Court House Project Step 2 Renovate 1959 Court House #201705

Waukesha County

Waukesha, Wisconsin

IL

CIVIL

C1	EXISTING CONDITION
C2	SITE PREP AND EROSION CONTROL PLAN
C3	GRADING/PAVING PLAN
C4	PLAZA DETAIL PLAN

LANDSCAPE

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Court House Project Step 2 Renovate 1959 Court House #201705

515 W Moreland Boulevard
Waukesha, Wisconsin 53188

Waukesha County
515 W Moreland Boulevard
Waukesha, Wisconsin

KUENY ARCHITECTS
10505 Corporate Drive, Suite 100
Pleasant Prairie, Wisconsin 53158
kueny arch.com | 262 857 8101

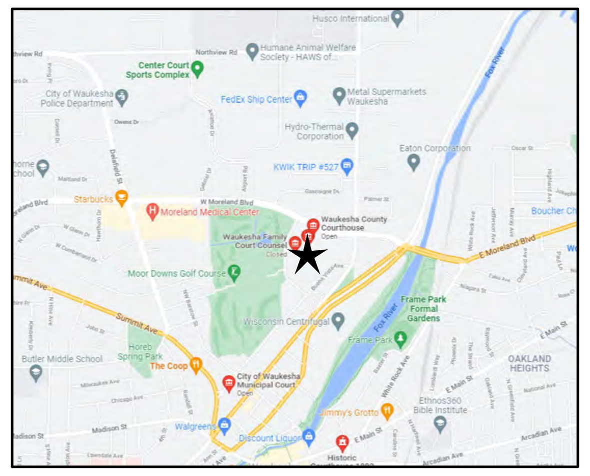
WOLD ARCHITECTS AND ENGINEERS
220 North Smith Street, Suite 310
Palatine, Illinois 60067
woldae.com | 847 241 6100

TERRATEC ENGINEERING, LLC.
W67N622 Evergreen Blvd., Suite 200
Cedarburg, WI 53012

Thomas Nordloh Associates
Landscape Architecture & Project Management

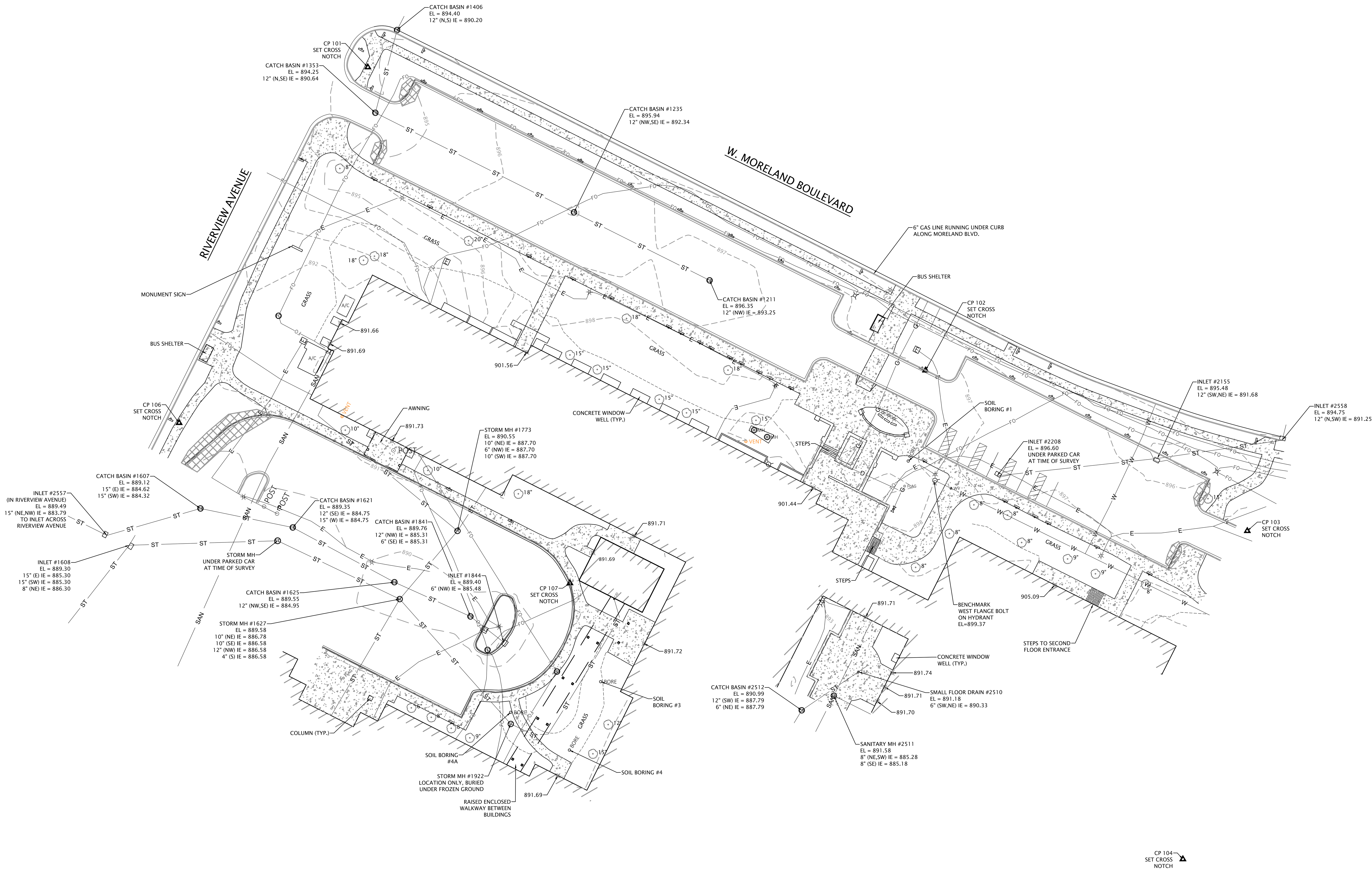
WAUKESHA COUNTY
LEADING THE WAY

Set No:_____
Comm No:203101



LOCATION MAP

NOT TO SCALE



EXISTING LEGEND

Linetype / Hatch	Description	Symbol	Description
— — — 751 — — —	GROUND CONTOUR		LIGHT POLE
	EDGE OF PAVEMENT		UTILITY PEDESTAL
ST	STORM SEWER		GAS METER
G	BURIED GAS		DECIDUOUS TREE
SAN	SANITARY SEWER	MH	UNIDENTIFIED MANHOLE
E	BURIED ELECTRIC		HYDRANT
W	WATER LINE		INLET
FO	BURIED FIBER OPTIC LINE		WATER VALVE
	GRASS LINE		SIGN
	BUILDING	VENT	VENT PIPE
	CONCRETE SURFACE		SURVEY CONTROL POINT
	ICE/SNOW PILE AT TIME OF SURVEY	C/O	CLEANOUT
	RAISED ENCLOSED WALKWAY		ELECTRIC MANHOLE
			FIBER OPTIC MANHOLE
			SANITARY MANHOLE
			STORM MANHOLE
			CATCH BASIN (OPEN LID)
			THRESHOLD ELEVATION
			POST
		FLAG	FLAGPOLE
		BORE	SOIL BORING LOCATION
			COLUMN

GENERAL NOTES

1. FIELD SURVEY PERFORMED FROM JANUARY 18TH TO THE 20TH, 2022 BY TERRATEC ENGINEERING, LLC.
2. HORIZONTAL COORDINATES REFERENCED TO THE NORTH AMERICAN DATUM OF 1983/2011, WISCONSIN STATE PLANE, SOUTH ZONE.
3. ELEVATIONS REFERENCED TO NAVD 88(12). NGS POINT DF9884, BEING 819.02'.
4. THE LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN ON THIS MAP ARE BASED ON AVAILABLE DOCUMENTATION AND MARKS PLACED ON THE GROUND BY OTHERS. THESE LOCATIONS MAY OR MAY NOT REFLECT THE ACTUAL LOCATION OF THESE UTILITIES. DIGGERS HOTLINE SHOULD BE NOTIFIED BEFORE ANY SUBSURFACE WORK IS CONDUCTED. SURVEYED UTILITIES BASED ON DIGGERS HOTLINE NOS. 20220203882.

GENERAL NOTES FOR TERRATEC'S CIVIL PLANS (C1 - C4)

1. SUMMARY OF WORK: PROJECT WORK SHALL INCLUDE INSTALLATION/MAINTAINENECE/REMOVAL OF EROSION CONTROLS, CLEARING/GRUBBING, TOPSOIL STRIPPING, GRADING/PAVING, SIGNAGE, STRIPING, TOPSOIL PLACEMENT, AND SEEDING/FERTLIZING/MULCHING. PAVEMENT (WITH ASSOCIATED PAVEMENT STRIPING) AS SHOWN ON PROJECT DRAWINGS. CONSTRUCTION DETAILS ARE INCLUDED IN THE PLAN SET.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL CODES/ORDINANCES/LAWS/REQUIREMENTS.
3. THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE TO THE LATEST EDITIONS OF: WISCONSIN DOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION (WISDOT SPECIFICATIONS); STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN; THE WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK; THE LOCAL MUNICIPALITY'S TECHNICAL STANDARDS; (MUNCIPALITY STANDARDS); AND THE SITE GEOTECHNICAL REPORT (SITE GEOECHNICAL REPORT) THAT WAS PREPARED BY OTHERS, IF AVAILABLE.
4. ALL WORK SHALL BE CONSTRUCTED TO THE SATISFACTION OF REGULATORY AGENCIES, OWNER AND ARCHITECT.
5. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, TERRATEC ENGINEERING, ARCHITECT, AND THEIR AGENTS FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION AND TESTING OF THE CIVIL WORK INCLUDED ON THESE CIVIL PLANS.
6. TERRATEC ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THESE PLANS WITHOUT THE EXPRESSED WRITTEN CONSENT OF TERRATEC ENGINEERING.
7. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY WORK, PERMITS AND INSPECTIONS FOR THE CONSTRUCTION OF THESE CIVIL PLANS INCLUDING, BUT NOT LIMITED TO, TRAFFIC CONTROL, DEMOLITION, DISPOSAL, UTILITY REMOVAL/RELOCATION/CONSTRUCTION, GRADING/PAVING, ETC.
8. CONTRACTOR SHALL REFER TO ARCHITECT'S PLANS AND OTHER DISCIPLINE'S PLANS FOR ADDITIONAL DESIGN INFORMATION. CONTRACTOR SHALL EXAMINE ALL APPROPRIATE PLANS/REPORTS AND NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION COMMENCEMENT SO THAT PROPER MODIFICATIONS CAN BE MADE. IF CONTRACTOR (OR ITS' SUBCONTRACTORS) COMMENCES WORK (I.E., EQUIPMENT MOBILIZATION TO SITE), CONTRACTOR ACCEPTS RESPONSIBILITY/EXPENSES FOR ANY CHANGES TO BE PERFORMED AS A RESULT OF DISCREPANCIES AT NO ADDITIONAL COST TO THE OWNER/ARCHITECT/ENGINEER.
9. CIVIL PROJECT DRAWING VERIFICATION: CONTRACTOR SHALL REVIEW SITE PLANS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES NOTED BETWEEN EXISTING SITE CONDITIONS AND PROJECT DRAWINGS, AND BETWEEN PROJECT DRAWINGS (FOR UTILITY CONFLICTS, DRAINAGE/GRADING CONFLICTS, ETC.) SHALL BE NOTED TO THE ARCHITECT IN WRITING PRIOR TO CONSTRUCTION COMMENCEMENT. CHANGES IN WORK SCOPE SHALL BE MADE ACCORDINGLY. IF CONTRACTOR (OR ITS' SUBCONTRACTORS) COMMENCES WORK (I.E., EQUIPMENT MOBILIZATION TO SITE), CONTRACTOR ACCEPTS RESPONSIBILITY/EXPENSES FOR ANY CHANGES TO BE PERFORMED AS A RESULT OF PROJECT DRAWING INCONSISTENCIES AT NO ADDITIONAL COST TO THE OWNER/ARCHITECT/ENGINEER.
10. UNDERGROUND UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY, AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. CONTRACTOR SHALL CALL DIGGER'S HOTLINE A MINIMUM OF THREE DAYS PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES. IN ADDITION, CONTRACTOR SHALL NOTIFY UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITY PRIOR TO CONSTRUCTION COMMENCEMENT.
11. ALL EXISTING UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ALL FEATURES. GIVE NOTICE TO UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF THEIR SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH WORK. DAMAGE TO UTILITIES THAT ARE TO REMAIN SHALL BE REPAIRED AT CONTRACTOR'S COST AT NO ADDITIONAL COST TO THE OWNER/ARCHITECT/ENGINEER.
12. PRIOR TO ANY CONSTRUCTION ACTIVITIES, CONTRACTOR SHALL REFER TO, AND ADHERE TO THE RECOMMENDATIONS OF THE SITE GEOTECHNICAL REPORT AND ANY RELEVANT ENVIRONMENTAL ASSESSMENT REPORTS. IF PREVIOUSLY UNIDENTIFIED HAZARDOUS, CONTAMINATED MATERIALS, ENVIRONMENAL-RELATED CONDITIONS, OR UNEXPECTED SUBGRADE CONDITIONS ARE DISCOVERED, STOP WORK IMMEDIATELY AND NOTIFY THE OWNER/ARCHITECT FOR ACTION TO BE TAKEN. DO NOT RESUME WORK UNTIL SPECIFICALLY AUTHORIZED BY THE OWNER/ARCHITECT.
13. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. CHECK WITH ARCHITECT AND OWNER IF A SITE GEOTECHNICAL REPORT IS AVAILABLE. IF AVAILABLE, CONTRACTOR SHALL PERFORM ALL EXCAVATIONS, DEWATERING, BACKFILLING (MATERIALS AND PLACEMENT/COMPACTION), SUBGRADE CONSTRUCTION, ETC. IN ACCORDANCE WITH THE SITE GEOTECHNICAL REPORT.
14. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSION OF BUILDINGS, ENTRANCES, VESTIBULES, STAIRS, RETAINING WALLS, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
15. CONTRACTOR IS RESPONSIBLE FOR SITE SECURITY AND SAFETY. OWNER, ARCHITECT AND ENGINEER ASSUMES NO RESPONSIBILITY FOR EITHER SITE SECURITY OR SAFETY.
16. THE MUNICIPALITY, OWNER, AND ARCHITECT SHALL HAVE THE RIGHT TO INSPECT, APPROVE, AND REJECT THE CONSTRUCTION OF THE IMPROVEMENTS DETAILED IN THESE CIVIL PLANS. CONTRACTOR TO PAY/COORDINATE ALL INSPECTIONS. REJECTED CONSTRUCTION SHALL BE RECONSTRUCTED AT CONTRACTOR'S EXPENSE AT NO ADDITIONAL COST TO THE OWNER/ARCHITECT/ENGINEER.
17. ANY ADJACENT PROPERTIES, UTILITIES, OR ROAD RIGHT-OF-WAYS WHICH ARE DAMAGED DURING CONSTRUCTION MUST BE RESTORED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSES TO THE SATISFACTION TO THE MUNICIPALITY/OWNER/ARCHITECT AT NO ADDITIONAL COST TO THE OWNER/ARCHITECT/ENGINEER.
18. EXISTING ITEMS TO REMAIN SHALL BE CAREFULLY PROTECTED DURING CONSTRUCTION. ANY DAMAGE TO THESE ITEMS WILL BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSE AT NO ADDITIONAL COST TO THE OWNER/ARCHITECT/ENGINEER.
19. ALL WORK IN THE RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE MUNICIPALITY'S TECHNICAL STANDARDS, COUNTY STANDARDS OR STATE STANDARDS, WHICHEVER IS MORE RESTRICTIVE.
20. FIELD TILE CONNECTION - TILE LINES CROSSED BY A TRENCH/EXCAVATION SHALL BE REROUTED AND REPLACED WITH THE SAME MATERIAL AS THE STORM SEWER TO MAINTAIN FIELD TILE DRAINAGE.
21. ALL UTILITY DEMOLITION WILL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY AND TO BE PERFORMED IN ACCORDANCE WITH UTILITY REQUIREMENTS. IF LINES ARE LEFT IN PLACE, THEY NEED TO BE FILLED WITH FLOWABLE GROUT; IF A NEW UTILITY CROSSES AN EXISTING LINE, THE EXISTING LINE NEEDS TO BE REMOVED 5'-0" CLEAR IN BOTH DIRECTIONS AND STILL GROUTED TIGHT.

SHEET INDEX

C1	EXISTING CONDITIONS
C2	SITE PREP & EROSION CONTROL PLAN
C3	GRADING/PAVING PLAN
C4	DETAIL

N

DIGGERS HOTLIN

Toll Free (800) 242–8511
Milwaukee Area (414) 259-1181
Hearing Impaired TDD (800) 542-2289
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"The information shown on this drawing concerning type and location of underground utilities is not guaranteed to be accurate or all inclusive. The contractor is responsible for making his own determinations as to the type and location of underground utilities as may be necessary to avoid damage thereto."

EXISTING CONDITIONS
WAUKESHA COUNTY COURTHOUSE
KUENY ARCHITECTS, LLC.
WAUKESHA, WISCONSIN

DESIGNED BY	APPROVED BY	DATE
LKJ	JPF	09/16/2022

REVISION NO.	REVISIONS	DATE	BY

TERRATEC ENGINEERING, LLC.
W67 N222 EVERGREEN BLVD., STE. 205
CEDARBURG, WI 53012
Tel.: 262.377.9905 - Fax: 262.375.1958

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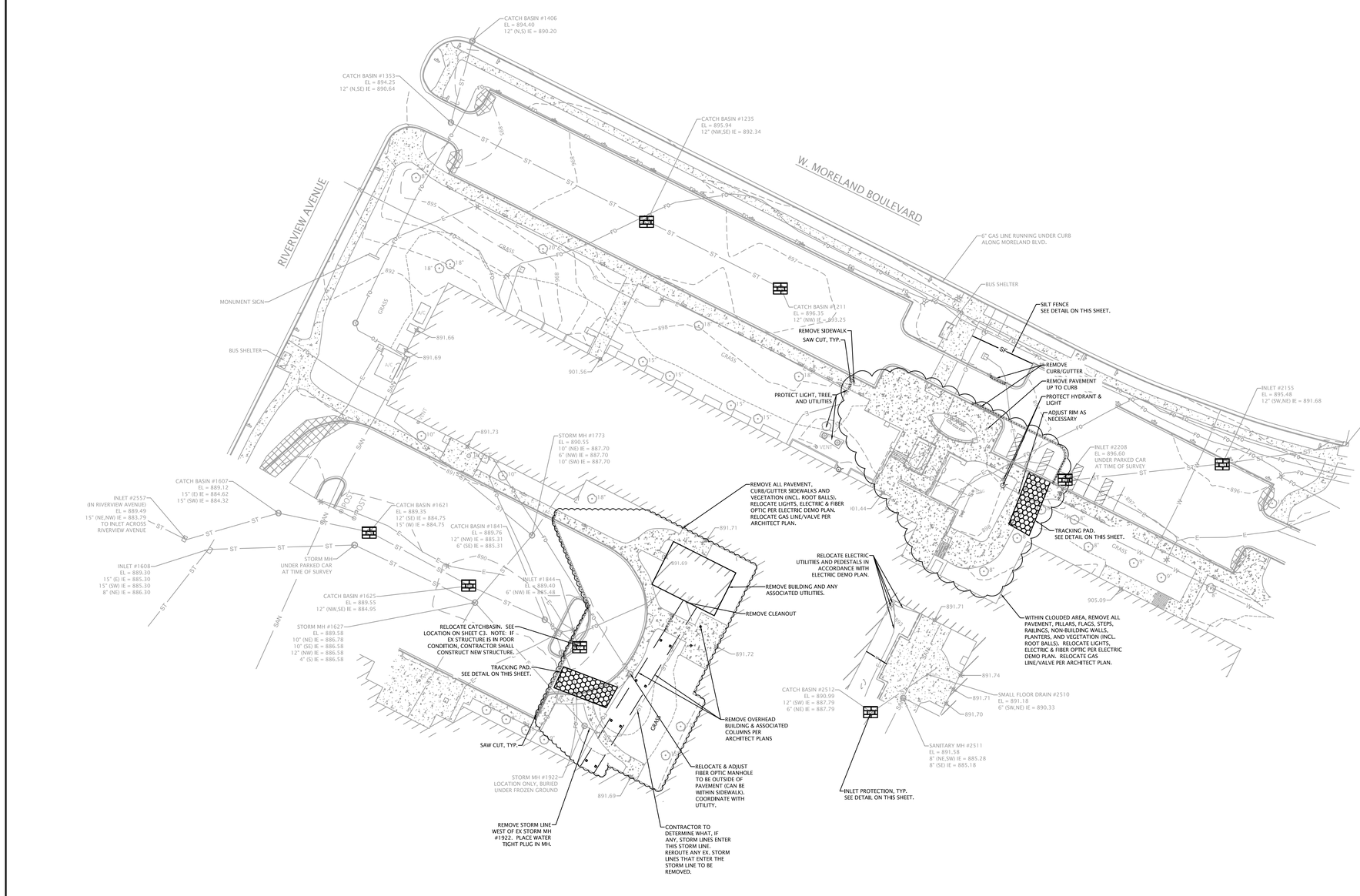
TERRATEC PROJECT NO. 211001

SHEET No. C1 OF 4



PROPOSED CONDITIONS LEGEND

- SAWCUT LINE
- SILT FENCE
- INLET PROTECTION
- TRACKING PAD

GENERAL LEGEND AND NOTES

1. SEE SHEET C1 FOR EXISTING CONDITIONS LEGEND AND NOTES.

GENERAL EROSION CONTROL REQUIREMENTS:

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL STATE AND LOCAL CODES AND ORDINANCES.

2. EROSION CONTROLS
   - A. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE WDNR TECHNICAL GUIDANCE PRIOR TO OTHER CONSTRUCTION ACTIVITIES.
   - B. INSTALL EROSION MAT ON ALL SLOPES EQUAL TO OR GREATER THAN 4:1.
   - C. INSPECT AND MAINTAIN ALL EROSION CONTROLS DAILY.
   - D. MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES SHALL BE PROVIDED WITH THE MEASURES IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
   - E. AFTER ANY SIGNIFICANT RAINFALL, SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED FOR INTEGRITY. ANY DAMAGED STRUCTURES SHALL BE CORRECTED FOR INTEGRITY.
   - F. OVERLAND FLOW SHALL BE PREVENTED FROM LEAVING THE WORK SITE BY INSTALLING STRAW BALES OR FABRIC FILTER FENCING PARALLEL TO THE CONTOURS LOCATED DOWNHILL FROM THE WORK AREA.
   - G. NATURAL PLANT COVERING SHALL BE PRESERVED AND PROTECTED.
   - H. THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED DURING DEVELOPMENT AND KEPT TO AS SHORT A DURATION OF TIME AS IS PRACTICAL.
   - I. ALL DISTURBED GROUND LEFT INACTIVE FOR TWO WEEKS DURING THE EXCAVATION OR CONSTRUCTION PROCESS SHALL BE STABILIZED BY MULCHING OR COVERING.
   - J. ALL SOIL OR DIRT STORAGE PILES CONTAINING MORE THAN 10 CUBIC YARDS OF MATERIAL SHALL BE PROTECTED FROM THE FORCES OF EROSION.
   - K. TEMPORARY SEDIMENT BASINS SHALL BE CONSTRUCTED AND MAINTAINED ON ALL DRAINAGE WAYS TO TRAP AND REMOVE AND PREVENT SEDIMENT AND DEBRIS FROM OCCURRING.
   - L. WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENT BASINS, CRIT CHAMBERS OR OTHER APPROPRIATE MEASURES.
   - M. ALL WASTE AND UNUSED CONSTRUCTION MATERIALS SHALL BE PROPERLY DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
   - N. PROVIDE ACCESS DRIVES AND PARKING AREAS OF SUFFICIENT WIDTH AND LENGTH TO PREVENT SEDIMENT FROM BEING TRACKED ONTO PUBLIC ROADWAYS. ANY SEDIMENT REACHING A PUBLIC ROADWAY SHALL BE REMOVED (NOT FLUSHING) BEFORE THE END OF EACH WORK DAY.
   - O. ALL STORM DRAIN INLETS SHALL BE PROTECTED WITH INLET PROTECTION.

3. STORM PONDS (IF PROPOSED) SHALL BE USED AS SEDIMENT BASINS DURING CONSTRUCTION.

4. ALL DISTURBED AREAS OUTSIDE STREET RIGHT-OF-WAYS MUST BE STABILIZED WITHIN 30 DAYS OF INITIAL GROUNDBREAKING OR WITHIN 7 DAYS OF ACHIEVING FINAL GRADE, WHICHEVER OCCURS FIRST.

SEEDING/FERTILIZING/MULCHING

1. SEEDING: SUPPLY AND PLACE "SEED MIXTURE 30" AT AN APPLICATION RATE OF 2 POUNDS/1,000 SQUARE FEET IN ACCORDANCE WITH SECTION 630 OF THE WDOT STANDARD SPECIFICATIONS. SEEDING AND TOPSOIL TO BE PLACED OVER ENTIRE SITE NOT COVERED BY BUILDING, MULCH, SOD OR PAVEMENT.

2. FERTILIZER: SUPPLY AND PLACE "TYPE A FERTILIZER" AT AN APPLICATION RATE OF 7 POUNDS/1,000 SQUARE FEET IN ACCORDANCE WITH SECTION 629 OF THE WDOT STANDARD SPECIFICATIONS.

3. MULCH: SUPPLY AND PLACE MULCH IN ACCORDANCE WITH SECTION 627 OF THE WDOT STANDARD SPECIFICATIONS. MULCH TYPE AND PLACEMENT MUST BE PRE-APPROVED BY THE ARCHITECT PRIOR TO MATERIAL BEING BROUGHT TO THE SITE.

SITE PREPARATION NOTES:

1. CONTRACTOR SHALL STRIP TOPSOIL FROM AREAS TO BE GRADED IN ACCORDANCE WITH SITE GEOTECHNICAL REPORT PRIOR TO GRADING ACTIVITIES. TOPSOIL NOT REUSED SHALL BE DISPOSED OF OFF SITE IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL REQUIREMENTS.

2. CONTACT RESPECTIVE UTILITIES PRIOR TO ABANDONMENT/REMOVAL/RELOCATION OF UTILITIES. ABANDONMENT/REMOVAL/RELOCATION OF UTILITIES SHALL BE PERFORMED IN ACCORDANCE WITH EACH UTILITIES REQUIREMENTS TO THEIRS & OWNERS APPROVAL.

3. TREE AND VEGETATION REMOVAL - REMOVE TREES, SHRUBS, PLANTS, CROPS AND OTHER ABOVE-GROUND VEGETATION FROM AREA TO BE PAVED/MODIFIED. EXCAVATE STUMPS, ROOTS, AND OTHER ON-GROUND VEGETATION OR ORGANIC DEBRIS AND REMOVE TO A MINIMUM DEPTH BELOW EXISTING GRADE OF 36 INCHES FOR STUMPS AND 8 INCHES FOR ROOTS, AND OTHER VEGETATIVE OR ORGANIC DEBRIS.

4. PAVEMENT AND SIDEWALK REMOVAL - ALL PAVEMENT AND SIDEWALKS WITHIN PROJECT LIMTS SHALL BE REMOVED. SAWCUT AS SHOWN. REMOVE ALL BASE MATERIAL WITHIN 12 INCHES OF FINISH GRADE IN AREAS OUTSIDE OF AREAS TO RECEIVE NEW PAVING.

5. DISPOSE ALL DEMOLITION/REMOVAL MATERIAL OFFSITE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS AT CONTRACTOR'S COST. CONTRACTOR TO HANDLE/REMOVE ENVIRONMENTALLY IMPAIRED SOIL IN ACCORDANCE WITH SITE ENVIRONMENTAL REPORT/SPECIFICATIONS.

6. SUBGRADE CONSTRUCTION TO BE PERFORMED AS SPECIFIED BY SITE GEOTECHNICAL REPORT. IF NO GEOTECHNICAL REPORT IS AVAILABLE, PERFORM SUBGRADE CONSTRUCTION PER WISDOT STANDARDS. AT A MINIMUM, SUBGRADE SHALL BE COMPACTED TO 90% MODIFIED PROCTOR AND BE PROOFROLLED. SOFT AREAS SHALL BE OVEREXCAVATED, GEOTEXTILE PLACED IN BOTTOM OF EXCAVATION AND BACKFILLED WITH COMPACTED STRUCTURAL FILL.

7. DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.

8. MAINTAIN ALL UTILITY SERVICES TO EXISTING BUILDINGS AT ALL TIMES UNTIL BUILDING IS TO BE DEMOLISHED, UNLESS OTHERWISE APPROVED BY THE OWNER.

CONSTRUCTION SEQUENCE:

1. NOTIFY APPLICABLE AUTHORITIES A MINIMUM OF TWO WEEKS PRIOR TO START OF CONSTRUCTION.

2. INSTALL EROSION CONTROLS PRIOR TO OTHER CONSTRUCTION ACTIVITIES.

- SELECTIVE VEGETATION REMOVAL FOR SILT FENCE INSTALLATION.
- SILT FENCE INSTALLATION
- STABLIZED CONSTRUCTION ENTRANCE

3. TREE/SHRUB REMOVAL

4. INSPECT THE LIMITS OF SILT FENCE AND TEMPORARY CONSTRUCTION FENCE PRIOR TO START OF GRADING.

5. CONSTRUCT PONDS AND OUTLET STRUCTURES AND USE AS SETTLING PONDS DURING CONSTRUCTION (IF APPLICABLE).

6. STRIP TOPSOIL, STOCKPILE TOPSOIL, AND REMOVE PAVEMENT AS NECESSARY.

7. TEMPORARILY STABILIZE TOPSOIL STOCKPILES (SEED AND SILT FENCE AROUND TOE OF SLOPE).

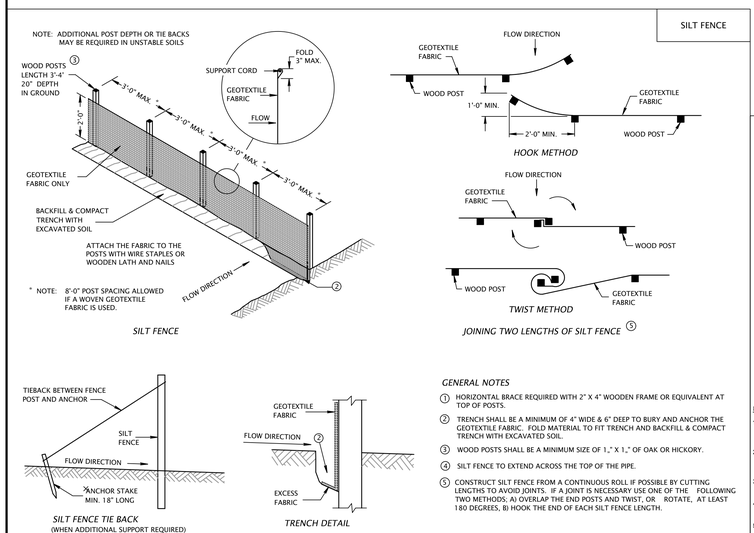
8. GRADING/PAVING/UTILITY CONSTRUCTION. UPON CONSTRUCTION OF STORM SEWER CATCH BASINS, INLETS SHALL BE PROTECTED.

9. REMOVE SEDIMENT IN PONDS/BIOSWALES (IF APPLICABLE). PERMANENTLY STABILIZE BIOSWALES WITH SEED AND EROSION CONTROL BLANKET (IF APPLICABLE).

10. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN 30 DAYS OF INITIAL GROUNDBREAKING OR WITHIN 7 DAYS OF ACHIEVING FINAL GRADE, WHICHEVER OCCURS FIRST.

11.REMOVE TEMPORARY SOIL EROSION AND SEDIMENT CONTROLS.

SILT FENCE

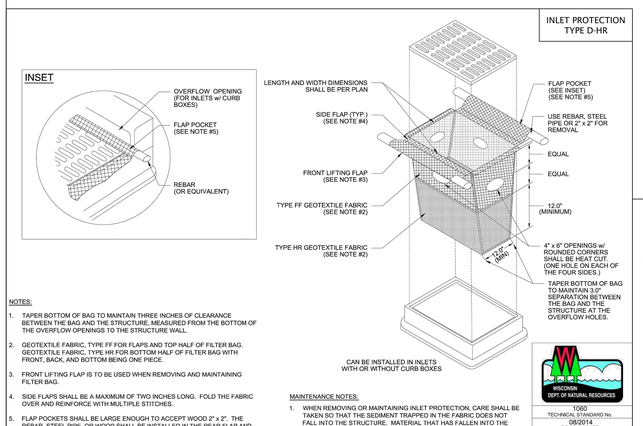


GENERAL NOTES

1. HORIZONTAL BRACE REQUIRED WITH 2" X 4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS.
2. TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
3. WOOD POSTS SHALL BE A MINIMUM SIZE OF 1„" X 1„" OF OAK OR HICKORY.
4. SILT FENCE TO EXTEND ACROSS THE TOP OF THE PIPE.
5. CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS: A) OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180 DEGREES, B) HOOK THE END OF EACH SILT FENCE LENGTH.

SCALE: NOT TO SCALE

INLET PROTECTION TYPE D-HR



NOTES:

1. TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
2. GEOTEXTILE FABRIC, TYPE FF FOR FLAPS AND TOP HALF OF FILTER BAG. GEOTEXTILE FABRIC, TYPE HR FOR BOTTOM HALF OF FILTER BAG WITH FRONT, BACK, AND BOTTOM BEING ONE PIECE.
3. FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
4. SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" x 2". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.

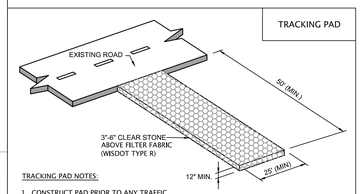
MAINTENANCE NOTES:

1. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.

WISCONSIN DEPT OF NATURAL RESOURCES

TECHNICAL STANDARD No.	
1060	
REVISION DATE	
08/2014	
NOT TO SCALE	

TRACKING PAD



TRACKING PAD NOTES:

1. CONSTRUCT PAD PRIOR TO ANY TRAFFIC ENTERING/LEAVING THE SITE.
2. CONSTRUCT PAD ACROSS THE FULL WIDTH OF THE EGRESS POINT.
3. TRACKING PAD SHALL BE MAINTAINED BY SCRAPING OR TOP DRESSING WITH ADDITIONAL AGGREGATE.

SCALE: NOT TO SCALE

DIGGERS HOTLINE
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N

SCALE IN FEET
30' 0 30'

SITE PREP & EROSION CONTROL PLAN
WAUKESHA COUNTY COURTHOUSE
KUENY ARCHITECTS, LLC.
WAUKESHA, WISCONSIN

DESIGNED BY	APPROVED BY	DATE
LKJ	JPF	09/16/2022

REVISION NO.	REVISIONS	DATE	BY

TERRATEC ENGINEERING, LLC.
W67 N223 EVERGREEN BLVD., STE. 205
CEDARBURG, WI 53012
Tel.: 262.377.9005 - Fax: 262.375.1958

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TERRATEC PROJECT NO. 211001

SHEET No. C2 OF 4

PROPOSED CONDITIONS LEGEND

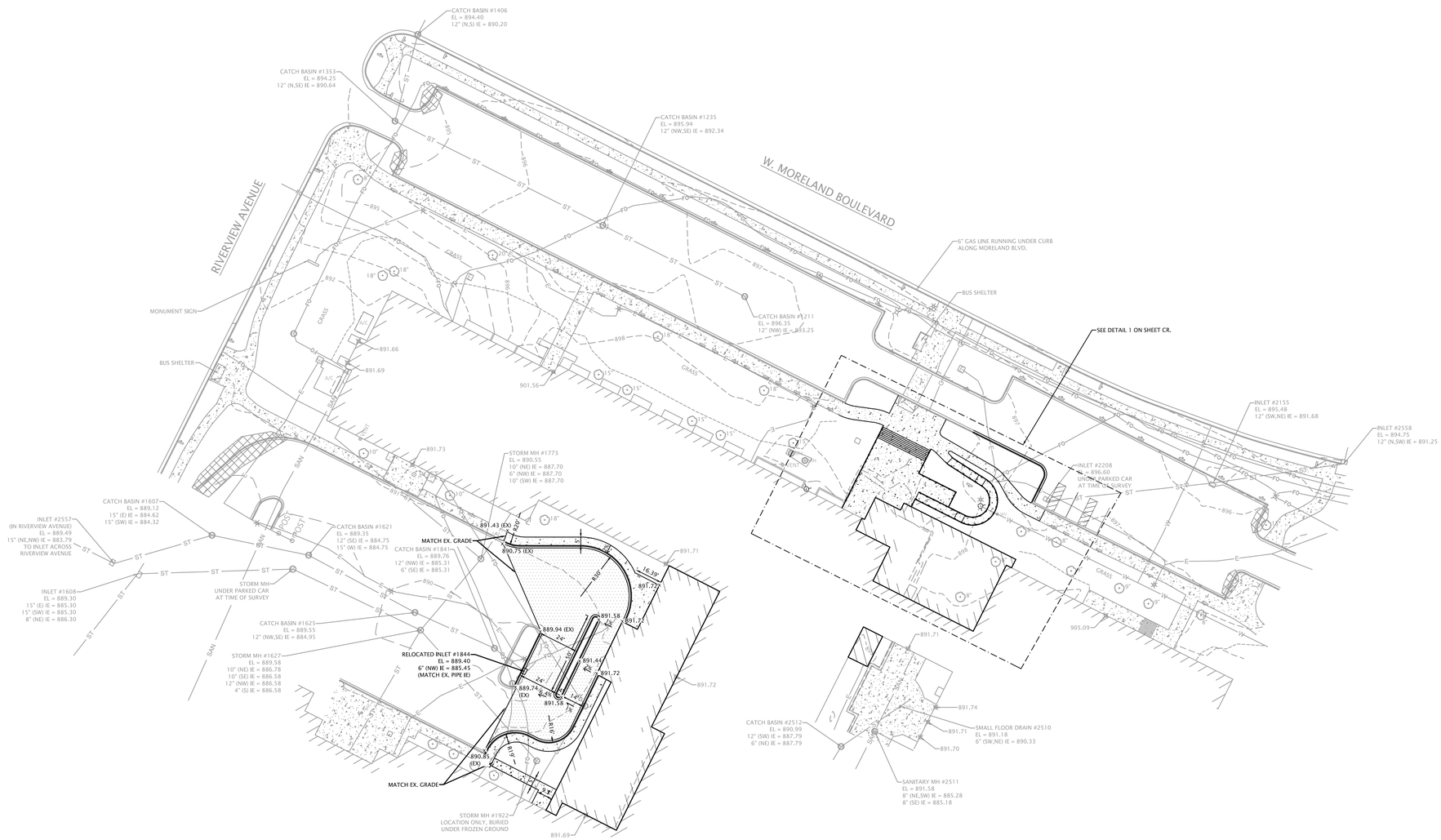
751	CONTOUR
× 751.11	FINISH GRADE POINT
	BUILDING
	CURB & GUTTER
	GRADE BREAK
	PAVEMENT EDGE
	MANHOLE STRUCTURE
	CATCH BASIN
	ASPHALT PAVEMENT
	CONCRETE PAVEMENT

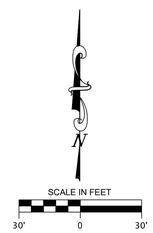
GENERAL NOTES

1. SEE SHEET C1 FOR EXISTING CONDITIONS LEGEND AND NOTES.

GENERAL GRADING/PAVING NOTES

1. ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. PARKING LOT AND DRIVEWAY ELEVATIONS ARE PAVEMENT GRADES, NOT TOP OF CURB GRADES. UNLESS OTHERWISE NOTED. MEASUREMENTS WHERE CURB IS PRESENT ARE MEASURED TO BACK OF CURB UNLESS OTHERWISE NOTED.
2. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION. DISCREPANCIES OR OTHER MODIFICATIONS REPORTED/MADE AFTER CONSTRUCTION COMMENCEMENT SHALL BE AT CONTRACTOR'S COST.
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LOCAL/STATE/FEDERAL REQUIREMENTS.
4. SUBGRADE TO BE PREPARED AS SPECIFIED BY PROJECT GEOTECHNICAL ENGINEER (NOT TERRATEC ENGINEERING, LLC).
5. SIDEWALKS
   6" CONCRETE TYPE 'C' ON 6" CRUSHED AGGREGATE BASE COURSE IN ACCORDANCE WITH WISDOT STANDARDS.
6. REPLACEMENT CURB/GUTTER - REPLACE ALL CURB/GUTTER THAT WAS REMOVED AFTER CONSTRUCTION IS COMPLETE. REPLACE IN KIND.
7. ALL WORK TO BE COMPLETED IN CONJUNCTION WITH ALL STATE AND LOCAL CODES AND ORDINANCES.
8. SEE ARCHITECTURAL PLANS FOR ALL BUILDING AND RETAINING WALL SYSTEM DIMENSIONS..
9. ALL SIDEWALK REPAIRS OVER TRENCHES REQUIRE 3- #4 REINFORCING BARS, EQUALLY SPACED.





DIGGERS HOTLINE

Toll Free (800) 242-8511
Milwaukee Area (414) 259-1181
Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com

"The information shown on this drawing concerning type and location of underground utilities is not guaranteed to be accurate or all inclusive. The contractor is responsible for making his own determinations as to the type and location of underground utilities as may be necessary to avoid damage thereto."

GRADING & PAVING PLAN
WAUKESHA COUNTY COURTHOUSE
KUENY ARCHITECTS, LLC.
WAUKESHA, WISCONSIN

DESIGNED BY	APPROVED BY	DATE
LKJ	JPF	09/16/2022

REVISION NO.	REVISIONS	DATE	BY

TERRATEC ENGINEERING, LLC.
W67 N222 EVERGREEN BLVD., STE. 205
CEDARBURG, WI 53012
Tel.: 262.377.9905 - Fax: 262.375.1958

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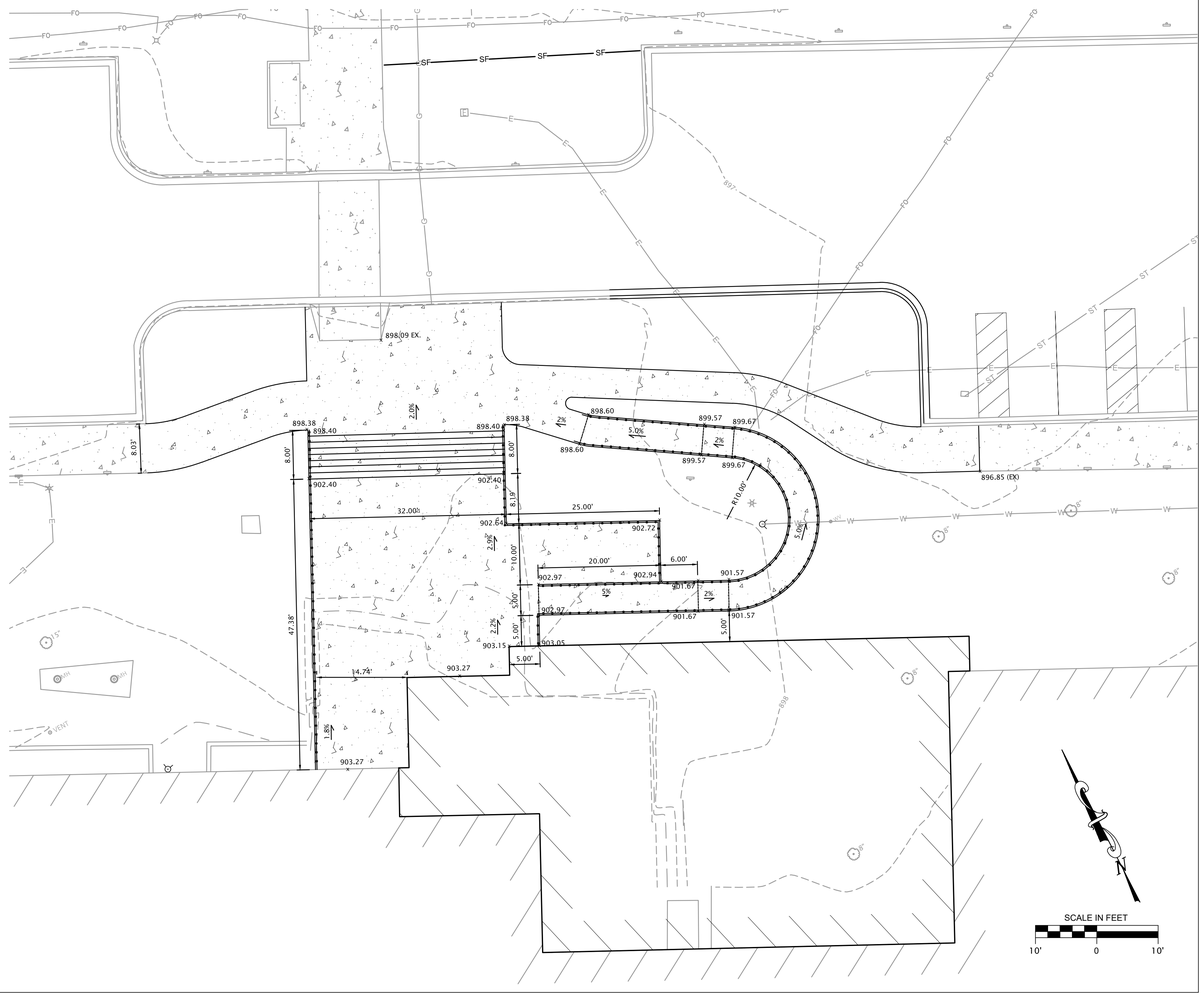
TERRATEC PROJECT NO. 211001

SHEET No. C3 OF 4



FRONT PLAZA DETAIL
SCALE: 1"=10'

EXISTING LEGEND

751	GROUND CONTOUR		LIGHT POLE
	EDGE OF PAVEMENT		UTILITY PEDESTAL
ST	STORM SEWER		GAS METER
G	BURIED GAS		DECIDUOUS TREE
SAN	SANITARY SEWER	MH	UNIDENTIFIED MANHOLE
E	BURIED ELECTRIC		HYDRANT
W	WATER LINE		INLET
FO	BURIED FIBER OPTIC LINE		WATER VALVE
	GRASS LINE		SIGN
	BUILDING	VENT	VENT PIPE
	CONCRETE SURFACE		SURVEY CONTROL POINT
	ICE/SNOW PILE AT TIME OF SURVEY	C/O	CLEANOUT
	RAISED ENCLOSED WALKWAY		ELECTRIC MANHOLE
			FIBER OPTIC MANHOLE
			SANITARY MANHOLE
			STORM MANHOLE
			CATCH BASIN (OPEN LID)
			THRESHOLD ELEVATION
			POST
		FLAG	FLAGPOLE
		BORE	SOIL BORING LOCATION
			COLUMN

DIGGERS HOTLINE
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DETAIL
WAUKESHA COUNTY COURTHOUSE
KUENY ARCHITECTS, LLC.
WAUKESHA, WISCONSIN

DESIGNED BY	APPROVED BY	DATE
LKJ	JPF	09/16/2022

REVISION NO.	REVISIONS	DATE	BY

TERRATEC ENGINEERING, LLC.
W67 N222 EVERGREEN BLVD., STE. 200
CEDARBURG, WI 53012
Tel: 262.377.9005 - Fax: 262.375.1958

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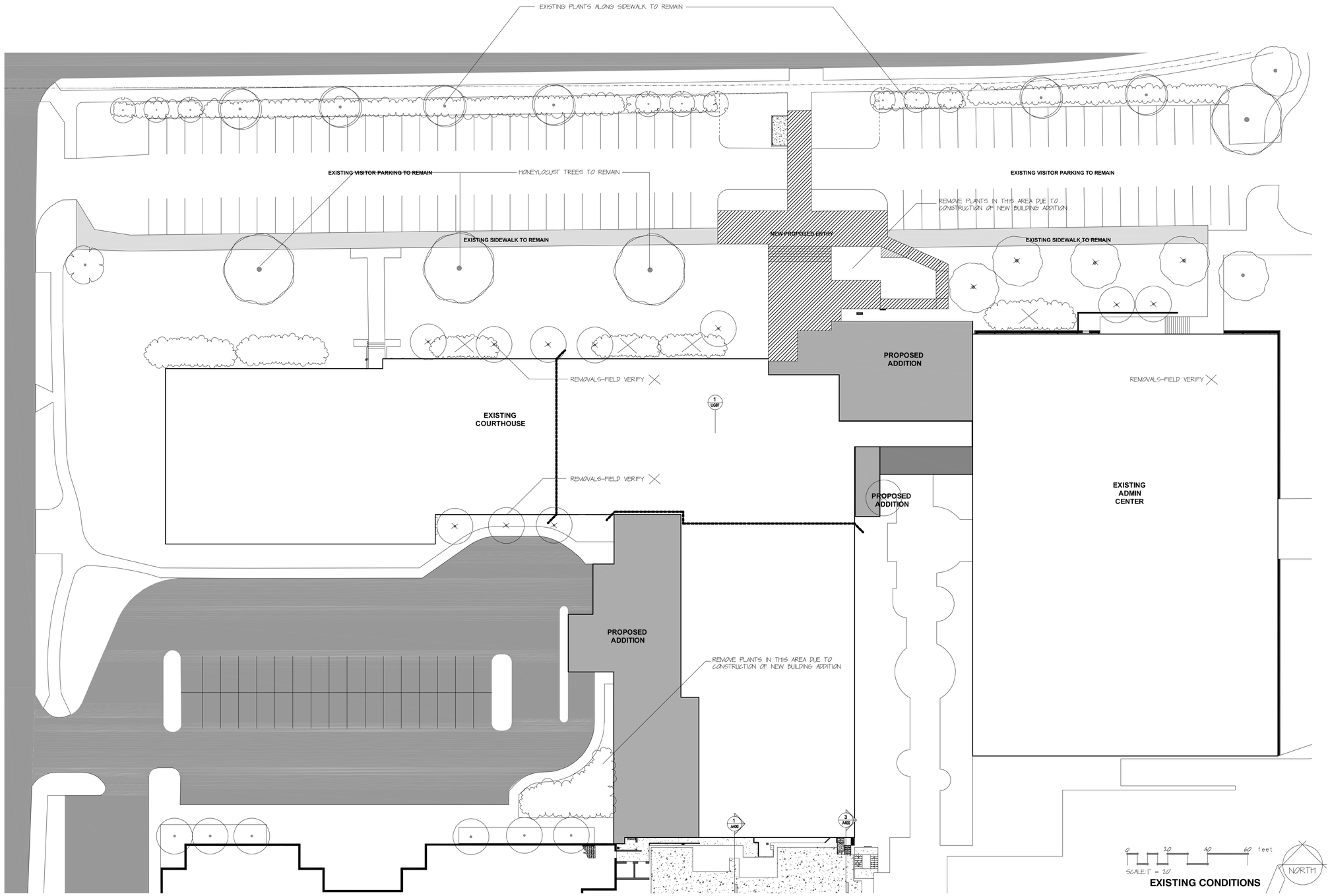
TERRATEC PROJECT NO. 211001

SHEET No. **C4** OF **4**

IL



EXISTING CONDITIONS

A

Court House Project Step 2 Renovate 1959 Court House #201705

515 W Moreland Boulevard
Waukesha, Wisconsin 53188

Waukesha County
515 W Moreland Boulevard
Waukesha, Wisconsin

KUENY ARCHITECTS
10505 Corporate Drive, Suite 100
Pleasant Prairie, Wisconsin 53158
kuenyarch.com | 262 857 8101

WOLD ARCHITECTS AND ENGINEERS
220 North Smith Street, Suite 310
Palatine, Illinois 60067
woldac.com | 847 241 6100

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed **ARCHITECT** under the laws of the State of **Wisconsin**

ARCH NAME
License Number: **reg num** Date **issue date**

Revisions		
Description	Date	Num

Comm: **203101**
Date: **01/16/2022**
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Check: **Checker**

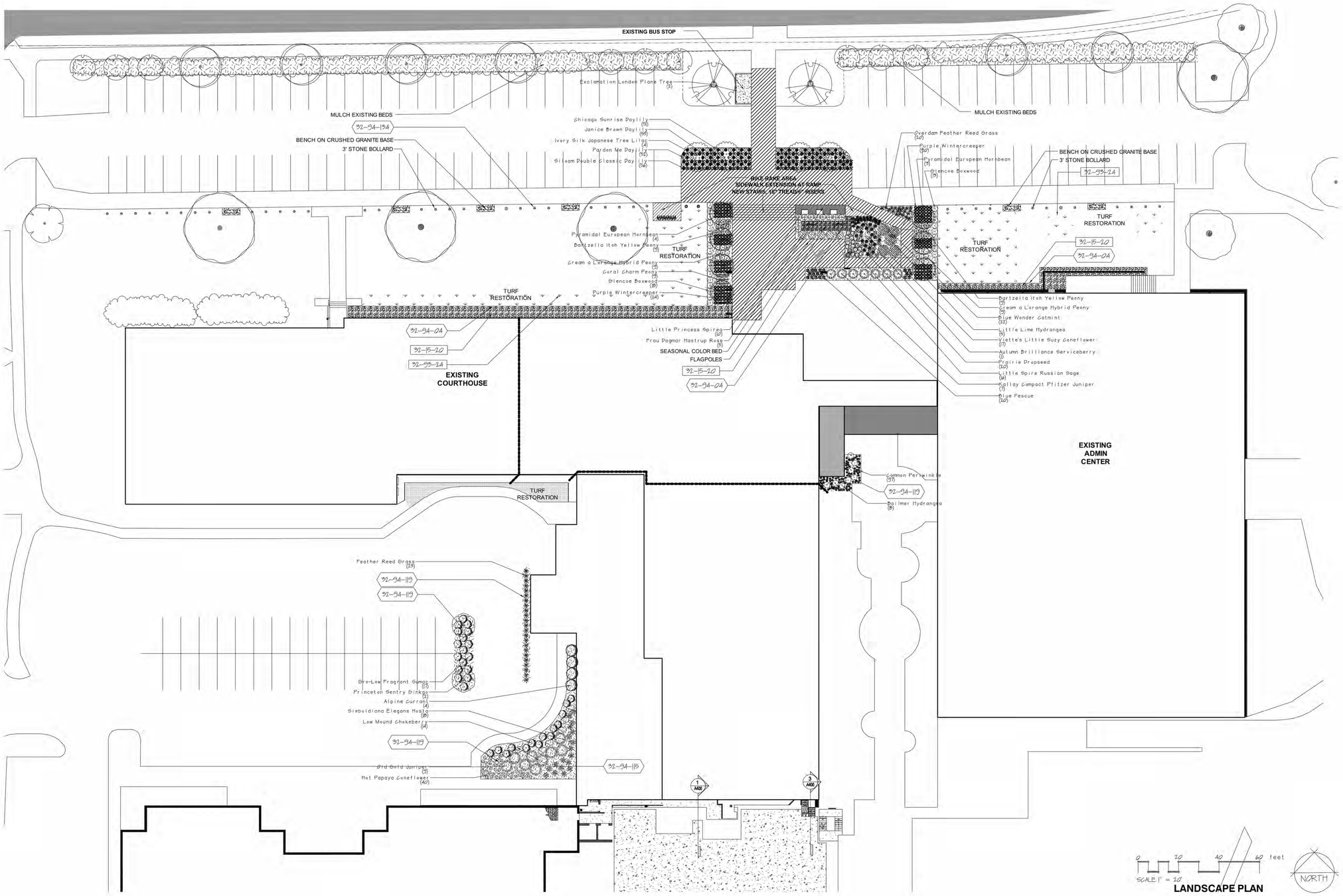
North

EXISTING CONDITIONS

Scale:

NOT FOR CONSTRUCTION

L-1.0



IL

A

Court House Project Step 2 Renovate 1959 Court House #201705

515 W Moreland Boulevard
Waukesha, Wisconsin 53188

Waukesha County
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Check: **Checker**

North

LANDSCAPE PLAN

Scale:

L-2.0

50% CD ESTIMATE SET 9/16/2022
NOT FOR CONSTRUCTION

PLANT SCHEDULE FRONT LANDSCAPE

TREES	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	Amelanchier canadensis 'Autumn Brilliance'	Autumn Brilliance Serviceberry	6'	B&B	1
	Carpinus betulus 'Fastigiata'	Pyramidal European Hornbean	2.5" Cal.	B&B	7
	Platanus x aceritolia 'Exclamation' TM	Exclamation London Plane Tree	3" Cal.	B&B	2
	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	6'	B&B	4
SHRUBS	**BOTANICAL NAME**	**COMMON NAME**	**SIZE**	**CONTAINER**	**QTY**
	Hydrangea paniculata 'Little Lime'	Little Lime Hydrangea	3 gal		5
	Rosa rugosa 'Frau Dagmar Hastrup'	Frau Dagmar Hastrup Rose	3 gal		5
	Spiraea x bumalda 'Little Princess'	Little Princess Spirea	5 gal		10
ANNUALS/PERENNIALS	**BOTANICAL NAME**	**COMMON NAME**	**SIZE**	**CONTAINER**	**QTY**
	Euonymus coloratus	Purple Wintercreeper	Qt Pot		204
	Hemerocallis x 'Chicago Sunrise'	Chicago Sunrise Daylily	1 gal		51
	Hemerocallis x 'Janice Brown' TM	Janice Brown Daylily	1 gal		55
	Hemerocallis x 'Pardon Me'	Pardon Me Daylily	1 gal		52
	Hemerocallis x 'Siloam Double Classic' TM	Siloam Double Classic Daylily	1 gal		56
	Nepeta x faassenii 'Blue Wonder'	Blue Wonder Catmint	1 gal		22
	Paeonia x 'Bartzella'	Bartzella Itoh Yellow Peony	1 gal		18
	Paeonia x 'Cream a L'orange'	Cream a L'orange Hybrid Peony	1 gal		18
	Paeonia x 'Coral Charm'	Coral Charm Peony	1 gal		9
	Perovskia atriplicifolia 'Little Spire' TM	Little Spire Russian Sage	1 gal		16
	Rudbeckia fulgida speciosa 'Viette's Little Suzy'	Viette's Little Suzy Coneflower	1 gal		17
GRASSES	**BOTANICAL NAME**	**COMMON NAME**	**SIZE**	**CONTAINER**	**QTY**
	Calamagrostis x acutiflora 'Overdam'	Overdam Feather Reed Grass	1 gal		20
	Festuca ovina glauca 'Elijah Blue'	Blue Fescue	1 gal		20
	Sporobalus heterolepis 'Tara'	Prairie Dropseed	1 gal		20
SHRUB EVERGREENS	**BOTANICAL NAME**	**COMMON NAME**	**SIZE**	**CONTAINER**	**QTY**
	Buxus x 'Chicagoland Green' TM	Glencoe Boxwood	24"	B&B	31
	Juniperus chinensis 'Kallays Compact'	Kallay Compact Pfitzer Juniper	5 gal		7

PLANT SCHEDULE INTAKE AREA

TREES	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Ginkgo	2" Cal.	B&B	2
SHRUBS	**BOTANICAL NAME**	**COMMON NAME**	**SIZE**	**CONTAINER**	**QTY**
	Aronia melanocarpa 'Low Mound'	Low Mound Chokeberry	3 gal		14
	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	3 gal		17
	Ribes alpinum	Alpine Currant	24"		4
ANNUALS/PERENNIALS	**BOTANICAL NAME**	**COMMON NAME**	**SIZE**	**CONTAINER**	**QTY**
	Echinacea x 'Hot Papaya	Hot Papaya Coneflower	1 gal		40
	Hosta sieboldiana 'Elegans'	Sieboldiana Elegans Hosta	1 gal		18
GRASSES	**BOTANICAL NAME**	**COMMON NAME**	**SIZE**	**CONTAINER**	**QTY**
	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	1 gal		23
SHRUB EVERGREENS	**BOTANICAL NAME**	**COMMON NAME**	**SIZE**	**CONTAINER**	**QTY**
	Juniperus chinensis 'Old Gold'	Old Gold Juniper	5 gal		9

PLANT SCHEDULE COURTYARD ADDITION

SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	QTY
	Hydrangea macrophylla 'Endless Summer' TM	Bailmer Hydrangea	3 gal	8
ANNUALS/PERENNIALS	**BOTANICAL NAME**	**COMMON NAME**	**SIZE**	**QTY**
	Vinca minor	Common Periwinkle	4"pot	97

REFERENCE NOTES SCHEDULE FRONT LANDSCAPE

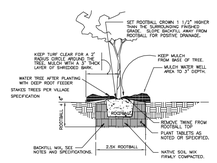
SYMBOL	AGGREGATE SURFACE DESCRIPTION	QTY
32-15-20	COMPOSTED GRANITE MULCH, 4" THICKNESS OVER WEED FABRIC	1,794 sf
SYMBOL	**PLANTING DESCRIPTION**	**QTY**
32-93-24	BLUEGRASS SOD, MINERAL BASED ONLY, PEAT SOD IS NOT PERMITTED	4,071 sf
SYMBOL	**PLANTING ACCESSORIES DESCRIPTION**	**QTY**
32-94-04	EDGE, ALUMINUM EDGING, 16' LENGTH NON PAINTED	556 lf
32-94-119	SHREDDED BARK MULCH WITH PRE-EMERGENT HERBICIDE	6,789 sf
32-94-194	GRANITE STONE BOLLARD, FINAL DESIGN TBD	40
32-94-136	5' DIAMETER MULCH TREE RING	7
32-94-141	7' STONE BENCH, FINAL DESIGN TBD	6

REFERENCE NOTES SCHEDULE INTAKE AREA

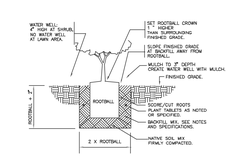
SYMBOL	PLANTING DESCRIPTION	QTY
32-93-24	BLUEGRASS SOD, MINERAL BASED ONLY, PEAT SOD IS NOT PERMITTED	404 sf
SYMBOL	**PLANTING ACCESSORIES DESCRIPTION**	**QTY**
32-94-04	EDGE, ALUMINUM EDGING, 16' LENGTH NON PAINTED	107 lf
32-94-115	SMALL- 2' X 30" X 12-18 " OUTCROPPING STONE	7
32-94-119	SHREDDED BARK MULCH WITH PRE-EMERGENT HERBICIDE	1,780 sf

REFERENCE NOTES SCHEDULE COURTYARD ADDITION

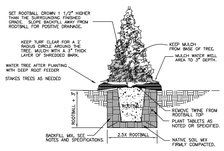
SYMBOL	PLANTING ACCESSORIES DESCRIPTION	QTY
32-94-119	SHREDDED BARK MULCH WITH PRE-EMERGENT HERBICIDE	221 sf



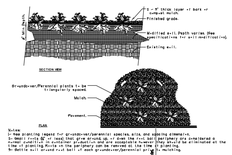
100 TREE PLANTING DETAIL
1" = 1'-0"



103 SHRUB PLANTING
1" = 1'-0"



102 EVERGREEN PLANTING DETAIL
1" = 1'-0"



104 GROUNDCOVER AND PERENNIAL DETAIL
1/4" = 1'-0"

GENERAL LANDSCAPE NOTES;

1. **Topsoil return to depth of 4" minimum is by excavating contractor. Berms (if applicable) are by others. Returned topsoil to have no rock larger than 1", construction debris and/or roots in the soil. Contact general contractor if soil is not acceptable for proper plant growth.**
2. **Always contact Diggers Hotline (800-242-8511) or JULIE 811 (or 1-800-892-0123) before proceeding with any work.**
3. **Landscape contractor is required to visit the site and review all civil plans related to the project. The civil plans take precedence over the landscape plans.**
4. **Plant material to be of the highest quality available and should not include # 2 grade trees, evergreens or shrubs. Landscape contractor is to verify plant quantities due to changes in the overall phase 1 landscape plan.**
5. **Labeled plants have precedence over the plant table. Verify quantity with a hand takeoff of the plan. Any substitutions of plant type, quantity or size must be approved by city forester..**
6. **Planting beds shall receive a 3" layer of high quality non-dyed shredded hardwood mulch. 3' diameter tree rings shall be installed around all trees and evergreens in the turf areas. Perennial and annual beds shall receive between a 1-2" layer of shredded bark mulch.**
7. **Spade cut plant beds and tree rings with a 4" deep shovel cut.**
8. **Perennial and annual beds to have a 2" layer of compost mulch incorporated 6" deep into the planting bed before installation of plants.**
9. **Seeded lawn areas to have high quality Bluegrass seed blend for sunny areas, shade areas to have a Bluegrass and Fescue blend of seed. See civil plans for turf restoration. Apply a 10-10-10 starter fertilizer after turf has germinated. Follow manufactures direction on fertilizer application rates.**
10. **Sodded turf (if applicable) to be installed in staggered fashion with tight joints. Sod to be rolled and watered to a depth of 3-4" immediately upon laying of the turf. Stake sod on slopes of less than 3:1 grade. Peat sod is not acceptable.**
11. **Erosion blanket shall be installed on seeded slopes with a grade of 3:1 or less. 90 day single net, double net or Turf Reinforcement Mats shall be installed per the required use. Follow manufactures stapling guidelines to ensure proper stabilization. Install erosion blanket for dormant seed applications (after November 1st) or mid-summer installations or where ever applicable to promote healthy turf establishment.**
12. **Landscape contractor is responsible to maintain the site for a period of 45 days after substantial completion of project. This will include watering, mowing of turf areas as needed, weeding plant beds, maintaining a clean site and other activities to ensure proper growth of the landscape.**
13. **If an irrigation system is not installed a temporary irrigation system shall be set up for a period of 30 days to water lawn areas. Install drip irrigation for plant beds. Install timers that will enable the new turf areas to receive enough water to properly germinate seed. Owner to provide access to water from outside of building to facilitate proper watering. Seed areas may require additional time for proper establishment**
14. **Warranty of plants, trees, evergreens, shrubs shall be for a period of 18 months from date of substantial completion. Perennials, ornamental grasses, annuals shall be guaranteed for one (1) growing season. One replacement will be required of each dead plant at the end of the warranty period.**

LANDSCAPE SCHEDULES AND DETAILS

NOT FOR CONSTRUCTION

Court House Project Step 2 Renovate 1959 Court House #201705

515 W Moreland Boulevard
Waukesha, Wisconsin 53188

Waukesha County
515 W Moreland Boulevard
Waukesha, Wisconsin

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kueny arch.com | 262 857 8101

WOLD ARCHITECTS AND ENGINEERS
220 North Smith Street, Suite 310
Palatine, Illinois 60067
woldac.com | 847 241 6100

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ARCH NAME
License Number: **reg num** Date **issue date**

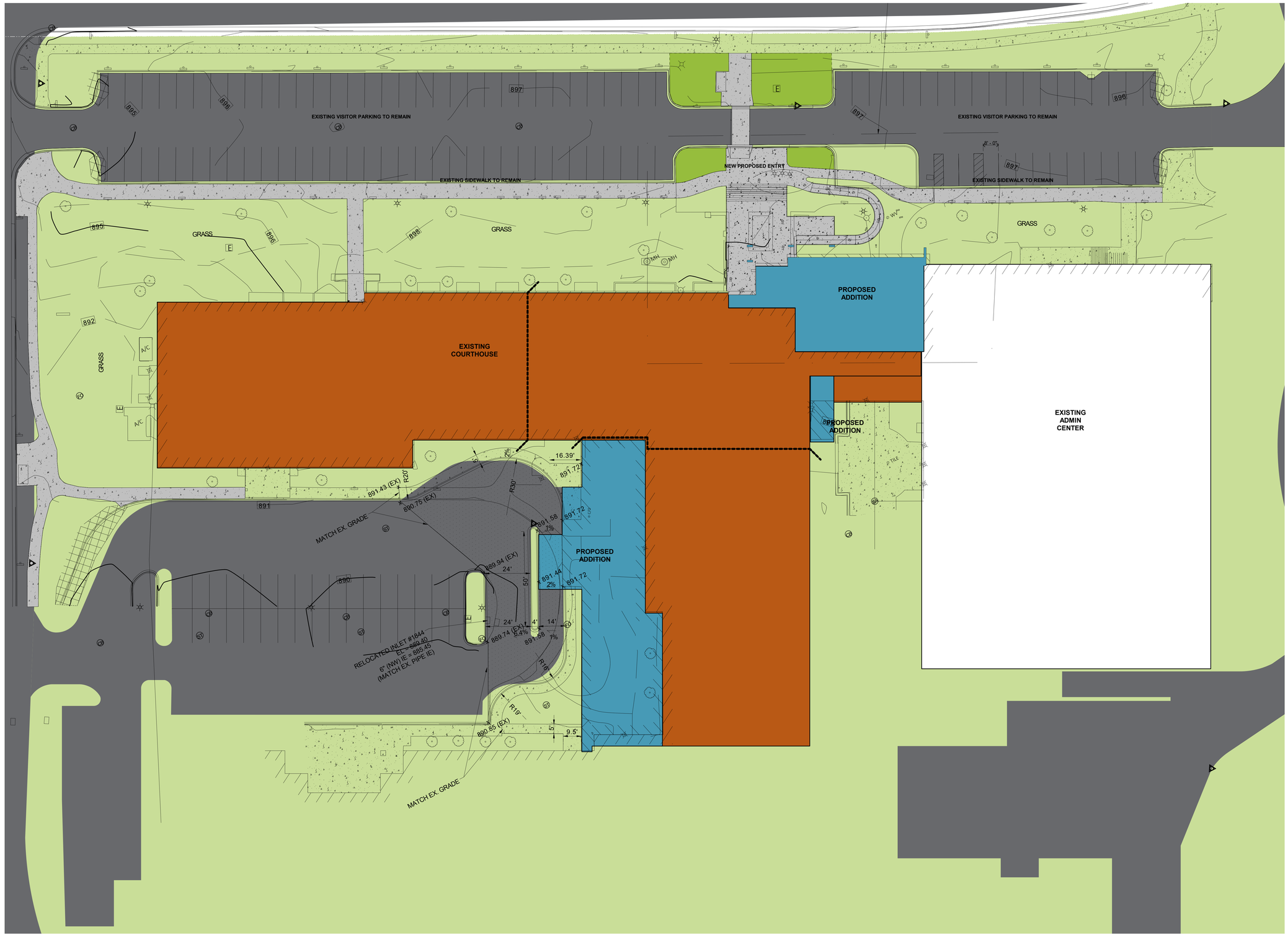
Revisions		
Description	Date	Num

Comm: **203101**
Date: **01/16/2022**
Drawn: **Author**
Check: **Checker**

LANDSCAPE SCHEDULES AND DETAILS

Scale:

L-3.0



IL

A

Court House Project Step 2 Renovate 1959 Court House #201705

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Waukesha, Wisconsin 53188

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Waukesha, Wisconsin

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woldae.com | 847 241 6100

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ARCH NAME
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Revisions		
Description	Date	Num

Comm: **203101**
Date: **01/16/2022**
Drawn: **JW**
Check: **JW**

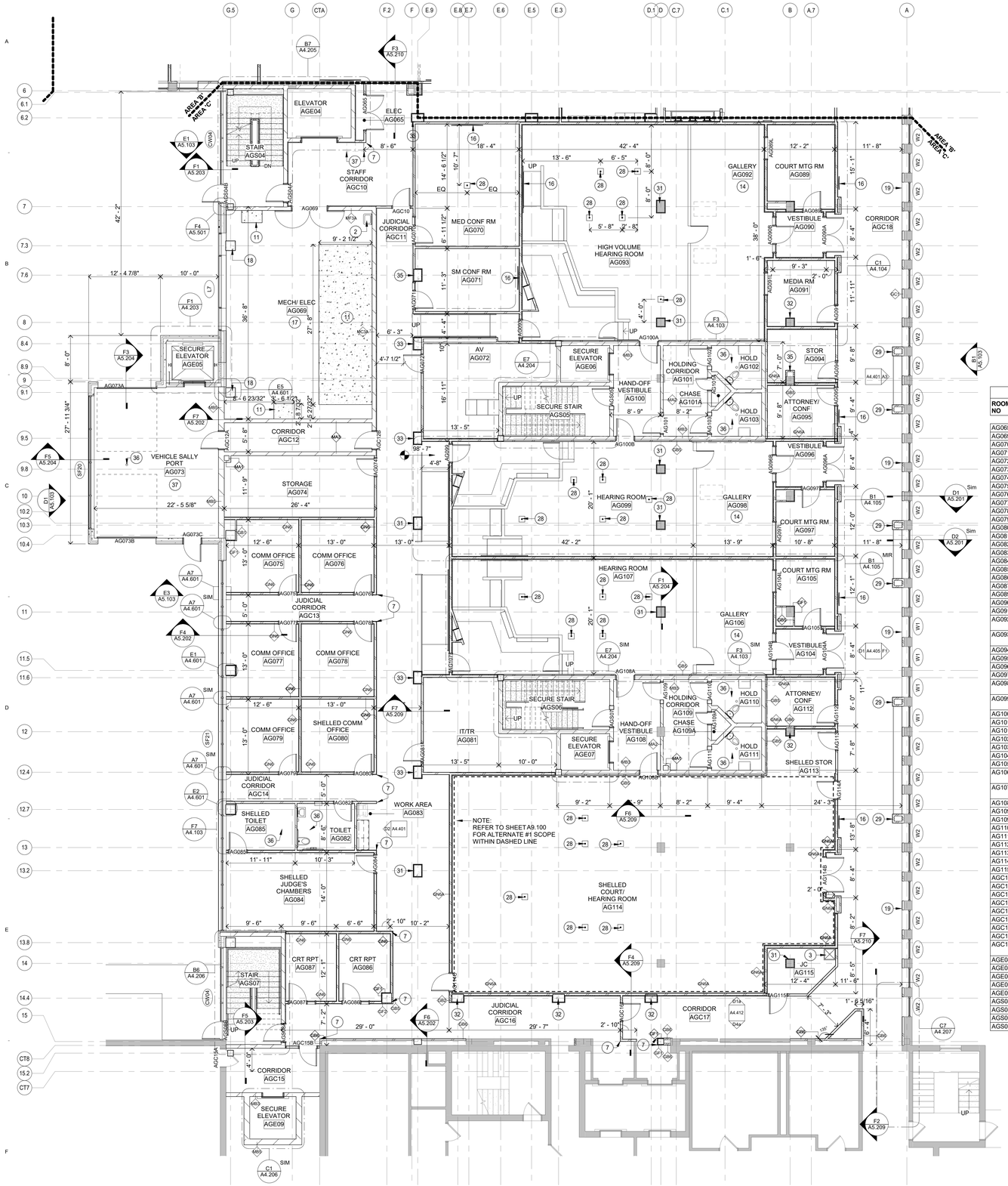
North

MASTER SITE PLAN

Scale: **1" = 20'-0"**

NOT FOR CONSTRUCTION

A0.002



F1 GROUND LEVEL FLOOR PLAN - AREA 'C'
1/8" = 1'-0"

FLOOR PLAN KEY NOTES:

1. DOOR ACTUATOR - SEE ELEC AND DETAIL E4/A4.102.
2. SERVICE SINK - SEE MECHANICAL.
3. MOP SINK WITH SHELF, MOP HOLDER, AND STAINLESS STEEL BACKSPLASH - SEE INTERIOR ELEVATIONS B3/A4.102 AND B2/A4.102. SEE ALSO MECHANICAL.
4. CAN WASH - SEE MECHANICAL AND DETAIL F7/A4.702.
5. PATCH, PREP, AND PAINT GYP BOARD WALL TO MATCH EXISTING ADJACENT FINISH.
6. PATCH, PREP, AND PAINT CONCRETE BLOCK WALL TO MATCH EXISTING ADJACENT FINISH.
7. FULL HEIGHT STAINLESS STEEL CORNER GUARD. PROVIDE BLOCKING IN GYP BD WALLS FOR ANCHORING.
8. TOOTH-IN MASONRY AT REMOVED ITEM(S) PER THE DEMOLITION PLAN TO MATCH EXISTING COURSING.
9. LOCATION OF STACKED WASHER/ DRYER UNIT PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR. SEE ALSO MECHANICAL AND ELECTRICAL.
10. RECESSED FIRE EXTINGUISHER CABINET.
11. HOUSEKEEPING PAD - SEE DETAIL A3/A4.702. APPROXIMATE DIMENSIONS ARE SHOWN ON PLANS. COORDINATE EXACT SIZE AND LOCATION WITH ELECTRICAL AND MECHANICAL.
12. OPERABLE MANUAL WALL SYSTEM - SEE DOOR AND FRAME TYPE ELEVATIONS.
13. ELECTRIC WATER COOLER (EWC) - SEE MECHANICAL, ELECTRICAL, AND ELEVATION D7/A4.102
14. SEE ENLARGED PLANS FOR PEW INFORMATION - SEE DETAIL -/---
15. DISPLAY CASE - SEE DETAIL -/---
16. PROVIDE WD BLOCKING AT WALL MOUNTED EQUIPMENT - SEE TECHNOLOGY AND DETAIL F4/A4.102
17. INSTALL TRAFFIC TOPPING IN ENTIRE ROOM, INCLUDING ALL SURFACES OF FLOOR, CURBS, AND HOUSEKEEPING PADS. PROVIDE TRAFFIC TOPPING MIN 4" HIGH AT ALL PIPE PENETRATIONS ON BOOTS, ETC. TRAFFIC TOPPING IS A FINISHED FLOOR, PROTECT AFTER INSTALLATION.
18. PATCH, PREP, AND PAINT ENTIRE SURFACE OF EXISTING CONCRETE COLUMN PT XX.
19. FIN TUBE RADIATION AT EXTERIOR WALL - SEE MECHANICAL .
20. INFILL METAL STUD AND GYP BD WALL AT REMOVED DOOR PER THE DEMOLITION PLANS TO MATCH EXISTING ASSEMBLY AND THICKNESS. PREP AND PAINT TO MATCH EXISTING ADACENT FINISH.
21. GRIND / SHOT BLAST CONCRETE SLAB AS REQUIRED AT REMOVED ITEMS PER THE DEMOLITION PLANS. PROVIDE SELF-LEVELING TOPPING AS REQUIRED TO ACCEPT NEW FLOOR FINISH.
22. PROVIDE (14) COAT HOOKS. SEE INTERIOR ELEVATION -/--- FOR MOUNTING HEIGHTS.
23. FIRE ALARM PANEL - SEE ELECTRICAL.
24. BACKLIT MIRROR - SEE ELECTRICAL.
25. PERIMETER CURB AT WALL OR FLOOR PENETRATION - SEE DETAILS XX/X.XXX, XX/X.XXX, AND XX/X.XXX.
26. FLOOR EXPANSION JOINT - SEE DETAIL E1/A4.703.
27. CABINET UNIT HEATER - SEE MECHANICAL AND DETAIL D1/A4.703.
28. FLOOR BOX - SEE ELECTRICAL, TECHNOLOGY AND SLAB DEMO/INFILL PLANS.
29. CHASE AT CORRIDOR BENCHING - SEE DETAIL D2/A4.601
30. STUD COLUMN WRAP - SEE DETAIL B1/A4.601.
31. COLUMN WRAP - SEE DETAIL A1/A4.601.
32. COLUMN WRAP AT ACOUSTICAL SEPARATION - SEE DETAIL D1/A4.601.
33. COLUMN WRAP - SEE DETAIL E4/A4.601.
34. TYPICAL DRAIN CHASE - SEE DETAIL C5/A4.601.
35. COLUMN WRAP - SEE DETAIL E7/A4.601.
36. FLOOR DRAIN - SEE MECHANICAL.
37. WALL MOUNTED WEAPON LOCKER AS SPECIFIED.
38. WALL MOUNTED RADIO CHARGING RACK AS SPECIFIED.
39. MOBILE GALLERY WALL - SEE DETAIL .
40. FOLD DOWN LAPTOP COUNTER.

PLAN GENERAL NOTES

1. ALL PLAN DIMENSIONS ARE NOMINAL TO FACE OF WALL. WALL THICKNESSES ARE SHOWN NOMINAL, SEE WALL TYPES FOR ACTUAL THICKNESS.
2. ALL INTERIOR GYPSUM BOARD WALLS TO BE 5 INCHES THICK, TYPE GA6, UNLESS NOTED OTHERWISE ON THE PLANS.
3. ALL CONCRETE BLOCK WALLS ARE TO BE 8 INCHES THICK UNLESS OTHERWISE NOTED.
4. COORDINATE SIZE AND LOCATION OF ALL DUCT AND SHAFT OPENINGS IN WALLS AND FLOORS W/ MECH. AND ELEC. PROVIDE ALL REQUIRED LINTELS FOR OPENINGS. SEE LINTEL SCHEDULE.
5. FIELD VERIFY ALL MILLWORK OPENINGS.
6. SET FLOOR DRAINS 3/4" BELOW FINISHED CONCRETE FLOORS UNLESS OTHERWISE NOTED. PROVIDE CONSISTENT SLOPE FROM WALL TO DRAIN BY SLOPING CONCRETE, MIN. 1/4" PER FOOT.
7. VERIFY LOCATION, SIZE AND QUANTITY OF ALL MECHANICAL AND ELECTRICAL EQUIPMENT PADS WITH MECHANICAL AND ELECTRICAL.
8. ALL DOOR/SIDELITE OPENINGS TO BEGIN 4" FROM ADJACENT WALL UNLESS OTHERWISE NOTED.
9. FIRE RATED WALLS ARE INDICATED ON CODE PLANS.
10. SEE SHEET A2.901 FOR DOOR AND FRAME TYPES.
11. SEE SHEETS A2.911 AND A2.912 FOR DOOR/ OPENING SCHEDULES.
12. SEE SHEETS A1.110, A1.111, A1.112, A1.113, A1.114 FOR SLAB INFILL EXTENTS.

ROOM FINISH SCHEDULE - GROUND LEVEL AREA 'C'

ROOM NO	ROOM NAME	FLOOR	BASE	N WALL - TYP		E WALL		S WALL		W WALL		REMARKS
				MATL	FIN	MATL	FIN	MATL	FIN	MATL	FIN	
AG065	ELEC	PTD CONC	VB-1	GYP BD	PRIMED	GYP BD	PRIMED	GYP BD	PRIMED	GYP BD	PRIMED	
AG069	MECH/ ELEC	TT	VB-1	CBLK	PRIMED	CBLK	PRIMED	CBLK	PRIMED	CBLK	PRIMED	
AG070	MED CONF RM	CPT-2	VB-1	GYP BD	PT-2	GYP BD	PT-1	GYP BD	PT-1	GYP BD	PT-1	
AG071	SM CONF RM	CPT-2	VB-1	GYP BD	PT-1	GYP BD	PT-2	GYP BD	PT-1	GYP BD	PT-1	
AG072	AV	PTD CONC	VB-1	GYP BD	PRIMED	CBLK	PRIMED	CBLK/ GYP BD	PRIMED	GYP BD	PRIMED	
AG073	VEHICLE SALLY PORT	WRS CONC	--	CONC/ CBLK	--	CBLK	--	CONC	--	CONC	--	
AG074	STORAGE	PTD CONC	VB-1	CBLK	PRIMED	GYP BD	PRIMED	GYP BD	PRIMED	CBLK	PRIMED	
AG075	COMM OFFICE	CPT-2	VB-1	GYP BD	PT-1/ PT-2	GYP BD	PT-1/ PT-2	GYP BD	PT-1/ PT-2	GYP BD	PT-1/ PT-2	13
AG076	COMM OFFICE	CPT-2	VB-1	GYP BD	PT-1/ PT-2	GYP BD	PT-1/ PT-2	GYP BD	PT-1/ PT-2	GYP BD	PT-1/ PT-2	13
AG077	COMM OFFICE	CPT-2	VB-1	GYP BD	PT-1/ PT-2	GYP BD	PT-1/ PT-2	GYP BD	PT-1/ PT-2	GYP BD	PT-1/ PT-2	13
AG078	COMM OFFICE	CPT-2	VB-1	GYP BD	PT-1/ PT-2	GYP BD	PT-1/ PT-2	GYP BD	PT-1/ PT-2	GYP BD	PT-1/ PT-2	13
AG079	COMM OFFICE	CPT-2	VB-1	GYP BD	PT-1/ PT-2	GYP BD	PT-1/ PT-2	GYP BD	PT-1/ PT-2	GYP BD	PT-1/ PT-2	13
AG080	SHELLED COMM OFFICE	PTD CONC	--	GYP BD	--	GYP BD	--	GYP BD	--	GYP BD	--	14
AG081	IT/TR	PTD CONC	VB-1	CBLK/ GYP BD	PRIMED	CBLK	PRIMED	GYP BD	PRIMED	GYP BD	PRIMED	
AG082	TOILET	P.TILE-2	P.TILE	GYP BD	EPT-1	GYP BD	EPT-1	GYP BD	EPT-1	GYP BD	P.TILE-1/ EPT-1	
AG083	WORK AREA	CPT-2	VB-1	GYP BD	PT-2	--	--	GYP BD	PT-2	GYP BD	PT-2	
AG084	SHELLED JUDGE'S CHAMBERS	PTD CONC	--	GYP BD	--	GYP BD	--	GYP BD	--	GYP BD	--	14
AG085	SHELLED TOILET	PTD CONC	--	GYP BD	--	GYP BD	--	GYP BD	--	GYP BD	--	14
AG086	CRT RPT	CPT-2	VB-1	GYP BD	PT-2	GYP BD	PT-1	GYP BD	PT-1	GYP BD	PT-1	
AG087	CRT RPT	CPT-2	VB-1	GYP BD	PT-2	GYP BD	PT-1	GYP BD	PT-1	GYP BD	PT-1	
AG089	COURT MTG RM	CPT-3	VB-1	GYP BD	PT-1	GYP BD	PT-1	GYP BD	PT-2	GYP BD	PT-1	
AG090	VESTIBULE	CPT-1	P.TILE	GYP BD	FWC-1	GYP BD	FWC-1	GYP BD	FWC-1	GYP BD	FWC-1	
AG091	MEDIA RM	CPT-3	VB-1	GYP BD	PT-2	GYP BD	PT-2	GYP BD	PT-2	GYP BD	PT-2	
AG092	GALLERY	CPT-1	P.TILE	GYP BD	P.TILE-1/ AWP-1/ PT-3	GYP BD	P.TILE-1/ AWP-1/ AWP-2/ PT-3	GYP BD	P.TILE-1/ AWP-1/ PT-3	--	--	1
AG093	HIGH VOLUME HEARING ROOM	CPT-1	P.TILE	GYP BD	P.TILE-1/ AWP-1/ FWC-1/ PT-3	--	--	GYP BD	P.TILE-1/ AWP-1/ FWC-1/ PT-3	GYP BD	P.TILE-1/ AWP-2/ FWC-1/ PT-3	1
AG094	STOR	PTD CONC	VB-1	GYP BD	PRIMED	GYP BD	PRIMED	GYP BD	PRIMED	GYP BD	PRIMED	
AG095	ATTORNEY/ CONF	CPT-3	VB-1	GYP BD	PT-1	GYP BD	PT-1	GYP BD	PT-2	GYP BD	PT-1	
AG096	VESTIBULE	CPT-1	P.TILE	GYP BD	FWC-1	GYP BD	FWC-1	GYP BD	FWC-1	GYP BD	FWC-1	
AG097	COURT MTG RM	CPT-3	VB-1	GYP BD	PT-1	GYP BD	PT-1	GYP BD	PT-2	GYP BD	PT-1	
AG098	GALLERY	CPT-1	P.TILE	GYP BD	P.TILE-1/ AWP-1/ PT-3	GYP BD	P.TILE-1/ AWP-1/ AWP-2/ PT-3	GYP BD	P.TILE-1/ AWP-1/ PT-3	--	--	1
AG099	HEARING ROOM	CPT-1	P.TILE	GYP BD	P.TILE-1/ AWP-1/ FWC-1/ PT-3	--	--	GYP BD	P.TILE-1/ AWP-1/ FWC-1/ PT-3	GYP BD	P.TILE-1/ AWP-2/ FWC-1/ PT-3	1
AG100	HAND-OFF VESTIBULE	PTD CONC	--	CBLK	EPT-1	CBLK	EPT-1	CBLK	EPT-1	CBLK	EPT-1	
AG101	HOLDING CORRIDOR	PTD CONC	--	CBLK	EPT-1	CBLK	EPT-1	CBLK	EPT-1	CBLK	EPT-1	
AG101A	CHASE	PTD CONC	--	CBLK	--	CBLK	--	CBLK	--	CBLK	--	
AG102	HOLD	PTD CONC	--	CBLK	EPT-1	CBLK	EPT-1	CBLK	EPT-1	CBLK	EPT-1	
AG103	HOLD	PTD CONC	--	CBLK	EPT-1	CBLK	EPT-1	CBLK	EPT-1	CBLK	EPT-1	
AG104	VESTIBULE	CPT-1	P.TILE	GYP BD	FWC-1	GYP BD	FWC-1	GYP BD	FWC-1	GYP BD	FWC-1	
AG105	COURT MTG RM	CPT-3	VB-1	GYP BD	PT-1	GYP BD	PT-1	GYP BD	PT-2	GYP BD	PT-1	
AG106	GALLERY	CPT-1	P.TILE	GYP BD	P.TILE-1/ AWP-1/ PT-3	GYP BD	P.TILE-1/ AWP-1/ AWP-2/ PT-3	GYP BD	P.TILE-1/ AWP-1/ PT-3	--	--	1
AG107	HEARING ROOM	CPT	P.TILE	GYP BD	P.TILE-1/ AWP-1/ FWC-1/ PT-3	--	--	GYP BD	P.TILE-1/ AWP-1/ FWC-1/ PT-3	GYP BD	P.TILE-1/ AWP-2/ FWC-1/ PT-3	1
AG108	HAND-OFF VESTIBULE	PTD CONC	--	CBLK	EPT-1	CBLK	EPT-1	CBLK	EPT-1	CBLK	EPT-1	
AG109	HOLDING CORRIDOR	PTD CONC	--	CBLK	EPT-1	CBLK	EPT-1	CBLK	EPT-1	CBLK	EPT-1	
AG109A	CHASE	PTD CONC	--	CBLK	EPT-1	CBLK	EPT-1	CBLK	EPT-1	CBLK	EPT-1	
AG110	HOLD	PTD CONC	--	CBLK	EPT-1	CBLK	EPT-1	CBLK	EPT-1	CBLK	EPT-1	
AG111	HOLD	PTD CONC	--	CBLK	EPT-1	CBLK	EPT-1	CBLK	EPT-1	CBLK	EPT-1	
AG112	ATTORNEY/ CONF	CPT-3	VB-1	GYP BD	PT-1	GYP BD	PT-1	GYP BD	PT-2	GYP BD	PT-1	
AG113	SHELLED STOR	PTD CONC	--	GYP BD	--	GYP BD	--	--	--	GYP BD	--	14
AG114	SHELLED COURT/ HEARING ROOM	PTD CONC	--	GYP BD	--	GYP BD	--	GYP BD	--	GYP BD	--	14
AG115	JC	PTD CONC	VB-3	GYP BD	PRIMED	GYP BD	PRIMED	GYP BD	PRIMED	GYP BD	PRIMED	
AGC10	STAFF CORRIDOR	CPT-2	VB-1	GYP BD	PT-1	GYP BD	PT-1	GYP BD	PT-1	GYP BD	PT-6	
AGC11	JUDICIAL CORRIDOR	CPT-2	VB-1	GYP BD	PT-1	GYP BD	PT-2	GYP BD/ --	PT-1/ --	GYP BD	PT-1	
AGC12	CORRIDOR	PTD CONC	--	CBLK	EPT-1	CBLK	EPT-1	CBLK	EPT-1	CBLK	EPT-1	
AGC13	JUDICIAL CORRIDOR	CPT-2	VB-1	GYP BD	PT-1	--	--	GYP BD	PT-1	GYP BD	PT-1	
AGC14	JUDICIAL CORRIDOR	CPT-2	VB-1	GYP BD	PT-1	--	--	GYP BD	PT-1	GYP BD	PT-1	
AGC15	CORRIDOR	PTD CONC	VB-1	CBLK/ GYP BD	EPT-1	EXIST CONC	EPT-1	CBLK	EPT-1	EXIST CONC	EPT-1	
AGC16	JUDICIAL CORRIDOR	CPT-2	VB-1	GYP BD	PT-1	EXIST GYP BD/ GYP BD	PT-1	EXIST GYP BD/ GYP BD	PT-1	GYP BD	PT-6	
AGC17	CORRIDOR	LVT-1/ LVT-2	P.TILE	GYP BD	P.TILE-1/ PT-3	GYP BD	P.TILE-1/ PT-3	EXIST GYP BD/ GYP BD	P.TILE-1/ PT-3	EXIST GYP BD/ GYP BD	P.TILE-1/ PT-3	
AGC18	CORRIDOR	LVT-1/ LVT-2	P.TILE	--	--	GYP BD	P.TILE-1/ FWC-2/ PT-3	GYP BD	P.TILE-1/ PT-3	GYP BD	P.TILE-1/ AWP-2/ FWC-2/ PT-3	1
AGE04	ELEVATOR	--	--	--	--	--	--	--	--	--	--	3, 6
AGE05	SECURE ELEVATOR	--	--	--	--	--	--	--	--	--	--	3, 7
AGE06	SECURE ELEVATOR	--	--	--	--	--	--	--	--	--	--	3, 7
AGE07	SECURE ELEVATOR	--	--	--	--	--	--	--	--	--	--	3, 7
AGE09	SECURE ELEVATOR	--	--	--	--	--	--	--	--	--	--	3, 7
AGS04	STAIR	RB-1/ RB-2	--	CBLK/ GYP BD	PT-1	CBLK/ GYP BD	PT-1	CBLK/ GYP BD	PT-1	GYP BD	PT-1	3
AGS05	SECURE STAIR	PTD CONC	--	CBLK	EPT-1	CBLK	EPT-1	CBLK	EPT-1	CBLK	EPT-1	3
AGS06	SECURE STAIR	PTD CONC	--	CBLK	EPT-1	CBLK	EPT-1	CBLK	EPT-1	CBLK	EPT-1	3
AGS07	STAIR	RB-1/ RB-2	--	CBLK/ GYP BD	PT-1	CBLK/ GYP BD	PT-1	CBLK/ GYP BD	PT-1	GYP BD	PT-1	3

ROOM FINISH SCHEDULE REMARKS

1. SEE INTERIOR ELEVATIONS FOR LOCATIONS AND PATTERNING OF P.TILE, WWP, AWP, FWC AND PAINT.
2. PROVIDE GYPSUM BOARD SOFFIT ABOVE CASEWORK. (SEE CASEWORK ELEVATIONS AND REFLECTED CEILING PLANS.)
3. SEE VERTICAL CIRCULATION SHEETS FOR STAIR AND ELEVATOR DETAILS, ELEVATIONS, AND SECTIONS.
4. SEE SHEETS A4.301, A4.302, A4.303, A4.304, AND A4.305 FOR FLOOR PATTERNING INFORMATION.
5. PAINT CEILING AND ALL EXPOSED STRUCTURE, PIPING, CONDUIT, MECHANICAL DUCTS AND VENTS PT-13.
6. PUBLIC AND STAFF ELEVATORS TO HAVE LUXURY VINYL TILE FLOOR LVT-X IN 1/3 RUNNING BOND WITH LAMINATE WALL PANELS IN P.LAM-X WITH REVEALS, METAL CEILING WITH RECESSED LIGHT FIXTURES.
7. HOLDING AND MAINTENANCE ELEVATORS TO HAVE DIAMOND PLATE FLOORS AND STAINLESS STEEL WALL PANELS.
8. SEE INTERIOR ELEVATIONS FOR GYP BD REVEAL LOCATIONS.
9. SLOPE CONC. FLOOR TOWARDS EXTERIOR DOOR. SEE PLANS FOR FLOORSLOPING INFORMATION.
10. PROVIDE P.TILE-1 TO A HEIGHT OF 3'-2". SEE DETAIL XX/AX.XXX FOR TILE PATTERN INFORMATION.
11. PROVIDE CRASH RAIL AT ALL PERIMETER WALLS IN THIS ROOM. SEE INTERIOR ELEVATION XX/ AX.XXX.
12. PROVIDE MOISTURE MITIGATION AT ALL EXISTING SLABS ON GRADE PER MANUFACTURER'S RECOMMENDATION. SEE SPECIFICATION SECTION 09 05 61 FOR FLOORING PREPARATION INFORMATION.
13. WOOD MOLDING ALIGNED WITH TOP OF DOOR FRAME; PT-2 BELOW MOLDING; PT-1 ABOVE MOLDING.
14. PROVIDE LEVEL X FINISH TO GYPSUM BOARD WALLS IN SHELLED SPACES AS SPECIFIED.

ROOM FINISH SCHEDULE GENERAL NOTES

1. SEE DETAILS OF CONSTRUCTION FOR ABBREVIATIONS
2. DISCREPANCIES BETWEEN THE ROOM FINISH SCHEDULE AND DRAWINGS SHALL BE REPORTED TO THE ARCHITECT FOR FINISH DETERMINATION.
3. ON WALLS WHICH ARE COVERED WITH MILLWORK AND TACK SURFACES, A FINISH SHALL NOT BE APPLIED TO THE WALL BEHIND EXCEPT FOR LOCATIONS WHICH MAY BE EXPOSED (I.E. SPACE BETWEEN MILLWORK AND TACK SURFACE.) CONCRETE BLOCK BEHIND MILLWORK AND MARKERBOARDS TO BE TOOLED.
4. REFER TO MATERIAL FINISH/ COLOR SCHEDULE FOR SPECIFIC FINISH TYPES AND COLORS.
5. FOR CEILING MATERIAL WHEN MORE THAN ONE CEILING MATERIAL OCCURS THE CEILING FINISH IS INDICATED THUS: */.
6. PROVIDE VINYL BASE AT CASEWORK.
7. ELEVATOR LVT TO BE _____.
8. WHERE P.TILE BASE IS SCHEDULED, PROVIDE P.TILE BASE AS DETAILED AND SPECIFIED. SEE DETAIL XX/AX.XXX AND SPECIFICATION DIV 09.

NOT FOR CONSTRUCTION

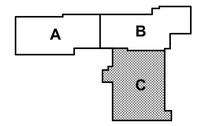
Court House Project Step 2 Renovate 1959 Court House #201705

515 W Moreland Boulevard
Waukesha, Wisconsin 53188

Waukesha County
515 W Moreland Boulevard
Waukesha, Wisconsin

KUENY ARCHITECTS
10905 Corporate Drive, Suite 100
Pleasant Prairie, Wisconsin 53158
kuenyarch.com | 262 857 8101

WOLD ARCHITECTS AND ENGINEERS
220 North Smith Street, Suite 310
Palatine, Illinois 60067
woldac.com | 847 241 6100



KEY PLAN

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed **ARCHITECT** under the laws of the State of **Wisconsin**

ARCH NAME
License Number: **reg num** Date **issue date**

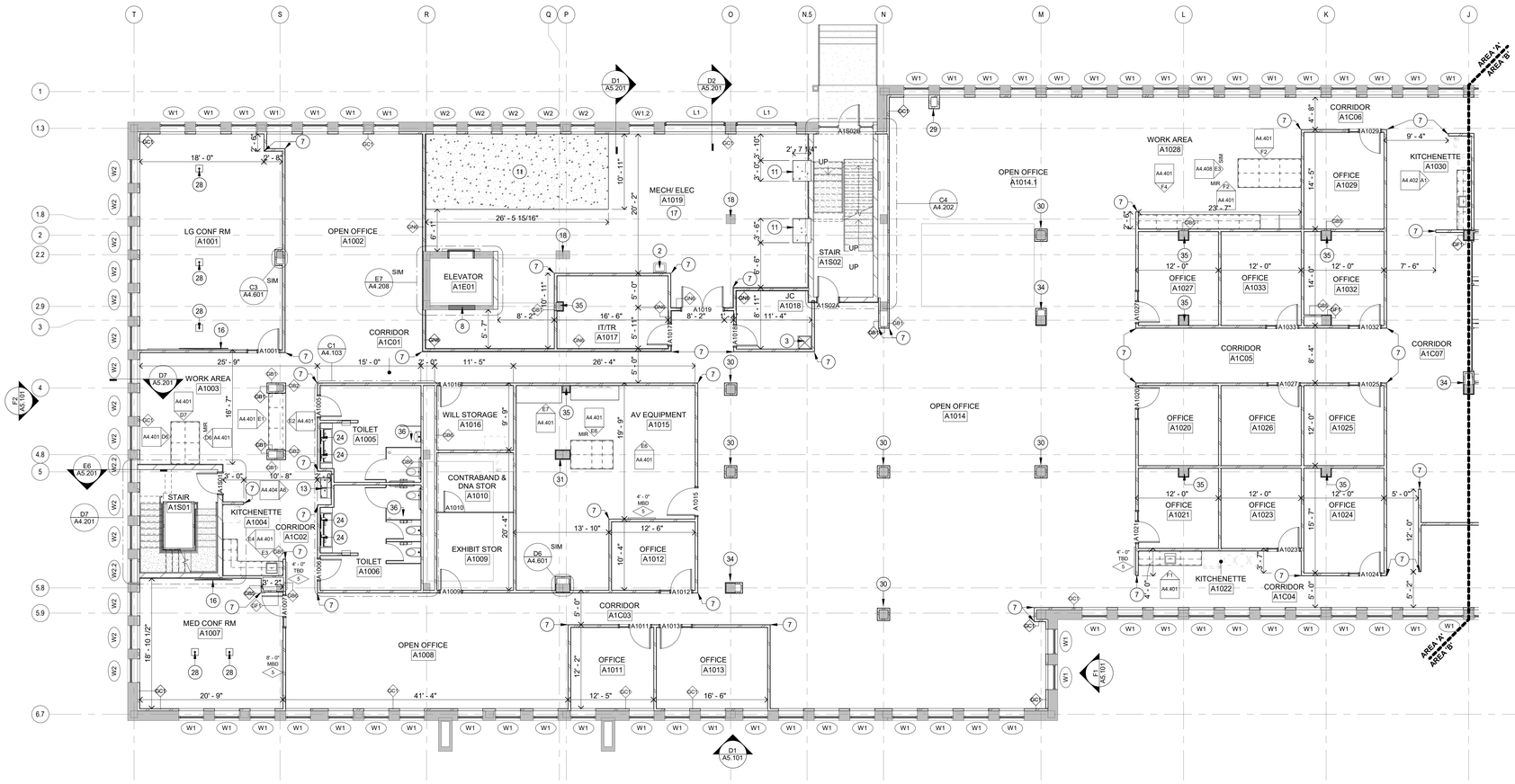
Revisions		
Description	Date	Num

Comm: **203101**
Date: **01/16/2022**
Drawn: **ACM**
Check: **JW**
North

GROUND LEVEL FLOOR PLAN - AREA 'C'

Scale: **As Indicated**

A2.01c



D1 FIRST LEVEL FLOOR PLAN - AREA 'A'
1/8" = 1'-0"
0 6' 12'

PLAN GENERAL NOTES

1. ALL PLAN DIMENSIONS ARE NOMINAL TO FACE OF WALL. WALL THICKNESSES ARE SHOWN NOMINAL, SEE WALL TYPES FOR ACTUAL THICKNESS.
2. ALL INTERIOR GYPSUM BOARD WALLS TO BE 5 INCHES THICK, TYPE GA6, UNLESS NOTED OTHERWISE ON THE PLANS.
3. ALL CONCRETE BLOCK WALLS ARE TO BE 8 INCHES THICK UNLESS OTHERWISE NOTED.
4. COORDINATE SIZE AND LOCATION OF ALL DUCT AND SHAFT OPENINGS IN WALLS AND FLOORS W/ MECH. AND ELEC. PROVIDE ALL REQUIRED LINTELS FOR OPENINGS. SEE LINTEL SCHEDULE.
5. FIELD VERIFY ALL MILLWORK OPENINGS.
6. SET FLOOR DRAINS 3/4" BELOW FINISHED CONCRETE FLOORS UNLESS OTHERWISE NOTED. PROVIDE CONSISTENT SLOPE FROM WALL TO DRAIN BY SLOPING CONCRETE, MIN. 1/4" PER FOOT.
7. VERIFY LOCATION, SIZE AND QUANTITY OF ALL MECHANICAL AND ELECTRICAL EQUIPMENT PADS WITH MECHANICAL AND ELECTRICAL.
8. ALL DOOR/SIDELITE OPENINGS TO BEGIN 4" FROM ADJACENT WALL UNLESS OTHERWISE NOTED.
9. FIRE RATED WALLS ARE INDICATED ON CODE PLANS.
10. SEE SHEET A2.901 FOR DOOR AND FRAME TYPES.
11. SEE SHEETS A2.911 AND A2.912 FOR DOOR/ OPENING SCHEDULES.
12. SEE SHEETS A1.110, A1.111, A1.112, A1.113, A1.114 FOR SLAB INFILL EXTENTS.

FLOOR PLAN KEY NOTES:

1. DOOR ACTUATOR - SEE ELEC AND DETAIL E4/A4.102.
2. SERVICE SINK - SEE MECHANICAL.
3. MOP SINK WITH SHELF, MOP HOLDER, AND STAINLESS STEEL BACKSPLASH - SEE INTERIOR ELEVATIONS B3/A4.102 AND B2/A4.102. SEE ALSO MECHANICAL.
4. CAN WASH - SEE MECHANICAL AND DETAIL F7/A4.702.
5. PATCH, PREP, AND PAINT GYP BOARD WALL TO MATCH EXISTING ADJACENT FINISH.
6. PATCH, PREP, AND PAINT CONCRETE BLOCK WALL TO MATCH EXISTING ADJACENT FINISH.
7. FULL HEIGHT STAINLESS STEEL CORNER GUARD. PROVIDE BLOCKING IN GYP BD WALLS FOR ANCHORING.
8. TOOTH-IN MASONRY AT REMOVED ITEM(S) PER THE DEMOLITION PLAN TO MATCH EXISTING COURSING.
9. LOCATION OF STACKED WASHER/ DRYER UNIT PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR. SEE ALSO MECHANICAL AND ELECTRICAL.
10. RECESSED FIRE EXTINGUISHER CABINET.
11. HOUSEKEEPING PAD - SEE DETAIL A3/A4.702. APPROXIMATE DIMENSIONS ARE SHOWN ON PLANS. COORDINATE EXACT SIZE AND LOCATION WITH ELECTRICAL AND MECHANICAL.
12. OPERABLE MANUAL WALL SYSTEM - SEE DOOR AND FRAME TYPE ELEVATIONS.
13. ELECTRIC WATER COOLER (EWC) - SEE MECHANICAL, ELECTRICAL, AND ELEVATION D7/A4.102
14. SEE ENLARGED PLANS FOR PEW INFORMATION - SEE DETAIL -/---
15. DISPLAY CASE - SEE DETAIL -/---
16. PROVIDE WD BLOCKING AT WALL MOUNTED EQUIPMENT - SEE TECHNOLOGY AND DETAIL F4/A4.102
17. INSTALL TRAFFIC TOPPING IN ENTIRE ROOM, INCLUDING ALL SURFACES OF FLOOR, CURBS, AND HOUSEKEEPING PADS. PROVIDE TRAFFIC TOPPING MIN 4" HIGH AT ALL PIPE PENETRATIONS ON BOOTS, ETC. TRAFFIC TOPPING IS A FINISHED FLOOR, PROTECT AFTER INSTALLATION.
18. PATCH, PREP, AND PAINT ENTIRE SURFACE OF EXISTING CONCRETE COLUMN PT XX.
19. FIN TUBE RADIATION AT EXTERIOR WALL - SEE MECHANICAL.
20. INFILL METAL STUD AND GYP BD WALL AT REMOVED DOOR PER THE DEMOLITION PLANS TO MATCH EXISTING ASSEMBLY AND THICKNESS. PREP AND PAINT TO MATCH EXISTING ADACENT FINISH.
21. GRIND / SHOT BLAST CONCRETE SLAB AS REQUIRED AT REMOVED ITEMS PER THE DEMOLITION PLANS. PROVIDE SELF-LEVELING TOPPING AS REQUIRED TO ACCEPT NEW FLOOR FINISH.
22. PROVIDE (14) COAT HOOKS. SEE INTERIOR ELEVATION -/--- FOR MOUNTING HEIGHTS.
23. FIRE ALARM PANEL - SEE ELECTRICAL.
24. BACKLIT MIRROR - SEE ELECTRICAL.
25. PERIMETER CURB AT WALL OR FLOOR PENETRATION - SEE DETAILS XX/X.XXX, XX/X.XXX, AND XX/X.XXX.
26. FLOOR EXPANSION JOINT - SEE DETAIL E1/A4.703.
27. CABINET UNIT HEATER - SEE MECHANICAL AND DETAIL D1/A4.703.
28. FLOOR BOX - SEE ELECTRICAL, TECHNOLOGY AND SLAB DEMO/INFILL PLANS.
29. CHASE AT CORRIDOR BENCHING - SEE DETAIL D2/A4.601
30. STUD COLUMN WRAP - SEE DETAIL B1/A4.601.
31. COLUMN WRAP - SEE DETAIL A1/A4.601.
32. COLUMN WRAP AT ACOUSTICAL SEPARATION - SEE DETAIL D1/A4.601.
33. COLUMN WRAP - SEE DETAIL E4/A4.601.
34. TYPICAL DRAIN CHASE - SEE DETAIL C5/A4.601.
35. COLUMN WRAP - SEE DETAIL E7/A4.601.
36. FLOOR DRAIN - SEE MECHANICAL.
37. WALL MOUNTED WEAPON LOCKER AS SPECIFIED.
38. WALL MOUNTED RADIO CHARGING RACK AS SPECIFIED.
39. MOBILE GALLERY WALL - SEE DETAIL .
40. FOLD DOWN LAPTOP COUNTER.

ROOM FINISH SCHEDULE GENERAL NOTES

1. SEE DETAILS OF CONSTRUCTION FOR ABBREVIATIONS
2. DISCREPANCIES BETWEEN THE ROOM FINISH SCHEDULE AND DRAWINGS SHALL BE REPORTED TO THE ARCHITECT FOR FINISH DETERMINATION.
3. ON WALLS WHICH ARE COVERED WITH MILLWORK AND TACK SURFACES, A FINISH SHALL NOT BE APPLIED TO THE WALL BEHIND EXCEPT FOR LOCATIONS WHICH MAY BE EXPOSED (I.E. SPACE BETWEEN MILLWORK AND TACK SURFACE.) CONCRETE BLOCK BEHIND MILLWORK AND MARKERBOARDS TO BE TOOLED.
4. REFER TO MATERIAL FINISH/ COLOR SCHEDULE FOR SPECIFIC FINISH TYPES AND COLORS.
5. FOR CEILING MATERIAL WHEN MORE THAN ONE CEILING MATERIAL OCCURS THE CEILING FINISH IS INDICATED THUS: "/".
6. PROVIDE VINYL BASE AT CASEWORK.
7. ELEVATOR LVT TO BE _____.
8. WHERE P.TILE BASE IS SCHEDULED, PROVIDE P.TILE BASE AS DETAILED AND SPECIFIED. SEE DETAIL XX/AX.XXX AND SPECIFICATION DIV 09.

ROOM FINISH SCHEDULE REMARKS

1. SEE INTERIOR ELEVATIONS FOR LOCATIONS AND PATTERNING OF P.TILE, WWP, AWP, FWC AND PAINT.
2. PROVIDE GYPSUM BOARD SOFFIT ABOVE CASEWORK. (SEE CASEWORK ELEVATIONS AND REFLECTED CEILING PLANS.)
3. SEE VERTICAL CIRCULATION SHEETS FOR STAIR AND ELEVATOR DETAILS, ELEVATIONS, AND SECTIONS.
4. SEE SHEETS A4.301, A4.302, A4.303, A4.304, AND A4.305 FOR FLOOR PATTERNING INFORMATION.
5. PAINT CEILING AND ALL EXPOSED STRUCTURE, PIPING, CONDUIT, MECHANICAL DUCTS AND VENTS PT-13.
6. PUBLIC AND STAFF ELEVATORS TO HAVE LUXURY VINYL TILE FLOOR LVT-X IN 1/3 RUNNING BOND WITH LAMINATE WALL PANELS IN P.LAM-X WITH REVEALS, METAL CEILING WITH RECESSED LIGHT FIXTURES.
7. HOLDING AND MAINTENANCE ELEVATORS TO HAVE DIAMOND PLATE FLOORS AND STAINLESS STEEL WALL PANELS.
8. SEE INTERIOR ELEVATIONS FOR GYP BD REVEAL LOCATIONS.
9. SLOPE CONC. FLOOR TOWARDS EXTERIOR DOOR. SEE PLANS FOR FLOORSLOPING INFORMATION.
10. PROVIDE P.TILE-1 TO A HEIGHT OF 3'-2". SEE DETAIL XX/AX.XXX FOR TILE PATTERN INFORMATION.
11. PROVIDE CRASH RAIL AT ALL PERIMETER WALLS IN THIS ROOM. SEE INTERIOR ELEVATION XX/ AX.XXX.
12. PROVIDE MOISTURE MITIGATION AT ALL EXISTING SLABS ON GRADE PER MANUFACTURER'S RECOMMENDATION. SEE SPECIFICATION SECTION 09 05 61 FOR FLOORING PREPARATION INFORMATION.
13. WOOD MOLDING ALIGNED WITH TOP OF DOOR FRAME; PT-2 BELOW MOLDING; PT-1 ABOVE MOLDING.
14. PROVIDE LEVEL X FINISH TO GYPSUM BOARD WALLS IN SHELLED SPACES AS SPECIFIED.

ROOM FINISH SCHEDULE - FIRST LEVEL AREA 'A'

				N WALL - TYP		E WALL		S WALL		W WALL		
ROOM NO	ROOM NAME	FLOOR	BASE	MATL	FIN	MATL	FIN	MATL	FIN	MATL	FIN	REMARKS
A1C01	CORRIDOR	CPT-4	VB-3	GYP BD	PT-1	--	--	GYP BD	PT-1/ PT-8	GYP BD	PT-2	
A1C02	CORRIDOR	CPT-4	VB-3	--	--	GYP BD	PT-1	--	--	GYP BD	PT-2	
A1C03	CORRIDOR	CPT-4	VB-3	GYP BD	PT-1	--	--	GYP BD	PT-1	GYP BD	PT-2	
A1C04	CORRIDOR	CPT-4	VB-3	GYP BD	PT-1	--	--	GYP BD	PT-1	--	--	
A1C05	CORRIDOR	CPT-4	VB-3	GYP BD	PT-1	--	--	GYP BD	PT-1	--	--	
A1C06	CORRIDOR	CPT-4	VB-3	GYP BD	PT-1	--	--	GYP BD	PT-1	--	--	
A1C07	CORRIDOR	CPT-4	VB-3	--	--	GYP BD	PT-1	--	--	GYP BD	PT-1	
A1E01	ELEVATOR	--	--	--	--	--	--	--	--	--	--	3, 7
A1S01	STAIR	RB-1/ RB-2	--	CBLK	PT-1	CBLK	PT-1	CBLK	PT-1	CBLK	PT-1	3
A1S02	STAIR	RB-1/ RB-2	--	GYP BD	PT-1	CBLK	PT-1	CBLK	PT-1	CBLK	PT-1	3
A1001	LG CONF RM	CPT-4/ CPT-6	VB-3	GYP BD	PT-1	GYP BD	PT-1	GYP BD	PT-8	GYP BD	PT-1	
A1002	OPEN OFFICE	CPT-4/ CPT-6	VB-3	GYP BD	PT-1	GYP BD	PT-8	--	--	GYP BD	PT-2	
A1003	WORK AREA	LVT-2	VB-3	--	--	GYP BD	PT-8	GYP BD	PT-1	GYP BD	PT-2	2
A1004	KITCHENETTE	LVT-2	VB-3	GYP BD	PT-1	GYP BD	PT-1	GYP BD	PT-2	GYP BD	PT-2	2
A1005	TOILET	P.TILE-2/ P.TILE-3	P.TILE	GYP BD	EPT-1	GYP BD	P.TILE-1/ EPT-1	GYP BD	EPT-1	GYP BD	EPT-1	
A1006	TOILET	P.TILE-2/ P.TILE-3	P.TILE	GYP BD	EPT-1	GYP BD	P.TILE-1/ EPT-1	GYP BD	EPT-1	GYP BD	EPT-1	
A1007	MED CONF RM	CPT-4/ CPT-6	VB-3	GYP BD	PT-8	GYP BD	PT-1	GYP BD	PT-1	GYP BD	PT-1	
A1008	OPEN OFFICE	CPT-4/ CPT-6	VB-3	--	--	GYP BD	PT-8	GYP BD	PT-1	GYP BD	PT-2	
A1009	EXHIBIT STOR	LVT-2	VB-3	--	--	GYP BD	PT-1	GYP BD	PT-1	GYP BD	PT-1	
A1010	CONTRABAND & DNA STOR	LVT-2	VB-3	GYP BD	PT-1	GYP BD	PT-1	--	--	GYP BD	PT-1	
A1011	OFFICE	CPT-4/ CPT-6	VB-3	GYP BD	PT-3	GYP BD	PT-8	GYP BD	PT-3	GYP BD	PT-3	
A1012	OFFICE	CPT-4/ CPT-6	VB-3	GYP BD	PT-3	GYP BD	PT-8	GYP BD	PT-3	GYP BD	PT-3	
A1013	OFFICE	CPT-4/ CPT-6	VB-3	GYP BD	PT-3	GYP BD	PT-3	GYP BD	PT-3	GYP BD	PT-8	
A1014	OPEN OFFICE	CPT-4/ CPT-6	VB-3	--	--	GYP BD	PT-2	GYP BD	PT-1	GYP BD	PT-8	
A1014.1	OPEN OFFICE	CPT-4/ CPT-6	VB-3	GYP BD	PT-1	GYP BD	PT-2	--	--	GYP BD	PT-8	
A1015	AV EQUIPMENT	LVT-2	VB-3	GYP BD	PT-1	GYP BD	PT-1	GYP BD	PT-1	GYP BD	PT-1	
A1016	WILL STORAGE	PTD CONC	VB-3	GYP BD	PT-1	GYP BD	PT-1	GYP BD	PT-1	GYP BD	PT-1	
A1017	IT/TR	PTD CONC	VB-3	GYP BD	PRIMED	GYP BD	PRIMED	GYP BD	PRIMED	GYP BD	PRIMED	
A1018	JC	PTD CONC	VB-3	GYP BD	PRIMED	GYP BD	PRIMED	GYP BD	PRIMED	GYP BD	PRIMED	
A1019	MECH/ ELEC	TT	VB-3	GYP BD	PRIMED	GYP BD	PRIMED	EXIST CONC/ GYP BD	PRIMED	EXIST CONC/ CBLK/ GYP BD	PRIMED	
A1020	OFFICE	CPT-4/ CPT-6	VB-3	GYP BD	PT-8	GYP BD	PT-3	GYP BD	PT-3	GYP BD	PT-3	
A1021	OFFICE	CPT-4/ CPT-6	VB-3	GYP BD	PT-3	GYP BD	PT-3	GYP BD	PT-8	GYP BD	PT-3	
A1022	KITCHENETTE	LVT-2	VB-3	GYP BD	PT-2	GYP BD	PT-1	--	--	GYP BD	PT-1	2
A1023	OFFICE	CPT-4/ CPT-6	VB-3	GYP BD	PT-3	GYP BD	PT-8	GYP BD	PT-3	GYP BD	PT-3	
A1024	OFFICE	CPT-4/ CPT-6	VB-3	GYP BD	PT-3	GYP BD	PT-8	GYP BD	PT-3	GYP BD	PT-3	
A1025	OFFICE	CPT-4/ CPT-6	VB-3	GYP BD	PT-3	GYP BD	PT-8	GYP BD	PT-3	GYP BD	PT-3	
A1026	OFFICE	CPT-4/ CPT-6	VB-3	GYP BD	PT-3	GYP BD	PT-8	GYP BD	PT-3	GYP BD	PT-3	
A1027	OFFICE	CPT-4/ CPT-6	VB-3	GYP BD	PT-3	GYP BD	PT-3	GYP BD	PT-8	GYP BD	PT-3	
A1028	WORK AREA	LVT-2	VB-3	--	--	GYP BD	PT-8	GYP BD	PT-1	GYP BD	PT-1	2
A1029	OFFICE	CPT-4/ CPT-6	VB-3	GYP BD	PT-3	GYP BD	PT-8	GYP BD	PT-8	GYP BD	PT-3	
A1030	KITCHENETTE	LVT-2	VB-3	GYP BD	PT-1	GYP BD	PT-2	GYP BD	PT-1	--	--	2
A1032	OFFICE	CPT-4/ CPT-6	VB-3	GYP BD	PT-3	GYP BD	PT-8	GYP BD	PT-3	GYP BD	PT-3	
A1033	OFFICE	CPT-4/ CPT-6	VB-3	GYP BD	PT-3	GYP BD	PT-8	GYP BD	PT-3	GYP BD	PT-3	

NOT FOR CONSTRUCTION

Court House Project Step 2 Renovate 1959 Court House #201705

515 W Moreland Boulevard
Waukesha, Wisconsin 53188

Waukesha County
515 W Moreland Boulevard
Waukesha, Wisconsin

KUENY ARCHITECTS
10905 Corporate Drive, Suite 100
Pleasant Prairie, Wisconsin 53158
kuenyarch.com | 262 857 8101

WOLD ARCHITECTS AND ENGINEERS
220 North Smith Street, Suite 310
Palatine, Illinois 60067
woldac.com | 847 241 6100

KEY PLAN

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed **ARCHITECT** under the laws of the State of **Wisconsin**

ARCH NAME
License Number: **reg num** Date **issue date**

Revisions		
Description	Date	Num

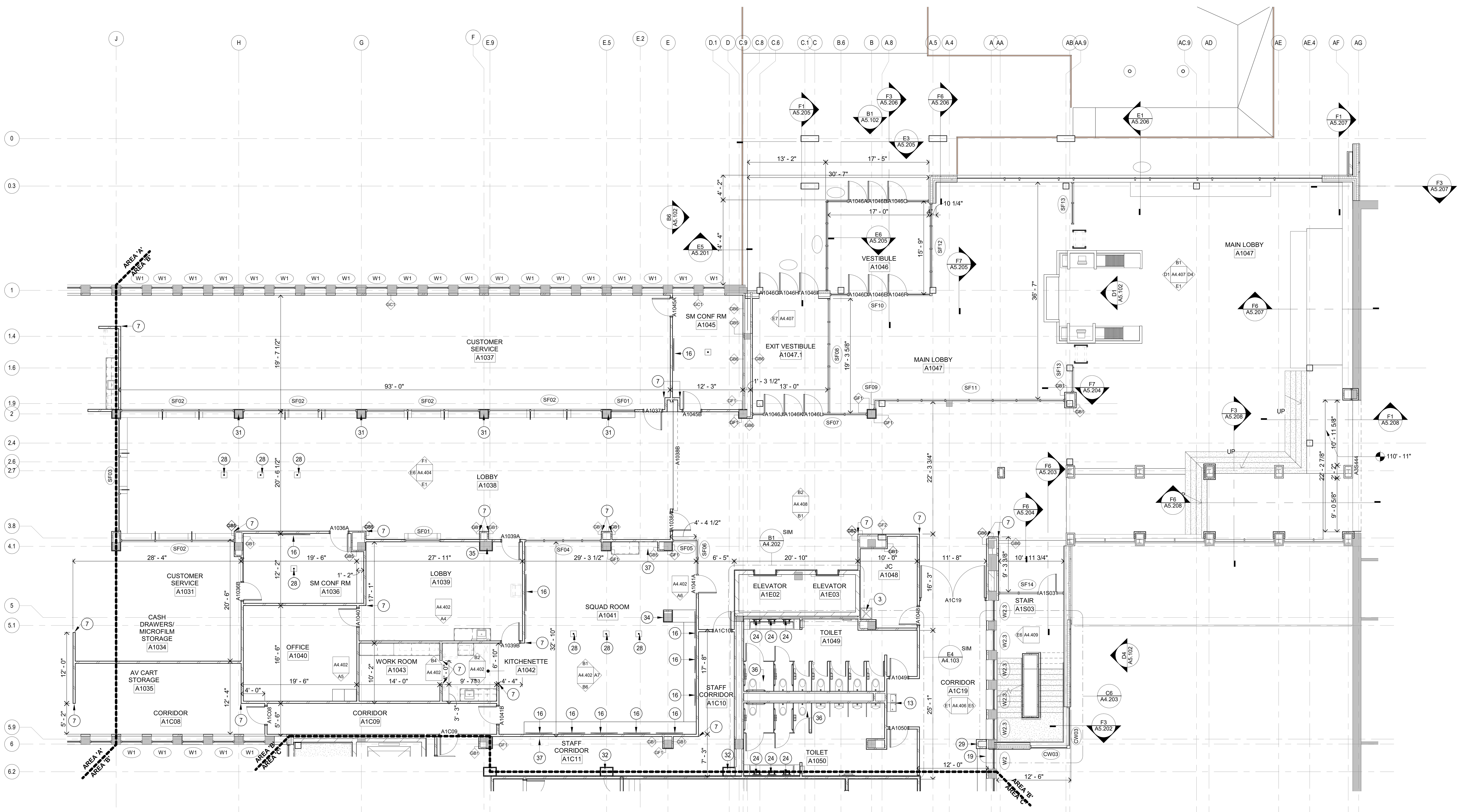
Comm: **203101**
Date: **01/16/2022**
Drawn: **AKM**
Check: **JW**

North

FIRST LEVEL FLOOR PLAN - AREA 'A'

Scale: **As Indicated**

A2.02a



D1 **FIRST LEVEL FLOOR PLAN - AREA 'B' OPTION 1**

1/8" = 1'-0"

PLAN GENERAL NOTES

1. ALL PLAN DIMENSIONS ARE NOMINAL TO FACE OF WALL. WALL THICKNESSES ARE SHOWN NOMINAL, SEE WALL TYPES FOR ACTUAL THICKNESS.
2. ALL INTERIOR GYPSUM BOARD WALLS TO BE 5 INCHES THICK, TYPE GA6, UNLESS NOTED OTHERWISE ON THE PLANS.
3. ALL CONCRETE BLOCK WALLS ARE TO BE 8 INCHES THICK UNLESS OTHERWISE NOTED.
4. COORDINATE SIZE AND LOCATION OF ALL DUCT AND SHAFT OPENINGS IN WALLS AND FLOORS W/ MECH. AND ELEC. PROVIDE ALL REQUIRED LINTELS FOR OPENINGS. SEE LINTEL SCHEDULE.
5. FIELD VERIFY ALL MILLWORK OPENINGS.
6. SET FLOOR DRAINS 3/4" BELOW FINISHED CONCRETE FLOORS UNLESS OTHERWISE NOTED. PROVIDE CONSISTENT SLOPE FROM WALL TO DRAIN BY SLOPING CONCRETE, MIN. 1/4" PER FOOT.
7. VERIFY LOCATION, SIZE AND QUANTITY OF ALL MECHANICAL AND ELECTRICAL EQUIPMENT PADS WITH MECHANICAL AND ELECTRICAL.
8. ALL DOOR/SIDELITE OPENINGS TO BEGIN 4" FROM ADJACENT WALL UNLESS OTHERWISE NOTED.
9. FIRE RATED WALLS ARE INDICATED ON CODE PLANS.
10. SEE SHEET A2.901 FOR DOOR AND FRAME TYPES.
11. SEE SHEETS A2.911 AND A2.912 FOR DOOR/ OPENING SCHEDULES.
12. SEE SHEETS A1.110, A1.111, A1.112, A1.113, A1.114 FOR SLAB INFILL EXTENTS.

FLOOR PLAN KEY NOTES:

1. DOOR ACTUATOR - SEE ELEC AND DETAIL E4/A4.102.
2. SERVICE SINK - SEE MECHANICAL.
3. MOP SINK WITH SHELF, MOP HOLDER, AND STAINLESS STEEL BACKSPLASH - SEE INTERIOR ELEVATIONS B3/A4.102 AND B2/A4.102. SEE ALSO MECHANICAL.
4. CAN WASH - SEE MECHANICAL AND DETAIL F7/A4.702.
5. PATCH, PREP, AND PAINT GYP BOARD WALL TO MATCH EXISTING ADJACENT FINISH.
6. PATCH, PREP, AND PAINT CONCRETE BLOCK WALL TO MATCH EXISTING ADJACENT FINISH.
7. FULL HEIGHT STAINLESS STEEL CORNER GUARD. PROVIDE BLOCKING IN GYP BD WALLS FOR ANCHORING.
8. TOOTH-IN MASONRY AT REMOVED ITEM(S) PER THE DEMOLITION PLAN TO MATCH EXISTING COURSING.
9. LOCATION OF STACKED WASHER/ DRYER UNIT PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR. SEE ALSO MECHANICAL AND ELECTRICAL.
10. RECESSED FIRE EXTINGUISHER CABINET.
11. HOUSEKEEPING PAD - SEE DETAIL A3/A4.702. APPROXIMATE DIMENSIONS ARE SHOWN ON PLANS. COORDINATE EXACT SIZE AND LOCATION WITH ELECTRICAL AND MECHANICAL.
12. OPERABLE MANUAL WALL SYSTEM - SEE DOOR AND FRAME TYPE ELEVATIONS.
13. ELECTRIC WATER COOLER (EWC) - SEE MECHANICAL, ELECTRICAL, AND ELEVATION D7/A4.102
14. SEE ENLARGED PLANS FOR PEW INFORMATION - SEE DETAIL -/--- .
15. DISPLAY CASE - SEE DETAIL -/---
16. PROVIDE WD BLOCKING AT WALL MOUNTED EQUIPMENT - SEE TECHNOLOGY AND DETAIL F4/A4.102
17. INSTALL TRAFFIC TOPPING IN ENTIRE ROOM, INCLUDING ALL SURFACES OF FLOOR, CURBS, AND HOUSEKEEPING PADS. PROVIDE TRAFFIC TOPPING MIN 4" HIGH AT ALL PIPE PENETRATIONS ON BOOTS, ETC. TRAFFIC TOPPING IS A FINISHED FLOOR, PROTECT AFTER INSTALLATION.
18. PATCH, PREP, AND PAINT ENTIRE SURFACE OF EXISTING CONCRETE COLUMN PT XX.
19. FIN TUBE RADIATION AT EXTERIOR WALL - SEE MECHANICAL .
20. INFILL METAL STUD AND GYP BD WALL AT REMOVED DOOR PER THE DEMOLITION PLANS TO MATCH EXISTING ASSEMBLY AND THICKNESS. PREP AND PAINT TO MATCH EXISTING ADACENT FINISH.
21. GRIND / SHOT BLAST CONCRETE SLAB AS REQUIRED AT REMOVED ITEMS PER THE DEMOLITION PLANS. PROVIDE SELF-LEVELING TOPPING AS REQUIRED TO ACCEPT NEW FLOOR FINISH.
22. PROVIDE (14) COAT HOOKS. SEE INTERIOR ELEVATION -/--- FOR MOUNTING HEIGHTS.
23. FIRE ALARM PANEL - SEE ELECTRICAL.
24. BACKLIT MIRROR - SEE ELECTRICAL.
25. PERIMETER CURB AT WALL OR FLOOR PENETRATION - SEE DETAILS XX/X.XXX, XX/X.XXX, AND XX/X.XXX.
26. FLOOR EXPANSION JOINT - SEE DETAIL E1/A4.703.
27. CABINET UNIT HEATER - SEE MECHANICAL AND DETAIL D1/A4.703.
28. FLOOR BOX - SEE ELECTRICAL, TECHNOLOGY AND SLAB DEMO/INFILL PLANS.
29. CHASE AT CORRIDOR BENCHING - SEE DETAIL D2/A4.601
30. STUD COLUMN WRAP - SEE DETAIL B1/A4.601.
31. COLUMN WRAP - SEE DETAIL A1/A4.601.
32. COLUMN WRAP AT ACOUSTICAL SEPARATION - SEE DETAIL D1/A4.601.
33. COLUMN WRAP - SEE DETAIL E4/A4.601.
34. TYPICAL DRAIN CHASE - SEE DETAIL C5/A4.601.
35. COLUMN WRAP - SEE DETAIL E7/A4.601.
36. FLOOR DRAIN - SEE MECHANICAL.
37. WALL MOUNTED WEAPON LOCKER AS SPECIFIED.
38. WALL MOUNTED RADIO CHARGING RACK AS SPECIFIED.
39. MOBILE GALLERY WALL - SEE DETAIL .
40. FOLD DOWN LAPTOP COUNTER.

ROOM FINISH SCHEDULE GENERAL NOTES

1. SEE DETAILS OF CONSTRUCTION FOR ABBREVIATIONS
2. DISCREPANCIES BETWEEN THE ROOM FINISH SCHEDULE AND DRAWINGS SHALL BE REPORTED TO THE ARCHITECT FOR FINISH DETERMINATION.
3. ON WALLS WHICH ARE COVERED WITH MILLWORK AND TACK SURFACES, A FINISH SHALL NOT BE APPLIED TO THE WALL BEHIND EXCEPT FOR LOCATIONS WHICH MAY BE EXPOSED (I.E. SPACE BETWEEN MILLWORK AND TACK SURFACE.) CONCRETE BLOCK BEHIND MILLWORK AND MARKERBOARDS TO BE TOOLED.
4. REFER TO MATERIAL FINISH/ COLOR SCHEDULE FOR SPECIFIC FINISH TYPES AND COLORS.
5. FOR CEILING MATERIAL WHEN MORE THAN ONE CEILING MATERIAL OCCURS THE CEILING FINISH IS INDICATED THUS: "/".
6. PROVIDE VINYL BASE AT CASEWORK.
7. ELEVATOR LVT TO BE ______________.
8. WHERE P.TILE BASE IS SCHEDULED, PROVIDE P.TILE BASE AS DETAILED AND SPECIFIED. SEE DETAIL XX/AX.XXX AND SPECIFICATION DIV 09.

ROOM FINISH SCHEDULE REMARKS

1. SEE INTERIOR ELEVATIONS FOR LOCATIONS AND PATTERNING OF P.TILE, WWP, AWP, FWC AND PAINT.
2. PROVIDE GYPSUM BOARD SOFFIT ABOVE CASEWORK. (SEE CASEWORK ELEVATIONS AND REFLECTED CEILING PLANS.)
3. SEE VERTICAL CIRCULATION SHEETS FOR STAIR AND ELEVATOR DETAILS, ELEVATIONS, AND SECTIONS.
4. SEE SHEETS A4.301, A4.302, A4.303, A4.304, AND A4.305 FOR FLOOR PATTERNING INFORMATION.
5. PAINT CEILING AND ALL EXPOSED STRUCTURE, PIPING, CONDUIT, MECHANICAL DUCTS AND VENTS PT-13.
6. PUBLIC AND STAFF ELEVATORS TO HAVE LUXURY VINYL TILE FLOOR LVT-X IN 1/3 RUNNING BOND WITH LAMINATE WALL PANELS IN P.LAM-X WITH REVEALS, METAL CEILING WITH RECESSED LIGHT FIXTURES.
7. HOLDING AND MAINTENANCE ELEVATORS TO HAVE DIAMOND PLATE FLOORS AND STAINLESS STEEL WALL PANELS.
8. SEE INTERIOR ELEVATIONS FOR GYP BD REVEAL LOCATIONS.
9. SLOPE CONC. FLOOR TOWARDS EXTERIOR DOOR. SEE PLANS FOR FLOORSLOPING INFORMATION.
10. PROVIDE P.TILE-1 TO A HEIGHT OF 3'-2". SEE DETAIL XX/AX.XXX FOR TILE PATTERN INFORMATION.
11. PROVIDE CRASH RAIL AT ALL PERIMETER WALLS IN THIS ROOM. SEE INTERIOR ELEVATION XX/ AX.XXX.
12. PROVIDE MOISTURE MITIGATION AT ALL EXISTING SLABS ON GRADE PER MANUFACTURER'S RECOMMENDATION. SEE SPECIFICATION SECTION 09 05 61 FOR FLOORING PREPARATION INFORMATION.
13. WOOD MOLDING ALIGNED WITH TOP OF DOOR FRAME; PT-2 BELOW MOLDING; PT-1 ABOVE MOLDING.
14. PROVIDE LEVEL X FINISH TO GYPSUM BOARD WALLS IN SHELLED SPACES AS SPECIFIED.

ROOM FINISH SCHEDULE - FIRST LEVEL AREA 'B'

ROOM NO	ROOM NAME	FLOOR	BASE	N WALL - TYP MATL	N WALL - TYP FIN	E WALL MATL	E WALL FIN	S WALL MATL	S WALL FIN	W WALL MATL	W WALL FIN	REMARKS
A1C08	CORRIDOR	CPT-4	VB-3	GYP BD	PT-1	GYP BD	PT-1	GYP BD	PT-1	--	--	
A1C09	CORRIDOR	CPT-4	VB-3	GYP BD	PT-1	GYP BD	PT-1	GYP BD	PT-1	GYP BD	PT-1	
A1C10	STAFF CORRIDOR	CPT-2	VB-1	GYP BD	PT-1	GYP BD	PT-1	GYP BD	PT-1	GYP BD	PT-1	
A1C11	STAFF CORRIDOR	CPT-2	VB-1	GYP BD	PT-1	GYP BD	PT-1	GYP BD	PT-1	GYP BD	PT-1	
A1C19	CORRIDOR	LVT-1/ LVT-2	P.TILE	GYP BD	P.TILE-1/ PT-3	GYP BD	P.TILE-1/ FWC-2/ PT-3	--	--	GYP BD	P.TILE-1/ PT-3	1
A1E02	ELEVATOR	--	--	--	--	--	--	--	--	--	--	3, 6
A1E03	ELEVATOR	--	--	--	--	--	--	--	--	--	--	3, 6
A1S03	STAIR	RB-1/ RB-2	--	GYP BD	PT-1	GYP BD	PT-1	GYP BD	PT-1	EXIST STN/ GYP BD	--/ PT-1	3
A1031	CUSTOMER SERVICE	CPT-4/ CPT-6	VB-3	GYP BD	PT-1	GYP BD	PT-1	--	--	--	--	
A1034	CASH DRAWERS/ MICROFILM STORAGE	CPT-4	VB-3	--	--	GYP BD	PT-1	GYP BD	PT-1	GYP BD	PT-1	
A1035	AV CART STORAGE	CPT-4	VB-3	GYP BD	PT-1	GYP BD	PT-1	--	--	GYP BD	PT-1	
A1036	SM CONF RM	CPT-4/ CPT-6	VB-3	GYP BD	PT-8	GYP BD	PT-1	GYP BD	PT-1	GYP BD	PT-1	
A1037	CUSTOMER SERVICE	CPT-4/ CPT-6	VB-3	GYP BD	PT-1	GYP BD	PT-1	GYP BD	PT-1	GYP BD	PT-1	
A1038	LOBBY	LVT-1/ LVT-2	P.TILE	GYP BD	P.TILE-1/ FWC-2/ PT-3	GYP BD	P.TILE-1/ FWC-2/ PT-3	GYP BD	P.TILE-1/ FWC-2/ PT-3	GYP BD	P.TILE-1/ FWC-2/ PT-3	
A1039	LOBBY	CPT-4/ CPT-6/ LVT-2	VB-3	GYP BD	PT-1	GYP BD	PT-7	GYP BD	PT-1	GYP BD	PT-1	2
A1040	OFFICE	CPT-4/ CPT-6	VB-3	GYP BD	PT-7	GYP BD	PT-3	GYP BD	PT-3	GYP BD	PT-3	
A1041	SQUAD ROOM	CPT-4/ CPT-6	VB-3	GYP BD	PT-1	GYP BD	PT-1	GYP BD	PT-1	GYP BD	PT-7	
A1042	KITCHENETTE	LVT-2	VB-3	GYP BD	PT-2	GYP BD	PT-1	GYP BD	PT-2	GYP BD	PT-1	2
A1043	WORK ROOM	LVT-2	VB-3	GYP BD	PT-1	GYP BD	PT-1	GYP BD	PT-1	GYP BD	PT-7	2
A1045	SM CONF RM	CPT-4/ CPT-6	VB-3	GYP BD	PT-1	GYP BD	PT-1	GYP BD	PT-1	GYP BD	PT-8	
A1046	VESTIBULE	CPT-8	VB-3	GYP BD	PT-3	GYP BD	PT-3	GYP BD	PT-3	GYP BD	PT-3	
A1047	MAIN LOBBY	P.TILE-2/ P.TILE-3	P.TILE	GYP BD	PT-3	GYP BD	AWP-3/ PT-3	GYP BD	P.TILE-1/ FWC-2/ PT-3	GYP BD	AWP-3/ PT-3	1
A1047.1	EXIT VESTIBULE	CPT-8	VB-3	GYP BD	PT-3	GYP BD	PT-3	GYP BD	PT-3	GYP BD	PT-3	
A1048	JC	PTD CONC	VB-3	GYP BD	PRIMED	GYP BD	PRIMED	GYP BD	PRIMED	GYP BD	PRIMED	
A1049	TOILET	P.TILE-2/ P.TILE-3	P.TILE	GYP BD	P.TILE-1	GYP BD	P.TILE-1	GYP BD	P.TILE-1	GYP BD	P.TILE-1	
A1050	TOILET	P.TILE-2/ P.TILE-3	P.TILE	GYP BD	P.TILE-1	GYP BD	P.TILE-1	GYP BD	P.TILE-1	GYP BD	P.TILE-1	

Court House Project Step 2 Renovate 1959 Court House #201705

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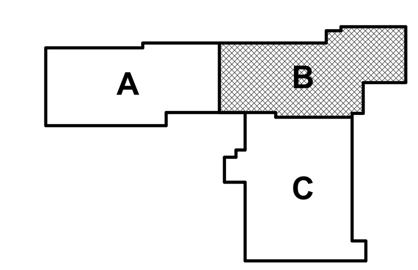
KUENY ARCHITECTS
10505 Corporate Drive, Suite 100
Pleasant Prairie, Wisconsin 53158
kuenyarch.com | 262 857 8101

WOLD ARCHITECTS AND ENGINEERS
220 North Smith Street, Suite 310
Palatine, Illinois 60067
woldae.com | 847 241 6100



KEY PLAN

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed **ARCHITECT** under the laws of the State of **Wisconsin**

ARCH NAME
License Number: **reg num** Date **issue date**

Revisions		
Description	Date	Num

Comm: 203101
Date: 01/16/2022
Drawn: ACM
Check: JW

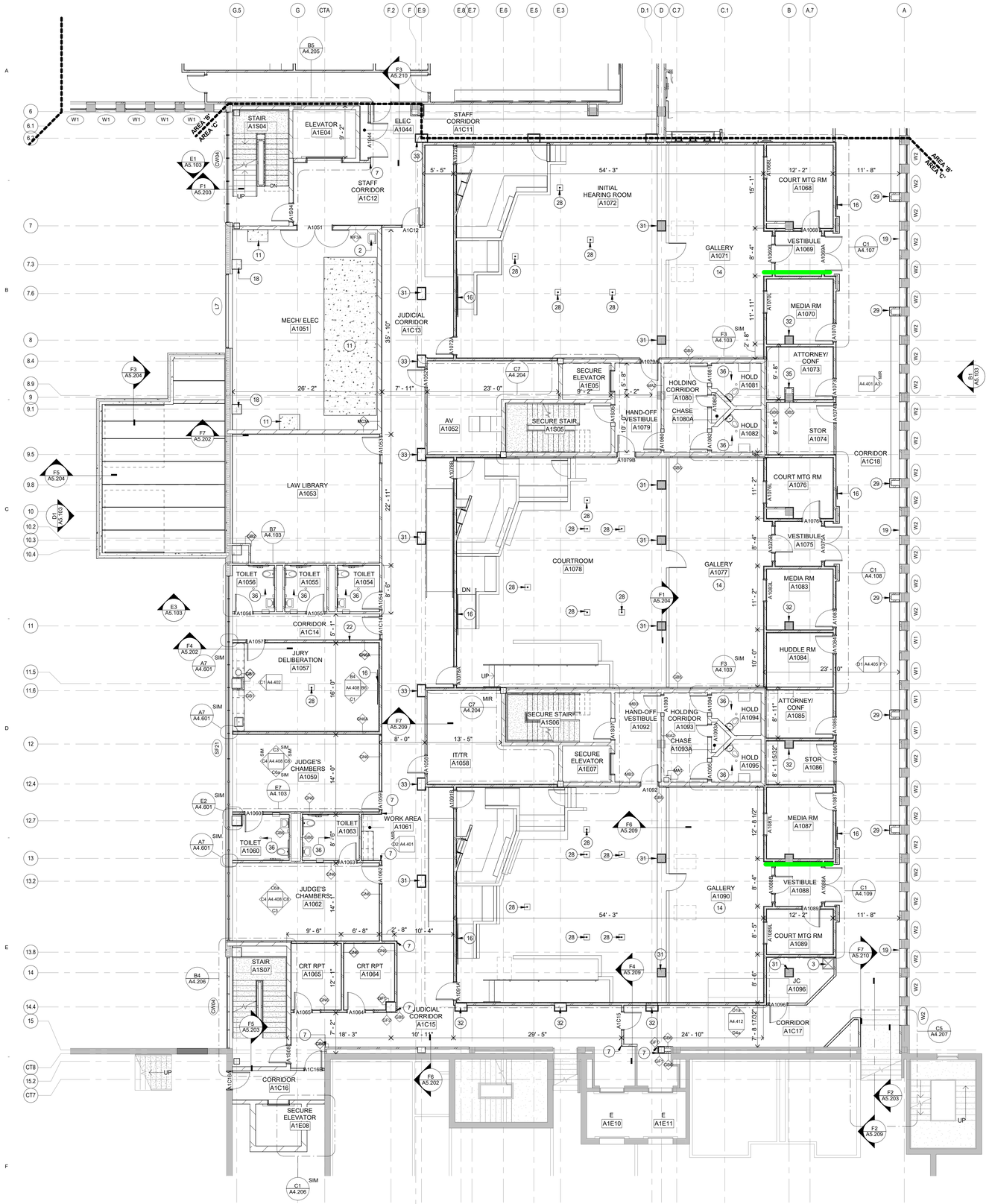
North

FIRST LEVEL FLOOR PLAN - AREA 'B'

Scale: As indicated

NOT FOR CONSTRUCTION

A2.02b



F1 FIRST LEVEL FLOOR PLAN - AREA 'C'
1/8" = 1'-0"

FLOOR PLAN KEY NOTES:

1. DOOR ACTUATOR - SEE ELEC AND DETAIL E4/A4.102.
2. SERVICE SINK - SEE MECHANICAL.
3. MOP SINK WITH SHELF, MOP HOLDER, AND STAINLESS STEEL BACKSPLASH - SEE INTERIOR ELEVATIONS B3/A4.102 AND B2/A4.102. SEE ALSO MECHANICAL.
4. CAN WASH - SEE MECHANICAL AND DETAIL F7/A4.702.
5. PATCH, PREP, AND PAINT GYP BOARD WALL TO MATCH EXISTING ADJACENT FINISH.
6. PATCH, PREP, AND PAINT CONCRETE BLOCK WALL TO MATCH EXISTING ADJACENT FINISH.
7. FULL HEIGHT STAINLESS STEEL CORNER GUARD. PROVIDE BLOCKING IN GYP BD WALLS FOR ANCHORING.
8. TOOTH-IN MASONRY AT REMOVED ITEM(S) PER THE DEMOLITION PLAN TO MATCH EXISTING COURSING.
9. LOCATION OF STACKED WASHER/ DRYER UNIT PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR. SEE ALSO MECHANICAL AND ELECTRICAL.
10. RECESSED FIRE EXTINGUISHER CABINET.
11. HOUSEKEEPING PAD - SEE DETAIL A3/A4.702. APPROXIMATE DIMENSIONS ARE SHOWN ON PLANS. COORDINATE EXACT SIZE AND LOCATION WITH ELECTRICAL AND MECHANICAL.
12. OPERABLE MANUAL WALL SYSTEM - SEE DOOR AND FRAME TYPE ELEVATIONS.
13. ELECTRIC WATER COOLER (EWC) - SEE MECHANICAL, ELECTRICAL, AND ELEVATION D7/A4.102
14. SEE ENLARGED PLANS FOR PEW INFORMATION - SEE DETAIL -/---
15. DISPLAY CASE - SEE DETAIL -/---
16. PROVIDE WD BLOCKING AT WALL MOUNTED EQUIPMENT - SEE TECHNOLOGY AND DETAIL F4/A4.102
17. INSTALL TRAFFIC TOPPING IN ENTIRE ROOM, INCLUDING ALL SURFACES OF FLOOR, CURBS, AND HOUSEKEEPING PADS. PROVIDE TRAFFIC TOPPING MIN 4" HIGH AT ALL PIPE PENETRATIONS ON BOOTS, ETC. TRAFFIC TOPPING IS A FINISHED FLOOR, PROTECT AFTER INSTALLATION.
18. PATCH, PREP, AND PAINT ENTIRE SURFACE OF EXISTING CONCRETE COLUMN PT XX.
19. FIN TUBE RADIATION AT EXTERIOR WALL - SEE MECHANICAL .
20. INFILL METAL STUD AND GYP BD WALL AT REMOVED DOOR PER THE DEMOLITION PLANS TO MATCH EXISTING ASSEMBLY AND THICKNESS. PREP AND PAINT TO MATCH EXISTING ADACENT FINISH.
21. GRIND / SHOT BLAST CONCRETE SLAB AS REQUIRED AT REMOVED ITEMS PER THE DEMOLITION PLANS. PROVIDE SELF-LEVELING TOPPING AS REQUIRED TO ACCEPT NEW FLOOR FINISH.
22. PROVIDE (14) COAT HOOKS. SEE INTERIOR ELEVATION -/--- FOR MOUNTING HEIGHTS.
23. FIRE ALARM PANEL - SEE ELECTRICAL.
24. BACKLIT MIRROR - SEE ELECTRICAL.
25. PERIMETER CURB AT WALL OR FLOOR PENETRATION - SEE DETAILS XX/X.XXX, XX/X.XXX, AND XX/X.XXX.
26. FLOOR EXPANSION JOINT - SEE DETAIL E1/A4.703.
27. CABINET UNIT HEATER - SEE MECHANICAL AND DETAIL D1/A4.703.
28. FLOOR BOX - SEE ELECTRICAL, TECHNOLOGY AND SLAB DEMO/INFILL PLANS.
29. CHASE AT CORRIDOR BENCHING - SEE DETAIL D2/A4.601
30. STUD COLUMN WRAP - SEE DETAIL B1/A4.601.
31. COLUMN WRAP - SEE DETAIL A1/A4.601.
32. COLUMN WRAP AT ACOUSTICAL SEPARATION - SEE DETAIL D1/A4.601.
33. COLUMN WRAP - SEE DETAIL E4/A4.601.
34. TYPICAL DRAIN CHASE - SEE DETAIL C5/A4.601.
35. COLUMN WRAP - SEE DETAIL E7/A4.601.
36. FLOOR DRAIN - SEE MECHANICAL.
37. WALL MOUNTED WEAPON LOCKER AS SPECIFIED.
38. WALL MOUNTED RADIO CHARGING RACK AS SPECIFIED.
39. MOBILE GALLERY WALL - SEE DETAIL .
40. FOLD DOWN LAPTOP COUNTER.

PLAN GENERAL NOTES

1. ALL PLAN DIMENSIONS ARE NOMINAL TO FACE OF WALL. WALL THICKNESSES ARE SHOWN NOMINAL, SEE WALL TYPES FOR ACTUAL THICKNESS.
2. ALL INTERIOR GYPSUM BOARD WALLS TO BE 5 INCHES THICK, TYPE GA6, UNLESS NOTED OTHERWISE ON THE PLANS.
3. ALL CONCRETE BLOCK WALLS ARE TO BE 8 INCHES THICK UNLESS OTHERWISE NOTED.
4. COORDINATE SIZE AND LOCATION OF ALL DUCT AND SHAFT OPENINGS IN WALLS AND FLOORS W/ MECH. AND ELEC. PROVIDE ALL REQUIRED LINTELS FOR OPENINGS. SEE LINTEL SCHEDULE.
5. FIELD VERIFY ALL MILLWORK OPENINGS.
6. SET FLOOR DRAINS 3/4" BELOW FINISHED CONCRETE FLOORS UNLESS OTHERWISE NOTED. PROVIDE CONSISTENT SLOPE FROM WALL TO DRAIN BY SLOPING CONCRETE, MIN. 1/4" PER FOOT.
7. VERIFY LOCATION, SIZE AND QUANTITY OF ALL MECHANICAL AND ELECTRICAL EQUIPMENT PADS WITH MECHANICAL AND ELECTRICAL.
8. ALL DOOR/SIDELITE OPENINGS TO BEGIN 4" FROM ADJACENT WALL UNLESS OTHERWISE NOTED.
9. FIRE RATED WALLS ARE INDICATED ON CODE PLANS.
10. SEE SHEET A2.901 FOR DOOR AND FRAME TYPES.
11. SEE SHEETS A2.911 AND A2.912 FOR DOOR/ OPENING SCHEDULES.
12. SEE SHEETS A1.110, A1.111, A1.112, A1.113, A1.114 FOR SLAB INFILL EXTENTS.

ROOM FINISH SCHEDULE - FIRST LEVEL AREA 'C'

ROOM NO	ROOM NAME	FLOOR	BASE	N WALL - TYP MATL	N WALL - TYP FIN	E WALL MATL	E WALL FIN	S WALL MATL	S WALL FIN	W WALL MATL	W WALL FIN	REMARKS
A1C12	STAFF CORRIDOR	CPT-2	VB-1	GYP BD	PT-1	GYP BD	PT-1	GYP BD	PT-1	GYP BD	PT-8	
A1C13	JUDICIAL CORRIDOR	CPT-2	VB-1	GYP BD	PT-1	GYP BD	PT-2	GYP BD/ --	PT-1/ --	GYP BD	PT-1	
A1C14	CORRIDOR	CPT-3	VB-1	GYP BD	PT-1	GYP BD	PT-1	GYP BD	PT-1	GYP BD	PT-1	
A1C15	JUDICIAL CORRIDOR	CPT-2	VB-1	GYP BD	PT-1	EXIST GYP BD/ GYP BD	PT-1	EXIST GYP BD/ GYP BD	PT-1	GYP BD	PT-8	
A1C16	CORRIDOR	PTD CONC	VB-1	CBLK/ GYP BD	EPT-1	EXIST CONC	EPT-1	CBLK	EPT-1	EXIST CONC	EPT-1	
A1C17	CORRIDOR	LVT-1/ LVT-2	P.TILE	GYP BD	P.TILE-1/ PT-3	GYP BD	P.TILE-1/ PT-3	EXIST GYP BD/ GYP BD	P.TILE-1/ PT-3	EXIST GYP BD/ GYP BD	P.TILE-1/ PT-3	
A1C18	CORRIDOR	LVT-1/ LVT-2	P.TILE	--	--	GYP BD	P.TILE-1/ FWC-2/ PT-3	GYP BD	P.TILE-1/ PT-3	GYP BD	P.TILE-1/ AWP-2/ FWC-2/ PT-3	1
A1E04	ELEVATOR	--	--	--	--	--	--	--	--	--	--	3, 6
A1E05	SECURE ELEVATOR	--	--	--	--	--	--	--	--	--	--	3, 7
A1E07	SECURE ELEVATOR	--	--	--	--	--	--	--	--	--	--	3, 7
A1E08	SECURE ELEVATOR	--	--	--	--	--	--	--	--	--	--	3, 7
A1S04	STAIR	RB-1/ RB-2	--	CBLK/ GYP BD	PT-1	CBLK/ GYP BD	PT-1	CBLK/ GYP BD	PT-1	GYP BD	PT-1	3
A1S05	SECURE STAIR	PTD CONC	--	CBLK	EPT-1	CBLK	EPT-1	CBLK	EPT-1	CBLK	EPT-1	3
A1S06	SECURE STAIR	PTD CONC	--	CBLK	EPT-1	CBLK	EPT-1	CBLK	EPT-1	CBLK	EPT-1	3
A1S07	STAIR	RB-1/ RB-2	--	CBLK/ GYP BD	PT-1	CBLK/ GYP BD	PT-1	CBLK/ GYP BD	PT-1	GYP BD	PT-1	3
A1044	ELEC	PTD CONC	VB-1	GYP BD	PRIMED	GYP BD	PRIMED	GYP BD	PRIMED	GYP BD	PRIMED	
A1051	MECH/ ELEC	TT	VB-1	CBLK	PRIMED	CBLK	PRIMED	CBLK	PRIMED	GYP BD	PRIMED	
A1052	AV	PTD CONC	VB-1	GYP BD	PRIMED	CBLK	PRIMED	CBLK/ GYP BD	PRIMED	GYP BD	PRIMED	
A1053	LAW LIBRARY	CPT-2	VB-1	GYP BD	PT-1	GYP BD	PT-2	GYP BD	PT-1	GYP BD	PT-1	
A1054	TOILET	P.TILE-2	P.TILE	GYP BD	EPT-1	GYP BD	EPT-1	GYP BD	EPT-1	GYP BD	P.TILE-1	
A1055	TOILET	P.TILE-2	P.TILE	GYP BD	EPT-1	GYP BD	EPT-1	GYP BD	EPT-1	GYP BD	P.TILE-1	
A1056	TOILET	P.TILE-2	P.TILE	GYP BD	EPT-1	GYP BD	P.TILE-1	GYP BD	EPT-1	GYP BD	EPT-1	
A1057	JURY DELIBERATION	CPT-2	VB-1	GYP BD	PT-1	GYP BD	PT-1	GYP BD	PT-1	GYP BD	PT-2	
A1058	IT/TR	PTD CONC	VB-1	CBLK/ GYP BD	PRIMED	CBLK	PRIMED	GYP BD	PRIMED	GYP BD	PRIMED	
A1059	JUDGE'S CHAMBERS	CPT-2	VB-1	GYP BD	PT-1/ PT-2	GYP BD	PT-1/ PT-2	GYP BD	PT-1/ PT-2	GYP BD	PT-1/ PT-2	13
A1060	TOILET	P.TILE-2	P.TILE	GYP BD	EPT-1	GYP BD	P.TILE-1	GYP BD	EPT-1	GYP BD	EPT-1	
A1061	WORK AREA	CPT-2	VB-1	GYP BD	PT-2	--	--	GYP BD	PT-2	GYP BD	PT-2	
A1062	JUDGE'S CHAMBERS	CPT-2	VB-1	GYP BD	PT-1/ PT-2	GYP BD	PT-1/ PT-2	GYP BD	PT-1/ PT-2	GYP BD	PT-1/ PT-2	13
A1063	TOILET	P.TILE-2	P.TILE	GYP BD	EPT-1	GYP BD	EPT-1	GYP BD	EPT-1	GYP BD	P.TILE-1	
A1064	CRT RPT	CPT-2	VB-1	GYP BD	PT-2	GYP BD	PT-1	GYP BD	PT-1	GYP BD	PT-1	
A1065	CRT RPT	CPT-2	VB-1	GYP BD	PT-2	GYP BD	PT-1	GYP BD	PT-1	GYP BD	PT-1	
A1068	COURT MTG RM	CPT-3	VB-1	GYP BD	PT-1	GYP BD	PT-1	GYP BD	PT-2	GYP BD	PT-1	
A1069	VESTIBULE	CPT-1	P.TILE	GYP BD	FWC-1	GYP BD	FWC-1	GYP BD	FWC-1	GYP BD	FWC-1	
A1070	MEDIA RM	CPT-3	VB-1	GYP BD	PT-2	GYP BD	PT-2	GYP BD	PT-2	GYP BD	PT-2	
A1071	GALLERY	CPT-1	P.TILE	GYP BD	P.TILE-1/ AWP-1/ PT-3	GYP BD	P.TILE-1/ AWP-1/ AWP-2/ PT-3	GYP BD	P.TILE-1/ AWP-1/ PT-3	--	--	
A1072	INITIAL HEARING ROOM	CPT-1	P.TILE	GYP BD	P.TILE-1/ AWP-1/ FWC-1/ PT-3	--	--	GYP BD	P.TILE-1/ AWP-1/ FWC-1/ PT-3	GYP BD	P.TILE-1/ AWP-2/ FWC-1/ PT-3	
A1073	ATTORNEY/ CONF	CPT-3	VB-1	GYP BD	PT-1	GYP BD	PT-1	GYP BD	PT-2	GYP BD	PT-1	
A1074	STOR	PTD CONC	VB-1	GYP BD	PRIMED	GYP BD	PRIMED	GYP BD	PRIMED	GYP BD	PRIMED	
A1075	VESTIBULE	CPT-1	P.TILE	GYP BD	FWC-1	GYP BD	FWC-1	GYP BD	FWC-1	GYP BD	FWC-1	
A1076	COURT MTG RM	CPT-3	VB-1	GYP BD	PT-1	GYP BD	PT-1	GYP BD	PT-2	GYP BD	PT-1	
A1077	GALLERY	CPT-1	P.TILE	GYP BD	P.TILE-1/ AWP-1/ PT-3	GYP BD	P.TILE-1/ AWP-1/ AWP-2/ PT-3	GYP BD	P.TILE-1/ AWP-1/ PT-3	--	--	
A1078	COURTROOM	CPT-1	P.TILE	GYP BD	P.TILE-1/ AWP-1/ FWC-1/ PT-3	--	--	GYP BD	P.TILE-1/ AWP-1/ FWC-1/ PT-3	GYP BD	P.TILE-1/ AWP-2/ FWC-1/ PT-3	
A1079	HAND-OFF VESTIBULE	PTD CONC	--	CBLK	EPT-1	CBLK	EPT-1	CBLK	EPT-1	CBLK	EPT-1	
A1080	HOLDING CORRIDOR	PTD CONC	--	CBLK	EPT-1	CBLK	EPT-1	CBLK	EPT-1	CBLK	EPT-1	
A1080A	CHASE	PTD CONC	--	CBLK	EPT-1	CBLK	EPT-1	CBLK	EPT-1	CBLK	EPT-1	
A1081	HOLD	PTD CONC	--	CBLK	EPT-1	CBLK	EPT-1	CBLK	EPT-1	CBLK	EPT-1	
A1082	HOLD	PTD CONC	--	CBLK	EPT-1	CBLK	EPT-1	CBLK	EPT-1	CBLK	EPT-1	
A1083	MEDIA RM	CPT-3	VB-1	GYP BD	PT-2	GYP BD	PT-2	GYP BD	PT-2	GYP BD	PT-2	
A1084	HUDDLE RM	CPT-3	VB-1	GYP BD	PT-1	GYP BD	PT-1	GYP BD	PT-2	GYP BD	PT-1	
A1085	ATTORNEY/ CONF	CPT-3	VB-1	GYP BD	PT-1	GYP BD	PT-1	GYP BD	PT-2	GYP BD	PT-1	
A1086	STOR	PTD CONC	VB-1	GYP BD	PRIMED	GYP BD	PRIMED	GYP BD	PRIMED	GYP BD	PRIMED	
A1087	MEDIA RM	CPT-3	VB-1	GYP BD	PT-2	GYP BD	PT-2	GYP BD	PT-2	GYP BD	PT-2	
A1088	VESTIBULE	CPT-1	P.TILE	GYP BD	FWC-1	GYP BD	FWC-1	GYP BD	FWC-1	GYP BD	FWC-1	
A1089	COURT MTG RM	CPT-3	VB-1	GYP BD	PT-1	GYP BD	PT-1	GYP BD	PT-2	GYP BD	PT-1	
A1090	GALLERY	CPT-1	P.TILE	GYP BD	P.TILE-1/ AWP-1/ PT-3	GYP BD	P.TILE-1/ AWP-1/ AWP-2/ PT-3	GYP BD	P.TILE-1/ AWP-1/ PT-3	--	--	
A1091	COURTROOM	CPT-1	P.TILE	GYP BD	P.TILE-1/ AWP-1/ FWC-1/ PT-3	--	--	GYP BD	P.TILE-1/ AWP-1/ FWC-1/ PT-3	GYP BD	P.TILE-1/ AWP-1/ FWC-1/ PT-3	
A1092	HAND-OFF VESTIBULE	PTD CONC	--	CBLK	EPT-1	CBLK	EPT-1	CBLK	EPT-1	CBLK	EPT-1	
A1093	HOLDING CORRIDOR	PTD CONC	--	CBLK	EPT-1	CBLK	EPT-1	CBLK	EPT-1	CBLK	EPT-1	
A1093A	CHASE	PTD CONC	--	CBLK	EPT-1	CBLK	EPT-1	CBLK	EPT-1	CBLK	EPT-1	
A1094	HOLD	PTD CONC	--	CBLK	EPT-1	CBLK	EPT-1	CBLK	EPT-1	CBLK	EPT-1	
A1095	HOLD	PTD CONC	--	CBLK	EPT-1	CBLK	EPT-1	CBLK	EPT-1	CBLK	EPT-1	
A1096	JC	PTD CONC	VB-1	GYP BD	PRIMED	GYP BD	PRIMED	GYP BD	PRIMED	GYP BD	PRIMED	

ROOM FINISH SCHEDULE REMARKS

1. SEE INTERIOR ELEVATIONS FOR LOCATIONS AND PATTERNING OF P.TILE, WWP, AWP, FWC AND PAINT.
2. PROVIDE GYPSUM BOARD SOFFIT ABOVE CASEWORK. (SEE CASEWORK ELEVATIONS AND REFLECTED CEILING PLANS.)
3. SEE VERTICAL CIRCULATION SHEETS FOR STAIR AND ELEVATOR DETAILS, ELEVATIONS, AND SECTIONS.
4. SEE SHEETS A4.301, A4.302, A4.303, A4.304, AND A4.305 FOR FLOOR PATTERNING INFORMATION.
5. PAINT CEILING AND ALL EXPOSED STRUCTURE, PIPING, CONDUIT, MECHANICAL DUCTS AND VENTS PT-13.
6. PUBLIC AND STAFF ELEVATORS TO HAVE LUXURY VINYL TILE FLOOR LVT-X IN 1/3 RUNNING BOND WITH LAMINATE WALL PANELS IN P.LAM-X WITH REVEALS, METAL CEILING WITH RECESSED LIGHT FIXTURES.
7. HOLDING AND MAINTENANCE ELEVATORS TO HAVE DIAMOND PLATE FLOORS AND STAINLESS STEEL WALL PANELS.
8. SEE INTERIOR ELEVATIONS FOR GYP BD REVEAL LOCATIONS.
9. SLOPE CONC. FLOOR TOWARDS EXTERIOR DOOR. SEE PLANS FOR FLOORSLOPING INFORMATION.
10. PROVIDE P.TILE-1 TO A HEIGHT OF 3'-2". SEE DETAIL XX/AX.XXX FOR TILE PATTERN INFORMATION.
11. PROVIDE CRASH RAIL AT ALL PERIMETER WALLS IN THIS ROOM. SEE INTERIOR ELEVATION XX/ AX.XXX.
12. PROVIDE MOISTURE MITIGATION AT ALL EXISTING SLABS ON GRADE PER MANUFACTURER'S RECOMMENDATION. SEE SPECIFICATION SECTION 09 05 61 FOR FLOORING PREPARATION INFORMATION.
13. WOOD MOLDING ALIGNED WITH TOP OF DOOR FRAME; PT-2 BELOW MOLDING; PT-1 ABOVE MOLDING.
14. PROVIDE LEVEL X FINISH TO GYPSUM BOARD WALLS IN SHELLED SPACES AS SPECIFIED.

ROOM FINISH SCHEDULE GENERAL NOTES

1. SEE DETAILS OF CONSTRUCTION FOR ABBREVIATIONS
2. DISCREPANCIES BETWEEN THE ROOM FINISH SCHEDULE AND DRAWINGS SHALL BE REPORTED TO THE ARCHITECT FOR FINISH DETERMINATION.
3. ON WALLS WHICH ARE COVERED WITH MILLWORK AND TACK SURFACES, A FINISH SHALL NOT BE APPLIED TO THE WALL BEHIND EXCEPT FOR LOCATIONS WHICH MAY BE EXPOSED (I.E. SPACE BETWEEN MILLWORK AND TACK SURFACE.) CONCRETE BLOCK BEHIND MILLWORK AND MARKERBOARDS TO BE TOOLED.
4. REFER TO MATERIAL FINISH/ COLOR SCHEDULE FOR SPECIFIC FINISH TYPES AND COLORS.
5. FOR CEILING MATERIAL WHEN MORE THAN ONE CEILING MATERIAL OCCURS THE CEILING FINISH IS INDICATED THUS: "/".
6. PROVIDE VINYL BASE AT CASEWORK.
7. ELEVATOR LVT TO BE __
8. WHERE P.TILE BASE IS SCHEDULED, PROVIDE P.TILE BASE AS DETAILED AND SPECIFIED. SEE DETAIL XX/AX.XXX AND SPECIFICATION DIV 09.

NOT FOR CONSTRUCTION

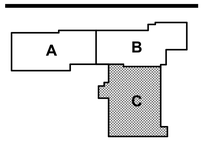
Court House Project Step 2 Renovate 1959 Court House #201705

515 W Moreland Boulevard
Waukesha, Wisconsin 53188

Waukesha County
515 W Moreland Boulevard
Waukesha, Wisconsin

KUENY ARCHITECTS
10905 Corporate Drive, Suite 100
Pleasant Prairie, Wisconsin 53158
kuenyarch.com | 262 857 8101

WOLD ARCHITECTS AND ENGINEERS
220 North Smith Street, Suite 310
Palatine, Illinois 60067
woldac.com | 847 241 6100



KEY PLAN

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed **ARCHITECT** under the laws of the State of **Wisconsin**

ARCH NAME
License Number: **reg num** Date **issue date**

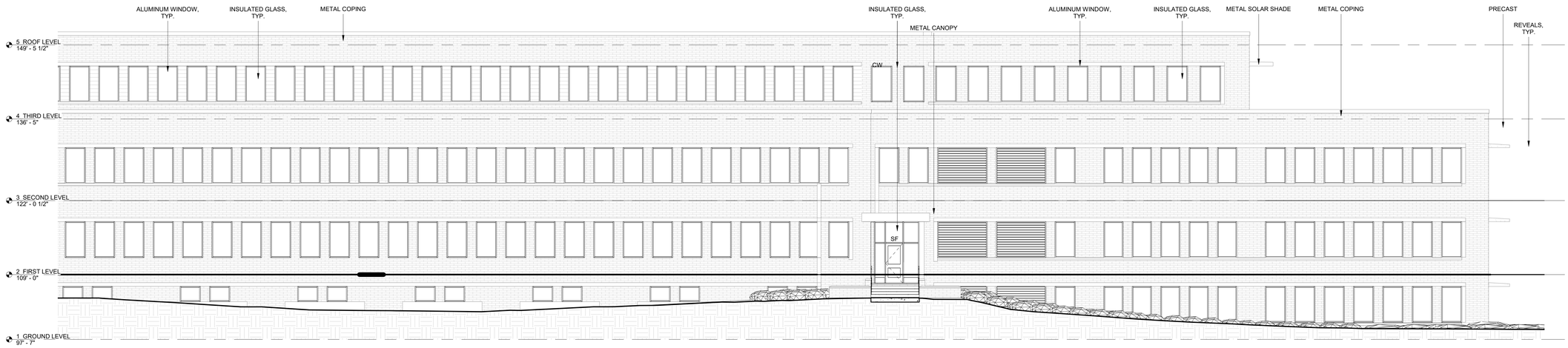
Revisions		
Description	Date	Num

Comm: **203101**
Date: **01/16/2022**
Drawn: **AKM**
Check: **JW**
North

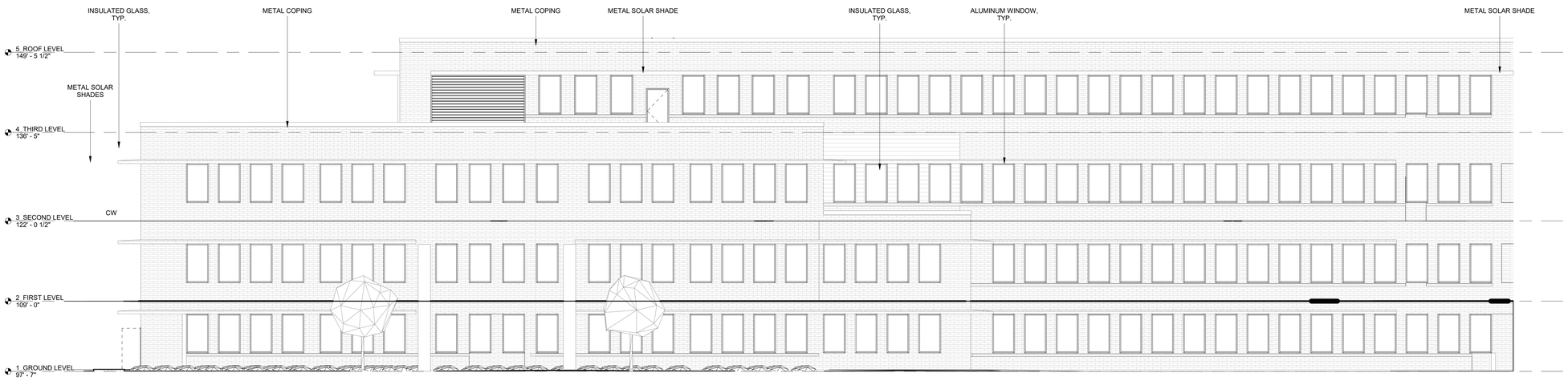
FIRST LEVEL FLOOR PLAN - AREA 'C'

Scale: **As indicated**

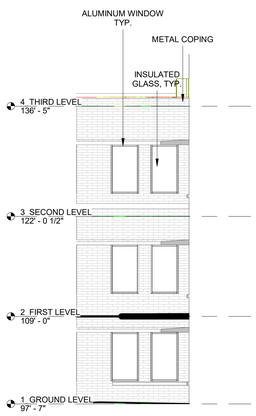
A2.02c



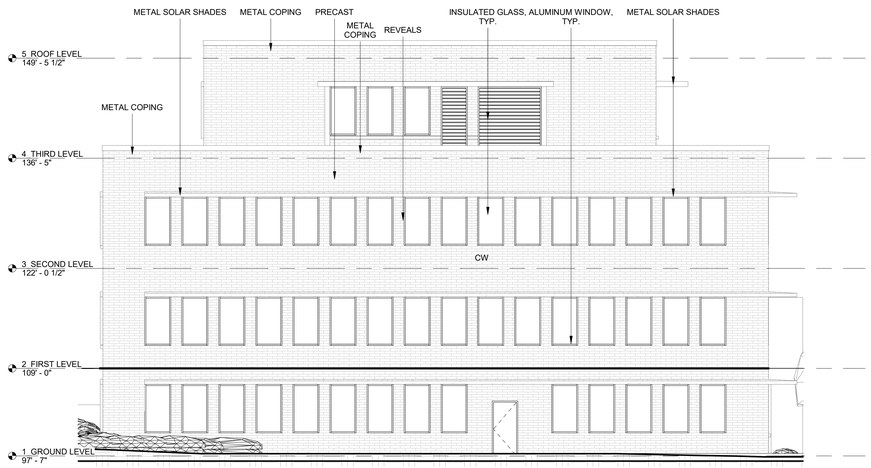
B1 NORTH ELEVATION - AREA 'A'
1/8" = 1'-0"
0 6' 12'



D1 SOUTH ELEVATION - AREA 'A'
1/8" = 1'-0"
0 6' 12'



F1 EAST ELEVATION - AREA 'A'
1/8" = 1'-0"
0 6' 12'



F2 WEST ELEVATION - AREA 'A'
1/8" = 1'-0"
0 6' 12'

NOT FOR CONSTRUCTION

Court House Project Step 2 Renovate 1959 Court House #201705

515 W Moreland Boulevard
Waukesha, Wisconsin 53188

Waukesha County
515 W Moreland Boulevard
Waukesha, Wisconsin

KUENY ARCHITECTS
10505 Corporate Drive, Suite 100
Pleasant Prairie, Wisconsin 53158
kuenyarch.com | 262 857 8101

WOLD ARCHITECTS AND ENGINEERS
220 North Smith Street, Suite 310
Palatine, Illinois 60067
woldae.com | 847 241 6100

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed **ARCHITECT** under the laws of the State of **Wisconsin**

ARCH NAME
License Number: **reg num** Date **issue date**

Revisions

Description	Date	Num

Comm: **203101**
Date: **01/16/2022**
Drawn: **LA**
Check: **JW**

EXTERIOR ELEVATIONS

Scale: **1/8" = 1'-0"**

A5.101

IL

A

BIM 360 (Waukesha County - Courthouse) R: Renovate 1959 Courthouse/Waukesha County Courthouse
Central: C:\Users\jwalsh\Autodesk\Revit\Waukesha County - Courthouse Step 2 - Renovate 1959 Courthouse#waukesha County Courthouse
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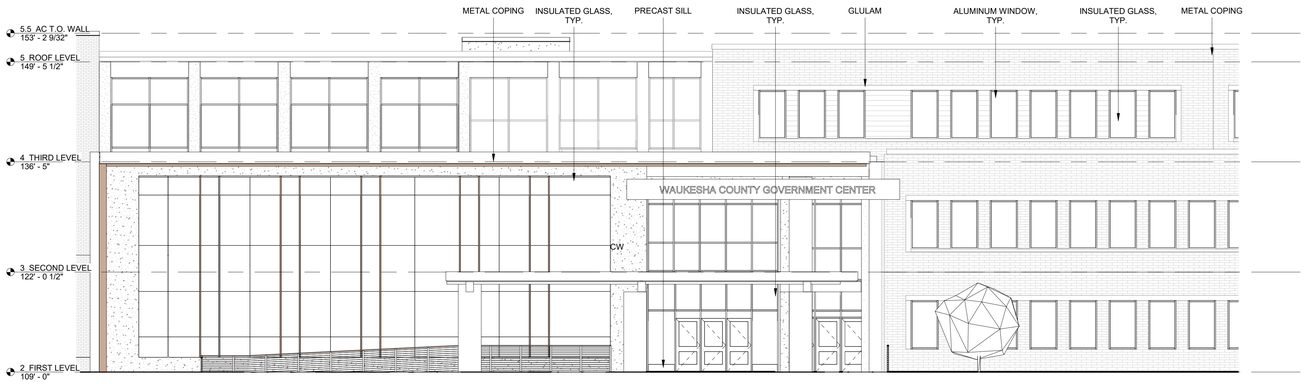
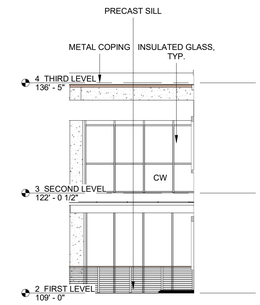
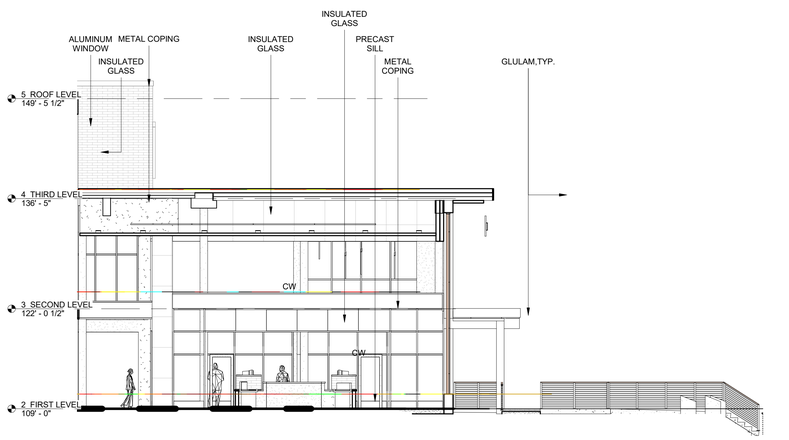


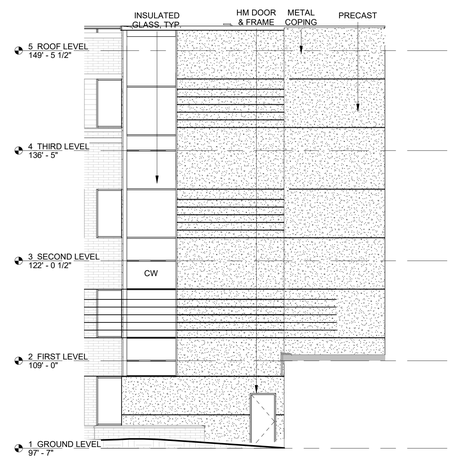
B1 NORTH ELEVATION - AREA 'B'
1/8" = 1'-0"
0 6' 12'



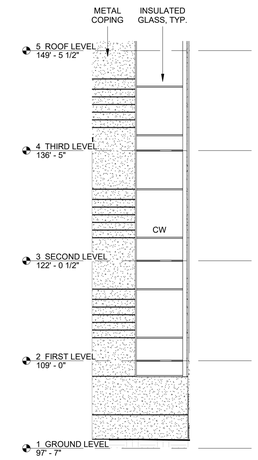
B6 WEST ELEVATION - AREA 'B'
1/8" = 1'-0"
0 6' 12'



D1 EAST ELEVATION - AREA 'B'
1/8" = 1'-0"
0 6' 12'



D4 EAST ELEVATION - STAIR - AREA 'B'
1/8" = 1'-0"
0 6' 12'



D6 SOUTH ELEVATION - STAIR - AREA 'B'
1/8" = 1'-0"
0 6' 12'

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Court House Project Step 2 Renovate 1959 Court House #201705

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Waukesha County
515 W Moreland Boulevard
Waukesha, Wisconsin

KUENY ARCHITECTS
10505 Corporate Drive, Suite 100
Pleasant Prairie, Wisconsin 53158
kueny arch.com | 262 857 8101

WOLD ARCHITECTS AND ENGINEERS
220 North Smith Street, Suite 310
Palatine, Illinois 60067
woldae.com | 847 241 6100

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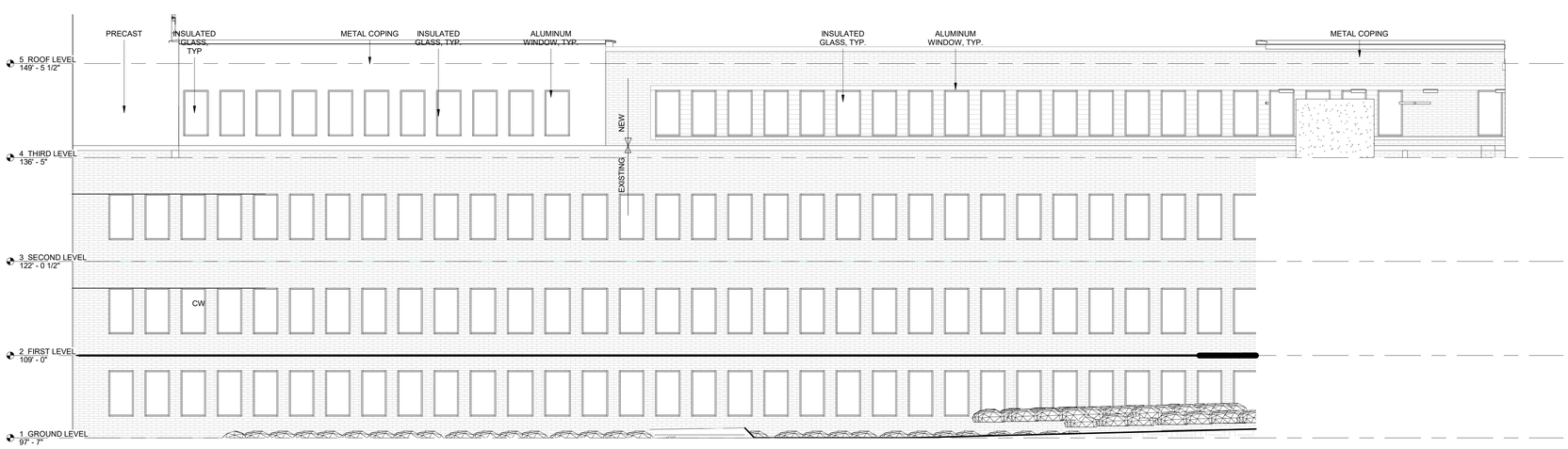
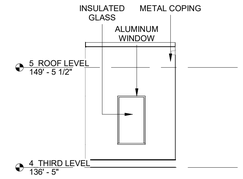
EXTERIOR ELEVATIONS

Scale: **1/8" = 1'-0"**

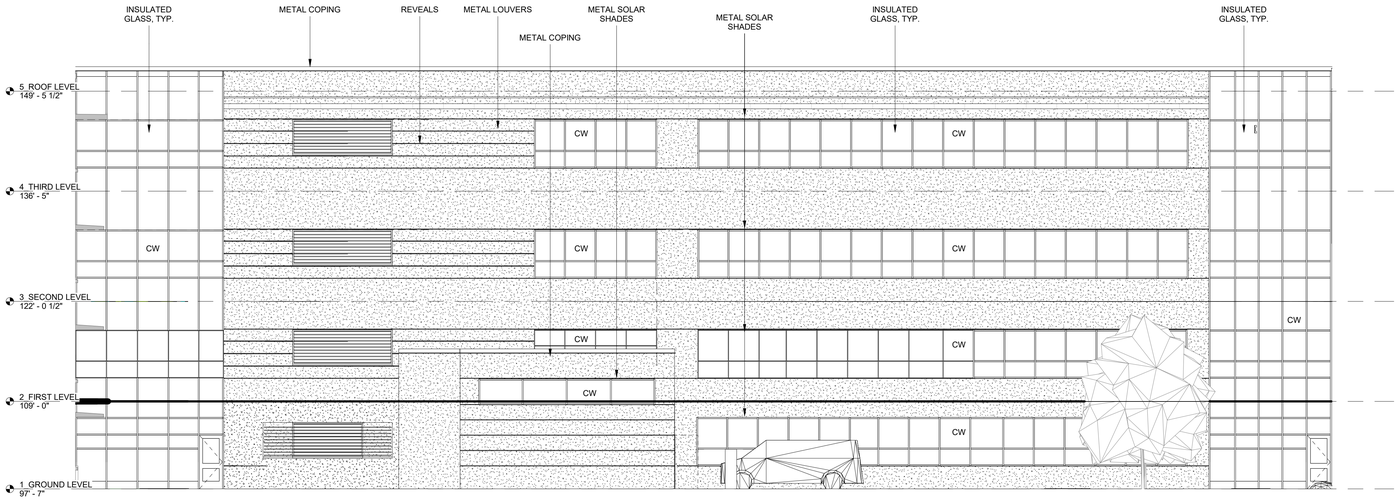
A5.102



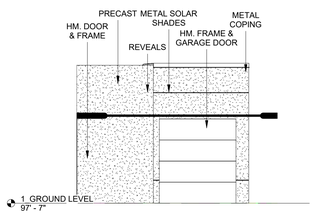
B1 EAST ELEVATION - AREA 'C'
1/8" = 1'-0"



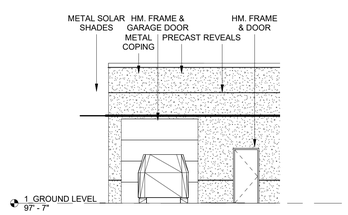
A7 SOUTH ELEVATION - AREA 'C'
1/8" = 1'-0"



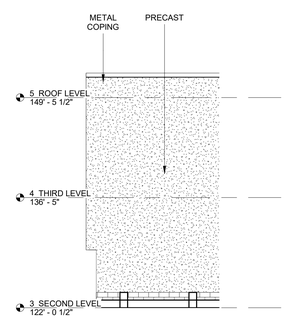
D1 WEST ELEVATION - AREA 'C'
1/8" = 1'-0"



E1 NORTH ELEVATION - AREA 'C'
1/8" = 1'-0"



E3 SOUTH ELEVATION - AREA 'C'
1/8" = 1'-0"



E5 SOUTH ELEVATION - AREA 'C'
1/8" = 1'-0"

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Waukesha, Wisconsin 53188

Waukesha County
515 W Moreland Boulevard
Waukesha, Wisconsin

KUENY ARCHITECTS
10505 Corporate Drive, Suite 100
Pleasant Prairie, Wisconsin 53158
kuenyarch.com | 262 857 8101

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220 North Smith Street, Suite 310
Palatine, Illinois 60067
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EXTERIOR ELEVATIONS

Scale: **1/8" = 1'-0"**

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NORTHWEST ELEVATION

NORTHWEST ELEVATION

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Waukesha County
515 W Moreland Boulevard
Waukesha, Wisconsin

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10505 Corporate Drive, Suite 100
Pleasant Prairie, Wisconsin 53158

kueny arch.com | 262 857 8101

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Palatine, Illinois 60067

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EXTERIOR RENDERINGS

Scale:

A5.703

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BM:\BIM\Waukesha County Courthouse\B_Renovate 1959 Courthouse\Waukesha County Courthouse - Central Plant.rvt
Date/Time: Mon 01/10/2022 1:08:53 PM
Version: 22.0.0.20
10/24/2022 3:08:53 PM

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Waukesha County
515 W Moreland Boulevard
Waukesha, Wisconsin

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Pleasant Prairie, Wisconsin 53158

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NORTH MAIN ENTRY ADDITION

Scale:

NOT FOR CONSTRUCTION

A5.702

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WEST ELEVATION - SALLYPORT

SOUTH ELEVATION - COURT YARD

A

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EXTERIOR RENDERINGS

Scale:

A5.704