

City of Waukesha

Application for Development Review

Last Revision
Date:
6/18/2018

City of Waukesha Community Development Department - 201 Delafield Street, Suite 200, Waukesha, WI 53188 262-524-3750
City of Waukesha Department of Public Works Engineering Division—130 Delafield Street, Waukesha, WI 53188 262-524-3600
www.waukesha-wi.gov

APPLICANT INFORMATION

Applicant Name: Kate Egan
Applicant Company Name: Bray Architects
Address: 829 S 1st Street
City, State: Milwaukee, WI Zip: 53228
Phone: 414-615-7679
E-Mail: kegan@brayarch.com

ARCHITECT/ENGINEER/SURVEYOR INFORMATION

Name: Kate Egan
Company Name: Bray Architects
Address: 829 S 1st Street
City, State: Milwaukee, WI Zip: 53228
Phone: 414-615-7679
E-Mail: kegan@brayarch.com

PROPERTY OWNER INFORMATION

Applicant Name: School District of Waukesha
Applicant Company Name: School District of Waukesha
Address: 222 Maple Ave
City, State: Waukesha, WI Zip: 53186
Phone: 414-615-7679
E-Mail: dclark@waukesha.k12.wi.us

PROJECT & PROPERTY INFORMATION

Project Name: Horning Middle School
Property Address: 2000 Wolf Road, Waukesha, 53188
Tax Key Number(s): WAKC 1006.981.001
Zoning: Institutional - 1
Total Acreage: 10.002 Existing Building Square Footage 141,814
Proposed Building/Addition Square Footage: 250
Current Use of Property: Middle School

PROJECT SUMMARY (please provide a brief project description)

Vestibule addition to the southern elevation to create a secure entry / new main entrance.
Renovations of main office, science labs, cafeteria, and library / media center.
Updated finishes in a large portion of the building.

All submittals require a complete scaled set of digital plans (Adobe PDF) and shall include a project location map showing a 1/2 mile radius, a COLOR landscape plan, COLOR building elevation plans, and exterior lighting photometric maps and cut sheets. A pre-application meeting is required prior to submittal of any applications for Subdivisions, Planned Unit Developments, and Site and Architectural Plan Review. **The deadline for all applications requiring Plan Commission Reviews is at 4:00 P.M, 30 days prior to the meeting date. The Plan Commission meets the Second and Fourth Wednesday of each month.**

APPLICATION ACKNOWLEDGEMENT AND SIGNATURES

I hereby certify that I have reviewed the City of Waukesha Development Handbook, City Ordinances, Submittal Requirements and Checklists and have provided one PDF of all required information. Any missing or incomplete information may result in a delay of the review of your application. By signing this I also authorize The City of Waukesha or its agents to enter upon the property for the purpose of reviewing this application.

Applicant Signature Kate Egan
Applicant Name (Please Print) Kate Egan
Date: 11/08/19

For Internal Use Only:
Amount Due (total from page 2): _____ Amount Paid: _____ Check #: _____
Trakit ID(s) _____ Date Paid: _____

City of Waukesha Application for Development Review

TYPE OF APPLICATION & FEES (CHECK ALL THAT APPLY)

Fees

Please note that each application type has different submittal requirements. Detailed submittal checklists can be found in Appendix A of the Development Handbook.

- Plan Commission Consultation **\$200** _____
- Traffic Impact Analysis _____
 - Commercial, Industrial, Institutional, and Other Non-Residential **\$480**
 - Residential Subdivision or Multi-Family **\$480**
 - Resubmittal (3rd and all subsequent submittals) **\$480**
- Preliminary Site Plan Review _____
 - Level 1: Buildings/additions less than 10,000 sq.ft. or sites less than 1 acre **\$2,200**
 - Level 2: Buildings/additions between 10,001-50,000 sq.ft. or sites between 1.01 and 10 acres **\$2,320**
 - Level 3: Buildings/additions between 50,001-100,000 sq.ft. or sites between 10.01 and 25 acres **\$2,440**
 - Level 4: Buildings/additions over 100,001 sq.ft. or sites greater than 25.01 acres. **\$2,560**
 - Resubmittal Fees (after 2 permitted reviews) **\$750**
- Final Site Plan Review \$1,320
 - Level 1: Buildings/additions less than 10,000 sq.ft. or sites less than 1 acre **\$1,320**
 - Level 2: Buildings/additions between 10,001-50,000 sq.ft. or sites between 1.01 and 10 acres **\$1,440**
 - Level 3: Buildings/additions between 50,001-100,000 sq.ft. or sites between 10.01 and 25 acres **\$1,560**
 - Level 4: Buildings/additions over 100,001 sq.ft. or sites greater than 25.01 acres. **\$1,680**
 - Resubmittal Fees (3rd and all subsequent submittals) **\$750**
- Minor Site or Architectural Plans _____
 - Projects that do not require site development plans **\$330**
 - Resubmittal Fees (3rd and all subsequent submittals) **\$330**
- Certified Survey Map (CSM) _____
 - 1-3 Lots **\$500**
 - 4 lots or more **\$560**
 - Resubmittal (3rd and all subsequent submittals) **\$180**
 - Extra-territorial CSM **\$260**
- Preliminary Subdivision Plat _____
 - Up to 12 lots **\$1,270**
 - 13 to 32 lots **\$1,390**
 - 36 lots or more **\$1,510**
 - Resubmittal (3rd and all subsequent submittals) **\$630**
- Final Subdivision Plat _____
 - Up to 12 lots **\$660**
 - 13 to 32 lots **\$780**
 - 36 lots or more **\$900**
 - Resubmittal (3rd and all subsequent submittals) **\$480**
 - Extra-territorial Plat **\$540**
- Rezoning and/or Land Use Plan Amendment _____
 - Rezoning **\$630**
 - Land Use Plan Amendment: **\$630**
- Conditional Use Permit
 - Conditional Use Permit with no site plan changes **\$480**
 - Conditional Use Permit with site plan changes **\$480** plus applicable preliminary and final site plan fees above _____
- Planned Unit Development or Developer's Agreement (Site Plan Review is also required) _____
 - New Planned Unit Development or Developer's Agreement **\$1,760**
 - Planned Unit Development or Developer's Agreement Amendment **\$610**

TOTAL APPLICATION FEES:

\$1,320

City of Waukesha

Development Review Submittal Requirements

PLAN COMMISSION CONSULTATION SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

A Plan Commission Consultation may be submitted for review and comment for the owner/developer to ascertain the feasibility of a proposed project. A consultation is not required but may be submitted in advance of an actual submittal for a preliminary plat, CSM, Planned Unit Development, rezoning, conditional use or site plan. The Plan Commission will only provide feedback, no approvals will be given. Prior to applying for a Plan Commission Consultation you must discuss your project with the Planning Division to determine if a Plan Commission Consultation is recommended.

Review Time: Approximately 30 days

Reviewing Departments: Community Development Planning Division, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission (optional)

In addition to this application and corresponding application fee you will also need:

- One (1) digital (PDF) copy of the plans you want conceptual review of
- Attachment A: Development Review Checklist. You should also review all other corresponding checklists that relate to the project that you are seeking conceptual review of and include as much information as possible.
- Cover letter outlining project details.

TRAFFIC IMPACT ANALYSIS SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

A Traffic Impact Analysis is required for projects that meet certain criteria. Please refer to the Developer's Handbook Section 4.4 to determine if your project requires a Traffic Impact Analysis

Review Time: Approximately 30 days

Reviewing Departments: Public Works Engineering Division

Reviewing Boards: None, however the Plan Commission may require a copy as part of site plan review process.

In addition to this application and corresponding application fee you will also need:

- One (1) digital (PDF) copy of the Traffic Impact Analysis

PRELIMINARY SITE AND ARCHITECTURAL PLAN SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

Preliminary site and architectural plans are required for any new residential development with 4 or more units and all non-residential developments. Preliminary site plan approval is also required for additions or modifications to existing developments and projects where a stormwater management plan is needed. Preliminary approval is required unless it is determined by City staff in the Pre-Application meeting that the project only needs Final Site and Architectural Review.

Review Time: Approximately 30 days (45 if Common Council review is needed)

Reviewing Departments: Community Development Planning Division, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission. Common Council and Board of Public Works review may be required for certain projects.

In addition to this application and corresponding application fee you will also need:

- One (1) digital (PDF) that includes of items listed below
 - Cover letter outlining project details.
 - Color architectural elevations of all sides of the building and color perspective renderings
 - Conceptual Landscape Plan
 - Attachment A: Development Review Checklist
 - Site Plan (see Attachment B: Engineering Plan Checklist)
 - Grading Plan (see Attachment C: Site Grading and Drainage Plan Checklist)
 - Stormwater Management Plan (see Attachment D: Stormwater Management Plan Checklist)
 - Utility Plans (see Attachment H: Sewer Plan Review Checklist)
 - Any other attachments as applicable.

FINAL SITE AND ARCHITECTURAL PLAN SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

Final site and architectural plans are submitted only after the Plan Commission has approved Preliminary Site Plans for any new residential development with 4 or more units and all non-residential developments, including modifications to existing developments. Some projects may bypass Preliminary approval but only if it is determined by City staff in the Pre-Application meeting.

Review Time: Approximately 30 days (45 if Common Council review is needed)

Reviewing Departments: Community Development Planning Division, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission. Common Council and Board of Public Works review may be required for certain projects.

In addition to this application and corresponding application fee you will also need:

One (1) digital (PDF) that includes of items listed below

Cover letter outlining project details.

Color architectural elevations of all sides of the building and color perspective renderings

Landscape Plan (see Attachment I: Landscape Plan Checklist)

Attachment A: Development Review Checklist

Site Plan (see Attachment B: Engineering Plan Checklist)

Grading Plan (see Attachment C: Site Grading and Drainage Plan Checklist) * (Note: Checklist not needed per Dave Buechl)

Stormwater Management Plan (see Attachment D: Stormwater Management Plan Checklist)

Utility Plans (see Attachment H: Sewer Plan Review Checklist) * (Note: Checklist not needed per Dave Buechl)

MINOR SITE AND ARCHITECTURAL PLAN SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

Minor Site and Architectural review is intended for projects that may not need the extensive submittal requirements for Preliminary and Final Site Plan approval. Projects that qualify for Minor Site Plan submittal may include landscape, façade and building changes or minor site modifications that don't result in the addition of impervious surface.

Review Time: Approximately 30 days (45 if Common Council review is needed)

Reviewing Departments: Community Development Planning Division, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission. Common Council and Board of Public Works review may be required for certain projects.

In addition to this application and corresponding application fee you will also need:

One (1) digital (PDF) that includes of items listed below

Cover letter outlining project details.

Architectural elevations of all sides of the building being modified

In addition, depending on the type of project, you may also need the following items:

Site Plan (see Attachment B: Engineering Plan Checklist)

Landscape Plan (see Attachment I: Landscape Plan Checklist)

CERTIFIED SURVEY MAP SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

A Certified Survey Map may be used to divide up to eight (8) lots in Commercial, Industrial, and Mixed Use zoning districts and up to four (4) lots in all other zoning districts.

Review Time: Approximately 45-60 days. An extension letter will be required if the approval process will take more than 90 days.

Reviewing Departments: Community Development Planning Division, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission. Common Council and Board of Public Works review may be required for certain projects.

In addition to this application and corresponding application fee you will also need:

One (1) digital (PDF) that includes of items listed below

Attachment E: Certified Survey Map Checklist

Attachment A: Development Review Checklist and other attachments as applicable.

**Please note If any exterior architectural, landscape, or site plan changes are required you must also go through Site Plan Review and meet all of those submittal requirements.*

PRELIMINARY PLAT SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

A Preliminary Plat shall be used to subdivide land in the City. The applicant is responsible for submitting the Preliminary Plat to Waukesha County and the State of Wisconsin for review.

Review Time: Approximately 45-60 days. An extension letter will be required if the approval process will take more than 90 days.

Reviewing Departments: Community Development Planning Division, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission. Common Council and Board of Public Works review may be required for certain projects.

In addition to this application and corresponding application fee you will also need:

- One (1) digital (PDF) that includes of items listed below
 - Attachment F: Preliminary Plat Checklist
 - Cover letter outlining project details.
 - Attachment A: Development Review Checklist and other attachments as applicable
 - Stormwater Management Plan (see Attachment D: Stormwater Management Plan Checklist)

FINAL PLAT SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

A Final plat shall be used to subdivide land in the City. The applicant is responsible for submitting the Final Plat to Waukesha County and the State of Wisconsin for review.

Review Time: Approximately 45-60 days. An extension letter will be required if the approval process will take more than 90 days.

Reviewing Departments: Community Development Planning Division, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission. Common Council and Board of Public Works review may be required for certain projects.

In addition to this application and corresponding application fee you will also need:

- One (1) digital (PDF) that includes of items listed below
 - Attachment G: Final Plat Checklist
 - Cover letter outlining project details.
 - Attachment A: Development Review Checklist and other attachments as applicable.
 - Stormwater Management Plan (see Attachment D: Stormwater Management Plan Checklist)

REZONING & COMPREHENSIVE PLAN AMENDMENT SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

This review is for any requests to rezone land or amend the City's Comprehensive Master Plan. For rezonings all property owners within 300 feet of the property will be notified of your request.

Review Time: 45-60 Days

Reviewing Departments: Community Development Planning & Building Inspection Divisions, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission, Common Council

Additional Information: Rezoning must be done in accordance with the Comprehensive Plan. Please consult with Planning staff to determine if a Comprehensive Plan Amendment is also required prior to submitting a rezoning application.

In addition to this application and corresponding application fee you will also need:

- One (1) digital (PDF) that includes of items listed below
 - Cover letter outlining project details and rationale for rezoning
 - Rezoning Form including legal description and notarized owner(s) signatures (rezoning applications only)
 - Conceptual Plan (if applicable)

**Please note this application fee only covers the rezoning and/or Comprehensive Plan Amendment. If you are proposing site plan changes or are subdividing land you will also need to meet the applicable submittal requirements for those proposals.*

CONDITIONAL USE PERMIT SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

Any use listed as a Conditional Use in Chapter 22 (Zoning Code) requires a Public Hearing in front of the Plan Commission prior to building or occupancy permits being issued. All property owners within 300 feet of the property will be notified of your request.

Review Time: 30-45 days

Reviewing Departments: Community Development Planning & Building Inspection Divisions, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission

In addition to this application and corresponding application fee you will also need:

- One (1) digital (PDF) that includes of items listed below
 - Conditional Use Permit Application

**Please note If any exterior architectural, landscape, or site plan changes are required you must also go through Site Plan Review and meet all of those submittal requirements.*

PLANNED UNIT DEVELOPMENT OR DEVELOPER’S AGREEMENT SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

The PUD Overlay District is intended to permit development that will, over a period of time, be enhanced by coordinated area site planning, diversified location of structures, diversified building heights and types, and/or mixing of compatible uses. The PUD Overlay District under this Chapter will allow for flexibility of overall development design with benefits from such design flexibility intended to be derived by both the developer and the community, while at the same time maintaining insofar as possible the standards or use requirements set forth in the underlying basic zoning district.

Developer’s Agreements are used for any project that require public infrastructure improvements (sewer, storm sewer, sidewalks, etc) and other off-site improvements such as median openings, traffic signals, street widening, etc..

Review Time: 45-60 days

Reviewing Departments: Community Development Planning & Building Inspection Divisions, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission, Common Council. Some projects will also require Board of Public Works review.

In addition to this application and corresponding application fee you will also need:

- One (1) digital (PDF) that includes of items listed below
 - Cover letter/statement that outlining project details and all of the required information set forth in the Zoning Ordinance Section 22.52 (4)(a)
 - Rezoning Form including legal description and notarized owner(s) signatures (rezoning applications only)
 - General Development Plan
 - Proposed Supplemental Design Elements (required for all PUDs under the minimum required acreage)

**Please note in addition to the PUD submittal requirements your project will also need additional application fees and submittal materials based on the project type. This may include Preliminary and Final Plats, Preliminary and Final Site and Architectural Plans, Certified Survey Maps, Traffic Impact Analysis. Staff will inform you of any additional submittal requirements at the Pre-Application meeting, which is required prior to submitting your application.*

ANNEXATION SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

Requests for annexation as permitted under Section 66.0217 Wisconsin Statutes.

Review Time: 45-60 days

Reviewing Departments: Community Development Planning & Building Inspection Divisions, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission, Common Council

In addition to this application and corresponding application fee you will also need:

- One (1) digital (PDF) that includes of items listed below
 - Copy of your State of Wisconsin Request for Annexation Review Application
 - Signed City of Waukesha Direct Annexation Petition
 - Map of property of property to be annexed.
 - A boundary description (legal description of property to be annexed)
 - Any additional information on the annexation.



Wednesday | December 11th, 2019

Project: Horning Middle School
Site Address: 2000 Wolf Road, Waukesha WI 53188

Bray Project Number: 3353

Owner: School District of Waukesha
222 Maple Ave, Waukesha WI 53186

Applicant / Architect: Bray Architects
829 S 1st Street, Milwaukee WI 53204

Application for Development Review – Horning Middle School

Project Description:

The architectural scope of this project creates a new main entrance with a 250 square foot vestibule to the south.

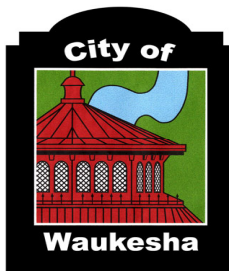
The site improvements are around the new vestibule and repairing curbs and existing hardscape.

Interior renovations include updating the toilet rooms and locker rooms to be ADA compliant, reconfiguring the current main office and student services block of space, renovating science labs, renovating the kitchen and cafeteria, replacing finishes in classrooms and throughout the school.

Capital maintenance improvements include replacing the roof, HVAC upgrades (including bringing air conditioning to additional areas of the school), replacing ceilings and light fixtures, replacing doors (including ADA compliant hardware) and other electrical and plumbing upgrades.

www.brayarch.com

Davenport, IA 220 Emerson Place, Suite 301, Davenport, IA 52081 563.370.4879
Milwaukee, WI 829 S. 1st Street, Milwaukee, WI 53204 414.226.0200
Sheboygan, WI 1227A N. 8th Street, PO Box 955, Sheboygan, WI 920.459.4200



Attachment A - Application for Development Review Checklist

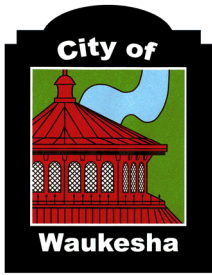
Project Name: Horning Middle School

Engineering Design Firm: Muermann Engineering - Electrical Engineers

Kapur Inc. - Civil Engineers

Checklist Items	CSM	Preliminary Plat	Final Plat	Property Survey for Bldg Permit	Storm Water Plan	Erosion Control Plan	Site, Grading, Drainage Plan	Street Plan	Utility Plan	Landscape Plan	Traffic Control Plan	Traffic Impact Analysis	Conditional Use or Home Indus.	PUD or Developer's Ag.	Minor site or Arch. Change	Conditional Use	Rezoning & Comp. Plan Change
Followed Construction Drawing Sheet Layout standards in Development Handbook						X	X	N/A	X	X							
Followed Development Handbook and Storm Water Ordinance standards for Erosion control plans						X											
Obtained geotechnical evaluation for storm water and pavement design					N/A		X	N/A	X								
Followed Development Handbook standards, and Wisconsin Administrative Code for Property Survey				X													
Verified proposed basement floor elevation is at least 1 foot above the highest seasonal high water table elevation				X													
Followed Development Handbook standards and Ordinance for Preliminary Plat		N/A															
Followed Site, Grading, and Drainage Plan design standards in Development Handbook and Storm Water Ordinance							X						N/A		N/A	N/A	N/A
Followed Traffic impact analysis standards in Development Handbook												N/A					
Specifications conform to current City Standard Specifications					N/A	X	X	N/A	X	X	N/A			N/A			
Followed Lighting Plan standards in Development Handbook									X								
Development site contains Contaminated Waste							NO										
Followed storm water management requirements in Development Handbook, and Ordinance					N/A												
Site contains mapped FEMA floodplain or a local 100-year storm event high water limits							NO										
Site contains wetlands or Natural Resource limits (ie. Primary, Secondary, Isolated , shoreland limits)							NO										
CSM follows standards in Development Handbook, City Ordinance, and State Statutes	N/A																
Followed Development Handbook standards for Street plans and profiles								N/A									
Followed Development Handbook standards for utility plans and profiles									X								
Existing sanitary sewer lateral has been televised							N/A		N/A				N/A		N/A	N/A	N/A

Checklist Items	CSM	Preliminary Plat	Final Plat	Property Survey for Bldg Permit	Storm Water Plan	Erosion Control Plan	Site, Grading, Drainage Plan	Street Plan	Utility Plan	Landscape Plan	Traffic Control Plan	Traffic Impact Analysis	Conditional Use or Home Indus.	PUD or Developer's Ag.	Minor site or Arch. Change	Conditional Use	Rezoning & Comp. Plan Change
Development Agreement needed for Public Infrastructure														N/A			
Followed Development Handbook standards for Landscape plans										X							
Followed Development Handbook standards, State Statutes and Ordinance for Final Plat			N/A														
A-E 2.02(4): Each sheet of plans, drawings, documents, specifications and reports for architectural, landscape architectural, professional engineering, design or land surveying practice should be signed, sealed, and dated by the	N/A	N/A	N/A	X	X	X	X	N/A	X	X		N/A	N/A	N/A	N/A	N/A	N/A
32.10(e)(12.)H. A cover sheet stamped and signed by a professional engineer registered in the State of Wisconsin indicating that all plans and supporting documentation have been reviewed and approved by the engineer and certifying that they have read					X												
City, DNR, County or State Permits are needed					N/A		X	N/A	X		N/A						
Complete and submit Plan Sheet and Submittal Specific checklists in Development Handbook	N/A	N/A	N/A	N/A	X	X	N/A	N/A	N/A	X		N/A					
Proposed easements needed are shown.	N/A		N/A		N/A		N/A	N/A	N/A								
All Existing easements are shown	N/A	N/A	N/A	X	X	X	X	N/A	X	X			N/A	N/A	N/A	N/A	N/A



City of Waukesha
 Department of Public Works
 130 Delafield Street
 Waukesha, WI 53188
 Waukesha-wi.gov

Engineering Plan Checklist

Attachment B
 (Rev 12/18)

Project Name: Horning Middle School

Engineering & Design Firm: Kapur Inc. - Civil Engineers

Muermann Engineering - Electrical Engineers

General Information

Plans shall include the seal and signature of the Wisconsin licensed professional engineer responsible for the preparation of the construction plans on the cover sheet or on each sheet

YES	NO	N/A	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide a copy of the WisDOT permit for any work in the State of Wisconsin right of way.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide a copy of the Waukesha County Department of Public Works permit for any work in right of way of Waukesha County.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide a copy of Wisconsin Department of Natural Resources Water Resources Application for Project Permits (WRAPP) for all sites greater than one acre.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide a copy of US Army Corps of Engineers 404 permit.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide cross access agreements for use of entrances.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide off-site utility easements.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide hydraulic gradeline calculations for all storm sewer pipes signed and sealed by a professional engineer licensed in the State of Wisconsin.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Provide a storm water management plan and calculations signed and sealed by a professional engineer licensed in the State of Wisconsin.

All Plan Sheets

YES	NO	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Plans prepared on sheets measuring 11" high by 17" wide or no larger than 24" high by 36" wide.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Sanitary Sewer, watermain and storm sewer system plans for the entire development are included.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A profile view is located below a plan view on plan and profile sheets and both views are aligned by stationing whenever possible. In general, stationing is from left to right.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Plan and profile sheets start and terminate at match lines.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	The assumed bearing base, control monuments and stationing reference line(s)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Right-of-way limits and easement limits
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Edge of pavement or flange, face and back of curb
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Name of each existing, proposed, and future roadway and any intersecting roadways
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Lot lines, lot and block numbers
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Addresses and names of Owners for existing parcels

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	All obstructions located within the project limits including, but not limited to: trees, signs, utilities, fences, light poles, structures, etc.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A note warning that underground utilities must be located by "Diggers Hotline" prior to start of construction
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Legend (relevant to each sheet) showing all special symbols, line types and hatch used
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Title block includes at a minimum, the following information: Name and address of engineering (design) firm and owner/developer Date of the drawing and last revision Scale Plan sheet number (# of #) Name and location description of development
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	North to the top or right of the sheet and shown by a north arrow, clearly shown without intrusion.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Scale of the plans 1" = 40' horizontally and 1" = 8' vertically for 11" by 17" plan sheets and 1" = 20' horizontally and 1" = 4' vertically for 22" by 34" sheets. Partial site plans have a scale of 1" = 20' or larger. The scale of details is such that the detail is clearly shown. The scale is shown with a line scale and text.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Existing surface objects indicated with screened lines and clearly labeled.

Cover Sheet

YES	NO	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Project title.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location Map (Proximity to two main streets minimum).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Index of all plan sheets
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	For large or phased subdivisions, a key map of layout and phases.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A minimum of two (2) current SEWRPC reference benchmarks. Survey documentation of tie to Wisconsin State Plane Coordinate System, South Zone (horizontal) and City of Waukesha datum (vertical) provided. Elevations shown based on City of Waukesha datum.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	All permanent or temporary benchmarks and elevations.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A description of the locations of the benchmarks; and the basis or origin of the vertical control network.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Date of plan preparation and applicable revision date(s)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	The following statement: " <i>All site improvements and construction shown on the plans shall conform to the City of Waukesha <u>Development Handbook & Infrastructure Specifications</u>. Where the plans do not comply, it shall be the sole responsibility and expense of the Developer to make revisions to the plans and/or constructed infrastructure to comply.</i> "

Roadway

YES	NO	N/A	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	For all new streets, a site specific geotechnical evaluation and pavement design submitted with the plans.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A separate detail sheet showing typical cross-sections for each roadway standard width and cul-de-sac if applicable.

Plan View

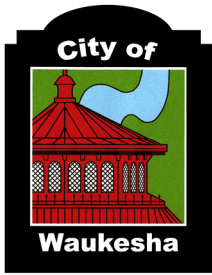
YES	NO	N/A	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	The assumed bearing base, control monuments and stationing reference line along the centerline of the roadway, including cul-de-sacs.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	At least one clearly labeled benchmark or control point per sheet.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Pavement and median dimensions.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Final grade elevations at 25' intervals at the right-of-way including at the edge of pavement for rural sections or at the flange of curb for urban sections.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Final grade elevations for cul-de-sacs at 25' intervals at the right-of-way including at the edge of pavement for rural sections or at the flange of curb for urban sections.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Label all PVC's, PVT's, and PC's, PT's for vertical and horizontal curves. Radii of all intersections (edge of pavement or flange of curb, with note indicating which is referenced).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Driveways for all lots adjacent to storm inlets and intersections.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Sidewalks labeled and dimensioned.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Existing, proposed, future streets and drives labeled and dimensioned.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	All roadside ditch locations, flowline elevations at 50' intervals of the ditches.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Slope intercepts.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Invert profile for 200' downstream for any existing ditches receiving flow from a proposed road or street.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Limits of any areas which need special stabilization techniques.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Specific details of all existing connected roadways. Pavement, shoulders, ditches, curb alignment, and grades shall be shown as needed to adequately make the transition.

Intersection Details

YES	NO	N/A	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Radii of all intersections (edge of pavement or flange of curb, with note indicating which is referenced).
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Sidewalks and accessible ramps labeled and dimensioned.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Right of way corner clips and sight visibility easements.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Spot grades as necessary to ensure proper drainage and compliant ADA slopes.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Spot grades shall be shown at end of radius for all curb and gutter and the end radius for all back of sidewalk.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Drainage clarified by flow arrows, high points, sags, ridges, etc. Slope intercepts shall be clearly labeled by station, elevation to the nearest 0.1', and offset distance (left or right) from the reference line.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Invert elevation of ditches (for rural roadway).
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Final subgrade elevation at the centerline of the street or roadway.

Cross Sections

YES	NO	N/A	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Right of way limits.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Slope intercepts clearly labeled.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Elevations to the nearest 0.01'.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Offset distance (left or right) from the reference line.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Final grade elevations at back of walk, face of walk, top of curb, flange elevation (edge of pavement for rural section), and the centerline of the street or roadway.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Cross slope of sidewalk, terrace area, and roadway.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Invert elevation of ditches (for rural section)



City of Waukesha
 Department of Public Works
 130 Delafield Street
 Waukesha, WI 53188
 Waukesha-wi.gov

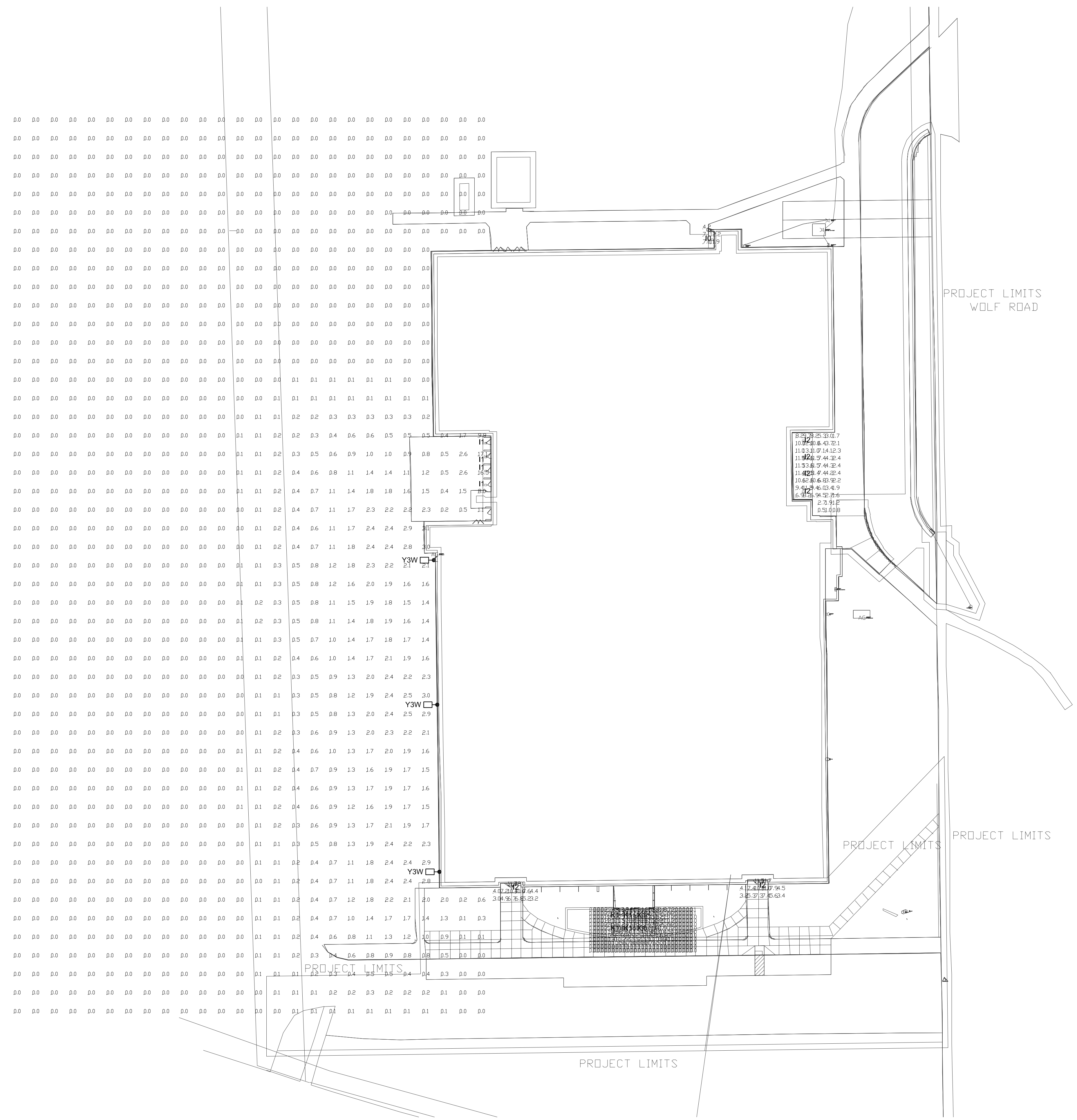
Landscape Plan Checklist

Attachment I
 (Rev 12/18)

Project Name: Horning Middle School

Engineering & Design Firm: Kapur Inc. - Civil Engineers

<input checked="" type="checkbox"/> Contact Community Development Department for Requirements			
Listed below are general design considerations only:			
YES	NO	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Show easements
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location and footprint of any and all buildings
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Dimensions of development site along property line
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Existing and proposed streets
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Pedestrian and vehicular access points
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location and dimensions of parking lots, etc.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location and dimensions of all existing or planned easements
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location and dimensions of snow removal and storage areas
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location and dimensions of outdoor lighting fixtures
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Interior parkway provided
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Parkway provided
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Buffer strip provided
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Dumpster enclosure details
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Parking lot landscaping
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Utility/mechanical equipment screened
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Service area screened
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location of freestanding signs
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Walls and fences shown
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location of utilities
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Existing and proposed contours and grades, including berm elevations
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location, name and size of proposed plant materials
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Specifications of all types of all proposed ground cover, i.e., seed, sod, etc.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location, species, and size of existing trees
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Clear identification of trees to be removed
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Square footage of parking lot area
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Tree protection plan



SITE PLAN - PHOTOMETRIC
 Scale: 1" = 30'-0"
 PLAN NORTH

HORNING MIDDLE SCHOOL SITE FIXTURE SCHEDULE							
TYPE	DESCRIPTION	LAMP TYPE	VOLT	WATTS	MANUFACTURER	CATALOG NUMBER	NOTE
I0	10" SQUARE SURFACE LED CANOPY - 3500 LUMENS	5000K LED	120-277	27	LITHONIA	CNYLED-P0-50K-MVOLT	1
I1	10" SQUARE SURFACE LED CANOPY - 4500 LUMENS	5000K LED	120-278	35	LITHONIA	CNYLED-P1-50K-MVOLT	1
I2	10" SQUARE SURFACE LED CANOPY - 6500 LUMENS	5000K LED	120-278	52	LITHONIA	CNYLED-P2-50K-MVOLT	1
K1	6" LED RECESSED DOWNLIGHT - 1000 LUMENS	5000K LED	120-277	10.4	LITHONIA	LDN6-5010-LO6-AR-LSS-MVOLT	1
Y3W	LED AREA FIXTURE - TYPE FORWARD THROW MEDIUM - 14,672 LUMENS - WALL MOUNTED	5000K LED	120-277	125	LITHONIA	DSX1LED-P4-50K-FTFM-MVOLT-WBA	1

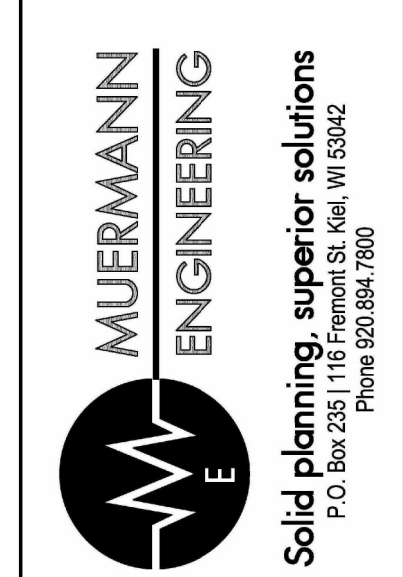
GENERAL NOTES:
 1. SEE SPECIFICATIONS FOR FIXTURE REQUIREMENTS.
 2. NO ALTERNATE FIXTURES.
 3. ALL INTERIOR LED FIXTURES TO HAVE A MINIMUM CRI OF 80+ ALL EXTERIOR LED FIXTURES TO HAVE A MINIMUM CRI OF 70+.
 4. MOUNT FIXTURES AT HEIGHT INDICATED ON DRAWINGS UNLESS NOTED OTHERWISE.

PLAN NOTES:
 1. ARCHITECT TO SELECT STANDARD COLOR AND FINISH.

GENERAL NOTES:
 1. SITE LIGHTING CALCULATED AT GRADE.



Office Locations:
Milwaukee
 829 S. 1st Street
 Milwaukee, Wisconsin 53204
 T: 414.226.0200
Sheboygan
 1227A North 8th Street
 PO Box 955
 Sheboygan, Wisconsin
 53082
 T: 920.459.4200
 www.brayarch.com



Project Title:
**ADDITION AND REMODELING TO:
 HORNING MIDDLE SCHOOL
 WAUKESHA SCHOOL DISTRICT
 2000 WOLF RD, WAUKESHA, WI 53186**

REVISIONS:	
DATE	DESCRIPTION

Project Number:
3353

Issued For:
CITY SUBMITTAL

11/06/2019

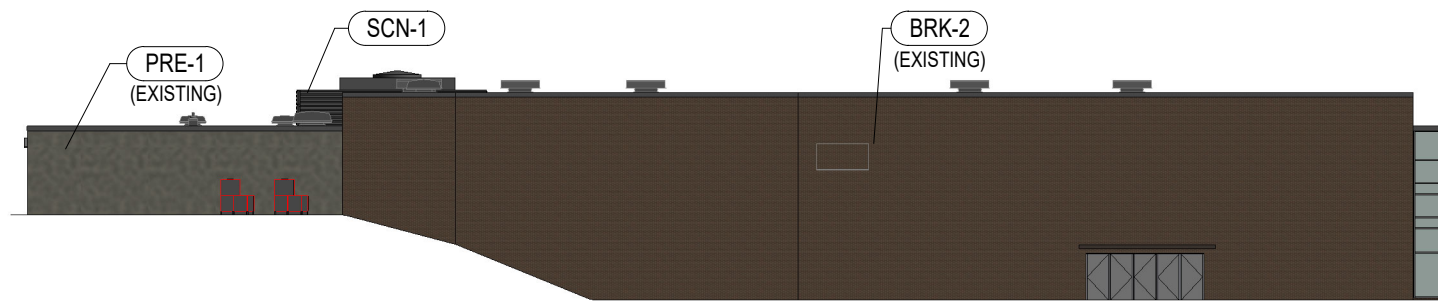
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**SITE PLAN -
 PHOTOMETRIC**

Sheet Number:
E0.00



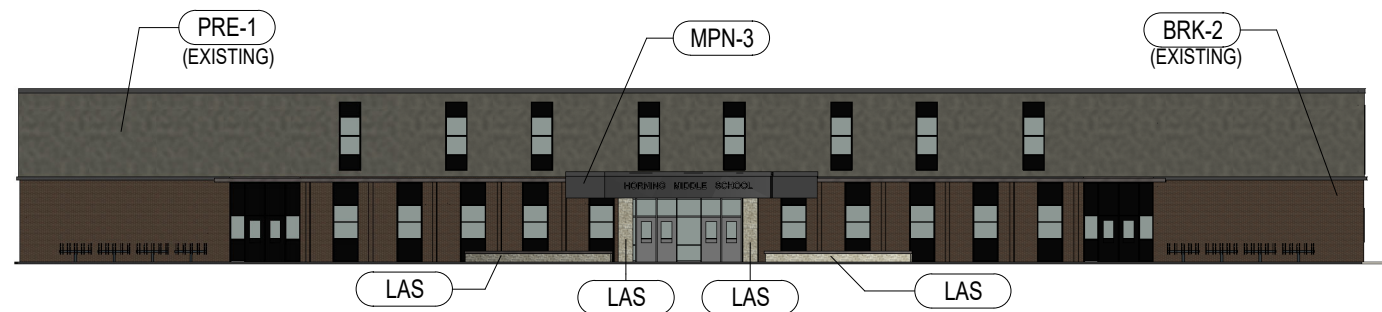
KEYNOTE LEGEND

BRK-2	EXISTING BRICK
LAS	LANNON STONE
MPN-3	METAL PANEL
PRE-1	EXISTING PRECAST CONCRETE
SCN-1	PREMANUFACTURED ANODIZED ROOF EQUIPMENT SCREEN TO MATCH EXISTING METAL TRIM



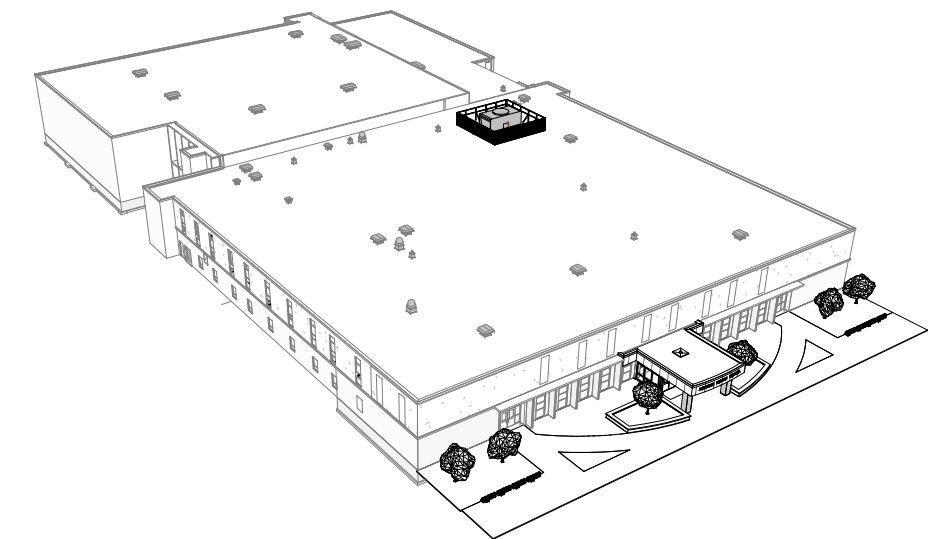
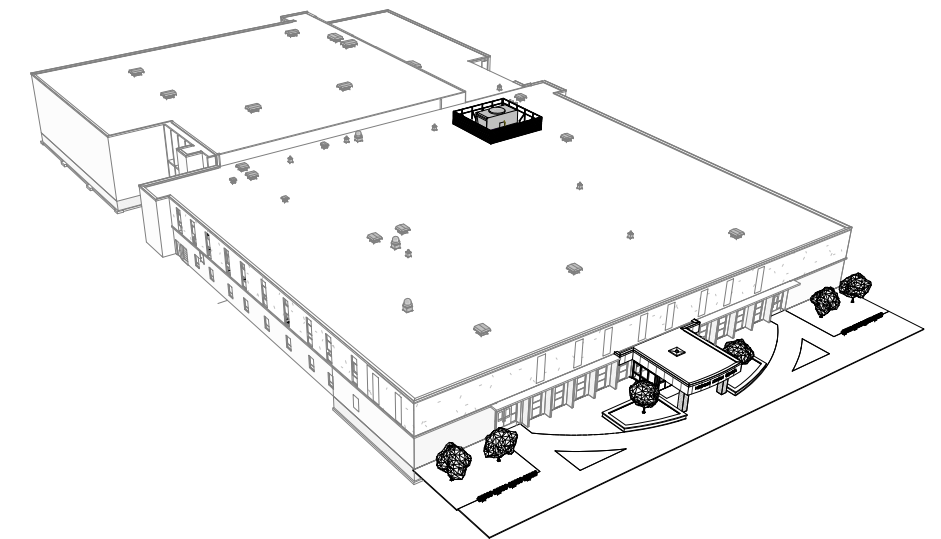
OVERALL - NORTH ELEVATION

Scale: 1" = 30'-0"



OVERALL - SOUTH ELEVATION

Scale: 1" = 30'-0"





OVERALL - EAST ELEVATION

Scale: 1" = 30'-0"

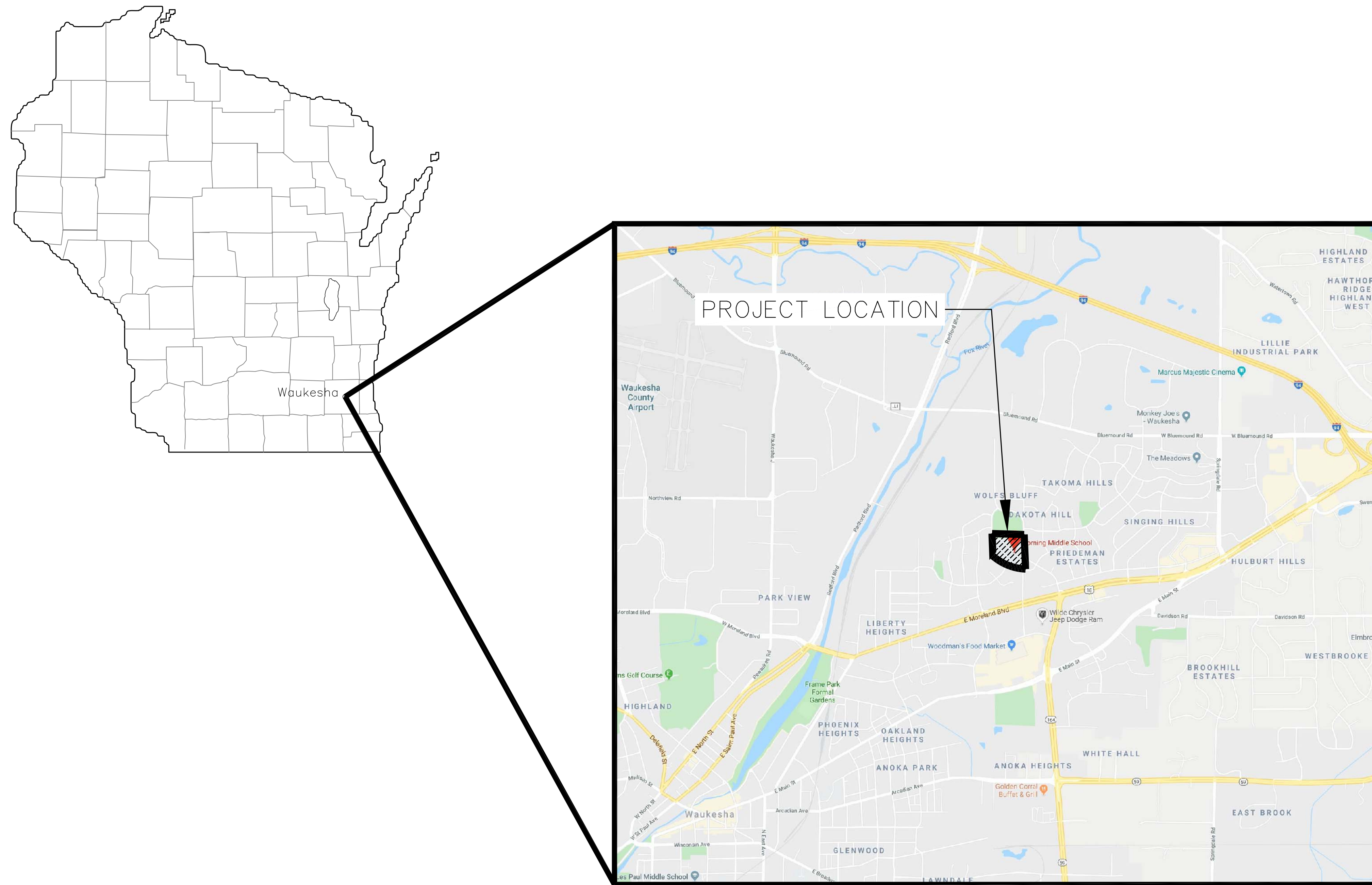


OVERALL - WEST ELEVATION

Scale: 1" = 30'-0"

KEYNOTE LEGEND	
BRK-2	EXISTING BRICK
LAS	LANNON STONE
MPN-3	METAL PANEL
PRE-1	EXISTING PRECAST CONCRETE
SCN-1	PREMANUFACTURED ANODIZED ROOF EQUIPMENT SCREEN TO MATCH EXISTING METAL TRIM

HORNING MIDDLE SCHOOL SCHOOL DISTRICT OF WAUKESHA



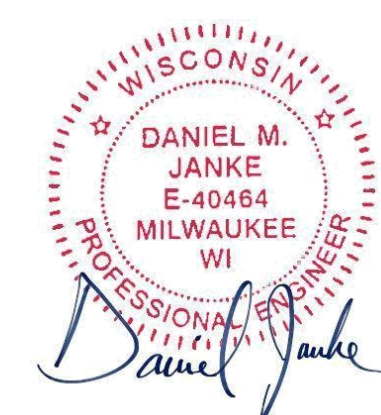
INDEX TO DRAWINGS

SHEET NO.	TITLE
T1.1	TITLE SHEET & LOCATION MAP
C1.0	PLAT OF SURVEY WITH TOPOGRAPHY
C1.1	SITE DEMOLITION PLAN
C1.2	SITE LAYOUT PLAN
C1.3	SITE GRADING & EROSION CONTROL PLAN
C2.1	SITE DETAILS
C2.2	SITE DETAILS
L1.1	SITE LANDSCAPE PLAN
L2.1	SITE LANDSCAPE DETAILS

SURVEY INFORMATION

- 1) BEARINGS ARE BASED ON THE WISCONSIN STATE PLANE COORDINATE SYSTEM SOUTH ZONE NAD 27.
- 2) ELEVATIONS ARE BASED ON NGVD 29 DATUM.
- 3) EXISTING TOPOGRAPHY IS BASED ON FIELD SURVEY TAKEN ON 12/04/2018 BY KAPUR & ASSOCIATES, INC.
- 4) REFER TO SHEET C1.0 FOR ADDITIONAL INFORMATION.

DIGGERS HOTLINE
Dial 811 or (800)242-8511
www.DiggersHotline.com



*ALL SITE IMPROVEMENTS AND CONSTRUCTION SHOWN ON THE PLANS SHALL CONFORM TO THE CITY OF WAUKESHA DEVELOPMENT HANDBOOK & INFRASTRUCTURE SPECIFICATIONS. WHERE THE PLANS DO NOT COMPLY, IT SHALL BE THE SOLE RESPONSIBILITY AND EXPENSE OF THE DEVELOPER TO MAKE REVISIONS TO THE PLANS AND/OR CONSTRUCTED INFRASTRUCTURE TO COMPLY.



Office Locations:
Davenport
220 Emerson Place, Suite 301
Davenport, Iowa 52801
Milwaukee
829 S. 1st Street
Milwaukee, Wisconsin 53204
T: 414.226.0200
Sheboygan
1227A North 8th Street
PO Box 955
Sheboygan, Wisconsin 53082
T: 920.459.4200
www.brayarch.com



Project Title:
**ADDITION AND REMODELING TO:
HORNING MIDDLE SCHOOL
WAUKESHA SCHOOL DISTRICT
2000 WOLF ROAD, WAUKESHA, WI 53186**

REVISIONS:
DATE DESCRIPTION

**NOT FOR
CONSTRUCTION**

Project Number:
3353

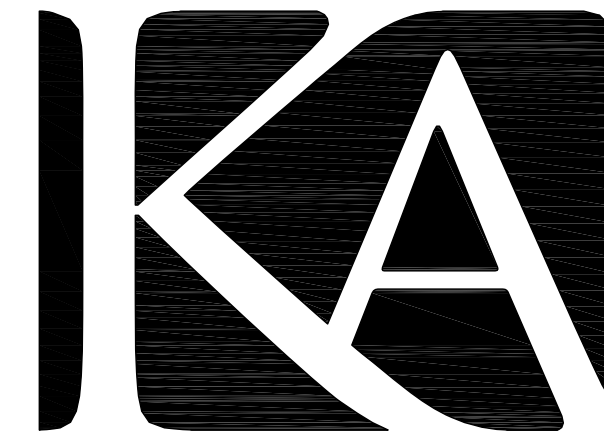
Issued For:
**PLAN
COMMISSION
REVIEW**
11/11/2019

Sheet Title:
**TITLE SHEET &
LOCATION MAP**

Sheet Number:
T1.1

PLAT OF SURVEY WITH TOPOGRAPHY

ALL THAT PART OF THE NORTHEAST 1/4 OF SECTION 35 AND NORTHWEST 1/4 OF SECTION 36, TOWN 7 NORTH, RANGE 19 EAST, CITY OF WAUKESHA, WAUKESHA COUNTY, WISCONSIN



KAPUR & ASSOCIATES, INC.
CONSULTING ENGINEERS
7711 N. PORT WASHINGTON ROAD
MILWAUKEE, WISCONSIN 53217
Phone: 414.751.7200 Fax: 414.351.4117

www.kapurengineers.com

LEGAL DESCRIPTION FROM QUIT CLAIM DEED, DOC. NO. 2141538

PARCEL 1: ALL THAT PART OF THE NORTHEAST 1/4 OF SECTION 35 AND NORTHWEST 1/4 OF SECTION 36, TOWN 7 NORTH, RANGE 19 EAST, CITY OF WAUKESHA, WAUKESHA COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF LOT 26, BLOCK 1, GREENWAY TERRACE, A RECORDED SUBDIVISION IN THE CITY OF WAUKESHA; THENCE DUE NORTH TO THE INTERSECTION OF THE WEST LINE OF WOLF ROAD WITH THE NORTH LINE OF BUTLER DRIVE AND THE PLACE OF BEGINNING OF THE FOLLOWING DESCRIBED PROPERTY, THENCE NORTH 87°55' WEST ALONG THE NORTHERLY LINE OF SAID BUTLER DRIVE, 7.41 FEET TO THE BEGINNING OF A CURVE; THENCE 342.49 FEET ALONG SAID NORTHERLY LINE AND THE ARC OF A CURVE, CENTER LIES TO THE NORTH, HAVING A RADIUS OF 1172.69 FEET TO THE END OF SAID CURVE; THENCE NORTH 71°11' WEST ALONG SAID NORTHERLY LINE, 156.00 FEET TO THE BEGINNING OF A CURVE; THENCE 370.67 FEET ALONG THE NORTHEASTERLY LINE OF SAID BUTLER DRIVE AND THE ARC OF A CURVE, CENTER OF WHICH LIES TO THE NORTHEAST, HAVING A RADIUS OF 298.35 FEET TO THE END OF SAID CURVE; THENCE DUE NORTH ALONG THE EASTERLY LINE OF SAID BUTLER DRIVE, 340 FEET MORE OR LESS TO A POINT; THENCE DUE EAST ON A LINE BETWEEN THE EXISTING DRIVE FOR THE SCHOOL AND THE EXISTING PARK SHELTER BUILDING, 450 FEET MORE OR LESS TO A POINT; THENCE DUE SOUTH, 55 FEET MORE OR LESS TO A POINT; THENCE DUE EAST, 230 FEET MORE OR LESS TO A POINT ON THE AFORESAID WEST LINE OF WOLF ROAD; THENCE DUE SOUTH ALONG SAID WEST LINE, 680 FEET MORE OR LESS TO THE PLACE OF BEGINNING.

FOR INFORMATIONAL PURPOSES ONLY
PROPERTY ADDRESS: 2019 BUTLER DRIVE, WAUKESHA, WI
TAX KEY NO.: WAKC 1006.981.001 (PARCEL 1)

AREA AS SURVEYED 435,673 SQ. FT., 10.002 ACRES

PROJECT:
HORNING MIDDLE SCHOOL

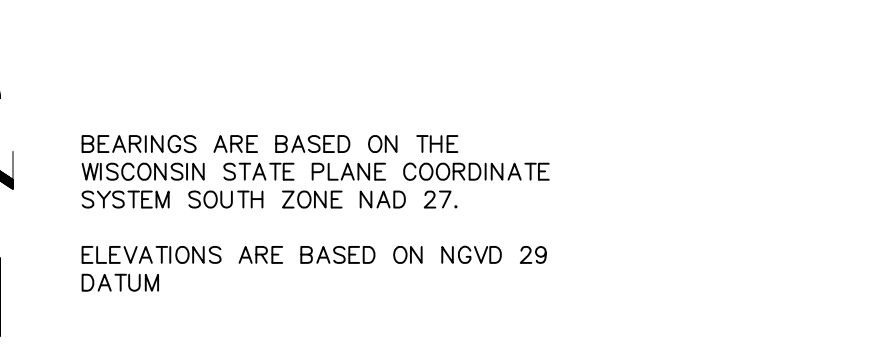
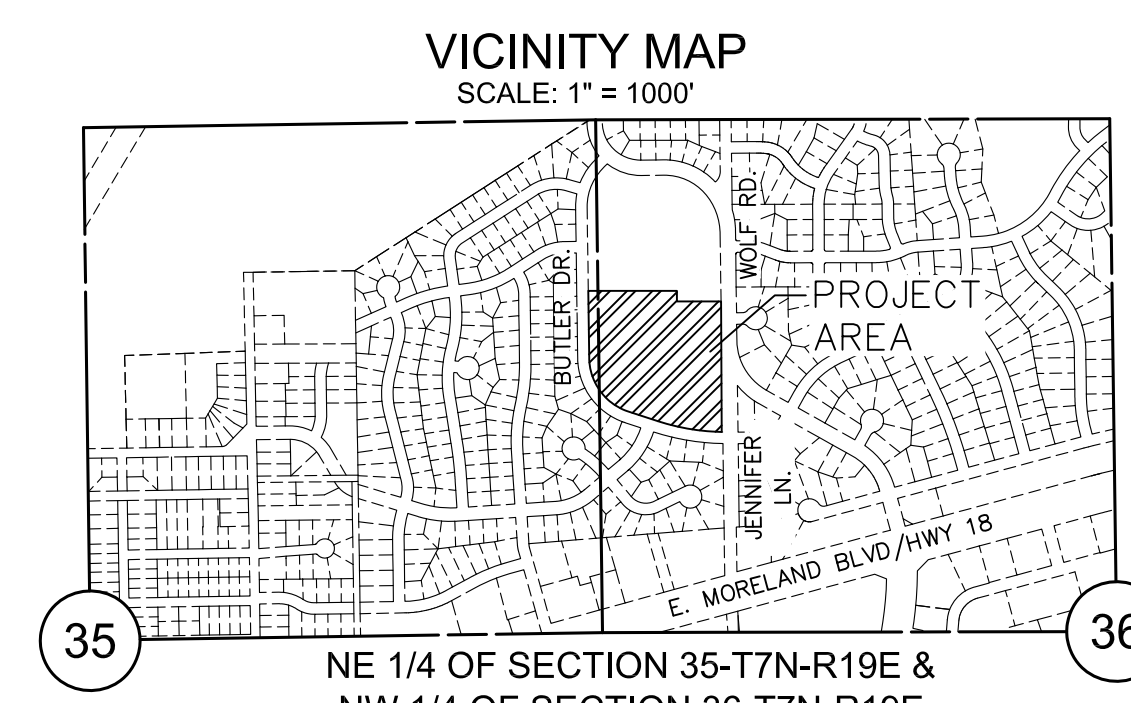
LOCATION:
**2000 WOLF RD
WAUKESHA, WI
53186**

CLIENT:
SCHOOL DISTRICT OF WAUKESHA

RELEASE:
DRAFT

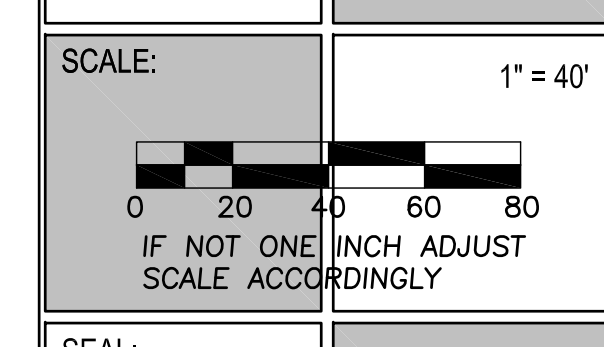
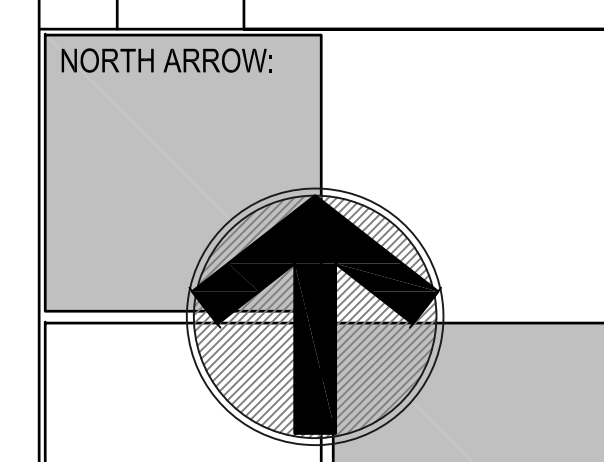
REVISIONS:

#	DATE	DESCRIPTION



Toll Free (800)242-8511
Milwaukee Area (414)259-1181
Hearing Impaired TDD (800)542-2289
www.DiggersHotline.com
REGISTERS HOTLINE TICKETS:
20191272908, 20191272915, 20191272970, 20191272975

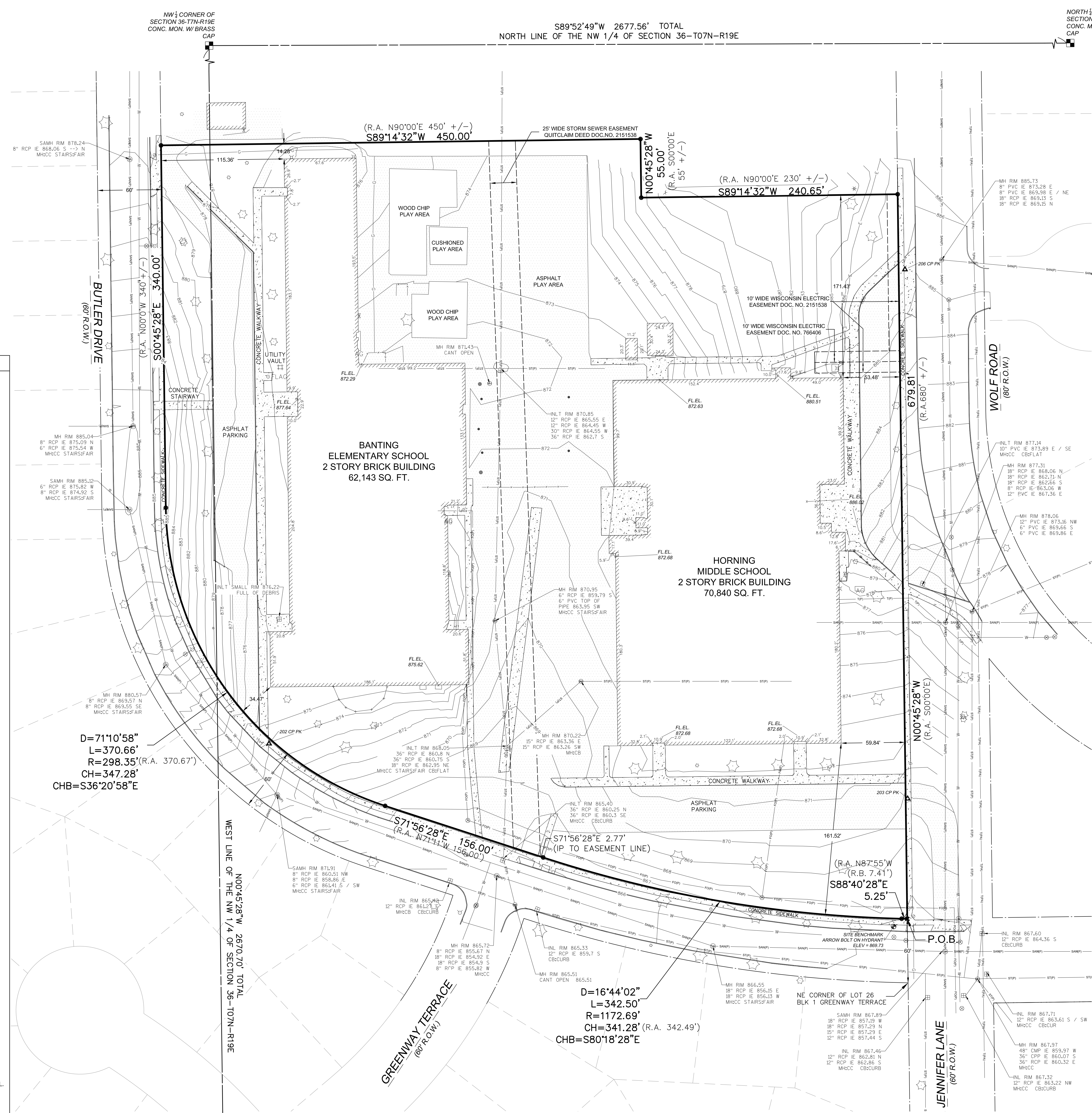
ALTHOUGH DIGGERS' HOTLINE WAS NOTIFIED THIS SURVEY DOES NOT GUARANTEE THAT ALL UTILITIES HAVE BEEN LOCATED ON SITE. SOME OF THE UTILITIES MAY HAVE BEEN DRAWN IN PER PLAN BASED ON MAPS RECEIVED FROM MEMBERS NOTIFIED. LACKING EXCAVATION THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY.



SHEET:
PLAT OF SURVEY WITH TOPOGRAPHY

DRAWN BY: ITM
CHECKED BY: BES
APPROVED BY:
PROJECT NUMBER: 19.0086.01

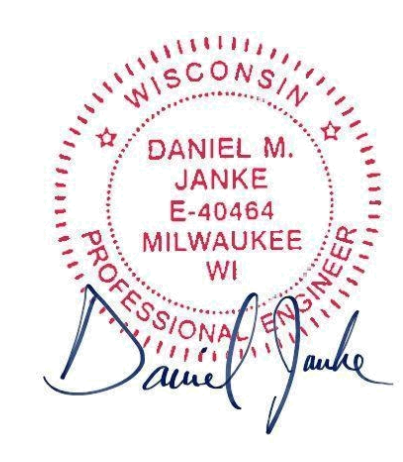
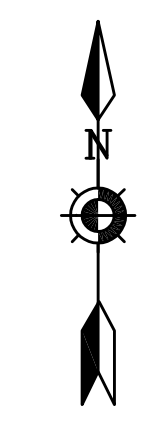
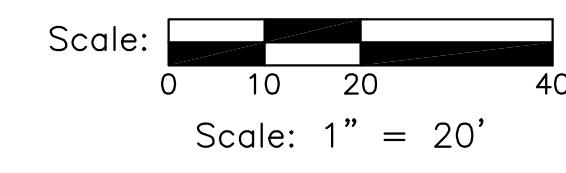
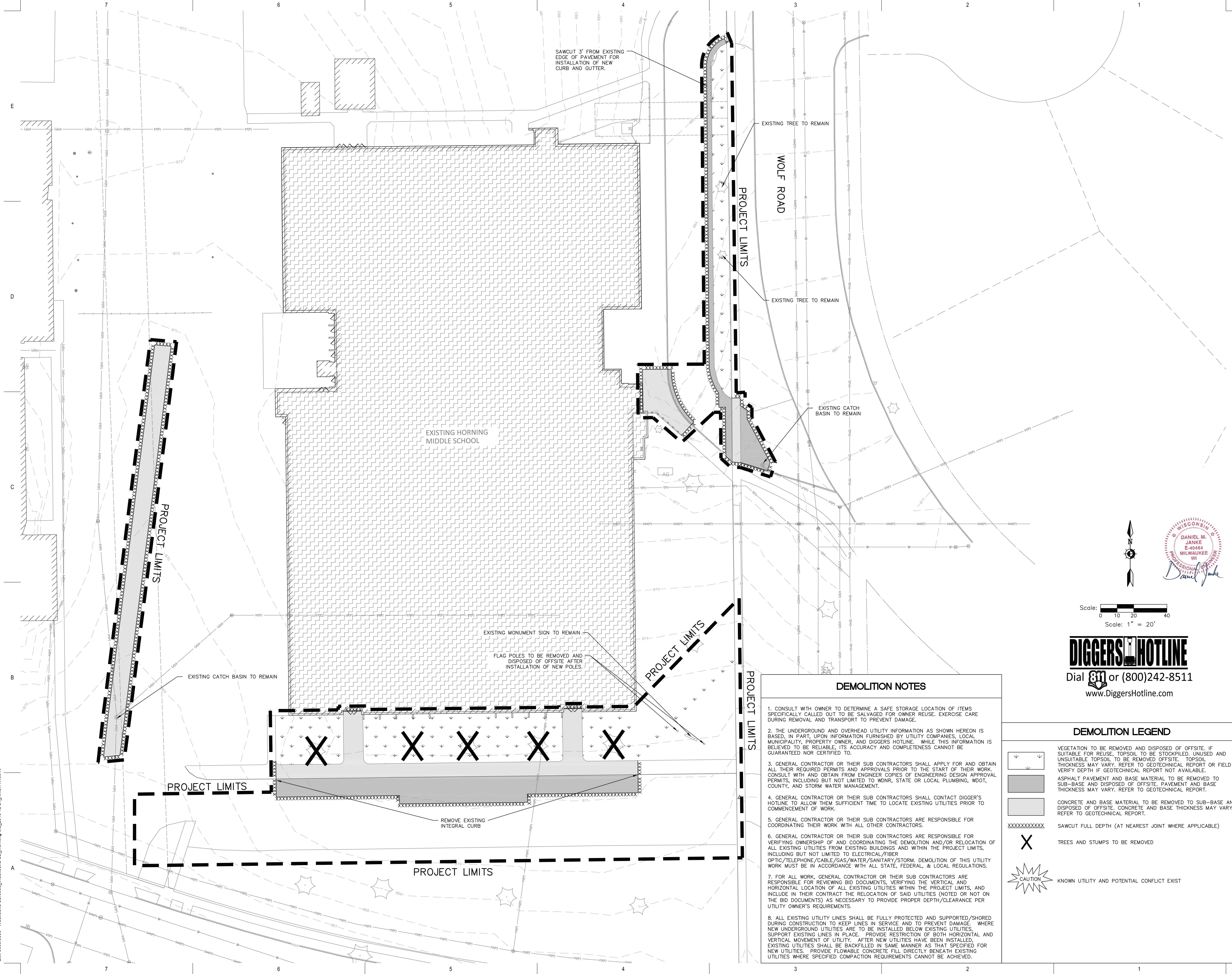
SHEET NUMBER:
C1.0



- ### LEGEND
- = BENCH MARK
 - ▲ = CONTROL POINT
 - ⊠ = FOUND CUT CROSS
 - ⊠ = CUT CROSS SET
 - = FOUND REBAR OR MONUMENTATION AS NOTED
 - = FOUND REBAR OR MONUMENTATION AS NOTED
 - = 1-1/4" O.D. x 24" LONG IRON PIPE SET, WEIGHING 1.68 LBS./FT.
 - ⊠ = SECTION CORNER MON.
 - ▲ = FOUND MAG/PAK
 - ▲ = SET MAG NAIL
 - = WATER VALVE
 - ⊠ = FIRE HYDRANT
 - = SOIL BORING
 - 970.90 = SPOT ELEVATION
 - ⊕ = BUSH, SHRUB
 - = POLE/POST/BOLLARD
 - = BOULDER
 - ⊠ = WINDMILL
 - ⊠ = FULLBOX
 - ⊠ = MANHOLE TYPE NOTED
 - ⊠ = SANITARY SEWER MANHOLE
 - ⊠ = STORM SEWER MANHOLE
 - ⊠ = TELEPHONE MANHOLE
 - ⊠ = ELECTRIC MANHOLE
 - ⊠ = WATER MANHOLE
 - ⊠ = UTILITY METER
 - ⊠ = SPRINKLER
 - ⊠ = GUY WIRE POLE
 - ⊠ = LIGHT POLE
 - ⊠ = PEDESTAL
 - ⊠ = POWER POLE
 - ⊠ = POWER/LIGHT POLE
 - ⊠ = TRAFFIC SIGNAL
 - ⊠ = CURB STOP
 - ⊠ = INLET
 - ⊠ = CURB INLET
 - ⊠ = GAS VALVE
 - ⊠ = LIGHT POLE WITH MAST
 - ⊠ = TREE (CONIFEROUS) DRIP LINE SCALABLE
 - ⊠ = TREE (DECIDUOUS) DRIP LINE SCALABLE
 - ⊠ = TREE STUMP
 - ⊠ = CLEANOUT
 - ⊠ = FLAG POLE
 - ⊠ = WELL
 - ⊠ = MONITORING WELL
 - ⊠ = SIGN ON POST
 - ⊠ = PARKING METER
 - ⊠ = UTILITY CONTROL BOX
 - ⊠ = UNKNOWN UTILITY VALVE
 - ⊠ = UNKNOWN UTILITY VALVE
 - FL. EL. = FIRST FLOOR ELEVATION
 - ⊠ = BUILDING OUTLINE
 - 3 = MINOR CONTOUR
 - 5 = MAJOR CONTOUR
 - ⊠ = FENCE
 - ⊠ = BEAM GUARD
 - ⊠ = CHAINLINK FENCE
 - ⊠ = WOODED AREA/SHRUB EDGE
 - W = WATER MAIN
 - ST = STORM SEWER
 - SAN = SANITARY SEWER
 - COMB = COMBINED SEWER
 - G = NATURAL GAS MAIN
 - Y = UNDERGROUND TELEPHONE
 - E = UNDERGROUND ELECTRIC
 - OH = OVERHEAD UTILITY LINES
 - FO = UNDERGROUND FIBER OPTIC
 - TV = UNDERGROUND CABLE TV
 - BES = BUREAU OF ELEC. SERV. CI. MIL.
 - STM = STEAM LINE
 - ⊠ = COMMUNICATION CONDUIT
 - (P) IN LINESYLE INDICATES, DRAWN PER EXISTING PLANS AND ARE APPROXIMATE
 - ⊠ = ASPHALT SURFACE
 - ⊠ = CONCRETE SURFACE
 - ⊠ = WETLANDS

POINT NO.	NORTHING	EASTING	ELEVATION	TYPE
1013	379717.91	2480319.03	869.73	BM ARROWBOLT
202	379688.90	2479732.96	874.06	CP PK
203	379827.93	2480332.19	870.01	CP PK
206	380334.32	2480329.65	885.87	CP PK

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DEMOLITION NOTES

1. CONSULT WITH OWNER TO DETERMINE A SAFE STORAGE LOCATION OF ITEMS SPECIFICALLY CALLED OUT TO BE SALVAGED FOR OWNER REUSE. EXERCISE CARE DURING REMOVAL AND TRANSPORT TO PREVENT DAMAGE.
2. THE UNDERGROUND AND OVERHEAD UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, UPON INFORMATION FURNISHED BY UTILITY COMPANIES, LOCAL MUNICIPALITY, PROPERTY OWNER, AND DIGGERS HOTLINE. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
3. GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS SHALL APPLY FOR AND OBTAIN ALL THEIR REQUIRED PERMITS AND APPROVALS PRIOR TO THE START OF THEIR WORK. CONSULT WITH AND OBTAIN FROM ENGINEER COPIES OF ENGINEERING DESIGN APPROVAL PERMITS, INCLUDING BUT NOT LIMITED TO WDNR, STATE OR LOCAL PLUMBING, WDOT, COUNTY, AND STORM WATER MANAGEMENT.
4. GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS SHALL CONTACT DIGGER'S HOTLINE TO ALLOW THEM SUFFICIENT TIME TO LOCATE EXISTING UTILITIES PRIOR TO COMMENCEMENT OF WORK.
5. GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS ARE RESPONSIBLE FOR COORDINATING THEIR WORK WITH ALL OTHER CONTRACTORS.
6. GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS ARE RESPONSIBLE FOR VERIFYING OWNERSHIP OF AND COORDINATING THE DEMOLITION AND/OR RELOCATION OF ALL EXISTING UTILITIES FROM EXISTING BUILDINGS AND WITHIN THE PROJECT LIMITS, INCLUDING BUT NOT LIMITED TO ELECTRICAL/FIBER OPTIC/TELEPHONE/CABLE/GAS/WATER/SANITARY/STORM. DEMOLITION OF THIS UTILITY WORK MUST BE IN ACCORDANCE WITH ALL STATE, FEDERAL, & LOCAL REGULATIONS.
7. FOR ALL WORK, GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS ARE RESPONSIBLE FOR REVIEWING BID DOCUMENTS, VERIFYING THE VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UTILITIES WITHIN THE PROJECT LIMITS, AND INCLUDE IN THEIR CONTRACT THE RELOCATION OF SAID UTILITIES (NOTED OR NOT ON THE BID DOCUMENTS) AS NECESSARY TO PROVIDE PROPER DEPTH/CLEARANCE PER UTILITY OWNER'S REQUIREMENTS.
8. ALL EXISTING UTILITY LINES SHALL BE FULLY PROTECTED AND SUPPORTED/SHORED DURING CONSTRUCTION TO KEEP LINES IN SERVICE AND TO PREVENT DAMAGE. WHERE NEW UNDERGROUND UTILITIES ARE TO BE INSTALLED BELOW EXISTING UTILITIES, SUPPORT EXISTING LINES IN PLACE. PROVIDE RESTRICTION OF BOTH HORIZONTAL AND VERTICAL MOVEMENT OF UTILITY. AFTER NEW UTILITIES HAVE BEEN INSTALLED, EXISTING UTILITIES SHALL BE BACKFILLED IN SAME MANNER AS THAT SPECIFIED FOR NEW UTILITIES. PROVIDE FLOWABLE CONCRETE FILL DIRECTLY BENEATH EXISTING UTILITIES WHERE SPECIFIED COMPACTION REQUIREMENTS CANNOT BE ACHIEVED.

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 www.DiggersHotline.com

DEMOLITION LEGEND

- VEGETATION TO BE REMOVED AND DISPOSED OF OFFSITE. IF SUITABLE FOR REUSE, TOPSOIL TO BE STOCKPILED, UNUSED AND UNSUITABLE TOPSOIL TO BE REMOVED OFFSITE. TOPSOIL THICKNESS MAY VARY. REFER TO GEOTECHNICAL REPORT OR FIELD VERIFY DEPTH IF GEOTECHNICAL REPORT NOT AVAILABLE.
- ASPHALT PAVEMENT AND BASE MATERIAL TO BE REMOVED TO SUB-BASE AND DISPOSED OF OFFSITE. PAVEMENT AND BASE THICKNESS MAY VARY. REFER TO GEOTECHNICAL REPORT.
- CONCRETE AND BASE MATERIAL TO BE REMOVED TO SUB-BASE AND DISPOSED OF OFFSITE. CONCRETE AND BASE THICKNESS MAY VARY. REFER TO GEOTECHNICAL REPORT.
- SAWCUT FULL DEPTH (AT NEAREST JOINT WHERE APPLICABLE)
- TREES AND STUMPS TO BE REMOVED
- CAUTION KNOWN UTILITY AND POTENTIAL CONFLICT EXIST

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Project Title:
 ADDITION AND REMODELING TO:
 HORNING MIDDLE SCHOOL
 WAUKESHA SCHOOL DISTRICT
 2000 WOLF ROAD, WAUKESHA, WI 53186

REVISIONS:

DATE	DESCRIPTION

NOT FOR CONSTRUCTION

Project Number:
3353

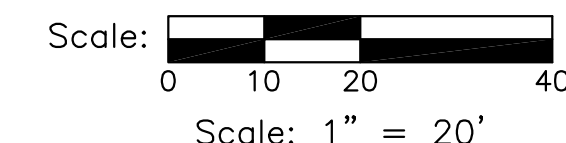
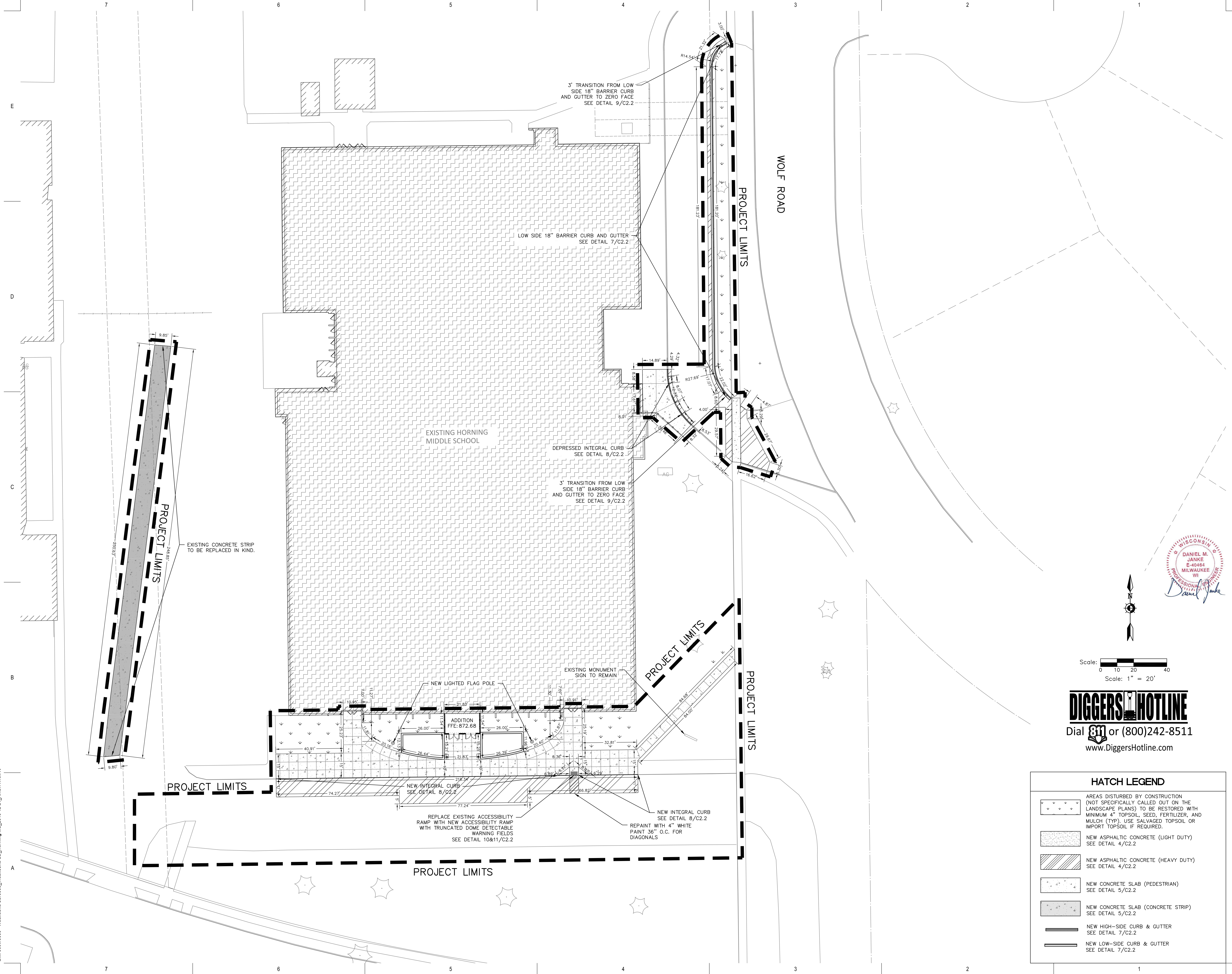
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Sheet Title:
SITE DEMOLITION PLAN

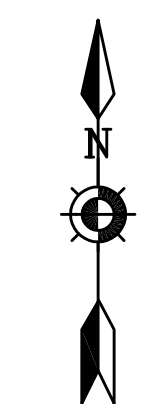
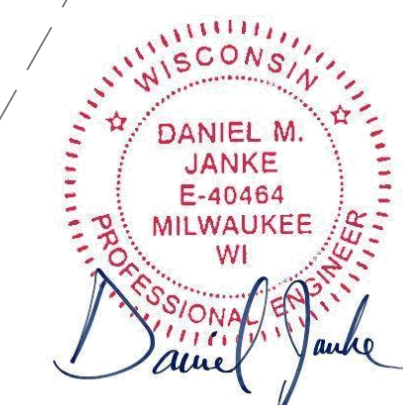
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HATCH LEGEND	
	AREAS DISTURBED BY CONSTRUCTION (NOT SPECIFICALLY CALLED OUT ON THE LANDSCAPE PLANS) TO BE RESTORED WITH MINIMUM 4" TOPSOIL, SEED, FERTILIZER, AND MULCH (TYP). USE SALVAGED TOPSOIL OR IMPORT TOPSOIL IF REQUIRED.
	NEW ASPHALTIC CONCRETE (LIGHT DUTY) SEE DETAIL 4/C2.2
	NEW ASPHALTIC CONCRETE (HEAVY DUTY) SEE DETAIL 4/C2.2
	NEW CONCRETE SLAB (PEDESTRIAN) SEE DETAIL 5/C2.2
	NEW CONCRETE SLAB (CONCRETE STRIP) SEE DETAIL 5/C2.2
	NEW HIGH-SIDE CURB & GUTTER SEE DETAIL 7/C2.2
	NEW LOW-SIDE CURB & GUTTER SEE DETAIL 7/C2.2



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ADDITION AND REMODELING TO:
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WAUKESHA SCHOOL DISTRICT
2000 WOLF ROAD, WAUKESHA, WI 53186

REVISIONS:	
DATE	DESCRIPTION

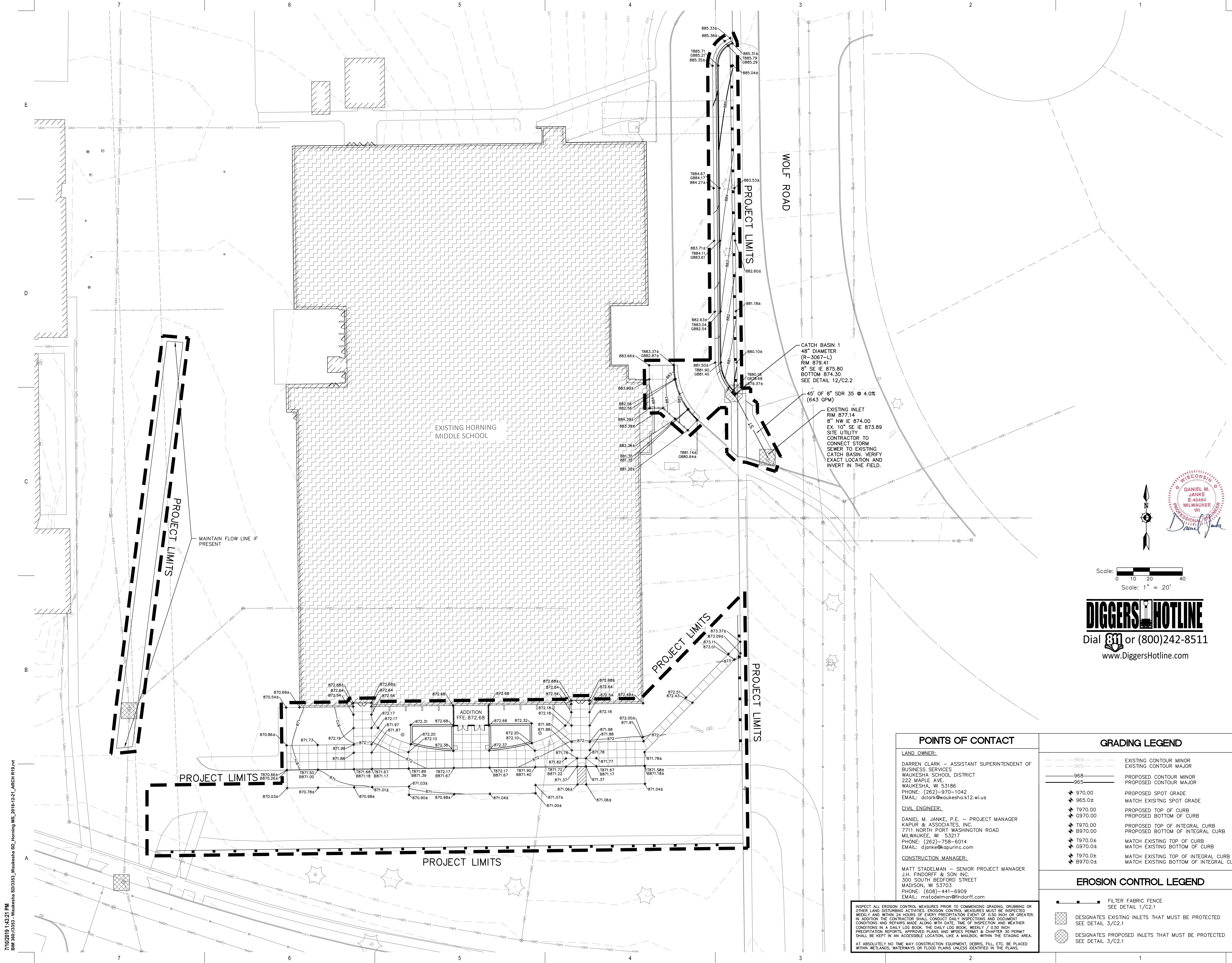
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Project Number:
3353

Issued For:
PLAN COMMISSION REVIEW
11/11/2019

Sheet Title:
SITE LAYOUT PLAN

Sheet Number:
C1.2



WOLF ROAD

PROJECT LIMITS

EXISTING HORNING MIDDLE SCHOOL

PROJECT LIMITS

MAINTAIN FLOW LINE IF PRESENT

PROJECT LIMITS

PROJECT LIMITS

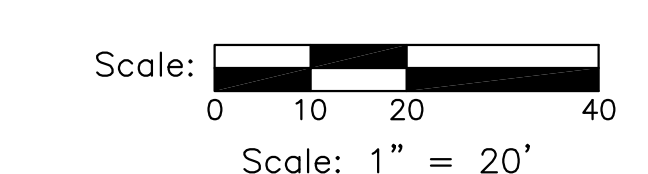
PROJECT LIMITS

PROJECT LIMITS

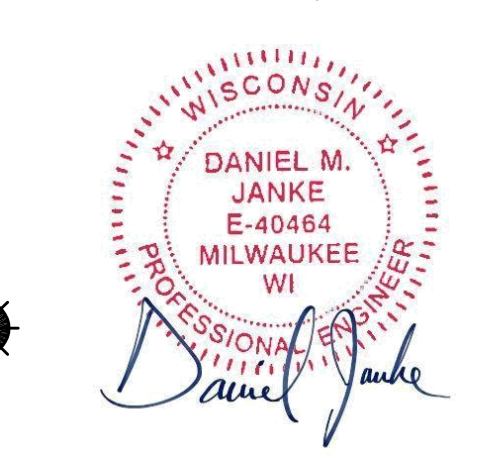
CATCH BASIN 1
48" DIAMETER
(R-3067-L)
RIM 879.41'
8" SE IE 875.80
BOTTOM 874.30
SEE DETAIL 12/C2.2

45' OF 8" SDR 35 @ 4.0%
(643 GPM)

EXISTING INLET
RIM 877.14
8" NW IE 874.00
EX. 10" SE IE 873.89
SITE UTILITY
CONTRACTOR TO
CONNECT STORM
SEWER TO EXISTING
CATCH BASIN. VERIFY
EXACT LOCATION AND
INVERT IN THE FIELD.



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POINTS OF CONTACT

LAND OWNER:
DARREN CLARK - ASSISTANT SUPERINTENDENT OF BUSINESS SERVICES
WAUKESHA SCHOOL DISTRICT
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WAUKESHA, WI 53186
PHONE: (262)-970-1042
EMAIL: dclark@waukesha.k12.wi.us

CIVIL ENGINEER:
DANIEL M. JANKE, P.E. - PROJECT MANAGER
KAPUR & ASSOCIATES, INC.
7711 NORTH PORT WASHINGTON ROAD
MILWAUKEE, WI 53217
PHONE: (262)-758-6014
EMAIL: djanke@kapurinc.com

CONSTRUCTION MANAGER:
MATT STADELTMAN - SENIOR PROJECT MANAGER
J.H. FINDORFF & SON INC.
300 SOUTH BEDFORD STREET
MADISON, WI 53703
PHONE: (608)-441-6909
EMAIL: mstadelman@findorff.com

INSPECT ALL EROSION CONTROL MEASURES PRIOR TO COMMENCING GRADING, GRUBBING OR OTHER LAND DISTURBING ACTIVITIES. EROSION CONTROL MEASURES MUST BE INSPECTED WEEKLY AND WITHIN 24 HOURS OF EVERY PRECIPITATION EVENT OF 0.50 INCH OR GREATER. IN ADDITION, THE CONTRACTOR SHALL CONDUCT DAILY INSPECTIONS AND DOCUMENT CONDITIONS AND REPAIRS MADE ALONG WITH DATE, TIME OF INSPECTION AND WEATHER CONDITIONS IN A DAILY LOG BOOK. THE DAILY LOG BOOK, WEEKLY 7.0 INCH PRECIPITATION REPORTS, APPROVED PLANS AND WRITES PERMIT & CHAPTER 30 PERMIT SHALL BE KEPT IN AN ACCESSIBLE LOCATION LIKE A MAILBOX, WITHIN THE STAGING AREA. AT ABSOLUTELY NO TIME MAY CONSTRUCTION EQUIPMENT, OBSTACLES, ETC. BE PLACED WITHIN WETLANDS, WATERWAYS OR FLOOD PLANS UNLESS IDENTIFIED IN THE PLANS.

GRADING LEGEND

- - - - - 969 - - - - - EXISTING CONTOUR MINOR
- - - - - 965 - - - - - EXISTING CONTOUR MAJOR
- - - - - 968 - - - - - PROPOSED CONTOUR MINOR
- - - - - 965 - - - - - PROPOSED CONTOUR MAJOR
- ⬆ 970.00 PROPOSED SPOT GRADE
- ⬆ 965.0± MATCH EXISTING SPOT GRADE
- ⬆ 970.00 PROPOSED TOP OF CURB
- ⬆ 970.00 PROPOSED BOTTOM OF CURB
- ⬆ 970.00 PROPOSED TOP OF INTEGRAL CURB
- ⬆ 970.00 PROPOSED BOTTOM OF INTEGRAL CURB
- ⬆ 970.0± MATCH EXISTING TOP OF CURB
- ⬆ 970.0± MATCH EXISTING BOTTOM OF CURB
- ⬆ 970.0± MATCH EXISTING TOP OF INTEGRAL CURB
- ⬆ 970.0± MATCH EXISTING BOTTOM OF INTEGRAL CURB

EROSION CONTROL LEGEND

- - - - - FILTER FABRIC FENCE
SEE DETAIL 1/C2.1
- ⊗ DESIGNATES EXISTING INLETS THAT MUST BE PROTECTED
SEE DETAIL 3/C2.1
- ⊗ DESIGNATES PROPOSED INLETS THAT MUST BE PROTECTED
SEE DETAIL 3/C2.1

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2000 WOLF ROAD, WAUKESHA, WI 53186

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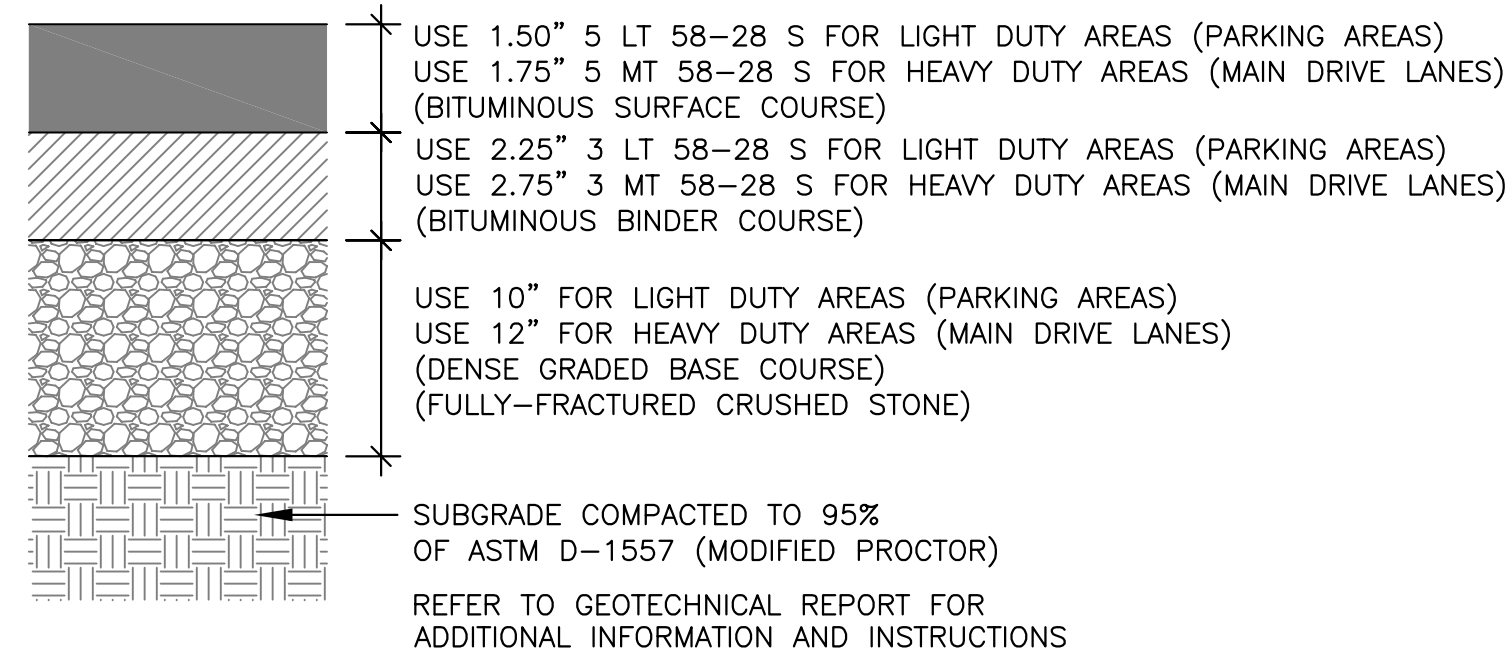
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11/11/2019

Sheet Title:
SITE GRADING
AND EROSION
CONTROL PLAN

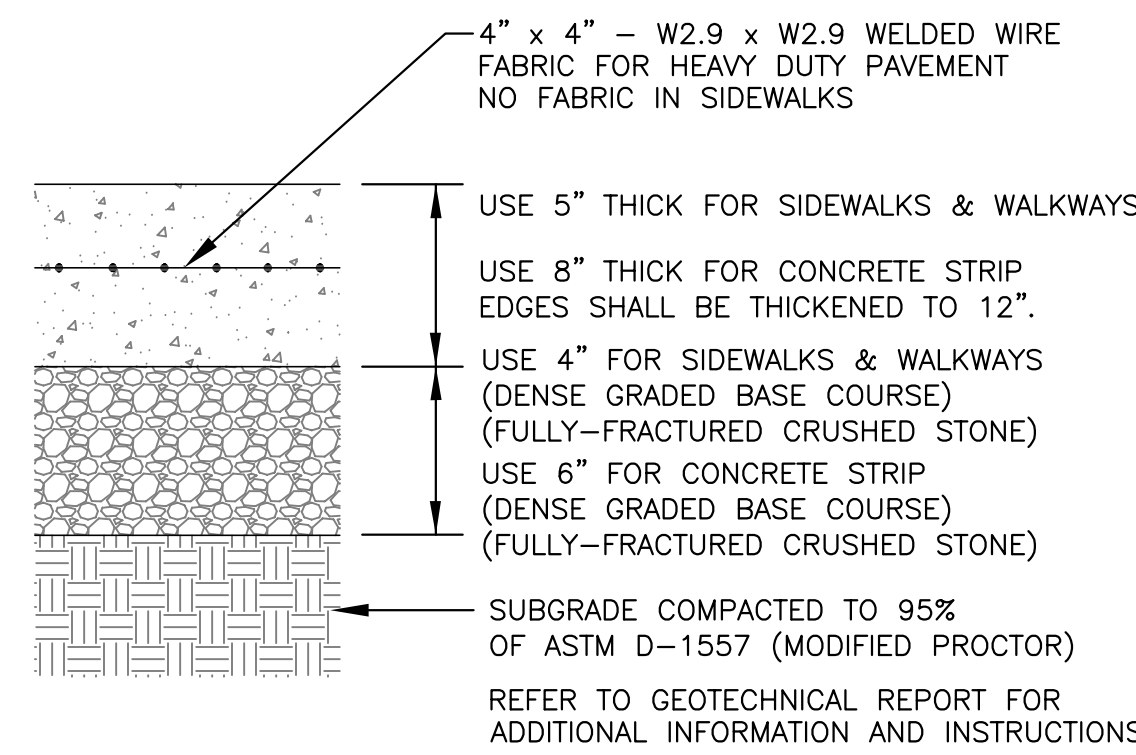
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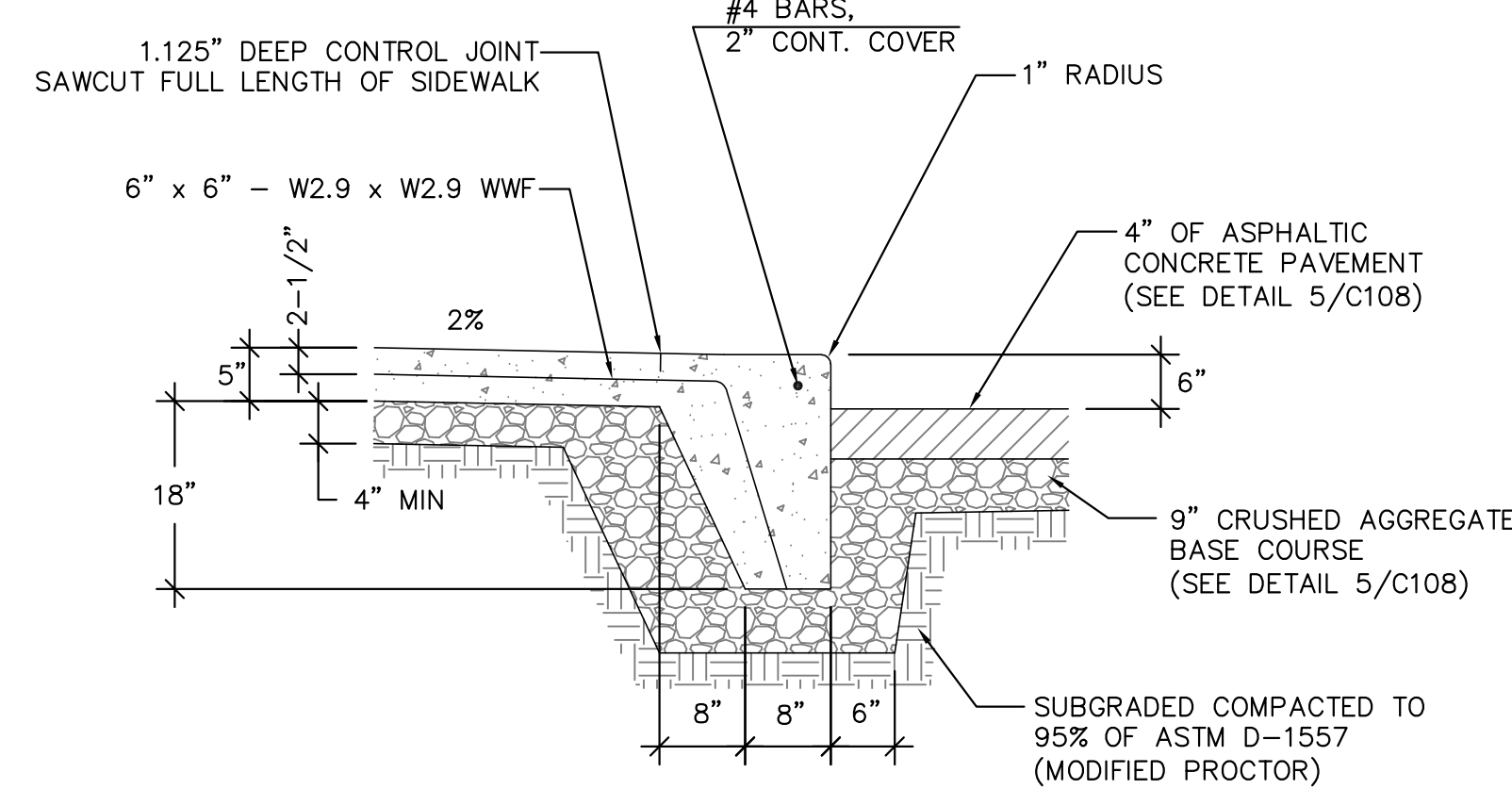
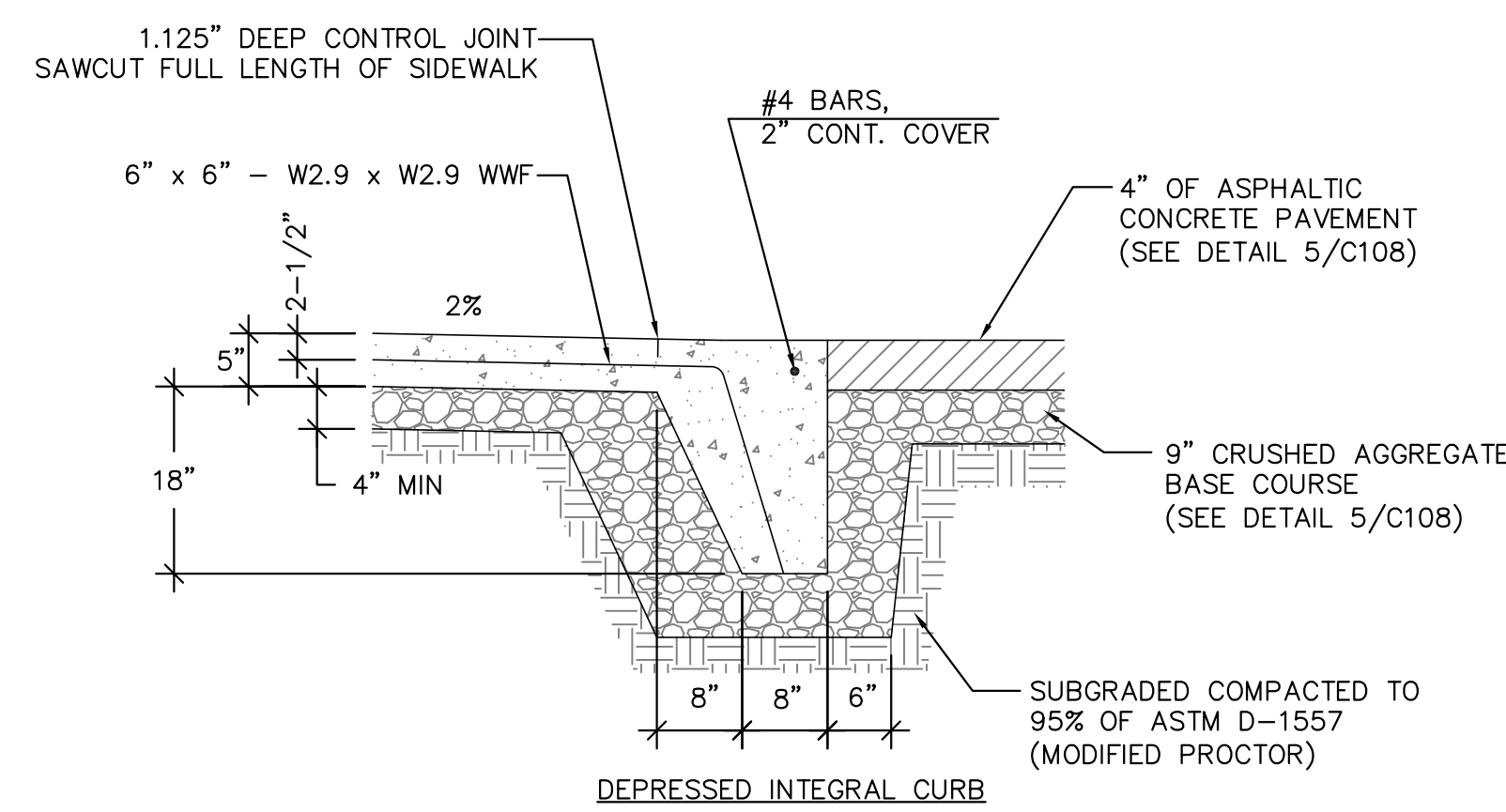
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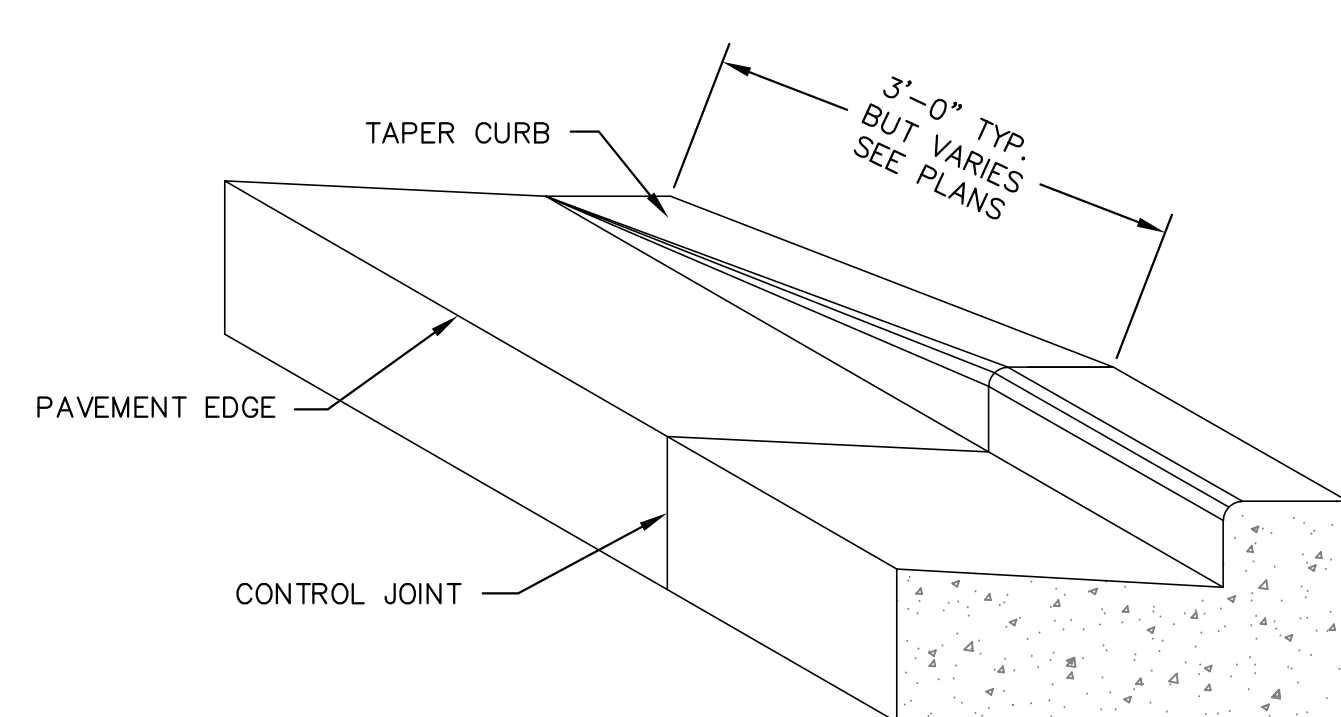
4 ASPHALTIC CONCRETE PAVEMENT
N.T.S.



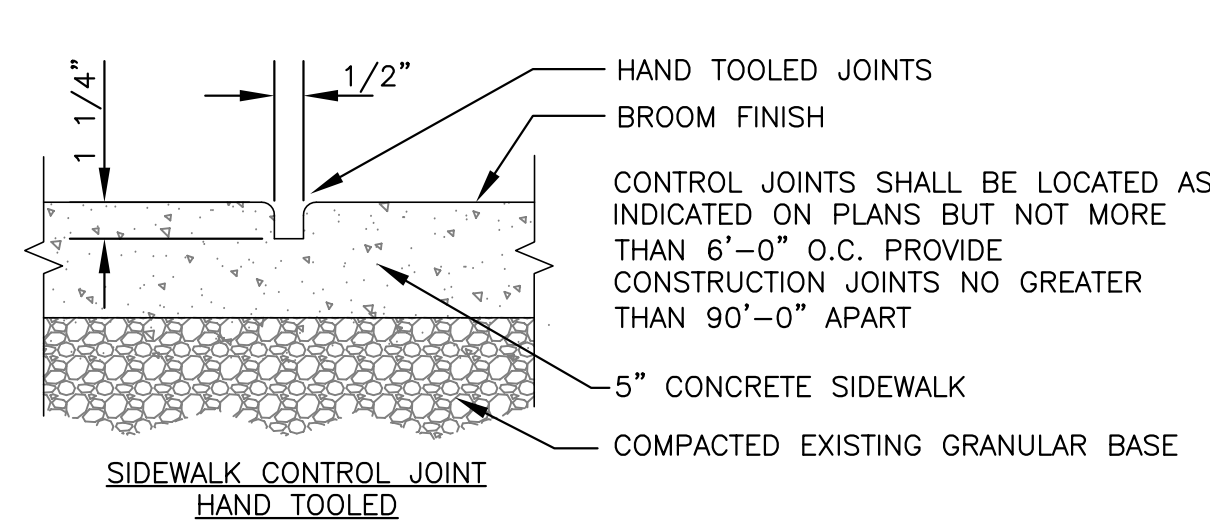
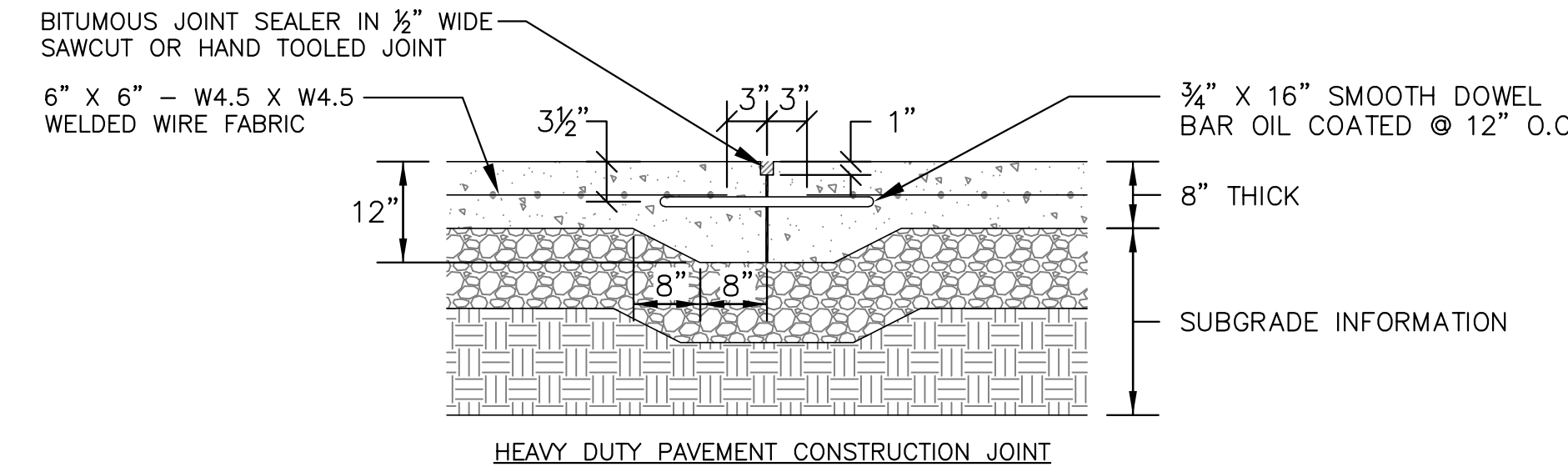
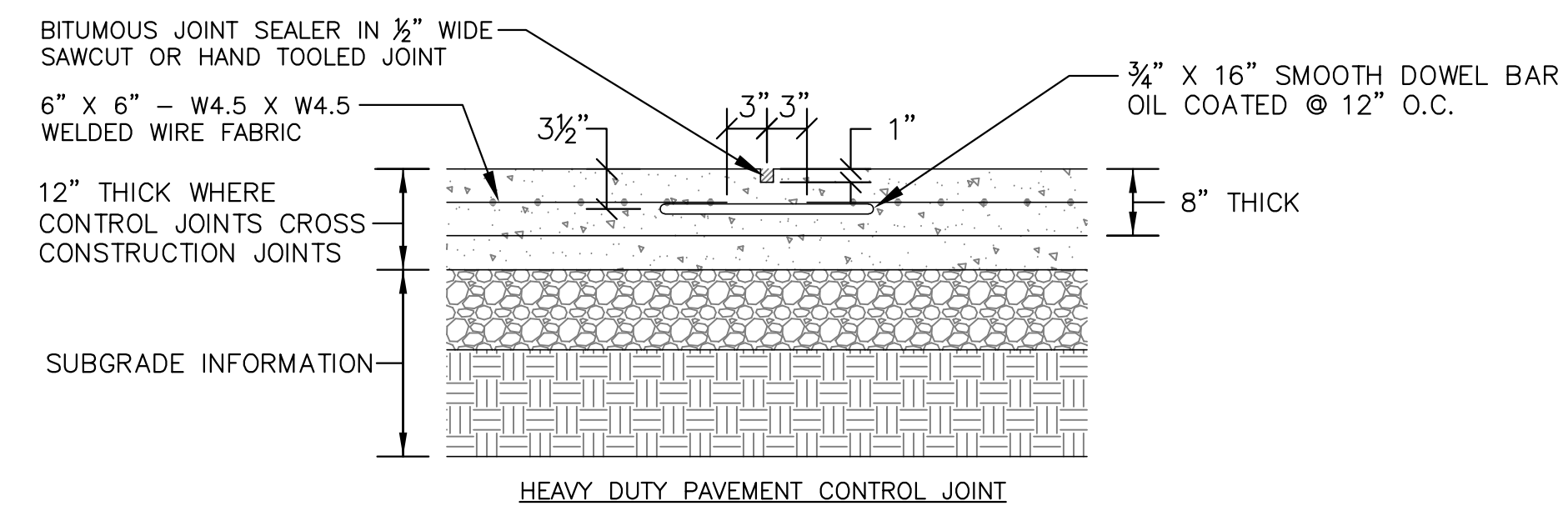
5 CONCRETE SIDEWALK/SLAB
N.T.S.



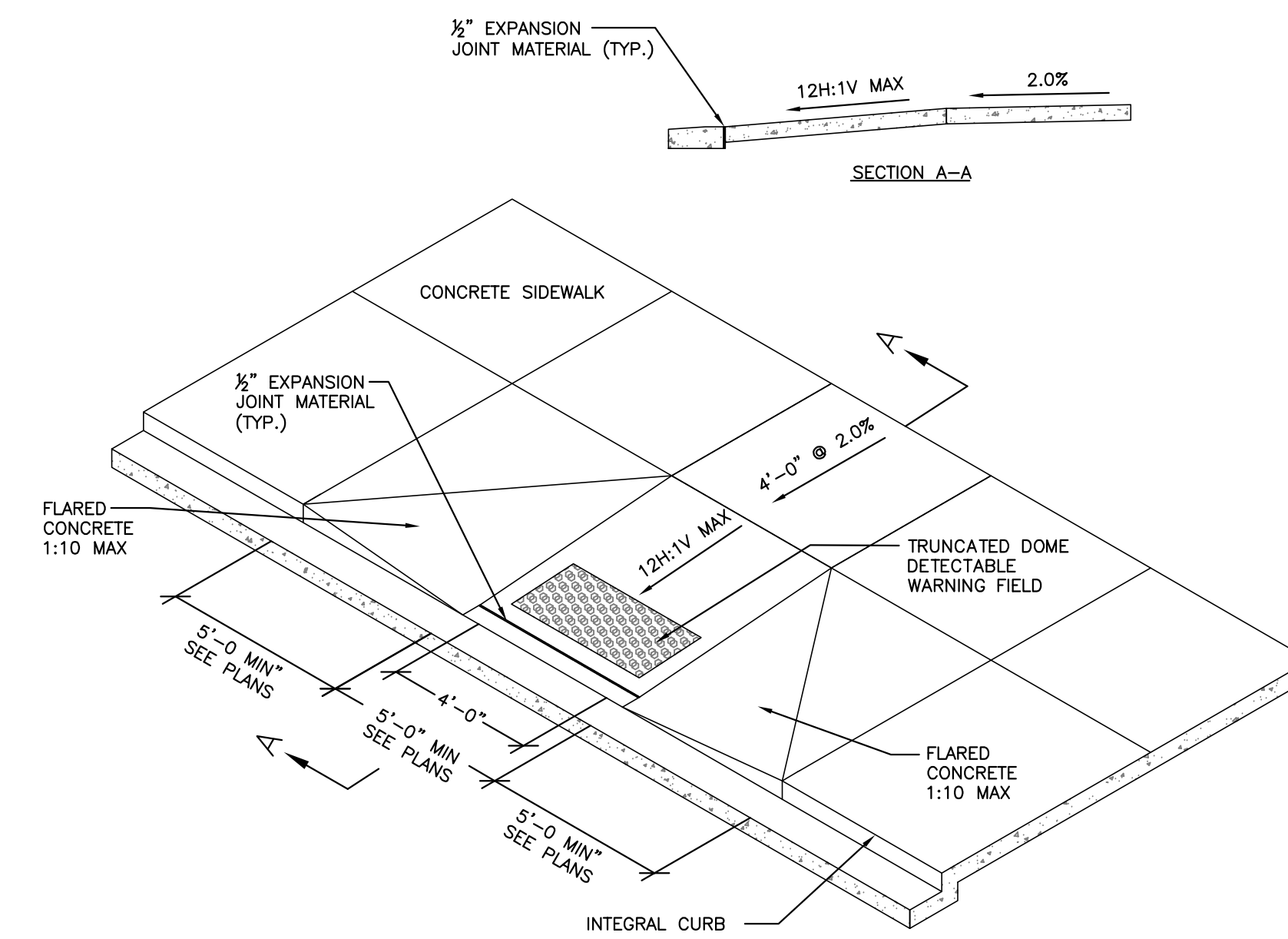
8 CONCRETE SIDEWALK WITH INTEGRAL CURB
N.T.S.



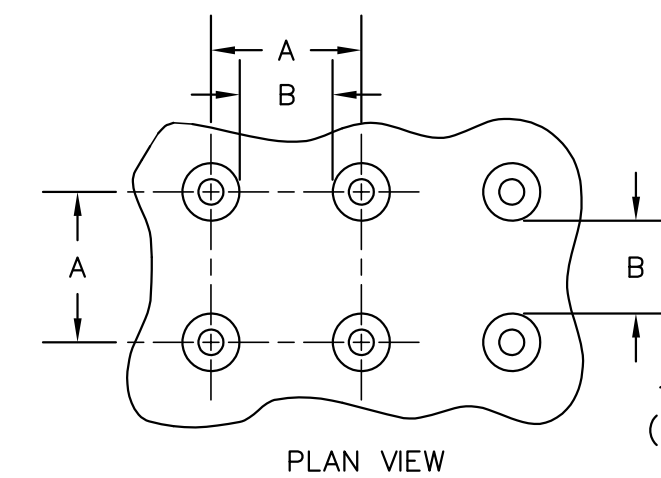
9 CONCRETE CURB & GUTTER TRANSITION TO ZERO-FACE CURB
N.T.S.



6 CONTROL & CONSTRUCTION JOINT DETAILS (TYP.)
N.T.S.

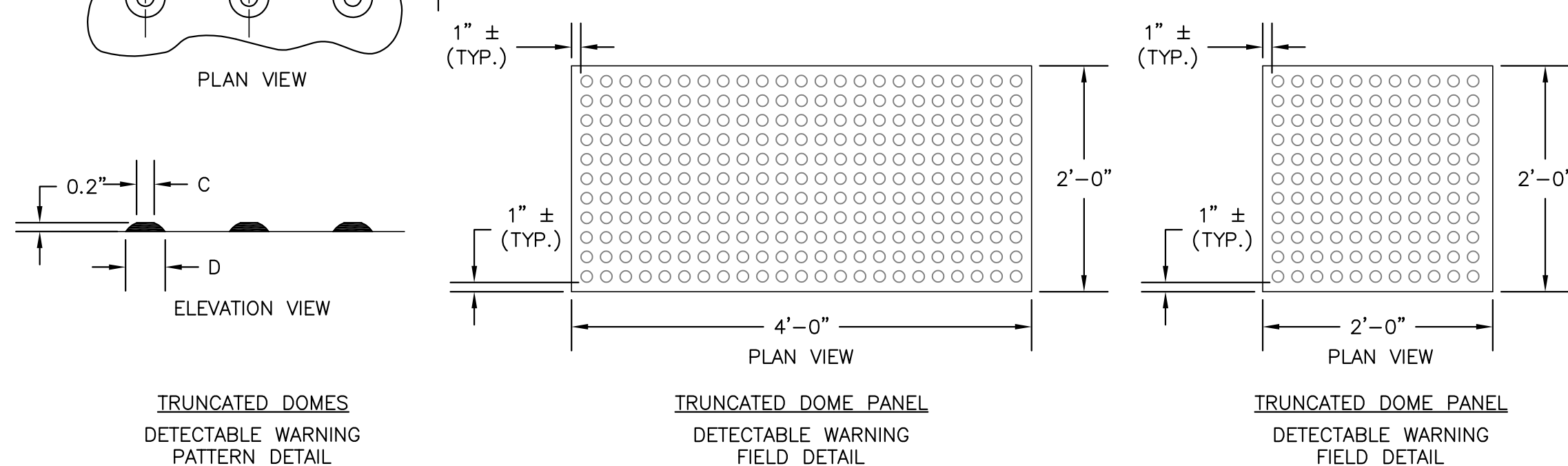


10 ACCESSIBILITY RAMP DETAIL WITH TRUNCATED DOME DETECTABLE WARNING FIELD
N.T.S.



	MIN.	MAX.
A	1.6"	2.4"
B	0.65"	1.5"
C	*	*
D	0.9"	1.4"

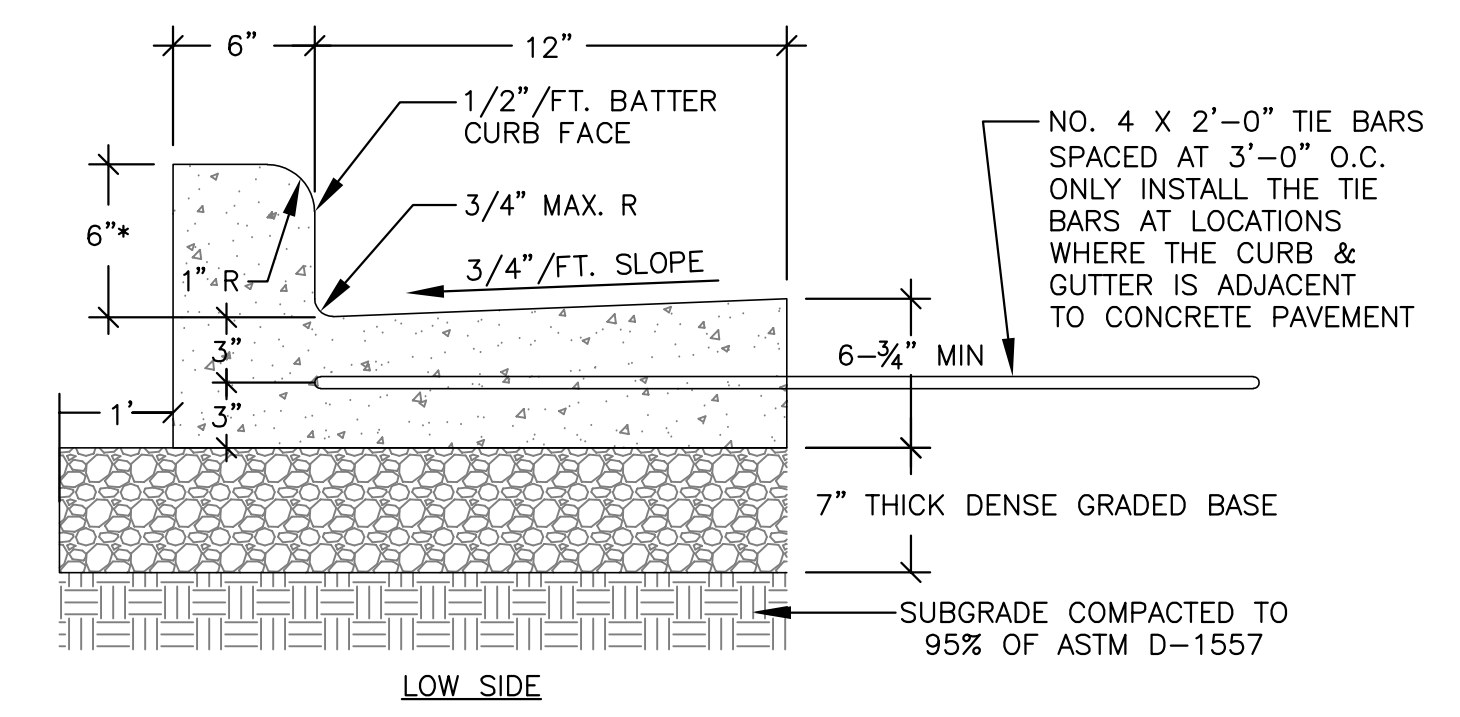
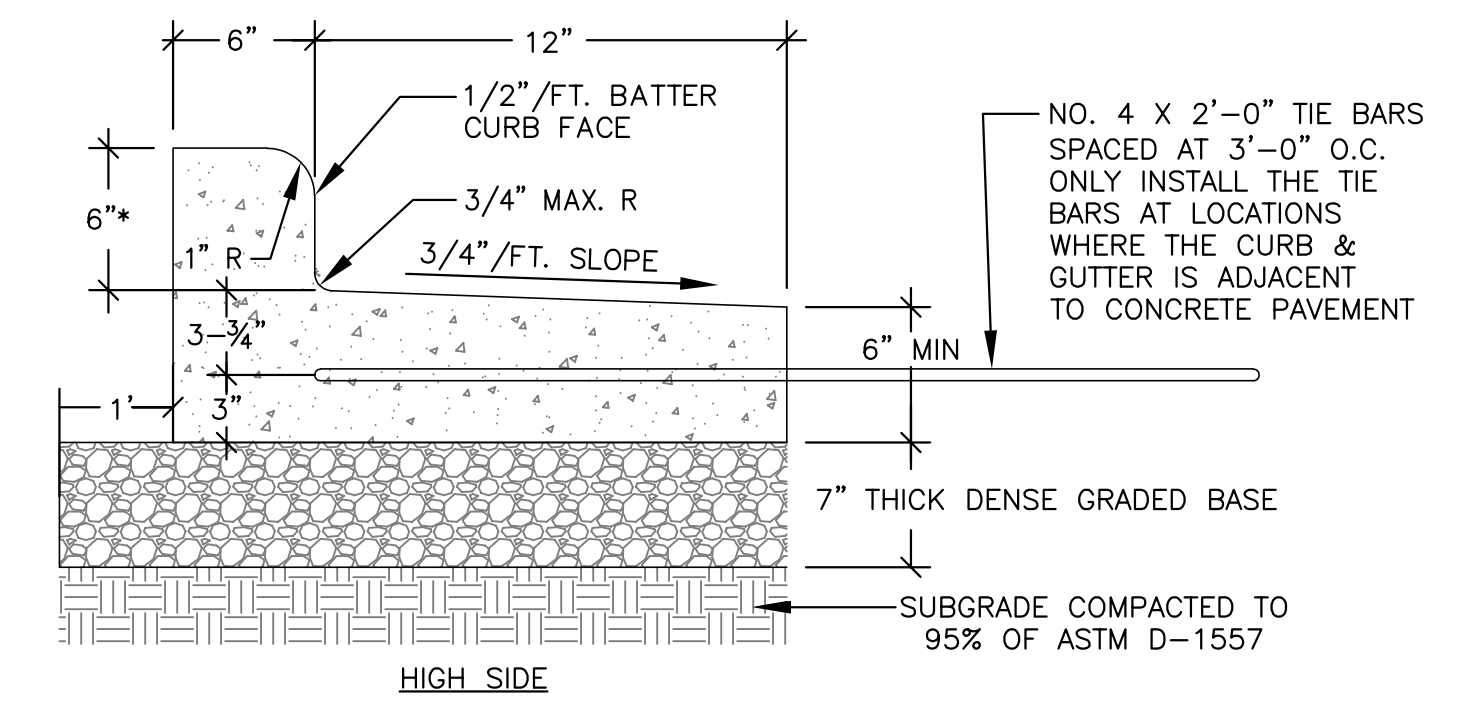
* THE C DIMENSION IS 50% TO 65% OF THE D DIMENSION.



GENERAL NOTES

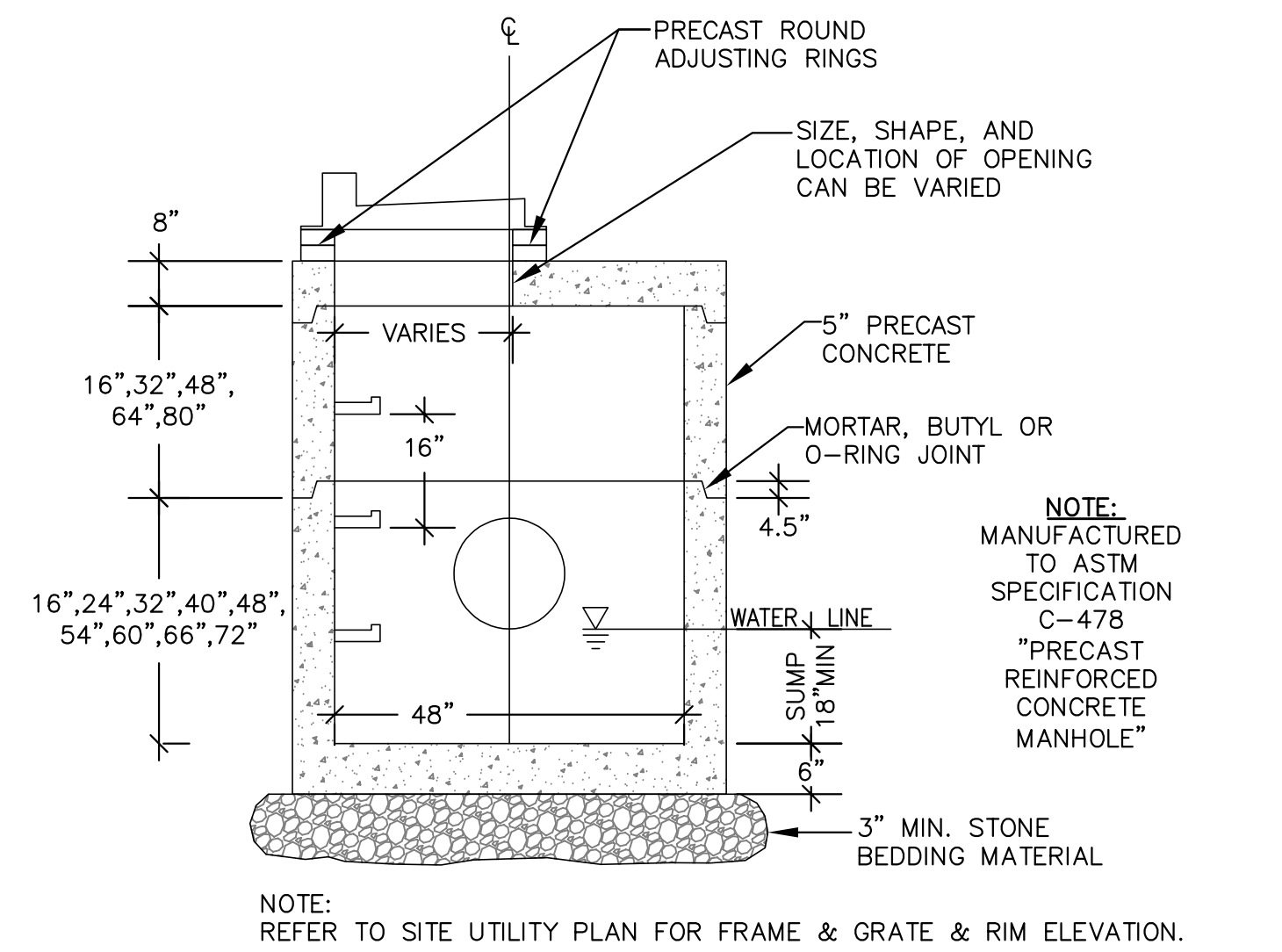
TRUNCATED DOME DETECTABLE WARNING FIELD SHALL CONSIST OF CAST IRON PLATES WITH NO COLOR, SUCH AS THOSE MANUFACTURED BY NEENAH FOUNDRY. PLATES SHOULD WEATHER TO A RUST COLOR OVER TIME. USE 24"x48" PLATES OR 24"x24" PLATES. THE DETECTABLE WARNING FIELD SHALL BE LOCATED SO THAT IT IS CENTERED IN THE CURB RAMP WITH THE EDGE NEAREST THE BACK OF CURB A MINIMUM OF 6" AND A MAXIMUM OF 8" AWAY FROM THE BACK OF CURB. IN LOCATIONS WHERE THE RAMP IS SKEWED TO THE CURB, THE DETECTABLE WARNING FIELD IS TO RUN PERPENDICULAR TO THE DIRECTION OF TRAVEL, WITH THE EDGE NEAREST THE BACK OF CURB 4" AWAY FROM THE BACK OF CURB.

11 TRUNCATED DOME DETECTABLE WARNING FIELD
N.T.S.



*CURB HEIGHT MAY VARY. SEE SITE GRADING PLAN FOR EXACT CURB HEIGHTS. CONTACT ENGINEER WITH ANY QUESTIONS THAT ARISE. PROVIDE CONSTRUCTION JOINTS BETWEEN 10- FEET AND 300- FEET.

7 18-INCH BARRIER CONCRETE CURB & GUTTER
N.T.S.



12 48-INCH DIAMETER STORM CATCH BASIN WITH CURB BOX FRAME & GRATE
N.T.S.

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Project Title:

**ADDITION AND REMODELING TO:
HORNING MIDDLE SCHOOL
WAUKESHA SCHOOL DISTRICT
2000 WOLF ROAD, WAUKESHA, WI 53186**

REVISIONS:

DATE	DESCRIPTION

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11/11/2019

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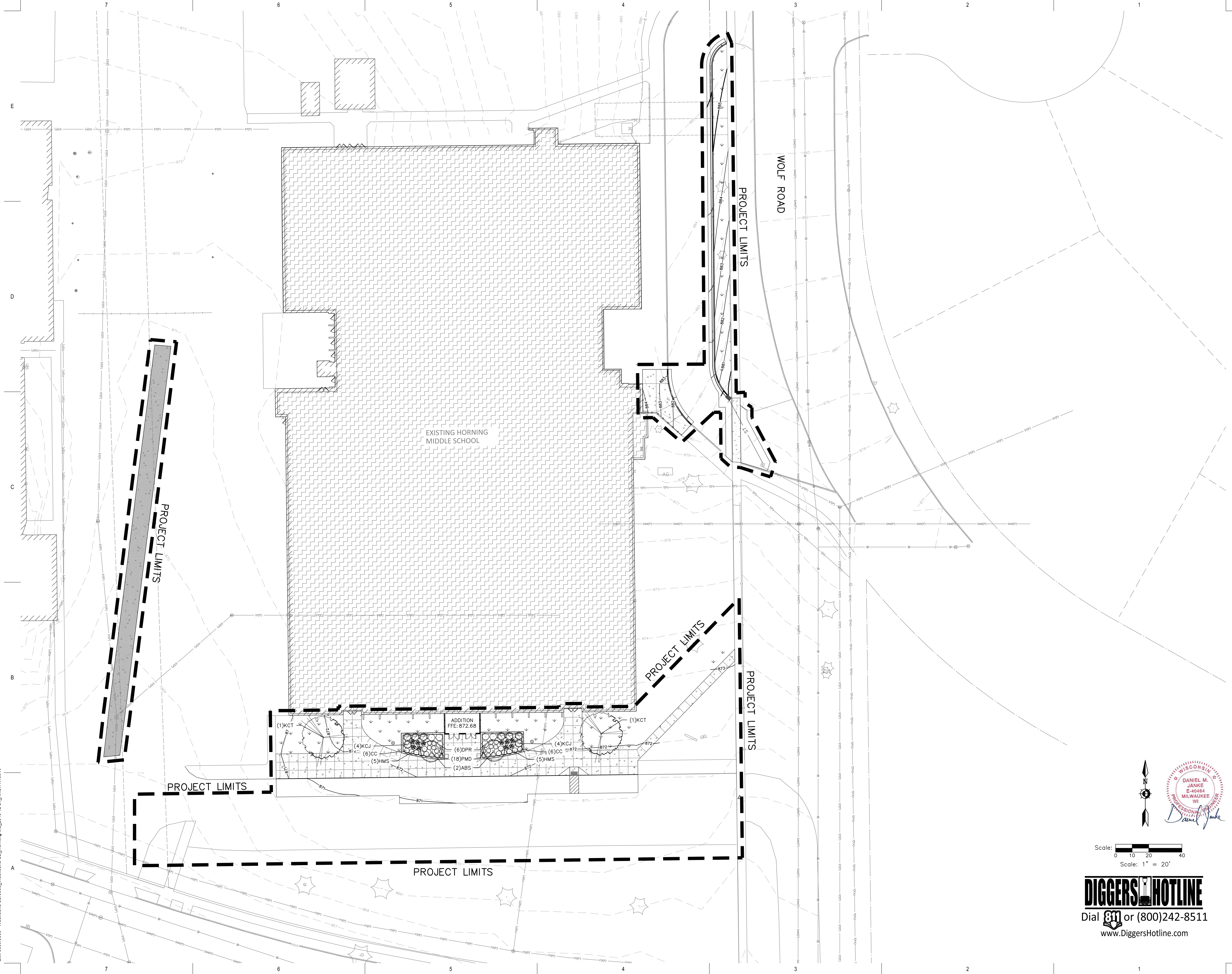
SITE DETAILS

Sheet Number:

C2.2

WISCONSIN PROFESSIONAL ENGINEER
DANIEL M. JANKE
E-40864
MILWAUKEE, WI

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PROJECT LIMITS

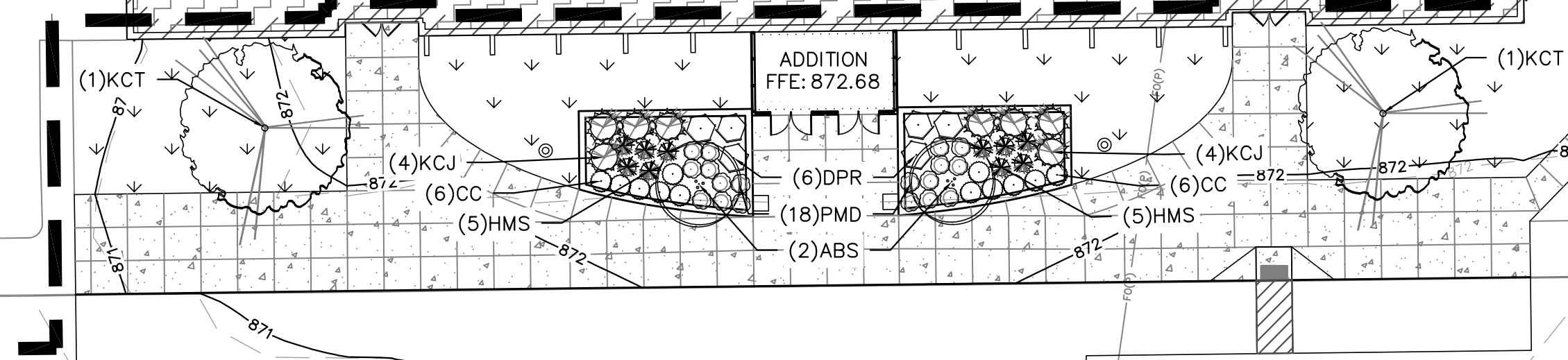
PROJECT LIMITS

PROJECT LIMITS

PROJECT LIMITS

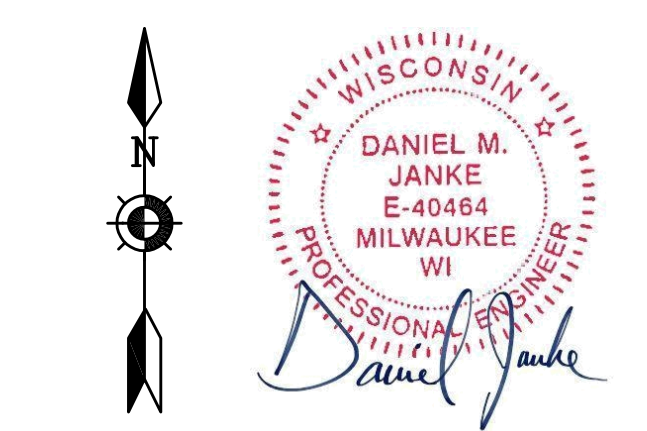
WOLF ROAD

EXISTING HORNING
MIDDLE SCHOOL



PROJECT LIMITS

PROJECT LIMITS



Scale: 0 10 20 40
Scale: 1" = 20'

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Project Number:
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11/11/2019

Sheet Title:
**SITE LANDSCAPE
PLAN**

Sheet Number:
L1.1

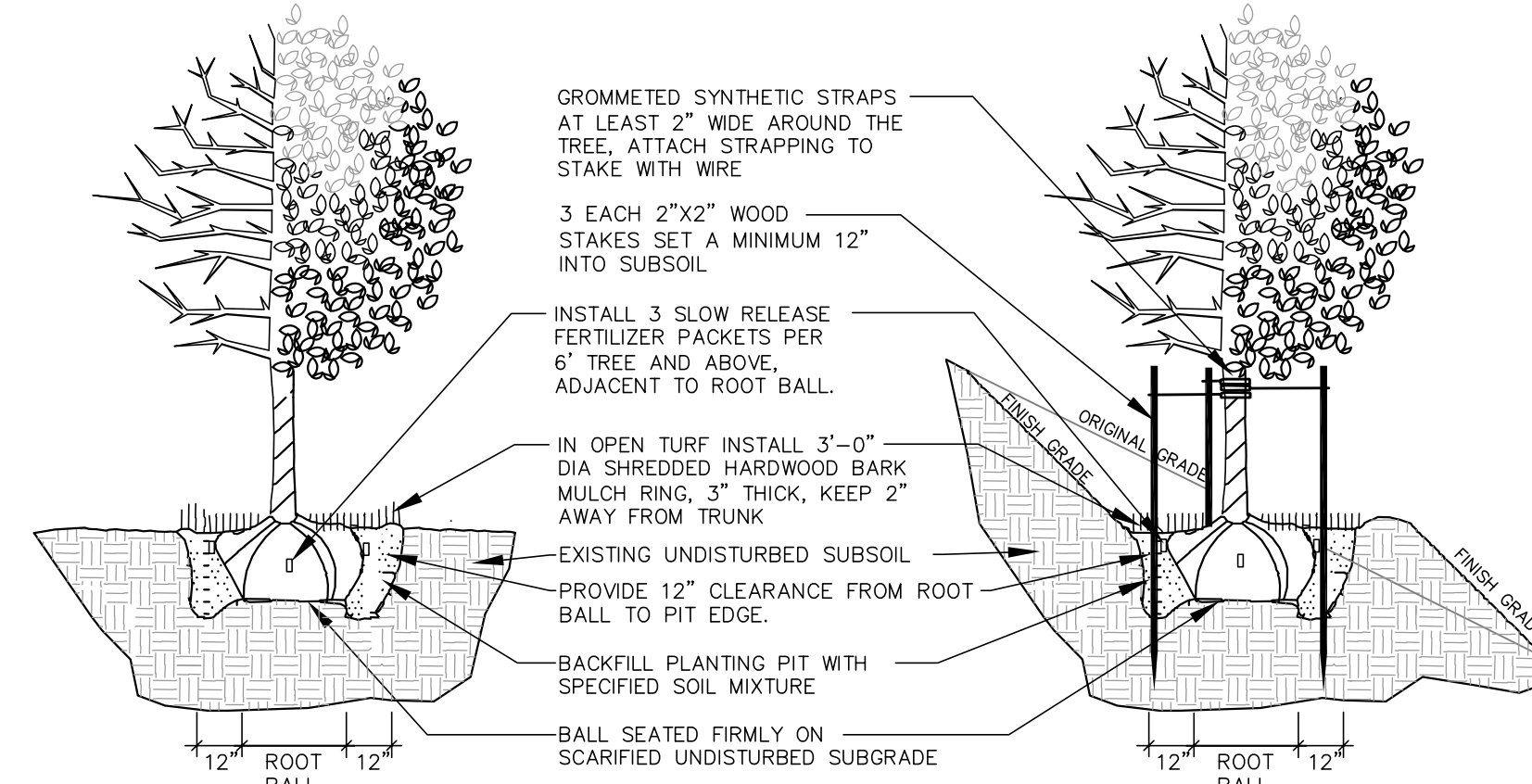
Plant Schedule

Scientific Name	Common Name	Quantity	Spacing	Install Size
Deciduous Trees				
ABS <i>Amelanchier x grandiflora</i> 'Autumn Brilliance'	Autumn Brilliance Serviceberry	2	Per Plan	8' multi-stem B&B
KCT <i>Gymnocladus dioica</i> - MALE SPECIES	Kentucky Coffee Tree - MALE SPECIES	2	Per Plan	2.5" caliper B&B
Evergreen Shrubs				
KCJ <i>Juniperus x pfizeriana</i> 'Kallay's Compact'	Kallay Compact Juniper	8	Per Plan	#5 cont.
Deciduous Shrubs				
CC <i>Cotoneaster apiculatus</i>	Cranberry Cotoneaster	12	Per Plan	#2 cont.
DPR <i>Rosa rugosa</i> 'Dwarf Pavement'	Dwarf Pavement Rose	6	Per Plan	#3 cont.
Perennials				
HMS <i>Panicum virgatum</i> 'Heavy Metal'	Heavy Metal Switch Grass	10	Per Plan	#1 cont.
PMD <i>Hemerocallis</i> 'Pardon Me'	Pardon Me Daylily	18	Per Plan	#1 cont.

NOTE: Installation contractor is responsible for verifying plant count from plan. Plan quantities take precedence over list.

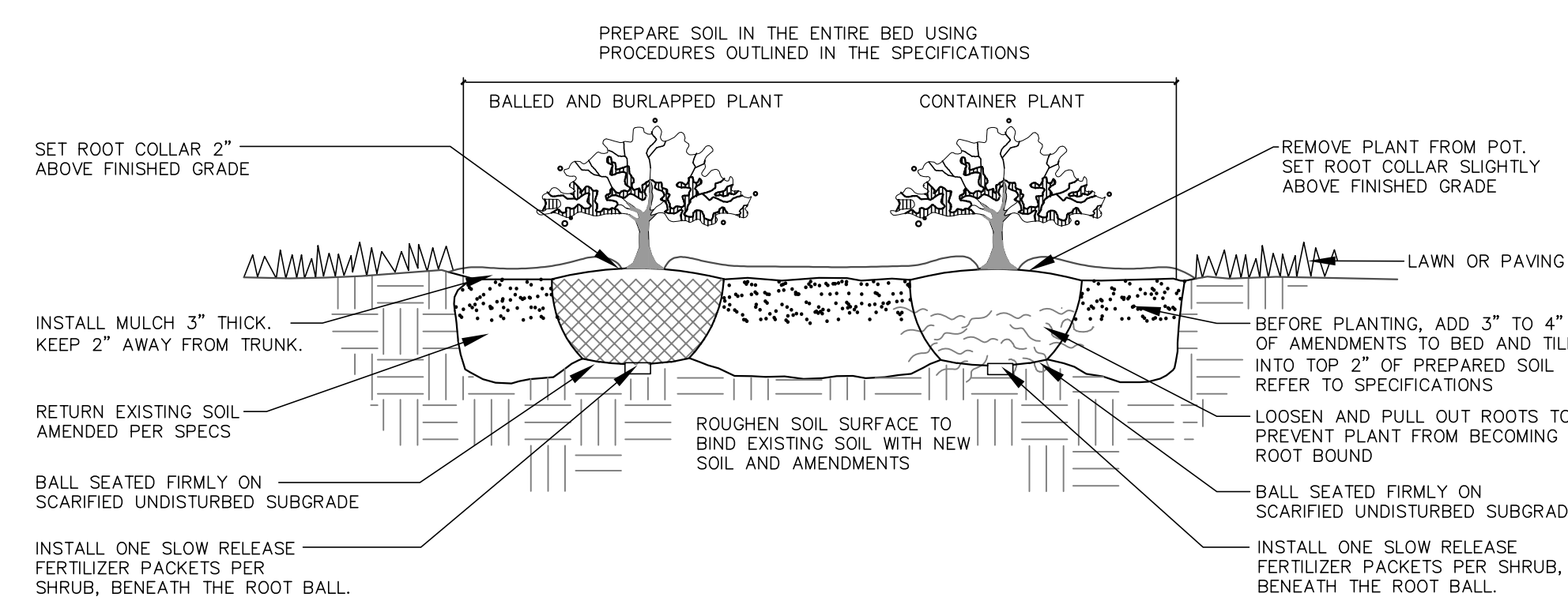
1 LANDSCAPE SCHEDULE

REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION



3 DECIDUOUS TREE PLANTING, STAKING, & PLANTING ON A SLOPE

N.T.S.



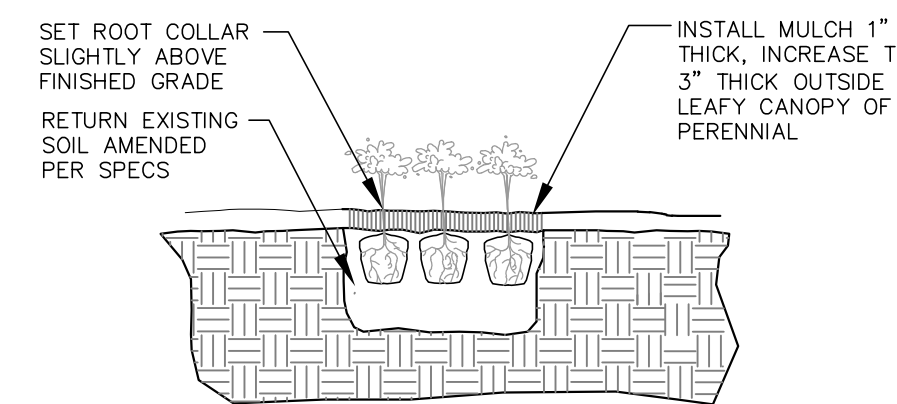
5 DECIDUOUS & EVERGREEN SHRUB PLANTING

N.T.S.

1. ALL PLANT MATERIAL SHALL BE OBTAINED FROM A NURSERY LOCATED IN ZONE 5, CONFORM TO APPLICABLE REQUIREMENTS OF THE CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AND BOTANICAL NAMES SHALL BE ACCORDING TO THE CURRENT EDITION OF "STANDARDIZED PLANT NAMES PREPARED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURE NOMENCLATURE."
2. CONTRACTOR TO PROVIDE TO THE LANDSCAPE ARCHITECT SAMPLES OF ALL BARK AND MINERAL/STONE MULCHES, DECORATIVE GRAVELS, MAINTENANCE STRIP STONE, OR OTHER GROUND COVER MATERIALS FOR APPROVAL PRIOR TO INSTALLATION.
3. BARK MULCH TO BE FRESHLY ACQUIRED HARDWOOD SHREDDED BARK MULCH. NOT DOUBLE MILLED, EXCESSIVE DIRT AND DUST LIKE MATERIAL OR OLD MATERIAL IS NOT ACCEPTABLE.
4. ALL PLANTING AREAS TO RECEIVE A 3-INCH THICK LAYER OF HARDWOOD SHREDDED BARK MULCH WITH PRE EMERGENT HERBICIDE.
5. INSTALL SHOVEL CUT EDGE AROUND ALL INDIVIDUAL TREES AND SHRUBS IN LAWN AREAS AND ALONG PAVEMENT WHERE PLANTING AREAS ABUT TO PREVENT HARDWOOD SHREDDED BARK MULCH FROM SPILLING OUT OF PLANTING AREA.
6. CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF PLANT MATERIAL FOR 90 DAYS FROM INSTALLATION, INCLUDING WATERING, WEEDING, ETC. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF SEEDED AREAS FOR 60 DAYS FROM INSTALLATION, INCLUDING WATERING, WEEDING, ETC. CONTRACTOR TO PROVIDE AND REVIEW MAINTENANCE INSTRUCTIONS WITH THE OWNER PRIOR TO THE COMPLETION OF THESE MAINTENANCE PERIODS. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
7. CLEANLY PRUNE AND REMOVE DAMAGED BRANCHES, DEAD WOOD, AND ROOTS IMMEDIATELY PRIOR TO PLANTING. DO NOT CUT LEADERS OR LEAVE "Y" CROTCHES OR DOUBLE LEADERS UNLESS A MULTI-STEM TREE IS SPECIFIED.
8. REMOVE BURLAP, WIRE BASKET, ROPE, TWINE, AND ALL SYNTHETIC MATERIAL FROM THE ROOTS, TRUNK, OR CROWN OF PLANT.
9. REMOVE EXCESS SOIL ABOVE ROOT COLLAR.
10. PLANT TREES AND SHRUBS SO THAT THE ROOT COLLAR IS 2" ABOVE FINISHED GRADE OR SEVERAL INCHES ABOVE GRADE IF PLANT IS INSTALLED IN POOR SOILS.
11. PLANT TREES AND SHRUBS WITH SAME ORIENTATION AS WHEN HARVESTED FROM THE NURSERY OR TO SHOWCASE THE MOST AESTHETIC VIEW.
12. PLANT ALL TREES WITH THREE SLOW RELEASE FERTILIZER PACKETS, SPACED EQUIDISTANT AROUND THE EDGE OF THE ROOT BALL.
13. PLANT ALL SHRUBS WITH ONE SLOW RELEASE FERTILIZER PACKET, PLACED BELOW THE ROOTING SYSTEM.
14. WATER AND TAMP BACKFILL AND ROOTS OF ALL NEWLY SET PLANT MATERIAL SO THE SOIL AND ROOTS ARE THOROUGHLY SOAKED AND AIR POCKETS ARE REMOVED.
15. FOR INDIVIDUAL TREES PLANTED IN TURF AREAS, PROVIDE CONTINUOUS 3" SOIL SAUCER TO CONTAIN WATER & MULCH (TREES ON SLOPES SHALL BE SAUCERED ON THE DOWNHILL SIDE)
16. INSTALL 3" THICK SHREDDED HARDWOOD BARK MULCH RING 3'-0" DIA. FOR DECIDUOUS TREES IN LAWN AREAS, 5'-0" DIA. FOR EVERGREEN TREES. KEEP MULCH 2" AWAY FROM TRUNKS.
17. STAKING - ONLY STAKE EVERGREEN TREES 5'-0" OR GREATER IN HEIGHT OR TREES THAT ARE UNABLE TO REMAIN UPRIGHT AFTER PLANTING. TREES WILL BECOME STRONGER FASTER WHEN THE TOP 2/3 OF THE TREE IS FREE TO SWAY. DO NOT ATTACH WIRE DIRECTLY TO TREES OR THROUGH HOSES - UTILIZE GROGMETTED, SYNTHETIC STRAPS AT LEAST 2" WIDE AROUND THE TREE. ATTACH STRAPPING TO STAKE WITH WIRE. STAKE ONLY WHEN NECESSARY. STAKES SHOULD BE DRIVEN DEEPLY INTO THE GROUND TO PREVENT DISLODGING. CHECK AT LEAST EVERY THREE MONTHS FOR BINDING OR OTHER PROBLEMS. STAKES AND TIES SHOULD BE REMOVED SIX MONTHS TO ONE YEAR AFTER PLANTING.
18. REFER TO SPECIFICATIONS 32 93 00 PLANTS AND 32 92 00 TURF AND GRASSES FOR ADDITIONAL INFORMATION.

2 LANDSCAPE NOTES

REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION



6 PERENNIAL PLANTING

N.T.S.



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Project Title:
**ADDITION AND REMODELING TO:
HORNING MIDDLE SCHOOL
WAUKESHA SCHOOL DISTRICT
2000 WOLF ROAD, WAUKESHA, WI 53186**

REVISIONS:

DATE	DESCRIPTION
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NOT FOR CONSTRUCTION

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SITE LANDSCAPE DETAILS

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