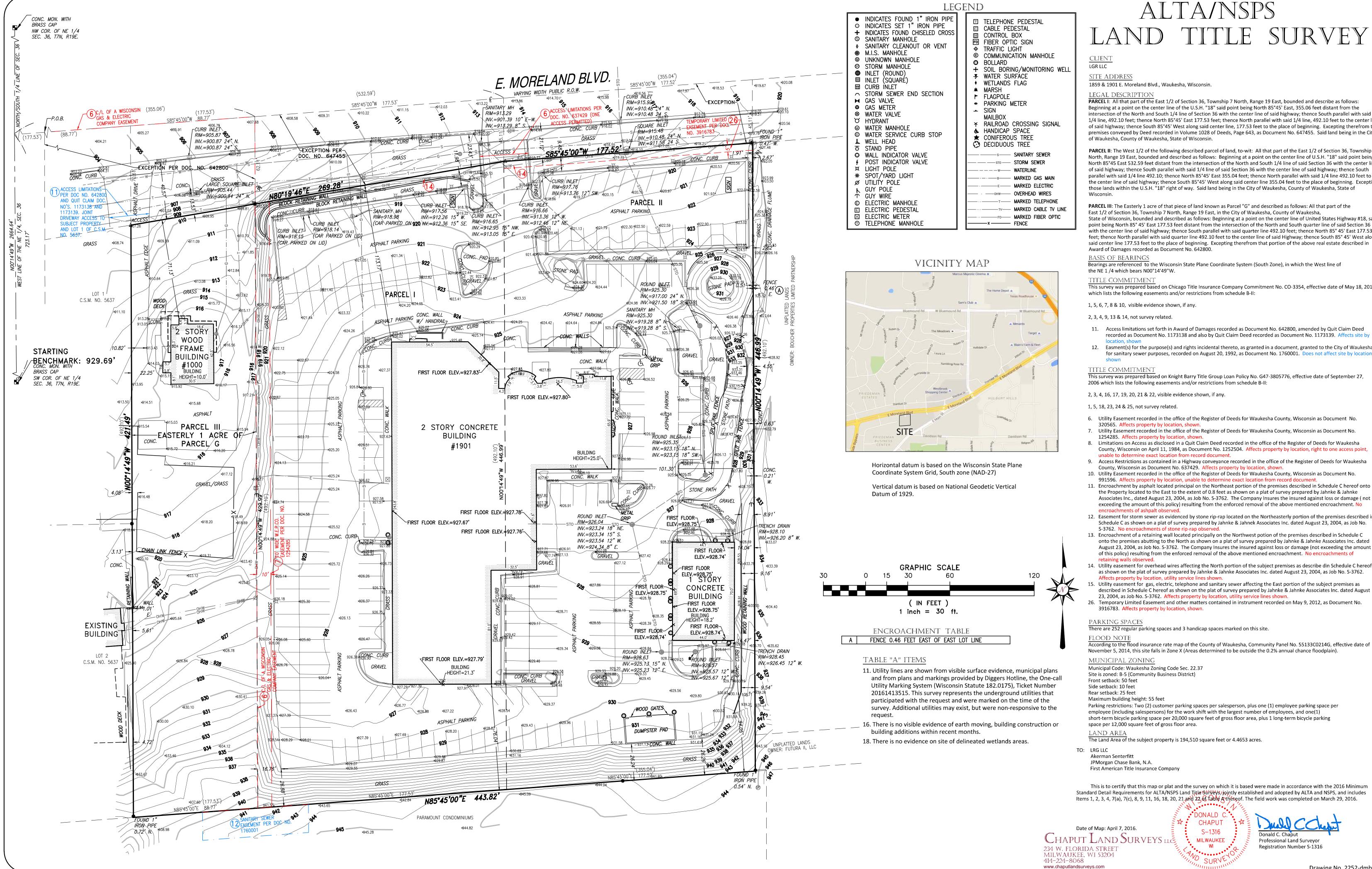
OWNERSHIP AND USE OF DOCUMENTS

The drawings, specifications and other documents furnished by the Design/Builder are instruments of service and shall not become the property of the Owner whether or not the Project for which they are made is commenced. Drawings, specifications and other documents furnished by the Design/Builder shall not be used by the Owner on other projects, for additions to this project or for completion to use, liability and compensation. Submission or distribution of documents to meet official regulatory requirements or for other purposes in connection with the Project is not to be construed as publication in derogation of the Design/Builder's or the Architect's common law copyrights or other reserved rights. The Owner shall own neither the documents nor the copyrights.

	PROJECT NUMBER	16059
	DATE	12.07.16
	DRAWN BY	DRB
- 1		

Index

G000



LAND TITLE SURVEY

PARCEL I: All that part of the East 1/2 of Section 36, Township 7 North, Range 19 East, bounded and describe as follows: Beginning at a point on the center line of the U.S.H. "18" said point being North 85°45' East, 355.06 feet distant from the intersection of the North and South 1/4 line of Section 36 with the center line of said highway; thence South parallel with said 1/4 line, 492.10 feet; thence North 85°45' East 177.53 feet; thence North parallel with said 1/4 line, 492.10 feet to the center line of said highway; thence South 85°45' West along said center line, 177.53 feet to the place of beginning. Excepting therefrom the premises conveyed by Deed recorded in Volume 1028 of Deeds, Page 643, as Document No. 647455. Said land being in the City

PARCEL II: The West 1/2 of the following described parcel of land, to-wit: All that part of the East 1/2 of Section 36, Township 7 North, Range 19 East, bounded and described as follows: Beginning at a point on the center line of U.S.H. "18" said point being North 85°45 East 532.59 feet distant from the intersection of the North and South 1/4 line of said Section 36 with the center line of said highway; thence South parallel with said 1/4 line of said Section 36 with the center line of said highway; thence South parallel with said 1/4 line 492.10; thence North 85°45' East 355.04 feet; thence North parallel with said 1/4 line 492.10 feet to the center line of said highway; thence South 85°45' West along said center line 355.04 feet to the place of beginning. Excepting those lands within the U.S.H. "18" right of way. Said land being in the City of Waukesha, County of Waukesha, State of

State of Wisconsin, bounded and described as follows: Beginning at a point on the center line of United States Highway #18, said point being North 85° 45' East 177.53 feet distant from the intersection of the North and South quarter line of said Section 36 with the center line of said highway; thence South parallel with said quarter line 492.10 feet; thence North 85° 45' East 177.53 feet; thence North parallel with said quarter line 492.10 feet to the center line of said Highway; thence South 85° 45' West along said center line 177.53 feet to the place of beginning. Excepting therefrom that portion of the above real estate described in

Bearings are referenced to the Wisconsin State Plane Coordinate System (South Zone), in which the West line of

This survey was prepared based on Chicago Title Insurance Company Commitment No. CO-3354, effective date of May 18, 2015

- 11. Access limitations set forth in Award of Damages recorded as Document No. 642800, amended by Quit Claim Deed recorded as Document No. 1173138 and also by Quit Claim Deed recorded as Document No. 1173139. Affects site by
- 12. Easment(s) for the purpose(s) and rights incidental thereto, as granted in a document, granted to the City of Waukesha, for sanitary sewer purposes, recorded on August 20, 1992, as Document No. 1760001. Does not affect site by location,

- 6. Utility Easement recorded in the office of the Register of Deeds for Waukesha County, Wisconsin as Document No.
- 7. Utility Easement recorded in the office of the Register of Deeds for Waukesha County, Wisconsin as Document No.
- 8. Limitations on Access as disclosed in a Quit Claim Deed recorded in the office of the Register of Deeds for Waukesha County, Wisconsin on April 11, 1984, as Document No. 1252504. Affects property by location, right to one access point,
- 9. Access Restrictions as contained in a Highway conveyance recorded in the office of the Register of Deeds for Waukesha
- County, Wisconsin as Document No. 637429. Affects property by location, shown
- 991596. Affects property by location, unable to determine exact location from record document
- the Property located to the East to the extent of 0.8 feet as shown on a plat of survey prepared by Jahnke & Jahnke Associates Inc., dated August 23, 2004, as Job No. S-3762. The Company Insures the insured against loss or damage (not exceeding the amount of this policy) resulting from the enforced removal of the above mentioned encroachment. No
- 12. Easement for storm sewer as evidenced by stone rip-rap located on the Northeasterly portion of the premises described in Schedule C as shown on a plat of survey prepared by Jahnke & Jahnek Associates Inc. dated August 23, 2004, as Job No.
- 13. Encroachment of a retaining wall located principally on the Northwest potion of the premises described in Schedule C onto the premises abutting to the North as shown on a plat of survey prepared by Jahnke & Jahnke Associates Inc. dated August 23, 2004, as Job No. S-3762. The Company Insures the insured against loss or damage (not exceeding the amount of this policy) resulting from the enforced removal of the above mentioned encroachment. No encroachments of
- 14. Utility easement for overhead wires affecting the North portion of the subject premises as describe din Schedule C hereof as shown on the plat of survey prepared by Jahnke & Jahnke Associates Inc. dated August 23, 2004, as Job No. S-3762.
- 15. Utility easement for gas, electric, telephone and sanitary sewer affecting the East portion of the subject premises as described in Schedule C hereof as shown on the plat of survey prepared by Jahnke & Jahnke Associates Inc. dated August
- 26. Temporary Limited Easement and other matters contained in instrument recorded on May 9, 2012, as Document No.

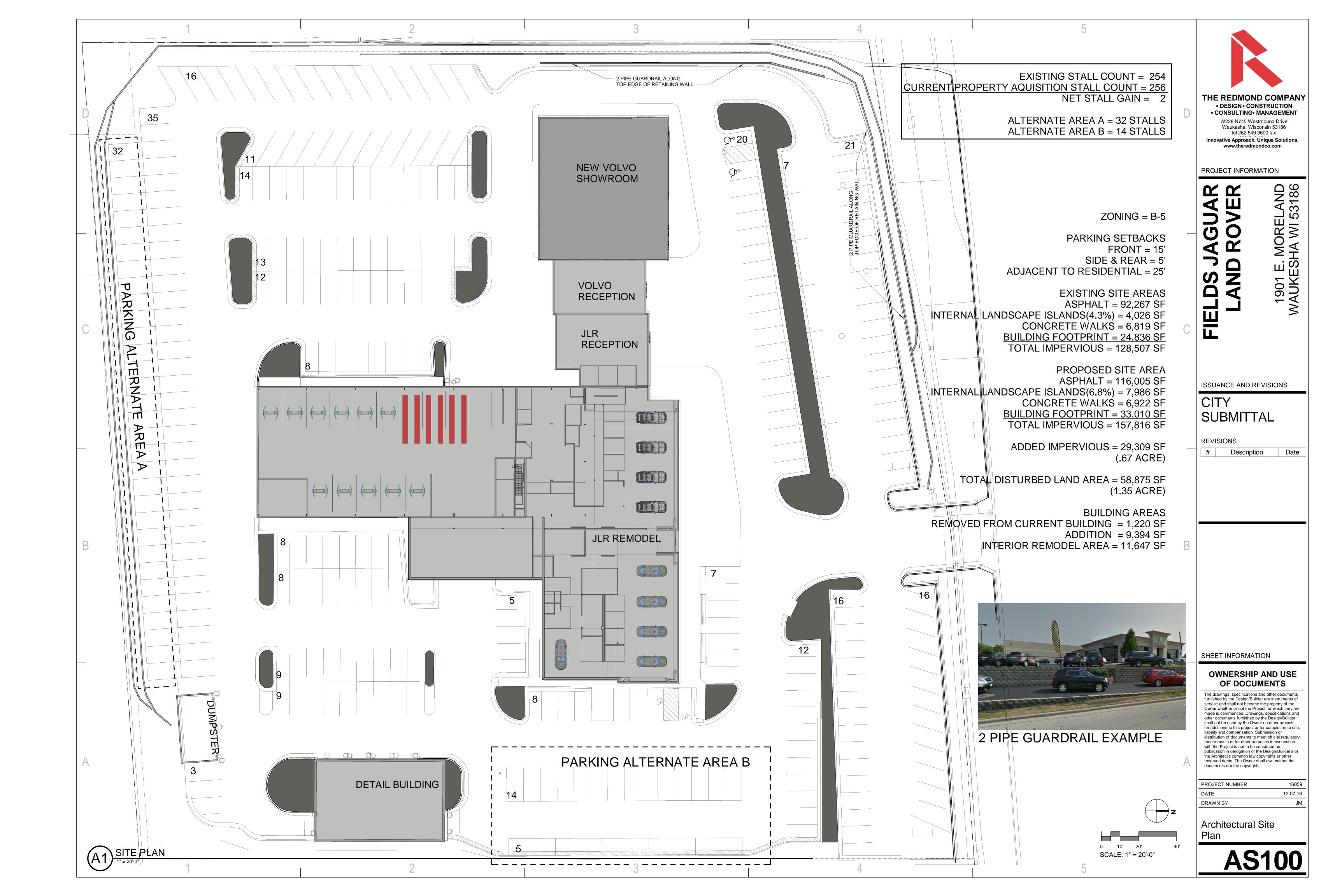
According to the flood insurance rate map of the County of Waukesha, Community Panel No. 55133C0214G, effective date of November 5, 2014, this site falls in Zone X (Areas determined to be outside the 0.2% annual chance floodplain).

Parking restrictions: Two (2) customer parking spaces per salesperson, plus one (1) employee parking space per employee (including salespersons) for the work shift with the largest number of employees, and one(1) short-term bicycle parking space per 20,000 square feet of gross floor area, plus 1 long-term bicycle parking

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 7(a), 7(c), 8, 9, 11, 16, 18, 20, 21 and 22 of Table Athereof. The field work was completed on March 29, 2016.

> Professional Land Surveyor Registration Number S-1316

> > Drawing No. 2252-dmb

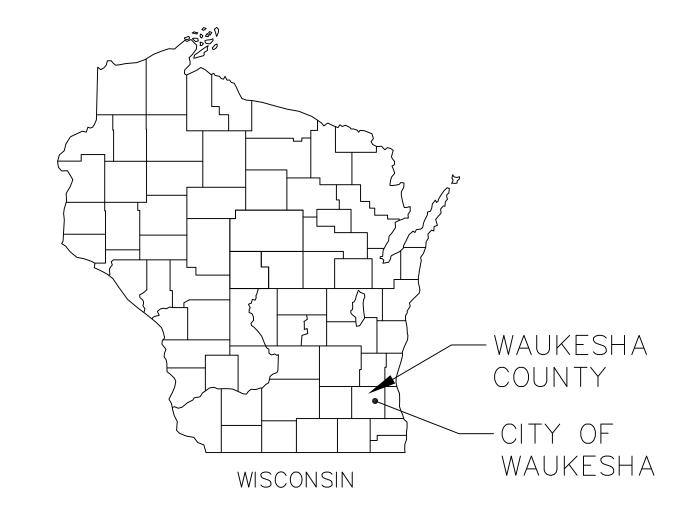


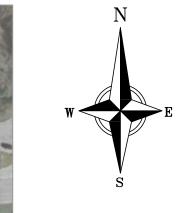
NOTICE BEFORE YOU EXCAVATE.

Waukesha Fields Jaguar-Land Rover

Civil Engineering Plans

City of Waukesha, Wisconsin





PROJECT LOCATION <

SITE BENCHMARK

CONC. MON. WITH

SW COR. OF NE 1/4

SEC. 36, T7N R19É.

ELEV = 929.69

BRASS CAP

SHEET NO.	DESCRIPTION
T1.0	TITLE SHEET
C1.0	EXISTING CONDITIONS AND DEMOLITION PLAN
C2.0	SITE PLAN
C3.0	GRADING AND EROSION CONTROL PLAN
C4.0	UTILITY PLAN
C5.0-C5.3	CONSTRUCTION DETAILS

12/7/2016

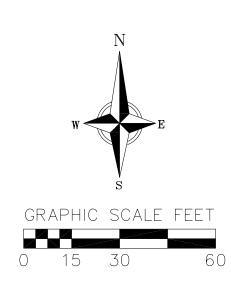
PROJECT NO.

CALL DIGGER'S HOTLINE 1-800-242-8511 TOLL FREE TELEFAX: 1-800-338-3860 TDC (FOR HEARING IMPAIRED): 1-800-542-2289 WIS. STATUTE 182.0175 (1979) REQUIRES MINIMUM OF 3 WORKING DAYS

THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.

> CALL DIGGER'S HOTLINE 1-800-242-8511

DAVIDSON RD	C1.0	EXISTING CONDITIONS AND DEMOLITION PLAN	<u>S</u>	1ARKS	
	C2.0	SITE PLAN	VISION	REA	
	C3.0	GRADING AND EROSION CONTROL PLAN	- RE	DATE	
	C4.0	UTILITY PLAN		Ö.	
	C5.0-C5.3	CONSTRUCTION DETAILS		S	
			ONS	REMARK	



• INDICATES FOUND 1" IRON PIPE ☐ TELEPHONE PEDESTAL <u>x-x-x</u> curb and gutter removal O INDICATES SET 1" IRON PIPE CABLE PEDESTAL + INDICATES FOUND CHISELED CROSS ■ CONTROL BOX ASPHALT REMOVAL SANITARY MANHOLE FIBER OPTIC SIGN SANITARY CLEANOUT OR VENT → TRAFFIC LIGHT © COMMUNICATION MANHOLE CONCRETE REMOVAL W UNKNOWN MANHOLE BOLLARD STORM MANHOLE → SOIL BORING/MONITORING WELL ₹ WATER SURFACE BUILDING REMOVAL ♦ WETLANDS FLAG → STORM SEWER END SECTION ► FLAGPOLE BUILDING REMODEL PARKING METER SIGN TREE REMOVAL MAILBOX * RAILROAD CROSSING SIGNAL & HANDICAP SPACE © WATER SERVICE CURB STOP * CONIFEROUS TREE UTILITY STRUCTURE REMOVAL ② DECIDUOUS TREE —x—x— UTILITY LINE REMOVAL WALL INDICATOR VALVE ----- SAN ----- SANITARY SEWER § POST INDICATOR VALVE ----- ST ----- STORM SEWER

----- G ------ MARKED GAS MAIN

----- UE ----- MARKED ELECTRIC

UT MARKED TELEPHONE

---- x ---- FENCE

----- UTV ----- MARKED CABLE TV LINE

DEMOLITION NOTES:

- 1. CONTRACTOR SHALL KEEP ALL CITY STREETS FREE AND CLEAR OF CONSTRUCTION RELATED DIRT/DUST/DEBRIS.
- 2. COORDINATE EXISTING UTILITY REMOVAL/ABANDONMENT WITH LOCAL AUTHORITIES AND UTILITY COMPANIES HAVING JURISDICTION.
- 3. ALL SAWCUTTING SHALL BE FULL DEPTH TO PROVIDE A CLEAN EDGE TO MATCH NEW CONSTRUCTION. MATCH EXISTING ELEVATIONS AT POINTS OF CONNECTION FOR NEW AND EXISTING PAVEMENT, CURB, SIDEWALKS, ETC. ALL SAWCUT LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE FIELD ADJUSTED TO ACCOMMODATE CONDITIONS, JOINTS, MATERIAL TYPE, ETC. REMOVE MINIMUM AMOUNT NECESSARY FOR INSTALLATION OF PROPOSED
- 4. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED DURING CONSTRUCTION TO PUBLIC PROPERTY, PRIVATE PROPERTY OR UTILITIES.
- 5. EXISTING TOPOGRAPHIC INFORMATION IS BASED ON ALTA/NSPS LAND TITLE SURVEY BY CHAPUT LAND SURVEYS LLC DATED APRIL 7, 2016. CONTRACTOR SHALL VERIFY TOPOGRAPHIC INFORMATION PRIOR TO STARTING CONSTRUCTION.
- 6. CONTRACTOR SHALL PROVIDE AND SHALL BE RESPONSIBLE FOR ANY NECESSARY TRAFFIC CONTROL SIGNAGE AND SAFETY MEASURES DURING DEMOLITION AND CONSTRUCTION OPERATIONS WITHIN OR NEAR THE PUBLIC ROADWAY.
- 7. IF APPLICABLE, PROVIDE TREE PROTECTION FENCING PRIOR TO CONSTRUCTION OPERATIONS. MAINTAIN THROUGHOUT

- 8. CONTRACTOR SHALL OBTAIN ANY NECESSARY DEMOLITION AND UTILITY PLUGGING PERMITS.
- 9. THE LOCATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE PLANS HAS BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER AND THE ENGINEER DO NOT ASSUME RESPONSIBILITY IN THE EVENT THAT DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED, AND THAT THE ACTUAL LOCATION OF THOSE WHICH ARE SHOWN MAY BE DIFFERENT FROM THE LOCATION AS SHOWN ON THE PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING DIGGERS HOTLINE AND LOCATING ALL EXISTING UTILITIES AND ENSURE PROPER CLEARANCE OF NEW UTILITIES.
- 10. ANY DAMAGE TO THE CITY PAVEMENT, INCLUDING DAMAGE RESULTING FROM CURB REPLACEMENT, WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY ENGINEERING PATCHING CRITERIA.
- 11. RIGHT OF WAY (ROW) AND PROPERTY LINES ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING PROPERTY CORNER MONUMENTATION. ANY MONUMENTS DISTURBED BY CONTRACTOR SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.
- 12. CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.

QĽ-Jagn Field Waukesha Conditic

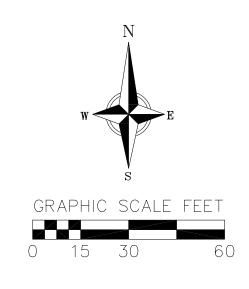
<u>rb</u>

AS SHOWN

12/7/2016 DRAFTER CHECKED GBLA

PROJECT NO.

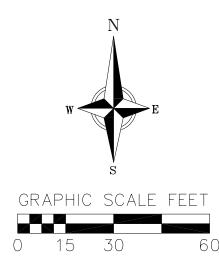
160333

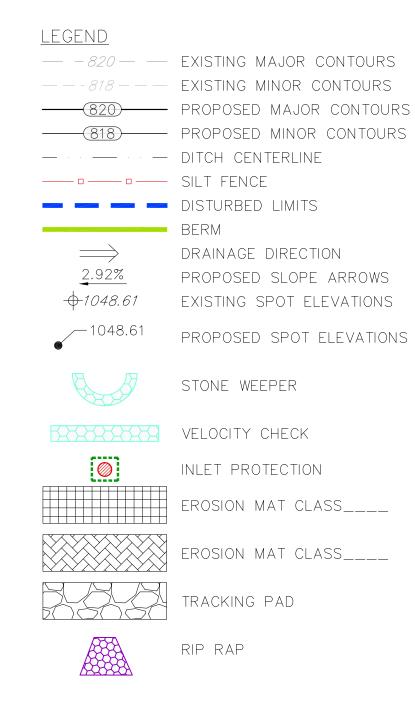


2. CONCRETE FOR DRIVEWAYS AND SIDEWALK AT DRIVEWAY ENTRANCES SHALL BE 7" THICK, CONSTRUCTED ON A BASE OF 5" COMPACTED SAND OR CRUSHED STONE.

12/7/2016

PROJECT NO.





GRADING AND EROSION CONTROL NOTES:

- 1. INSTALL A 50'L X 20'W X 1.0'D TRACKING PAD PER DETAIL AT THE SITE ENTRANCE. THE TRACKING PAD SHALL BE MAINTAINED/REPAIRED AS NECESSARY TO ACCOMMODATE CONSTRUCTION.
- THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE/REPAIR WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
- 3. INSTALL INLET FILTERS IN EXISTING CURB INLETS AND INLET PROTECTION AROUND FIELD INLETS.
- 4. UTILITY STRUCTURE RIM AND TOP OF CURB ELEVATIONS ON PLANS ARE APPROXIMATE. UTILITY STRUCTURES SHALL BE SET TO FINAL ELEVATIONS AFTER THE CURB & GUTTER AND BASE COURSE HAVE BEEN INSTALLED.
- 5. EXISTING TOPOGRAPHIC INFORMATION IS BASED ON ALTA/NSPS LAND TITLE SURVEY BY CHAPUT LAND SURVEYS LLC DATED APRIL 7, 2016. CONTRACTOR SHALL VERIFY TOPOGRAPHIC INFORMATION PRIOR TO STARTING CONSTRUCTION.
- 6. SEE DETAIL SHEETS FOR EROSION CONTROL NOTES AND CONSTRUCTION SEQUENCE.
- 7. THE CONTRACTOR SHALL REMOVE ANY SEDIMENT TRACKED ONTO ADJACENT ROADS BY MEANS OF STREET SWEEPING (NOT FLUSHING) AT A MINIMUM OF THE END OF EACH WORK DAY OR MORE AS NEEDED.
- 8. RIGHT OF WAY (ROW) AND PROPERTY LINES ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING PROPERTY CORNER MONUMENTATION. ANY MONUMENTS DISTURBED BY CONTRACTOR SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.
- 9. FINAL GRADES SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
- 10. CROSS-SLOPE OF SIDEWALKS SHALL BE 2% (MAX) UNLESS OTHERWISE NOTED.
- 11. LONGITUDINAL GRADE OF SIDEWALK RAMPS SHALL NOT EXCEED 8.33% (1:12) AND SHALL BE IN ACCORDANCE WITH
- 12. LONGITUDINAL GRADE OF SIDEWALK SHALL NOT EXCEED 5.0% OR THE ADJACENT STREET GRADE WHICHEVER IS
- 13. ACCESSIBLE ROUTES SHALL BE 5% MAX LONGITUDINAL SLOPE AND 2% MAX CROSS SLOPE. ACCESSIBLE LOADING

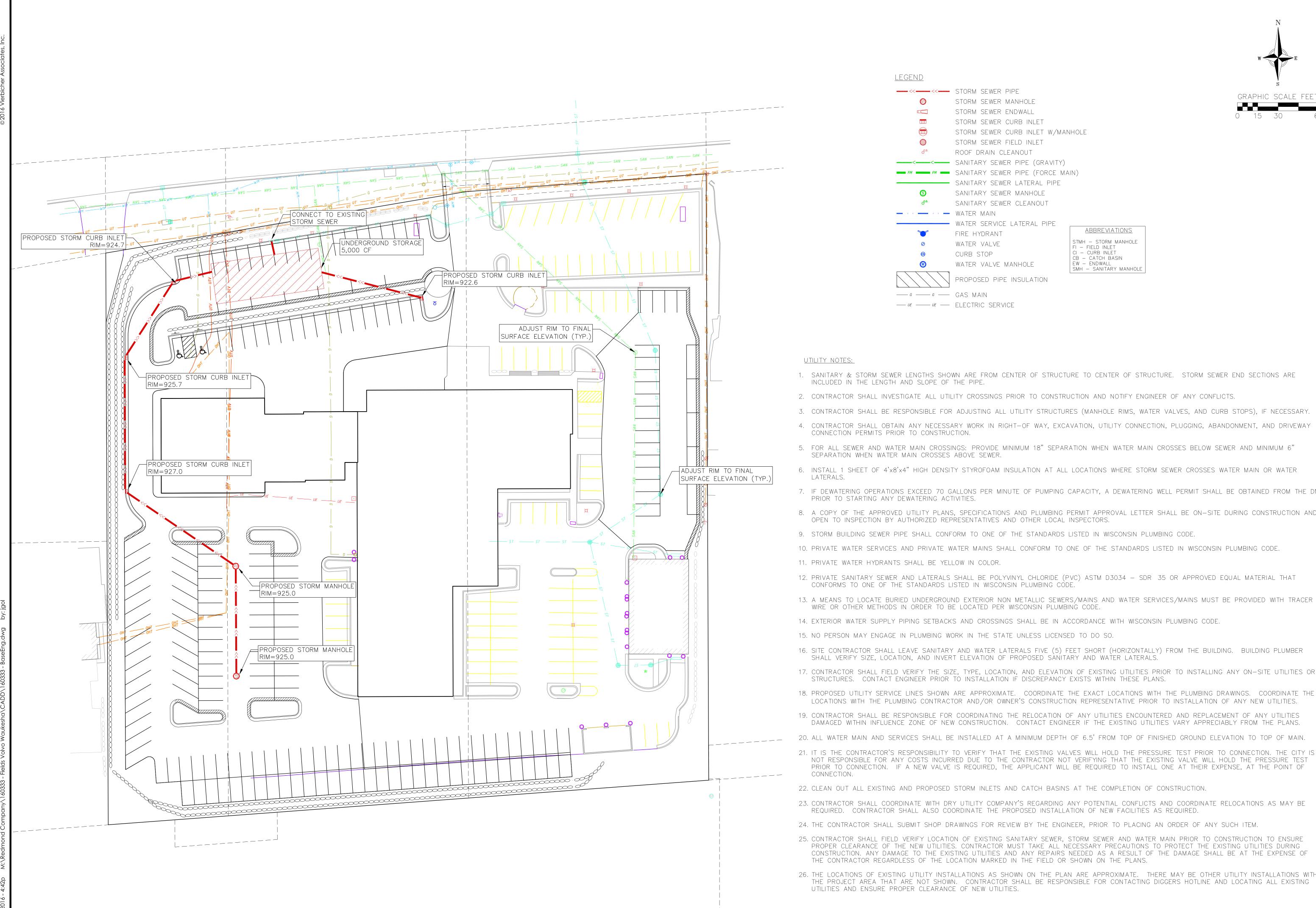
erbi

aukesha

AS SHOWN

12/7/2016 DRAFTER CHECKED GBLA

PROJECT NO. 160333



GRAPHIC SCALE FEET

- 1. SANITARY & STORM SEWER LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. STORM SEWER END SECTIONS ARE
- 4. CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT-OF WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING, ABANDONMENT, AND DRIVEWAY
- 5. FOR ALL SEWER AND WATER MAIN CROSSINGS: PROVIDE MINIMUM 18" SEPARATION WHEN WATER MAIN CROSSES BELOW SEWER AND MINIMUM 6"
- 6. INSTALL 1 SHEET OF 4'x8'x4" HIGH DENSITY STYROFOAM INSULATION AT ALL LOCATIONS WHERE STORM SEWER CROSSES WATER MAIN OR WATER
- 7. IF DEWATERING OPERATIONS EXCEED 70 GALLONS PER MINUTE OF PUMPING CAPACITY, A DEWATERING WELL PERMIT SHALL BE OBTAINED FROM THE DNR
- 8. A COPY OF THE APPROVED UTILITY PLANS, SPECIFICATIONS AND PLUMBING PERMIT APPROVAL LETTER SHALL BE ON-SITE DURING CONSTRUCTION AND
- 10. PRIVATE WATER SERVICES AND PRIVATE WATER MAINS SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN WISCONSIN PLUMBING CODE.

- 16. SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER
- 17. CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES PRIOR TO INSTALLING ANY ON-SITE UTILITIES OR
- 18. PROPOSED UTILITY SERVICE LINES SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATIONS WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
- 19. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF ANY UTILITIES ENCOUNTERED AND REPLACEMENT OF ANY UTILITIES DAMAGED WITHIN INFLUENCE ZONE OF NEW CONSTRUCTION. CONTACT ENGINEER IF THE EXISTING UTILITIES VARY APPRECIABLY FROM THE PLANS.
- 21. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE CITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE, AT THE POINT OF
- 23. CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE
- 25. CONTRACTOR SHALL FIELD VERIFY LOCATION OF EXISTING SANITARY SEWER, STORM SEWER AND WATER MAIN PRIOR TO CONSTRUCTION TO ENSURE PROPER CLEARANCE OF THE NEW UTILITIES. CONTRACTOR MUST TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES DURING CONSTRUCTION. ANY DAMAGE TO THE EXISTING UTILITIES AND ANY REPAIRS NEEDED AS A RESULT OF THE DAMAGE SHALL BE AT THE EXPENSE OF
- 26. THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THE PLAN ARE APPROXIMATE. THERE MAY BE OTHER UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING DIGGERS HOTLINE AND LOCATING ALL EXISTING

• —

AS SHOWN

12/7/2016 DRAFTER CHECKED

PROJECT NO. 160333

EROSION CONTROL MEASURES

- EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF WAUKESHA EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
- 2. CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS (http://dnr.wi.gov/runoff/stormwater/techstds.htm) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
- 3. INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE, SEDIMENT BASINS, ETC.) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
- 4. THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
- EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
- 6. A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED AT THE END OF ROAD CONSTRUCTION LIMITS TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WISDNR TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
- 7. CHANNELIZED RUNOFF: FROM ADJACENT AREAS PASSING THROUGH THE SITE SHALL BE DIVERTED AROUND DISTURBED AREAS.
- STABILIZED DISTURBED GROUND: ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25-FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 14-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.
- SITE DE-WATERING: WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE-WATERING).
- 10. WASHED STONE WEEPERS OR TEMPORARY EARTH BERMS SHALL BE BUILT PER PLAN BY CONTRACTOR TO TRAP SEDIMENT OR SLOW THE VELOCITY OF STORM WATER.
- 11. SEE DETAIL SHEETS FOR RIP-RAP SIZING. IN NO CASE WILL RIP-RAP BE SMALLER THAN 3" TO 6".
- 12. INLET FILTERS ARE TO BE PLACED IN STORMWATER INLET STRUCTURES AS SOON AS THEY ARE INSTALLED. ALL PROJECT AREA STORM INLETS NEED WISCONSIN D.O.T. TYPE D INLET PROTECTION. THE FILTERS SHALL BE MAINTAINED UNTIL THE OWNER HAS ACCEPTED THE BINDER COURSE OF ASPHALT.
- 13. USE DETENTION BASINS AS SEDIMENT BASINS DURING CONSTRUCTION (DO NOT USE INFILTRATION AREAS). AT THE END OF CONSTRUCTION, REMOVE SEDIMENT AND RESTORE PER PLAN.
- 14. RESTORATION (SEED, FERTILIZE AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET (NOTE: ADD SEEDING RATE STANDARD OF DETAIL BLOCK TO PLAN) UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN OR THE DETENTION BASIN DETAIL SHEET.
- 15. TERRACES SHALL BE RESTORED WITH 6" TOPSOIL, PERMANENT SEED, FERTILIZER AND MULCH. LOTS SHALL BE RESTORED WITH 6" TOPSOIL, TEMPORARY SEED, FERTILIZER AND MULCH.
- 16. AFTER DETENTION BASIN GRADING IS COMPLETE, THE BOTTOM OF DRY BASINS SHALL RECEIVE 6" TOPSOIL AND SHALL BE CHISEL-PLOWED TO A MINIMUM DEPTH OF 12" PRIOR TO RESTORATION.
- 17. SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
- 18. FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
- 19. EROSION MAT (CLASS I, TYPE A URBAN PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON ALL SLOPES 3:1 OR GREATER BUT LESS THAN 1:1.
- 20. EROSION MAT (CLASS I, TYPE B URBAN PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON THE BOTTOM (INVERT) OF ROADSIDE DITCHES/SWALES AS SHOWN ON THIS PLAN, 1 ROLL WIDTH.
- 21. SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. (PRODUCT ACCEPTABILITY LIST), OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED PER MANUFACTURER. SOIL STABILIZERS SHALL BE RE-APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.
- 22. SILT FENCE OR EROSION MAT SHALL BE INSTALLED ALONG THE CONTOURS AT 100 FOOT INTERVALS DOWN THE SLOPE ON THE DISTURBED SLOPES STEEPER THAN 5% AND MORE THAN 100 FEET LONG THAT SHEET FLOW TO THE ROADWAY UNLESS SOIL STABILIZERS ARE USED.
- 23. INSTALL MINIMUM 6'-7' WIDE EROSION MAT ALONG THE BACK OF CURB AFTER TOPSOIL HAS BEEN PLACED IN THE TERRACE IF THIS AREA WILL NOT BE SEEDED AND MULCHED WITHIN 48 HOURS OF PLACING TOPSOIL. (NOTE: CHECK WITH MUNICIPALITY AND PROJECT MANAGER IF THIS IS REQUIRED.)
- 24. SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY. SEE DETAILS.
- 25. SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.
- 26. ACCUMULATED CONSTRUCTION SEDIMENT SHALL BE REMOVED FROM ALL PERMANENT BASINS TO THE ELEVATION SHOWN ON THE GRADING PLAN FOLLOWING THE STABILIZATION OF DRAINAGE AREAS.
- 27. ALL CONSTRUCTION ENTRANCES SHALL HAVE TEMPORARY ROAD CLOSED SIGNS THAT WILL BE IN PLACE WHEN THE ENTRANCE IS NOT IN USE AND AT THE END OF EACH DAY.
- 28. ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY DANE COUNTY LAND CONSERVATION OR PERMITTING MUNICIPALITY.
- 29. THE CITY, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.

SEEDING RATES:

- 1. USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS. 2. USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL
- PLANTINGS STARTED AFTER SEPTEMBER 15.

1. USE WISCONSIN D.O.T. SEED MIX #40 AT 2 LB./1,000 S.F.

FERTILIZING RATES:

USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.

MULCHING RATES:

TEMPORARY AND PERMANENT:

TEMPORARY AND PERMANENT:

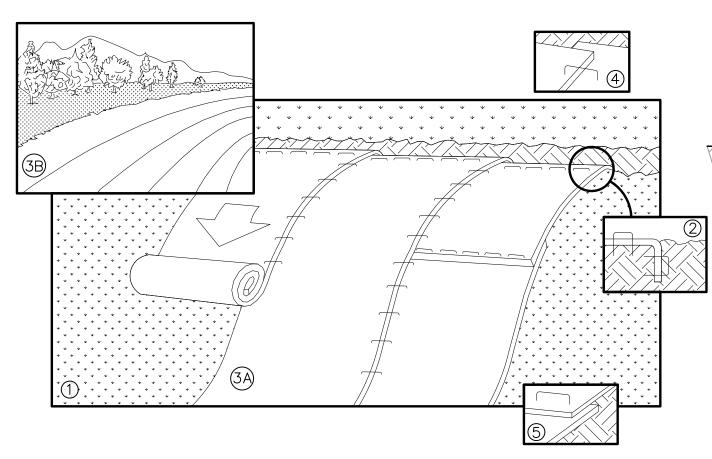
USE ½" TO 1-½" STRAW OR HAY MULCH. CRIMPED PER SECTION 607.3.2.3. OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION

CONSTRUCTION SEQUENCE:

- 1. INSTALL SILT FENCE AND TRACKING PAD
- 2. STRIP TOPSOIL-DETENTION BASINS
- 3. ROUGH GRADE DETENTION BASINS
- 4. SEED DETENTION BASINS
- 5. STRIP TOPSOIL-STREETS & LOTS.
- 6. ROUGH GRADE STREETS & LOTS
- VELOCITY CHECKS 8. CONSTRUCT UNDERGROUND UTILITIES

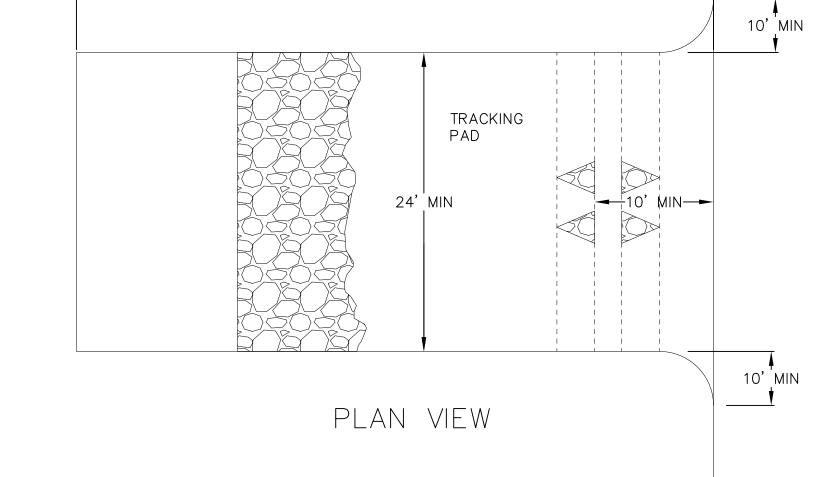
7. SEED LOT AREAS AND INSTALL DRIVE-OVER

- 9. INSTALL INLET PROTECTION
- 10. CONSTRUCT ROADS (STONE BASE, CURB & GUTTER, AND SIDEWALK). REMOVE DRIVE-OVER VELOCITY CHECKS WHEN BASE COURSE IS PLACED
- 11. RESTORE TERRACES
- 12. REMOVE TRACKING PAD, SILT FENCE AND DIVERSION BERM MEASURES AFTER DISTURBED AREAS ARE RESTORED



NOTE: REFER TO GENERAL STAPLE PATTERN GUIDE FOR CORRECT STAPLE PATTERN RECOMMENDATIONS FOR SLOPE INSTALLATIONS.

- 1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED. NOTE: WHEN USING CELL-O-SEED, DO NOT SEED PREPARED AREA.
- CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN. 2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP BY 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
- 3. ROLL THE BLANKETS <A.> DOWN, OR <B.> HORIZONTALLY ACROSS THE SLOPE. 4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
- 5. WHEN BLANKETS MUST BE SPLICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.
- 6. ALL BLANKETS MUST BE SECURELY FASTENED TO THE SLOPE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.



PROFILE VIEW

-50' MINIMUM LENGTH:

50' MINIMUM LENGTH

MINIMUM 12" DEEP

PAD OF 3" CLEAR

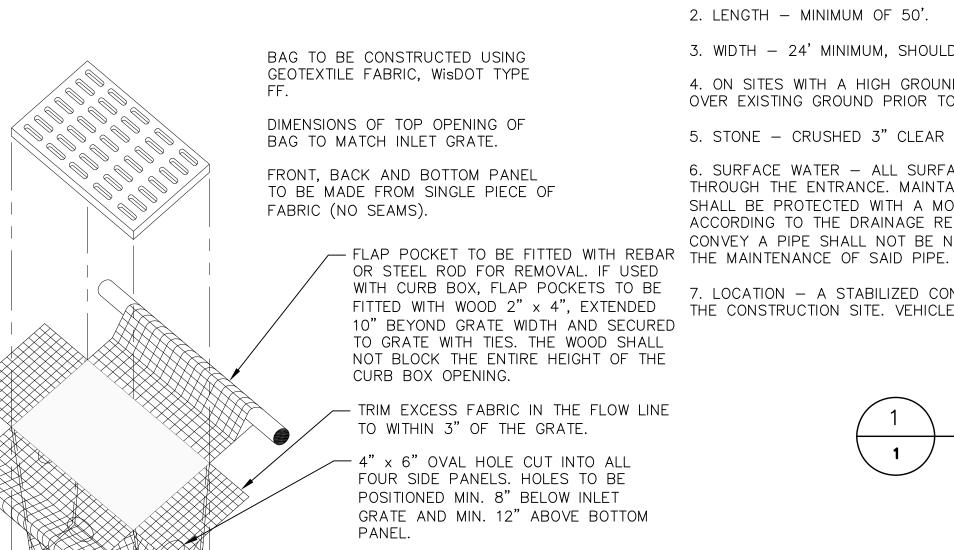
STONE OVER FULL

OF STRUCTURE

LENGTH AND WIDTH

EROSION MAT

NOT TO SCALE



DOUBLE STITCHED SEAMS AROUND SIDE PANELS AND AT FLAP POCKETS. -BOTTOM DIMENSION = 12"INSTALLED BAD SHALL HAVE A MIN. SIDE

CLEARANCE OF 3" FROM THE INLET WALLS, MEASURED AT THE HOLES. IF NECESSARY, CONTRACTOR SHALL CINCH THE BAG (MAX. 4" FROM BAG BOTTOM) TO ACHIEVE CLEARANCE.

MAINTAINED OR REPLACED AT THE DIRECTION

INLET PROTECTION DEVICES SHALL BE

OF THE ENGINEER.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, ANY TRAPPED MATERIAL THAT FALLS INTO THE INLET SHALL BE IMMEDIATELY REMOVED BY THE CONTRACTOR.

IF INLET DEPTH FROM TOP OF GRATE TO BOTTOM OF INLET IS LESS THAN 30", CONTRACTOR SHALL SUBSTITUTE WisDOT TYPE C INLET PROTECTION.

INLET PROTECTION TYPE D

NOT TO SCALE

1. FOLLOW WISCONSIN DNR TECHNICAL STANDARD 1057 FOR FURTHER DETAILS AND INSTALLATION.

2. LENGTH — MINIMUM OF 50'.

— EXISTING GROUND

3. WIDTH - 24' MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS

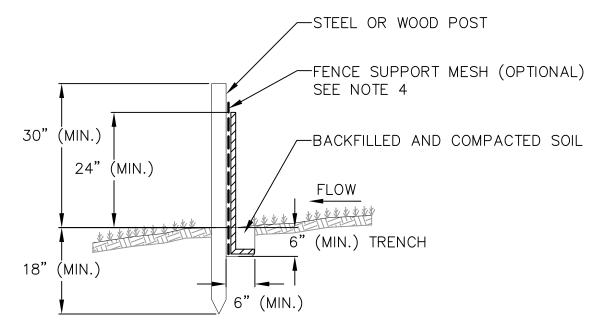
4. ON SITES WITH A HIGH GROUND WATER TABLE OR WHERE SATURATED CONDITIONS EXIST, GEOTEXTILE FABRIC SHALL BE PLACED OVER EXISTING GROUND PRIOR TO PLACING STONE. FABRIC SHALL BE WISDOT TYPE-HR GEOTEXTILE FABRIC.

5. STONE — CRUSHED 3" CLEAR STONE SHALL BE PLACED AT LEAST 12" DEEP OVER THE ENTIRE LENGTH AND WIDTH OF ENTRANCE.

6. SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARDS CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE. MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND MINIMIUM OF 6" STONE OVER THE PIPE. PIPE SHALL BE SIZED ACCORDING TO THE DRAINAGE REQUIREMENTS. WHEN THE ENTRANCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY A PIPE SHALL NOT BE NECESSARY. THE MINIMUM PIPE DIAMETER SHALL BE 6". CONTRACTOR SHALL BE RESPONSIBLE FOR

7. LOCATION — A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED WHERE CONSTRUCTION TRAFFIC ENTERS AND/OR LEAVES THE CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE TRACKING PAD.





NOTES:

MOUNTABLE BERM 6" MIN. HEIGHT

- EXISTING

PAVEMENT

(OPTIONAL)

- EARTH FILL

— PIPE AS NECESSARY

SEE NOTE 6

- 1. INSTALL SILT FENCE TO FOLLOW THE GROUND CONTOURS AS CLOSELY AS POSSIBLE.
- 2. CURVE THE SILT FENCE UP THE SLOPE TO PREVENT WATER FROM RUNNING AROUND THE
- 3. POST SPACING WITH FENCE SUPPORT MESH = 10 FT. (MAX.)
- POST SPACING WITHOUT FENCE SUPPORT MESH = 6 FT. (MAX.)
- 4. SILT FENCE SUPPORT MESH CONSISTS OF OF 6 IN. X 6 IN. OR PREFABRICATED
- 14-GAUGE STEEL WIRE WITH A MESH SPACING POLYMERIC MESH OF EQUIVALENT STRENGTH



SILT FENCE

• —

• —

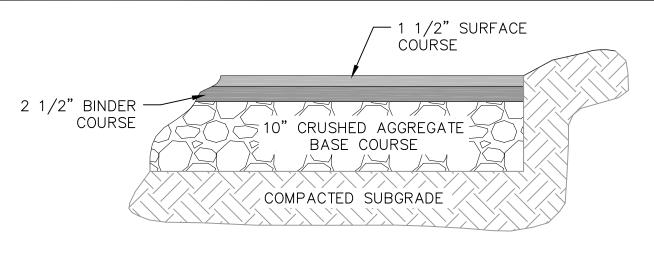
Ω tion auk Sh auke

AS SHOWN

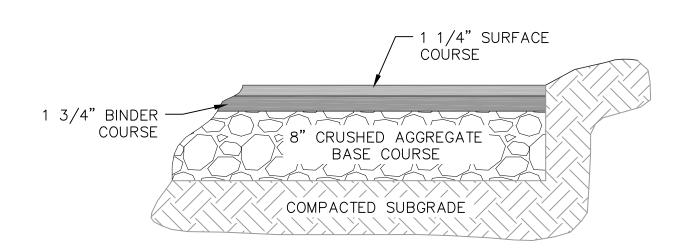
12/7/2016

CHECKED GBLA PROJECT NO.

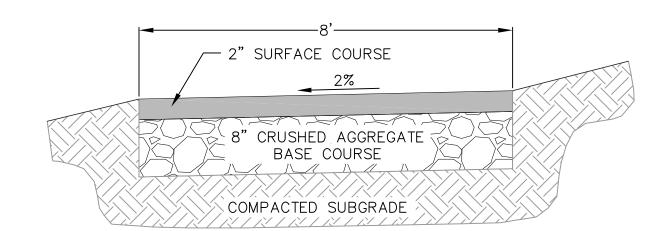
160333



BITUMINOUS PAVEMENT DRIVES

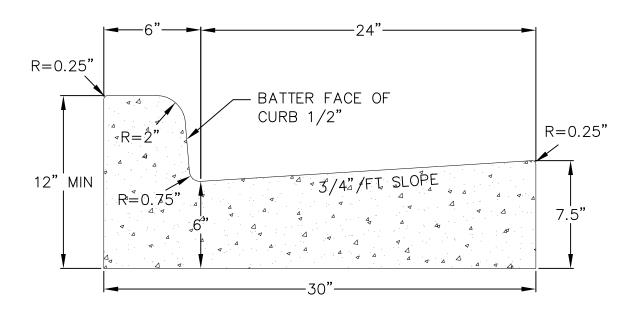


BITUMINOUS PAVEMENT PARKING LOT

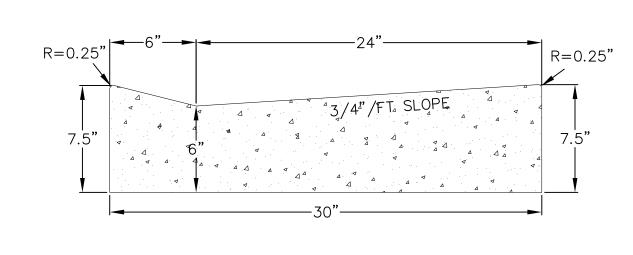


BITUMINOUS PAVEMENT BIKE PATH

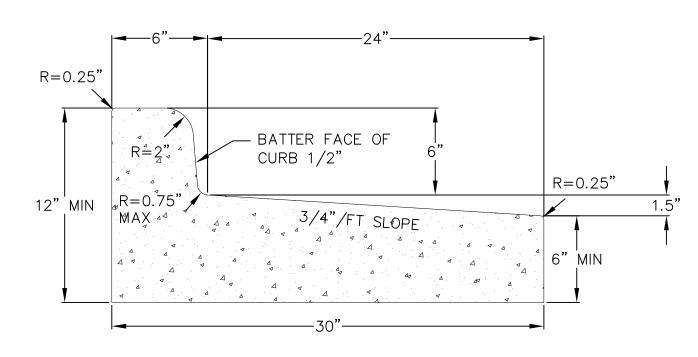




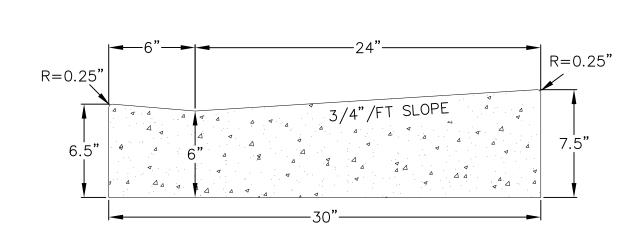
CURB AND GUTTER CROSS SECTION



DRIVEWAY GUTTER CROSS SECTION

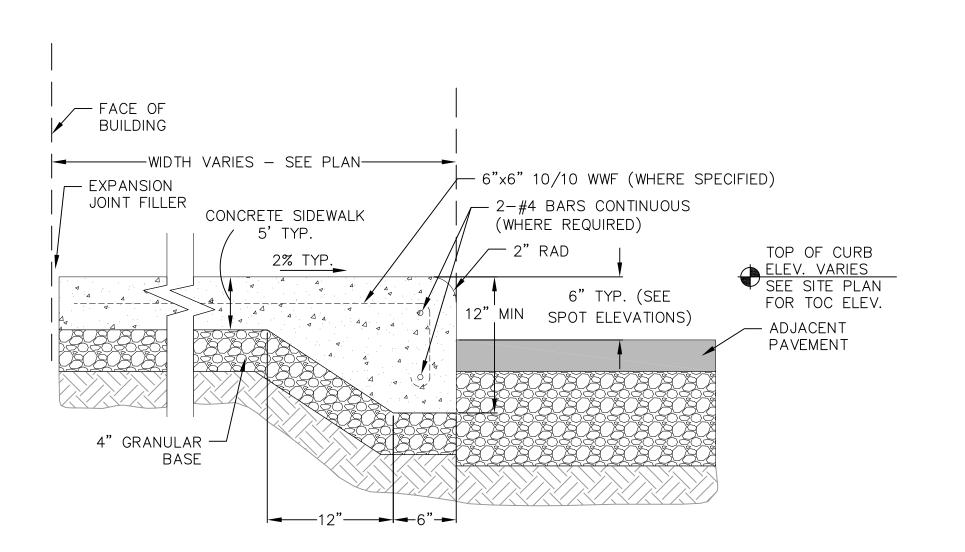


CURB AND GUTTER REJECT SECTION

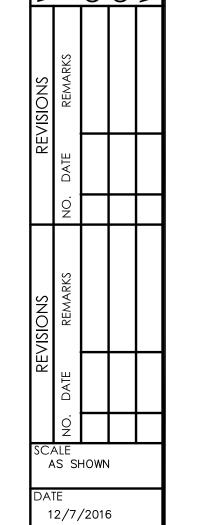


HANDICAP RAMP GUTTER CROSS SECTION







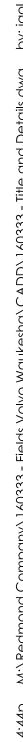


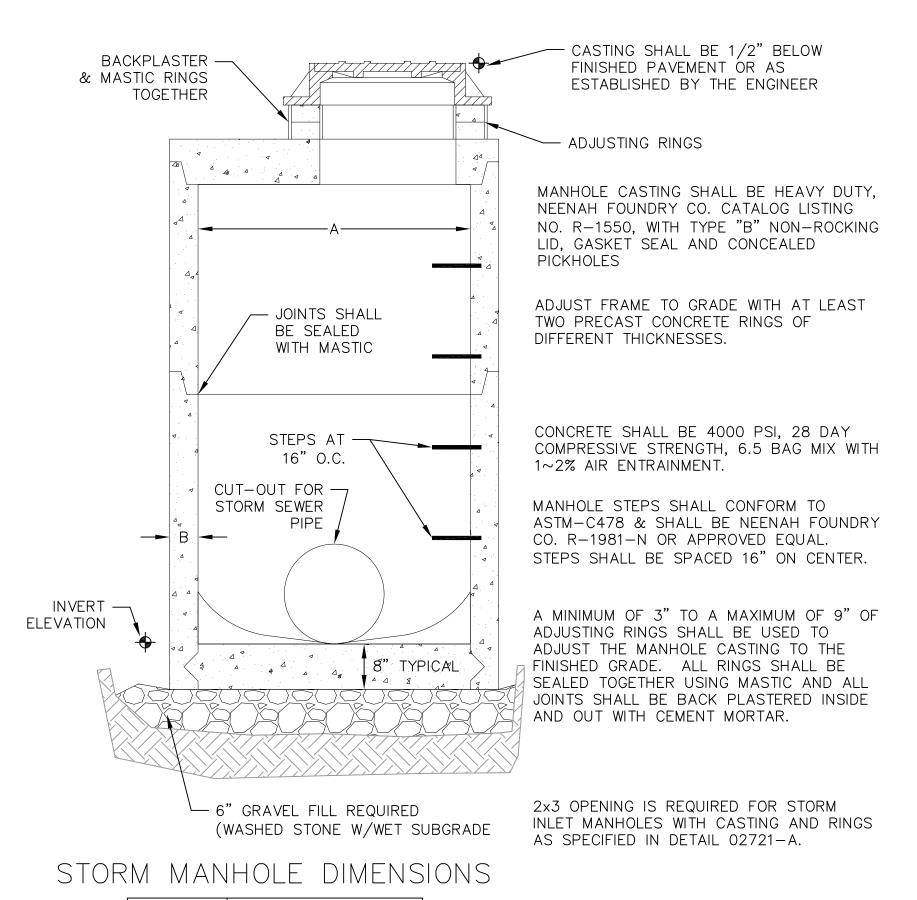
Vierbicher planners | engineers | advisors

PROJECT NO. 160333

GBLA

5.1





 84"
 84"
 7"

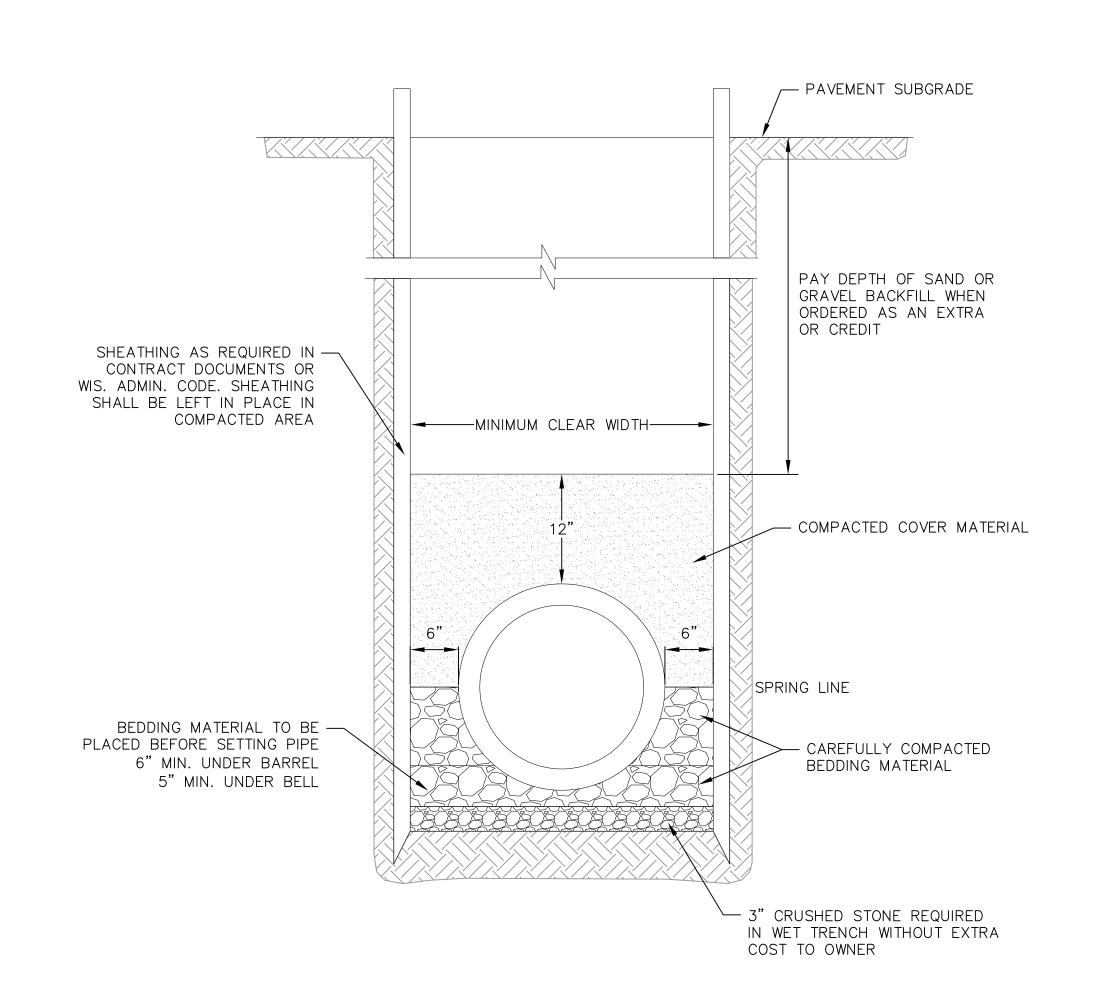
 96"
 96"
 9"

DIMENSION

A B (MIN.)

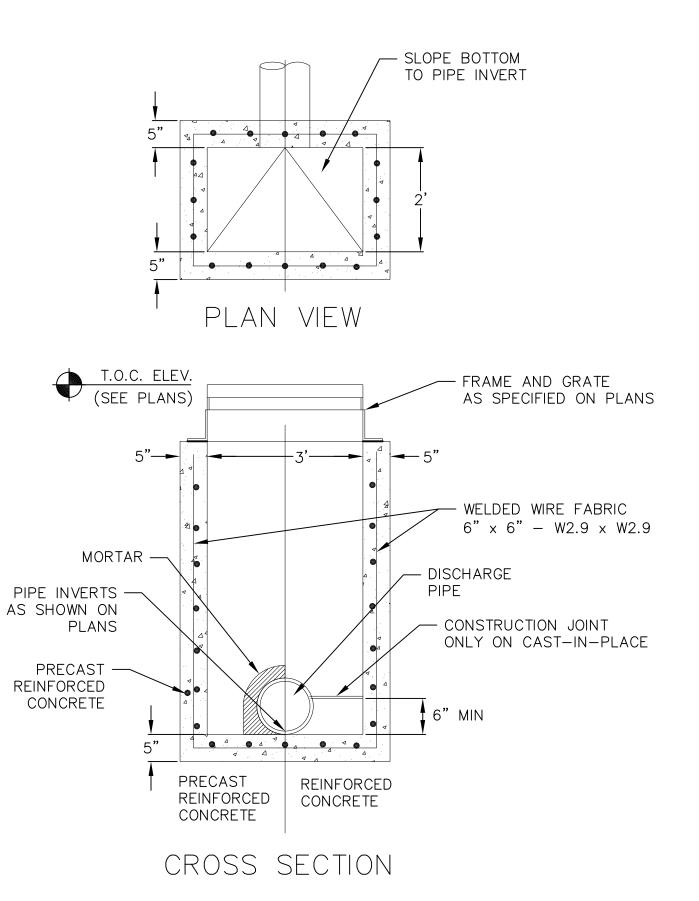
MANHOLE

STORM SEWER MANHOLE
NOT TO SCALE



CLASS B BEDDING COMPACTED SECTION

NOT TO SCALE



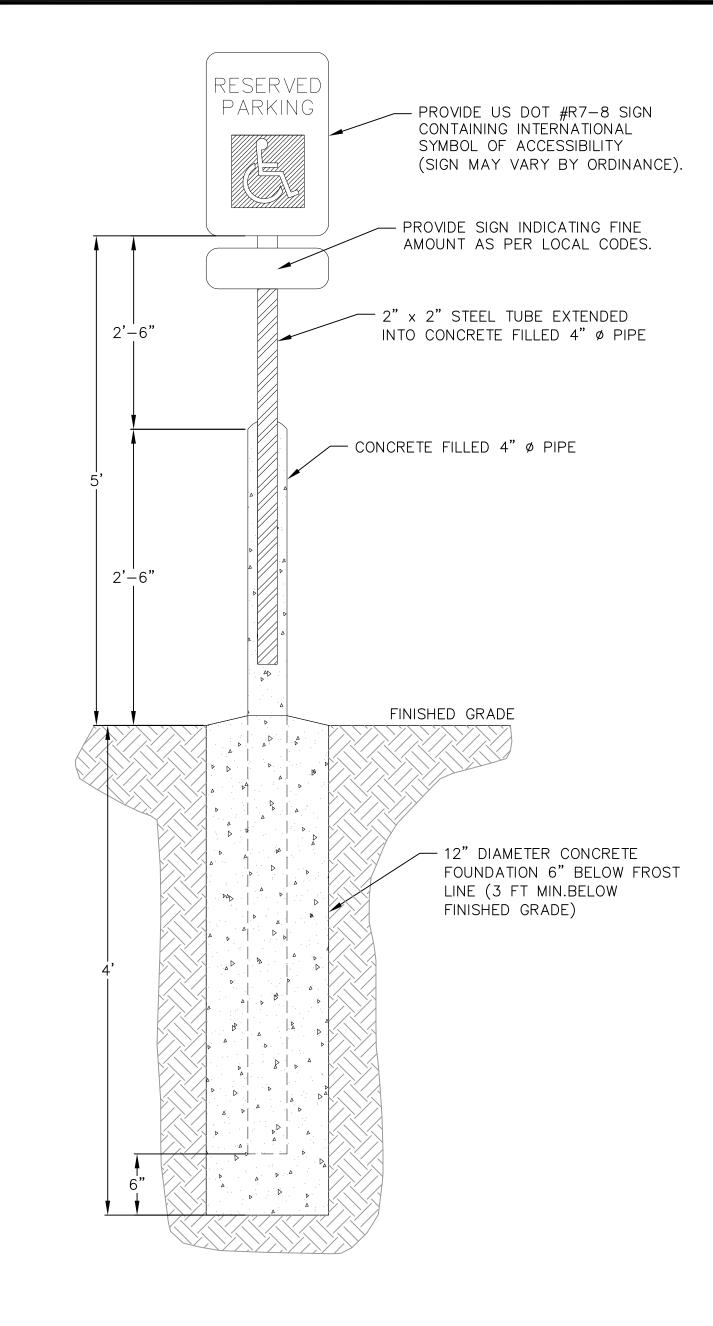
1 CURB INLET - TYPE 3, 2' x 3' BASIN

1 NOT TO SCALE

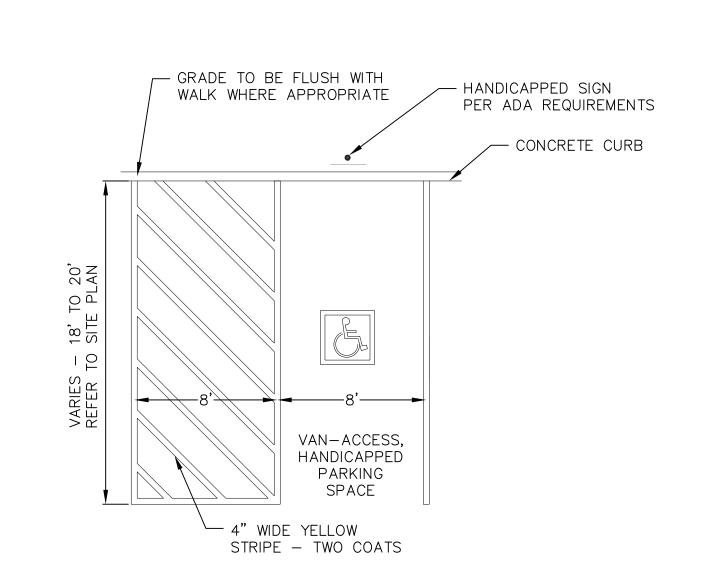


erbic

·<u>></u>



HANDICAP PARKING SIGN
NOT TO SCALE



HANDICAP STRIPING

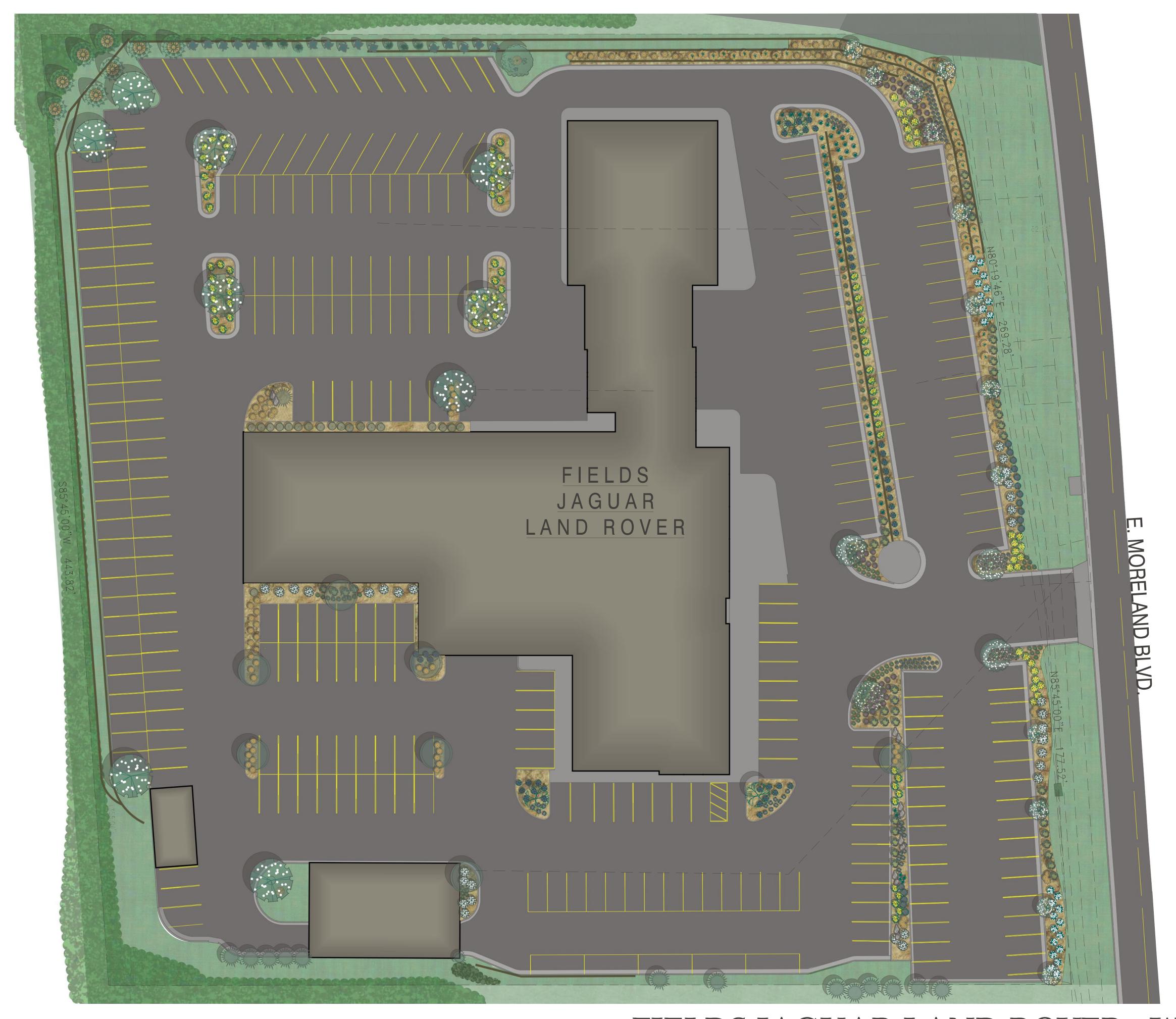
NOT TO SCALE

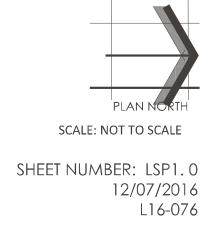
Vierbich planners | engineers | adv

12/7/2016

PROJECT NO.

CHECKED GBLA





LANDSCAPE DESIGN

Landscape Architecture

& Master Planning Design Consulting

11525 W. North Avenue Suite 1B Wauwatosa, WI 53226 Tel (414) 476-1204 www.insitelandscape.com mdavis@insitelandscape.com FIELDS JAGUAR LAND ROVER - WAUKESHA, WI

Proposed Preliminary Landscape Plan

LANDSCAPE PLAN GENERAL NOTES

* * PLANT MATERIAL SHOWN ON LANDSCAPE PLAN IS DEPICTED AT MATURE GROWTH. * *

AT LEAST SEVENTY-TWO HOURS PRIOR TO ANY EXCAVATION, CONTRACTOR SHALL VERIFY UTILITY LOCATIONS AS GIVEN BY THE ELECTRIC, GAS, TELEPHONE, WATER, SEWER, AND CABLE TELEVISION COMPANIES, UTILITIES OR ENTITIES. REVIEW WITH OWNER'S REPRESENTATIVE SITE MECHANICAL, SITE ELECTRICAL AND LIGHTING, SITE GRADING AND DRAINAGE, SITE IRRIGATION AND ALL OTHER DRAWINGS PERTAINING TO UNDERGROUND UTILITY LOCATIONS. RECORD SET OF INFORMATION THE SAME AS IN POSSESSION OF OWNER'S REPRESENTATIVE. ALSO REVIEW OWNER'S "MARK SETS" OF ALL OF THESE DRAWINGS IN POSSESSION OF THE CONTRACTOR OR OWNER. MARK ALL SUCH UTILITIES ON THE SITE PRIOR TO COMMENCING. COORDINATE WITH OWNER BEFORE AND DURING CONSTRUCTION. REPAIR

ANY DAMAGE TO ANY SYSTEM THAT IS CAUSED BY LANDSCAPE CONTRACTOR AT NO COST TO OWNER. ALL PLANTINGS SPECIFIED FOR THE FIELDS JAGUAR LAND ROVER PROJECT PLANTING TABLESON SHEET LSP1.1 SHALL COMPLY WITH STANDARDS AS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK ANSI Z60.1 2014 AND ANSI STANDARDS FOR PLANTING 2012

DEVIATIONS FROM THE APPROVED THE FIELDS JAGUAR LAND ROVER PROJECT PLANS SHALL BE NOTED ON THE RECORD DRAWING BY THE CONTRACTOR AND ONLY WITH PRIOR APPROVAL OF THE LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE. VERBAL AGREEMENTS OR REVISIONS WITHOUT A CHANGE ORDER WILL NOT BE RECOGNIZED BY LANDSCAPE ARCHITECT AND OWNER.

ALL PLANTS MUST BE BID AND SELECTED PER THE SPECIES SPECIFIED ON THE PLANS. THE SIZES OF PLANT MATERIAL LISTED HEREIN IS A MINIMUM ACCEPTABLE SIZE. ADDITIONALLY, IF EXCESSIVE PRUNING REDUCES THE CROWN THE PLANT SHALL BE REPLACED.

PROTECT PUBLIC FROM CONSTRUCTION WITH BARRIERS AND BARRICADES.

ALL AREAS THAT WERE DISTURBED DURING CONSTRUCTION AND AREAS NOT COVERED WITH PAVEMENT, BUILDING, PLANTING BEDS, OR TREE PITS ARE TO BE TOPSOILED 3" DEEP (MIN.) AND SHALL BE SODDED/SEEDED WITH SPECIFIED LAWN GRASS. LANDSCAPE CONTRACTOR SHALL INCLUDE COST PER SQUARE YARD FOR ADDITIONAL SEED OPERATIONS AS MAY BE POSSIBLY REQUIRED TO REESTABLISH ADJACENT TURF GRASS AREAS WHICH MAY BECOME DAMAGED DURING THE CONSTRUCTION PROCESS OR TO REPAIR DAMAGE DONE BY OTHERS.

CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL MATERIALS, TOOLS, EQUIPMENT, LABOR, AND PLANTS

NECESSARY FOR PROPER PLANTING AND INSTALLATION OF ALL LANDSCAPE MATERIAL QUANTITIES ON PLANT MATERIALS LIST ARE FOR CONVENIENCE OF BIDDING ONLY. CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON LANDSCAPE PLANS AND COVERAGE OF ALL AREAS

CONTRACTOR IS RESPONSIBLE FOR ALL ESTIMATING AND BIDDING, ALL AREAS, QUANTITIES MATERIALS SHOULD BE FIELD VERIFIED WITH SITE CONDITIONS. WHERE DISCREPANCIES OCCUR BETWEEN THE LANDSCAPE PLANS AND/OR ARCHITECTURAL AND/OR THE

CIVIL DRAWINGS (AND ANY OTHER SITE DRAWINGS) THE DISCREPANCIES MUST BE BROUGHT TO THE LANDSCAPE ARCHITECTS ATTENTION FOR COORDINATION AND RESOLUTION. ALL DISEASED, NOXIOUS OR INAPPROPRIATE MATERIALS SHALL BE REMOVED FROM THE PROPOSED SITE

PRIOR TO THE START OF CONSTRUCTION AND DURING THE MAINTENANCE PERIOD. 12. GENERAL CONTRACTOR SHALL LEAVE THE SITE FREE OF CONSTRUCTION DEBRIS.

ALL LAWN AND PLANTING AREAS SHALL SLOPE TO DRAIN A MINIMUM OF 2% UNLESS NOTED OTHERWISE AND REVIEWED WITH OWNER'S REPRESENTATIVE FOR FINAL APPROVAL

14. FINISH GRADES FOR SHRUB AND GROUND COVER AREAS SHALL BE HELD 1" BELOW TOP OF ADJACENT PAVEMENTS AND CURBS, UNLESS NOTED OTHERWISE ON THE PLANS. REFER TO LSP1.2 FOR FURTHER

15. ALL PERENNIAL, ANNUAL AND GROUND COVER AREAS TO RECEIVE A BLEND OF ORGANIC SOIL AMENDMENTS PRIOR TO PLANTING. TILL THE FOLLOWING MATERIALS INTO EXISTING TOPSOIL TO A DEPTH OF APPROXIMATELY 8". A DEPTH OF 12" IN TREE PITS. PROPORTIONS AND QUANTITIES MAY REQUIRE ADJUSTMENT DEPENDING ON THE CONDITION OF EXISTING SOIL. REFER TO LSP1.2 FOR FURTHER INFORMATION.

PER EVERY 100 SQUARE FEET ADD:

ONE - 2 CUBIC FOOT BALE OF PEAT MOSS, 2 POUNDS OF 5 - 10 - 5 GARDEN FERTILIZER, 1/4 CUBIC YARD OF COMPOSTED MANURE OR OTHER COMPOSTED, ORGANIC MATERIAL 16. ALL SHRUBS TO BE POCKET PLANTED WITH A 50/50 MIX OF COMPOSTED, ORGANIC MATERIAL AND EXISTING SOIL. INSTALL TOPSOIL INTO ALL BEDS AS NEEDED TO ACHIEVE PROPER GRADE. REMOVE ALL

EXCESSIVE GRAVEL, CLAY AND STONES. REFER TO LSP1.2 FOR FURTHER INFORMATION. 17. PLANT ALL TREES SLIGHTLY HIGHER THAN FINISHED GRADE AT ROOT FLARE. BACK FILL HOLE WITH 2/3 EXISTING TOPSOIL AND ORGANIC SOIL AMENDMENTS SPECIFIED IN NOTE 15. AVOID ANY AIR POCKETS. DISCARD ANY GRAVEL CLAY OR STONES. REFER TO LSP1.2 FOR FURTHER INFORMATION.

18. ALL TREES TO BE INSTALLED, STAKED AND GUYED ACCORDING TO DETAILS. REFER TO ANSI STANDARDS FOR PLANTING 2012 AND DETAILS ON LSP1.2 FOR FURTHER INFORMATION.

19. PROVIDE A 4'-0" - 5'-0" DIAMETER MULCH RING ALL LAWN TREES.

20. ALL PLANTINGS TO BE WATERED AT THE TIME OF PLANTING. THROUGHOUT CONSTRUCTION AND UPON COMPLETION OF PROJECT AS REQUIRED.

21. WHERE SPECIFIED, ALL PLANT BEDS, PITS AND TREE RINGS ARE TO RECEIVE A MINIMUM OF 2'-3" DRESSING OF SHREDDED HARDWOOD OAK BARK MULCH SHAVINGS FREE OF GROWTH, WEEDS, FOREIGN MATTER DETRIMENTAL TO PLANT LIFE OR GERMINATION INHIBITING INGREDIENTS. LANDSCAPE CONTRACTOR TO PROVIDE A SAMPLE TO OWNER FOR APPROVAL. CONTRACTOR TO TAKE CARE WITH INSTALLATION NOT TO DAMAGE OR COVER PLANTS. REFER TO LSP1.2 FOR FURTHER INFORMATION.

LAWN INSTALLATION: CONTRACTOR TO FURNISH AND PREPARE TOPSOIL (3" MIN) AND SEED BED (REMOVE ALL STONES 1" OR LARGER), APPLY STARTER FERTILIZER AND SEED UNIFORMLY. PROVIDE A MULCH COVERING SUITABLE TO GERMINATE AND ESTABLISH TURF. EROSION CONTROL MESH SHOULD BE USED IN SWALES AND STEEP GRADES WHERE APPLICABLE. METHODS OF INSTALLATION MAY VARY AT THE DISCRETION OF CONTRACTOR. IT IS HIS/HER RESPONSIBILITY TO ESTABLISH AND GUARANTEE A SMOOTH, UNIFORM, QUALITY TURF. IF STRAW MULCH IS USED AS A COVERING, A TACKIFIER MAY BE NECESSARY TO AVOID WIND DAMAGE.

> NO-MOW LOW GROW GRASS SEED MIX REINDER'S 45% SPARTAN HARD FESCUE

15% TRANSIT ANNUAL RYE GRASS

INSTALLATION CUT SHEETS FOR FURTHER

APPLY AT A RATE OF 175 POUNDS PER ACRE. REFER TO SUPPLIERS SPECIFICATIONS AND

40% AZAY SHEEP FESCUE

REQUIRED SEED MIXES: PREMIUM 60 GRASS SEED MIX REINDER'S (262) 786-3300

20% AMERICAN KENTUCKY BLUE GRASS 20% ALPINE KENTUCKY BLUE GRASS 20% LANGARA KENTUCKY BLUE GRASS 20% VICTORY CHEWINGS FESCUE 10% FIESTA III PERENNIAL RYE GRASS 10% CUTTER PERENNIAL RYE GRASS APPLY AT A RATE OF 175 POUNDS PER ACRE.

INFORMATION REFER TO SUPPLIERS SPECIFICATIONS AND INSTALLATION CUT SHEETS FOR FURTHER INFORMATION

DURING THE INITIAL "30 DAY MAINTENANCE PERIOD" THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE AND ON-GOING PLEASANT VISUAL ENVIRONMENT WHEREAS ANY PLANT WHICH IS NOT RESPONDING TO TRANSPLANTING OR THRIVING SHALL IMMEDIATELY BE REPLACED. NEW LAWNS SHALL WATERED AND REPAIRED AND WEEDS MUST CONSTANTLY BE REMOVED, NO EXCEPTIONS WILL BE

ALL NEWLY PLANTED TREES AND SHRUBS ARE TO RECIEVE AN APPLICATION OF AN ANTI-TRANSPIRANT SPRA THAT WILL EFFECTIVELY REDUCE THE WATER LOSS OF TRANSPIRATION OF PLANT MATERIAL AND REDUCE THE STRESS OF TRANSPLANTATION. IT IS RECOMENDED AS PART OF THE ONGOING MAINTENANCE THAT ANY BROADLEAF EVERGREEN AND CONIFEROUS TREE AND SHRUBS (EXCLUDING ARBORVITAE) RECIEVE AN APPLIATION OF AN ANTI-DESICANT SPRAY TO REDUCE THE LOSS OF MOISTURE DUE TO WINTER DESICCATIO MAINTENANCE. THE OWNER SHALL TEND AND MAINTAIN ALL PLANT MATERIALS IN A HEALTHY GROWING CONDITION AS PER THE APPROVED PLAN. PLANTINGS SHALL BE REPLACED WHEN NECESSARY AND KEPT FREE FROM REFUSE & DEBRIS. ALL PLANTING MATERIAL WHICH IS DYING OR DAMAGED BEYOND RECOVERY

SHALL BE REPLACED WITHIN SIX (6) MONTHS OR BY THE NEXT PLANTING SEASON, WHICHEVER COMES FIRST. 27. LANDSCAPE / SITE DEMOLITION CONTRACTOR TO VERIFY LOCATIONS OF EXISTING TREES AND SHRUBS BE SALVAGED AND CLEARLY TAG THEM WITH MARKING TAPE AND CONSTRUCTION FENCE.

LANDSCAPE / SITE DEMOLITION CONTRACTOR TO VERIFY LOCATIONS OF EXISTING TREES AND SHRUBS TO BE RELOCATED. ALL PLANT MATERIAL TO BE RELOCATED IS TO BE CLEARLY TAGGED WITH MARKING TAPE MOVED BEFORE AND SITE DEMOLITION IS TO BEGIN.

ALTERNATE BID: DESIGN IRRIGATION SYSTEM TO BE DESIGNED FOR A OVERLAPPING ZONED SPRINKLER HEAL $\overline{\text{SYSTEM IN ALL L}}$ AWN & ISLAND AREAS AND A DRIP SYSTEM FOR ALL FOUNDATION PLANTING AREAS.

TO OBTAIN LOCATION OF PARTICIPANT'S UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

(NOT INCLUDING SATURDAY, SUNDAY OR LEGAL HOLIDAYS)

UNDERGROUND SEWER AND UTILITY INFORMATION AS SHOWN IS OBTAINED FROM THE RECORDS OF MUNICIPALITY AND LOCAL UTILITY COMPANIES. THE ACCURACY OF WHICH CAN NOT BE GUARANTEED OR

CERTIFIED TO. HE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS SURVEY ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

PARTICIPANT'S UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONIN CALL THE MILWAUKEE UTILITY ALERT NETWORK (800)-242-8511, (262) 432-7910 (877) 500-9592

www.Diggershotline.com





Landscape Architecture and Master Planning Design Consulting

11525 W. North Avenue Suite 1B Wauwatosa, WI 53226 Tel (414) 476-1204 www.insitelandscape.com mdavis@insitelandscape.com

FIELDS JAGAUR LAND ROVER

1901 E. Moreland Road Waukesha, WI 53186

Issuance and Revisions:

|Number | Description

11/16/16 Plan Commission Submittal

Commission Comments

Revisions Based

12/08/16 Revisions Based on New Civil Plan

COPYRIGHT InSite Landscape Design Inc. 2014 ALL RIGHTS RESERVED THIS DRAWING IS NOT TO BE REPRODUCED, CHANGED, COPIED OR ASSIGNED TO ANY THIRD PARTY IN ANY FORM OR MANNER WITHOUT FIRST OBTAINING THE EXPRESSED WRITTEN PERMISSION OF InSite Landscape Design, Inc. THE CLIENT AGREES TO INDEMNIFY AND HOLD THE ANDSCAPE ARCHITECT HARMLESS FROM ANY DAMAGES, LIABILITY, OR COST, INCLUDING

ARISING FROM ANY CHANGES OR ALTERATIONS MADE BY ANYONE OTHER THAN THE LANDSCAPE ARCHITECT, OR FROM ANY REUSE OF THE DRAWINGS OR DATA WITHOUT THE PRIOR WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT.

ATTORNEY'S FEES AND COSTS OF DEFENSE

PROPOSED LANDSCAPE PLAN, GENERAL NOTES, AND PLANT MATERIAL TABLE

12/08/16

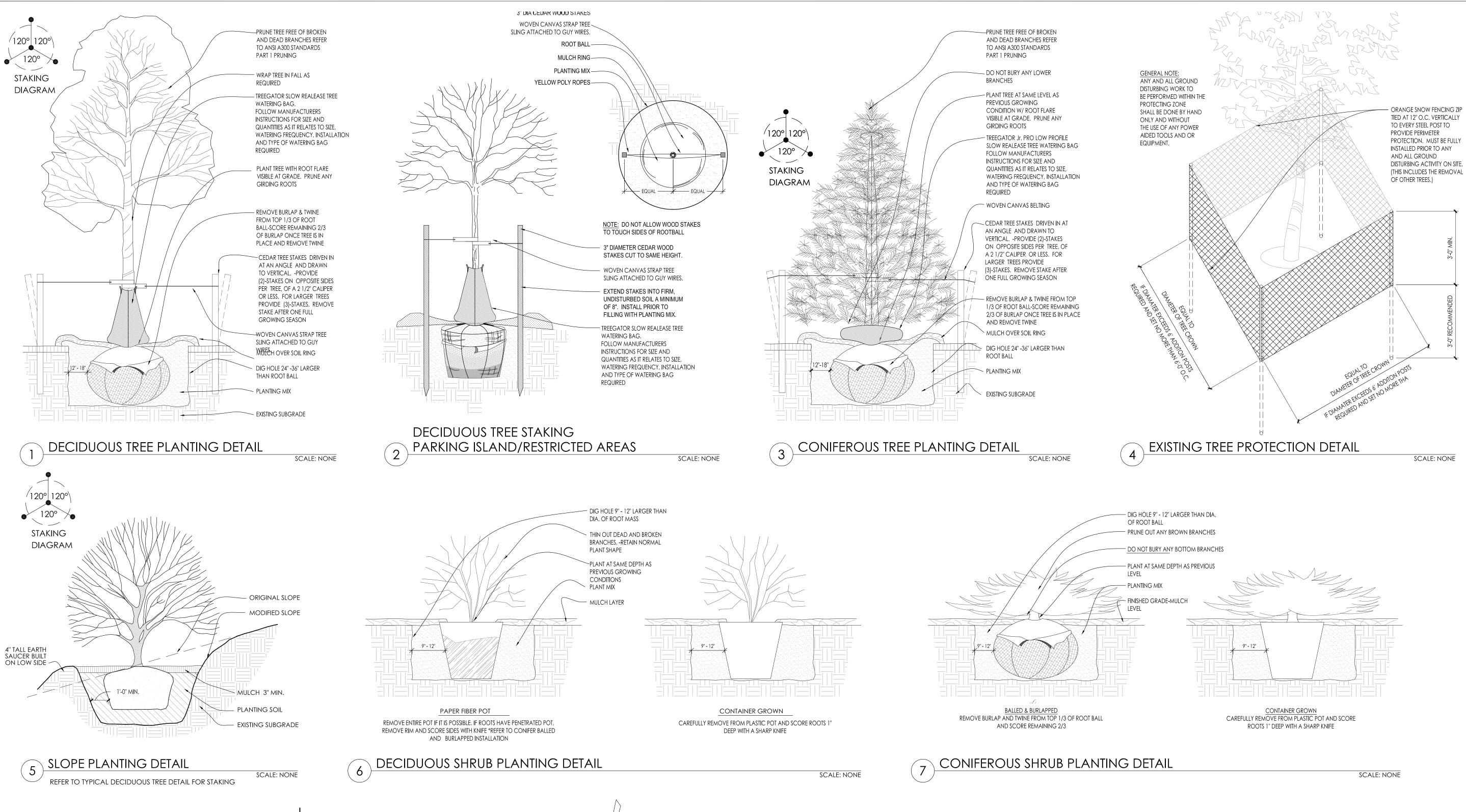
1'' = 20'-0''

MCD

L16-076

Date of Drawing: Drawn By:

Job Number: Sheet Number:



LANDSCAPE Landscape Architecture

> 11525 W. North Avenue Suite 1B Wauwatosa, WI 53226 Tel (414) 476-1204 www.insitelandscape.com mdavis@insitelandscape.com

and Master Planning Design Consulting

<u>Project:</u>

FIELDS JAGAUR LAND ROVER

1901 E. Moreland Road Waukesha, WI 53186

Issuance and Revisions:

| Number | Description 11/16/16 Plan Commission Submittal

12/07/16

12/08/16

Revisions Based on New Civil Plan

Commission

Comments

on Plan

Revisions Based

COPYRIGHT InSite Landscape Design Inc. 2014 ALL RIGHTS RESERVED THIS DRAWING IS NOT TO BE REPRODUCED, CHANGED, COPIED OR ASSIGNED TO ANY THIRD PARTY IN ANY FORM OR MANNER WITHOUT FIRST OBTAINING THE EXPRESSED WRITTEN PERMISSION OF InSite Landscape Design, Inc. THE CLIENT AGREES TO INDEMNIFY AND HOLD THE LANDSCAPE ARCHITECT HARMLESS FROM ANY DAMAGES, LIABILITY, OR COST, INCLUDING ATTORNEY'S FEES AND COSTS OF DEFENSE ARISING FROM ANY CHANGES OR ALTERATIONS MADE BY ANYONE OTHER THAN THE

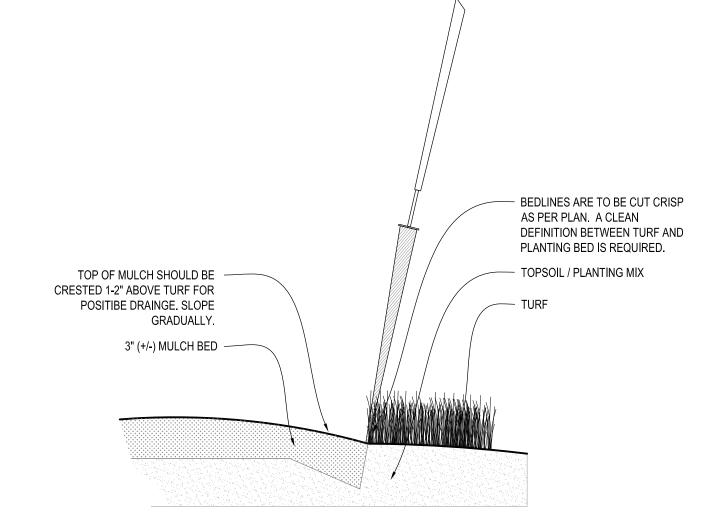
LANDSCAPE ARCHITECT, OR FROM ANY REUSE OF THE DRAWINGS OR DATA WITHOUT THE PRIOR WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT.

<u>Sheet Title:</u>

PROPOSED LANDSCAPE PLAN, PLANTING DETAILS

Date of Drawing:	12/08/16
Scale:	As Noted
Drawn By:	MCD
Job Number:	L16-076
Clara at Niversia and	

Sheet Number:



SPADE EDGE PLANT BED EDGE DETAIL

SCALE: NONE

VARIES W/ BEDS REFER TO PLANS

PERENNIAL BED PLANTING DETAIL

PERIMETER OF BUILDING

PERENNIALS AND/OR

PERENNIAL GRASSES

SHREDDED HARDWOOD BARK MULCH ____

SPADE EDGE EARTHEN

BED EDGE STANDARD -

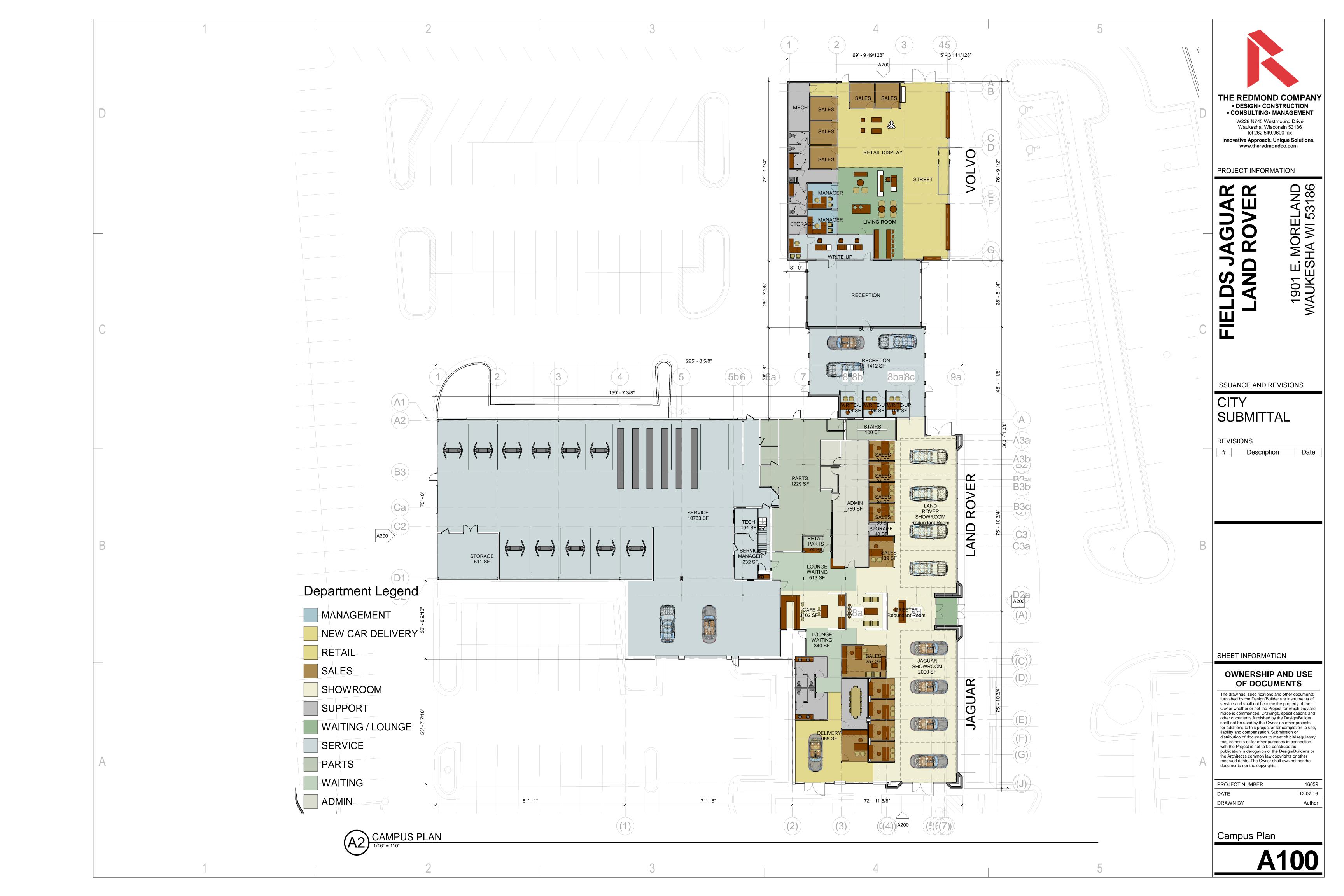
TURF GRASS

12" MINIMUM OF

UNDISTURBED EARTH

PLANTING SOIL MIX

SCALE: NONE





 $\begin{bmatrix} 5.0 & 5.0 & 5.2 & 5$ 2.7 4.1 5.4 7.6 8.2 54 10.1 11.8 16.5 24.6 25.6 9.2 8 2.6 4.4 5.7 8.2 9.8 10.4 11.3 11.8 14.7 22.3 28.9 12.2 3.4 6.2 7.1 4.7 3.1 6.3 1.4 5.4 13.7 7.8 4.4 2.4 1.8 1.7 1.8 2.3 4.2 7.6 13.2 1. 5.9 1.6 0.5 2.4 4.6 6.4 8.5 9.8 10.6 10.5 10.5 13.9 20.7 24.8 MH: 25 1 1 1.3 6.9 4.5 3.5 2.7 4.7 8.8 13.8 15.9 8.7 6.0 4.3 4.1 4.3 4.3 4.4 5.8 8.3 15.5 13.5 8.3 4.0 1.4 0.5 2.2 4.2 7.2 8.8 9.2 10.5 10 9 11.3 13.5 20-8 29.2 19.5 3 7₀ 2.0 3.9 6.3 8.0 10.2 11.0 11.3 12.3 13.4 20.1 25.0 15.6 5.7 5 1.1 4.3 5 5 2.9 2.0 3.5 7 0 11.3 16.2 14.9 10.9 13.7 19.9 17.7 20.2 15.5 13.1 17.5 13.1 10 5.7 2.3 0.8 0.4 $1.9 \quad 3.7 \quad 5.3 \quad 7.1 \quad 9.5 \quad 10.0 \quad 10.5 \quad 11.4 \quad 12.8 \quad 18.3 \quad 25.8 \quad 28.2 \quad 7.18.$ 1.8 3.4 5.0 6.7 5 3 10.3 10.8 11.5 11.8 14.9 22.4 25 8.2 0.8 1.6 3.1 5.3 6.9 5.2 10.5 10.9 10.8 11.2 14.5 21.6 28.2 12.1 $\begin{bmatrix} 0.7 & 4.3 & 5.1 & 3.5 & 1.8 & 2.2 & 5.2 & 9.1 & 12.3 & 11.9 & 9.2 & 12.7 & 17.6 & 19.4 & 18.2 & 13.9 & 11.8 & 14.1 & 10.6 & 7.4 & 3.6 & 1.2 & 0.4 & 0.2 & 1.2$ 0.8 1.4 2.7 5.1 8.0 8.8 9.5 10.6 10.6 11.4 15.3 22.9 28.2 12.5 2.9 0.7 1.3 2.5 4.7 7.1 8.7 10.4 11.1 11.7 12.2 14.0 21.7 24.2 12.2 37.70.7 1.2 2.4 4.5 5.8 8.0 10.0 10.3 10.7 11.5 12.8 19.4 27.6 22.1 5.80.6 1.2 2.3 4.1 5.4 7.6 9.6 10 MH: 45.5 11.0 11.2 15.8 22.6 10 RF-E 1.8 8 0.6 1.1 2.0 3.9 5.5 7.5 10.0 10.8 11.0 11.2 15.5 22.3 27.6 8 6 \$.0 0.5 1.0 1.8 3.5 6.0 8.1 9.0 10.0 10.5 10.2 12.0 16.9 24.2 23.6 8.4 1.9 $\begin{bmatrix} 1.9 & \frac{1}{2}.2 & \frac{1}{2}.0 & \frac{1}{1}.6 & 0.9 & 0.5 & 0.3 \end{bmatrix}$ $3.5 \quad 4.7 \quad 4.3 \quad 2.0 \quad 0.8 \quad 0.5 \quad 0.3$ 1.6 3.1 \$.7 8.1 9.0 10.1 10.7 10.0 11.5 14.9 22.9 23.9 10.8 2.5 1.5 2.9 5 1 6.4 8.6 10.0 9 9 10.3 10.4 12.2 19.8 27.2 16.9 402 2.4 6.2 3.4 2.1 1.0 0.6 0.4 MA: 15 5.0 3.4 2.3 1.2 0.7 0.6 1.3 2.7 4.3 5.5 7.6 8.3 5.5 4 8.7 9.3 15.9 21.6 14 25 3.7 1.2 2.3 3.9 4.7 6.4 7.6 7.6 7.8 7.5 8.1 14.2 22.3 22.6 4.1 2.0 4.5 5.0 2.4 1.3 1.1 1.1 1.0 1.8 3.4 4.5 5.2 6.3 7.0 6.8 6.3 7.7 11.7 15.4 10.7 3.9 1.6 2.2 3.4 2.9 2.4 2.0 1.9 2.1 0.8 1.4 2.5 4.0 5.1 5 2 5.5 5.6 5.8 6.4 7.2 7.7 5.2 2.4 1 3 2.5 2 6 2.8 3.0 3.5 4.4 1.5 4.7 5.8 4.5 4.2 5.3 6.9 7.9 7.7 6.3 4.5 2.9 1.6 1.0 0.7 0.6 $\begin{bmatrix} 0.7 & 1.2 & 1.9 & 3.0 & 4.3 & 5.4 & 5.9 & 6.1 & 5.9 & 5.1 & 4.6 & 3.5 & 2.0 & 1.1 & 6 & 7 \end{bmatrix}$ 0.5 5.9 5.2 4.8 5.9 7.6 10.3 12.3 11.9 9.5 6.4 4.3 2.3 1.4 1.0 0.9 $0.5 \frac{4M5}{MH} = \frac{1}{4.5} = \frac{1}{5.5} = \frac{1}{5.5} = \frac{1}{7.4} = \frac{1}{9.1} = \frac{1}{14.5} = \frac{1}{18.7} = \frac{1}{12.1} = \frac{1}{8.0} = \frac{1}{5.6} = \frac{1}{3.0} = \frac{1}{1.5} = \frac{1}{1.4} = \frac{1}{1.4} = \frac{1}{1.4} = \frac{1}{1.4} = \frac{1}{14.5} =$ 0.7 1.1 1.8 3.0 4.7 5.3 5.5 5.9 5.7 5.6 6.1 6.2 5.8 4.0 2.11 0.6 4.2 6.8 6.2 7.7 9.5 15.4 18 MH; 179.0 12.8 8.6 6.2 3.5 2.5 2.2 2.2 1.0 1.6 2.7 4.4 5.1 6.8 7.7 7.6 7.8 7.9 7.6 11.8 19.5 26.3 6.51.3 2.0 3.2 4.7 5.8 7.7 8.5 9.554 1.7 19.7 19.7 19.7 19.70.8 2.8 3.6 4.7 6.6 8.7 11.6 13.3 13.1 10.9 8.1 5.8 4.2 3.7 3.8 4.1 4.2 4.2 3.9 3.4 2.8 2.2 1.6 1.6 2.4 3.6 5.4 6.5 8 4 10.1 10.2 10.3 9.7 8.9 12.7 20.0 27.1 8.5 $\begin{bmatrix} b \\ 5 \end{bmatrix}$ $\begin{bmatrix} 4 \\ 4 \\ 5 \end{bmatrix}$ $\begin{bmatrix} 5 \\ 4 \\ 5 \end{bmatrix}$ $\begin{bmatrix} 6 \\ 6 \\ 5 \end{bmatrix}$ $\begin{bmatrix} 6 \\ 5 \\ 5 \end{bmatrix}$ $\begin{bmatrix} 5 \\ 5 \\ 5 \end{bmatrix}$ 4.2 7.0 6.0 7.5 9.3 12.4 14.5 14.2 11.9 8.9 7.1 5.4 5 2 6.1 7.5 8.7 8.4 7.2 6.4 5.4 4.3 3.0 $\begin{vmatrix} \frac{1}{1} \frac$ 2.3 2.8 0.5 [†]0.6 4.3 5.8 6.8 6.7 5.8 4.9 3.7 3.5 3.9 4.8 5.5 6.0 9.2 10.0 11.0 10.2 8.9 8.1 7.1 5.3 4.7 4.5 4.6 5.6 5.0 4.3 4.4 5.6 6.8 8.0 9.0 10.6 11.0 10.9 10.2 9.9 11.5 17.2 25.6 16.3 0.4 0.1 2.8 3.3 3.8 3.8 3.6 3.3 ♦ 8.9 10.5 9.8 7.7 7.8 7.7 6.5 6.0 5.7 6.1 6.1 4.9 4.1 4.1 4.5 5.6 7.9 9.6 9.4 10.1 10.3 9.8 10.7 12.5 17.2 18.6 9.9 \$ 6 0.3 0.6 1.1 1.4 2.0 2.1 2.3 2.4 2.4 2.5 $\frac{054}{6}$, 3 $\frac{1}{7}$.8 $\frac{1}{6}$.1 $\frac{1}{5}$.7 $\frac{1}{6}$.4 $\frac{1}{5}$.0 $\frac{1}{5}$.1 $\frac{1}{4}$.2 $\frac{1}{084}$ 1 $\frac{1}{4}$.3 $\frac{1}{3}$.7 $\frac{1}{4}$.0 $\frac{1}{2}$.5 $\frac{1}{2}$.1 $\frac{1}{2}$.6 $\frac{1}{4}$.1 $\frac{1}{5}$.4 $\frac{1}{6}$.8 $\frac{1}{9}$.3 $\frac{1}{9}$.3 0.3 0.7 1.2 1.6 1.9 1.8 1.8 2.0 2.1 6.7 7.1 5.3 4.6 5.2 4.1 3.8 4.1 3.9 3.3 3.0 3.0 1.9 1.6 2.1 3.5 4.6 5.9 7.8 7.8 MH. 25 8.1 7.6 7.8 13.7 20.4 ELECT 4.7 $\begin{bmatrix} 0.3 & 0.7 & 1.2 & 1.2 & 1.7 & 1.4 & 1.3 & 1.9 & 1.6 \end{bmatrix}$ 5.3 5.7 1.1 5.9 1.1 1.0 1.0 1.2 1.1 1.3 43 5.7 5.8 4.2 3.9 3.0 2.9 3.5 3.3 2.3 2.1 2.0 1.4 1.2 1.6 2.8 4.3 4.9 6.4 7.2 6.3 7.1 12.8 20.7 23 5 5. H

Lumin	Luminaire Schedule							
Qty	Label	Arrangement	Lum. Lumens	Lum. Watts	LLF	Description		
8	AF-E	SINGLE	36341	428.6	0.900	CREE + (1) ARE-EHO-AF-xx-12-E-UL-xx-1000-40K		
2	OS3-2	2 @ 90 DEGRE	20860	134.2	0.900	CREE + (2) ARE-EHO-3M-12-UL-1000-40K		
6	OS4	SINGLE	30657	426	0.900	ARE-EHO-4M12-E-UL-1000-40K (1000mA)		
3	OS5-2	BACK-BACK	64656	431.2	0.900	CREE + (2) ARE-EHO-5M-xx-12-E-UL-xx-1000-40K		
7	OS5-4	4 @ 90 DEGRE	51224	132.4	0.900	CREE + (2) ARE-EHO-5S12-UL-1000-40K		
7	4MB-E	SINGLE	9015	132.8	0.900	For use with Series E Edge, Edge High Output, 228,		
1	OS4-2	BACK-BACK	61314	426	0.900	ARE-EHO-4M12-E-UL-1000-40K (1000mA)		

Calculation Summary								
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	
PROP LINE	Illuminance	Fc	1.54	10.8	0.0	N.A.	N.A.	
SITE	Illuminance	Fc	6.31	29.2	0.0	N.A.	N.A.	
DISPLAY	Illuminance	Fc	10.12	12.3	7.6	1.33	1.62	
FRONT LINE	Illuminance	Fc	22.94	29.2	10.7	2.14	2.73	



FIELD'S JAGUAR/VOLVO WAUKESHA, WISCONSIN

CREE EDGE HIGH OUT-PUT LIGHTING PLAN

DEC. 7, 2015 1" = 20'-0"