



City of Waukesha
 201 Delafield Street
 Waukesha, WI 53188
 Tel: 262.542.3700
 waukesha-wi.gov

City of Waukesha Cover Sheet

Committee: Plan Commission	Meeting Date: 12/17/2025
ID Number: PC25-0183	Ordinance/Resolution Number (if applicable):
Name of Submitter: Doug Koehler	Target Next Board/Council Meeting Date: 01/20/2025
Agenda Item Title: PUD Final Site Plan & Architectural Review – Rapids Trail and River Road, Bielinski Homes, River Road Villas – Request to approve plans for a 12 Duplex condominium development for a total of 24 units on 4.7 acres of land under the Rd-2 PUD zoning district.	

Issue Before the Board/Council: Proposal to build 24 new condominium units on currently undeveloped land at the corner of River Road and Rapids Trail.
Options & Alternatives: The Plan Commission could recommend that the Council approve the application with or without conditions, or deny it. Since the property will be a Planned Unit Development, the Council will ultimately decide on approval of the Site Plan. If the Council does not approve the PUD Site Plan and Architectural Review, the development will not be able to go forward.
Additional Details: The property at the intersection of River Road and Rapids Trail has an area of 4.87 acres and is currently undeveloped. The applicants would like to develop 24 duplex condominium units in twelve buildings on the property. Eleven of the buildings will be accessed by a new private road which will be built on the property, intersecting with Rapids Trail and ending in a cul de sac near the southwest side of the property. The twelfth building will have driveway access directly onto Rapids Trail. The new homes will be ranch style duplex condominiums with attached garages. The garages will be located in front of the buildings, primarily with entrances facing directly onto the street, with a few side entry garages. When the Plan Commission reviewed the application at a consultation in January of 2025, Plan Commissioners asked the applicant to consider ways to increase the number of side entry garages. Instead, they have been reduced from six at the consultation to three now. The Plan Commissioners also asked the applicant to consider ways to increase or reconfigure masonry on the

building exteriors and/or increase the visual variety of the homes. The plans for the buildings have not been changed. The Plan Commission and Council should consider whether the proposed buildings are acceptable as they are, or should be modified to improve the appearance of the development.

The rear sides of several of the houses will face toward River Road and Rapids Trail. The applicant will provide a landscaped berm with a relatively dense planting of trees along the north and west property boundaries to screen the homes. Sidewalk will extend along River Road, Rapids Trail, and Saylesville Road for the whole length of the property. Sidewalk will extend along the north side of the private road to the beginning of the cul de sac.

A stand of trees at the south end of the property will need to be cut back to make room for the development, but a few of the existing trees will remain, and the wetland area to the south will remain as a buffer between the development and River's Crossing neighborhood. An existing AT&T utility building at the south end of the property will remain, as will its screening. The building will be accessed via the drive, with a driveway extending from the driveway for building six. A utility easement for AT&T extends along the south side of the property to Rapids Trail.

What is the Strategic Plan Priority this item relates to:

People Centered Development

What impact will this item have on the Strategic Plan Priority?

This proposal will provide 24 new housing units, on a property which is currently undeveloped.

Financial Remarks: No direct financial impact to the City.

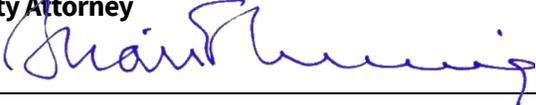
Suggested Motion: "I move to approve PUD Site Plan and Architectural Reviews for the River Road Villas at Rapids Trail and River Road with all staff comments to be addressed."

Reviewed By:

Finance Director Joseph P. Ciurro	Date Reviewed
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Tel: 262.542.3700
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City Attorney 	Date Reviewed 22 Dec 2025
City Administrator Anthony W. Brown 	Date Reviewed 12/23/2025

RIVER ROAD VILLAS

SITE DEVELOPMENT PLANS

CITY OF WAUKESHA, WISCONSIN

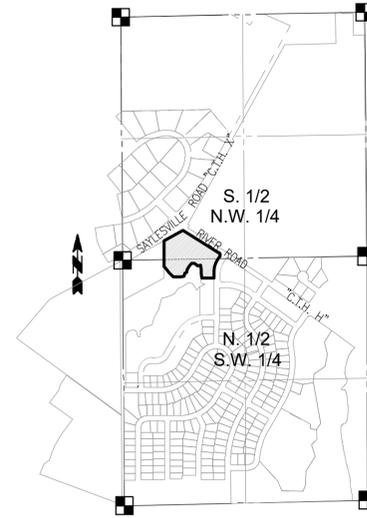
GENERAL NOTES

- THE LATEST EDITIONS OF THE FOLLOWING DOCUMENTS AND ANY SUPPLEMENTS THERETO, SHALL GOVERN ALL CONSTRUCTION ITEMS ON THIS PLAN UNLESS OTHERWISE NOTED.
 - STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, 6TH EDITION (SSWCW)
 - THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION
 - WDNR STORMWATER RUNOFF TECHNICAL STANDARDS.
 - WISDOT PAL APPROVED EROSION CONTROL MEASURES LIST, LATEST EDITION.
 - CITY OF WAUKESHA STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO MINIMIZE EROSION, WATER POLLUTION AND SILTATION CAUSED BY CONSTRUCTION OF THIS PROJECT. EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS.
- EROSION CONTROL PLAN: PRIOR TO BEGINNING WORK, AN APPROVED EROSION CONTROL PLAN WILL BE PROVIDED BY THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR PROPERLY IMPLEMENTING THE APPROVED PLAN.
- THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO FIELD VERIFY LOCATION, ELEVATION AND SIZE OF EXISTING UTILITIES, AND VERIFY FLOOR, CURB OR PAVEMENT ELEVATIONS WHERE MATCHING INTO EXISTING WORK. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES. NOTIFY ENGINEER OF DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL CONTROL PRIOR TO PROCEEDING WITH WORK.
- THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION (CALL DIGGERS HOTLINE AT 800-242-8511). COST OF REPLACEMENT OR REPAIR OF EXISTING UTILITIES DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- EXISTING UTILITY INFORMATION IS SHOWN FROM SURVEY WORK, FIELD OBSERVATIONS, AVAILABLE PUBLIC RECORDS, AND AS-BUILT DRAWINGS. EXACT LOCATIONS AND ELEVATIONS OF UTILITIES SHALL BE DETERMINED PRIOR TO INSTALLING NEW WORK. EXCAVATE TEST PITS AS REQUIRED.
- PROPERTY CORNERS SHALL BE CAREFULLY PROTECTED UNTIL THEY HAVE BEEN REFERENCED BY A PROFESSIONAL LAND SURVEYOR. PROPERTY MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- ENGINEER SHALL BE NOTIFIED 48 HOURS IN ADVANCE OF PERFORMING ANY CONSTRUCTION.
- ALL TRENCHING SHALL BE PERFORMED ACCORDING TO OSHA STANDARDS.
- ALL ITEMS SHALL INCLUDE ALL THE NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.
- THE CONTRACTOR SHALL CLEAN ALL ADJACENT STREETS OF ANY SEDIMENT OR DEBRIS BY SWEEPING BEFORE THE END OF THE WORKING DAY OR AS REQUIRED BY THE CITY OF WAUKESHA.
- THE CONTRACTOR MUST AND IS REQUIRED TO NOTIFY THE CITY OF WAUKESHA SEWER AND WATER UTILITY A MINIMUM OF 48 HOURS IN ADVANCE OF WATER MAIN FILLING, WATER MAIN FLUSHING, WATER MAIN TESTING AND WATER MAIN CONNECTIONS. NO CONNECTION SHALL BE MADE TO THE EXISTING WATER SYSTEM UNTIL SAFE SAMPLES FROM THE NEW MAIN HAVE BEEN OBTAINED.
- ALL WORK WITHIN CITY RIGHT OF WAY AND CITY EASEMENTS TO BE IN ACCORDANCE WITH CURRENT CITY STANDARD SPECIFICATIONS AND DETAILS.
- CONTRACTOR SHALL NOTIFY CITY ENGINEERING DEPARTMENT FIVE (5) DAYS PRIOR TO WORK IN THE CITY RIGHT OF WAY.



SITE PLAN

SCALE: 1" = 60'



LOCALITY MAP:
S. 1/2 OF N.W. 1/4 AND N. 1/2 OF
S.W. 1/4, SEC. 20, T. 6 N., R. 19 E.

SCALE: 1"=1000'

SURVEY NOTES

- HORIZONTAL REFERENCE: GRID NORTH OF THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (NAD-83/2011), IN WHICH THE NORTH LINE OF THE S.W. 1/4 SECTION 20-6-19, BEARS N89°04'16"E.
- VERTICAL REFERENCE: NORTH AMERICAN VERTICAL DATUM OF 1988

DEVELOPER:

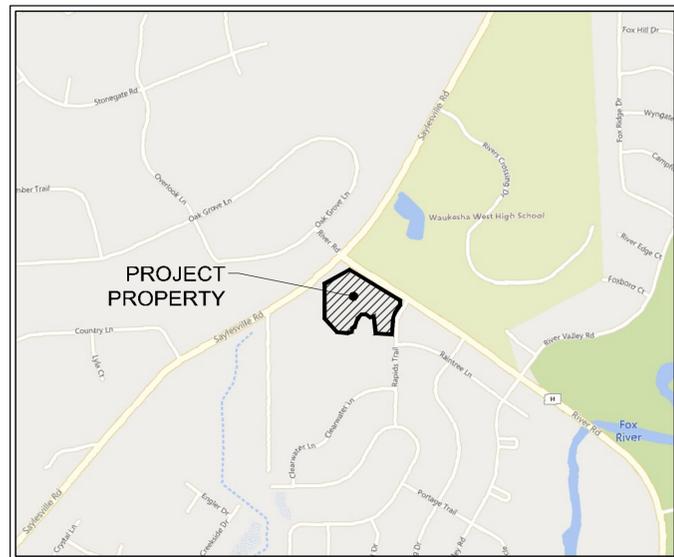
BIELINSKI HOMES
1830 MEADOW LN., SUITE A
WAUKESHA, WI 53072
PHONE: (262) 548-5570

ENGINEER / SURVEYOR:

TRIO ENGINEERING, LLC
4100 N. CALHOUN ROAD, SUITE 300
BROOKFIELD, WISCONSIN 53005
PHONE: (262) 790-1480
FAX: (262) 790-1481

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C2.0	- GRADING & DRAINAGE PLAN
C2.1-2.2	- STORMWATER FACILITY DETAILS
C3.0	- EROSION CONTROL PLAN
C4.0	- OVERALL SANITARY & WATER PLAN
C4.1	- SANITARY PLAN & PROFILE
C4.2	- WATERMAIN PLAN & PROFILE
C5.0	- ROAD & STORM PLAN & PROFILE
C5.1	- STORM SEWER PLAN & PROFILE
C6.0-6.1	- CONSTRUCTION DETAILS



LOCATION MAP

NOT TO SCALE

NOTE:
ALL SITE IMPROVEMENTS AND CONSTRUCTION SHOWN ON THE PLANS SHALL CONFORM TO THE CITY OF WAUKESHA DEVELOPMENT HANDBOOK & INFRASTRUCTURE SPECIFICATIONS WHERE THE PLANS DO NOT COMPLY, IT SHALL BE THE SOLE RESPONSIBILITY AND EXPENSE OF THE DEVELOPER TO MAKE REVISIONS TO THE PLANS AND/OR CONSTRUCTED INFRASTRUCTURE TO COMPLY.



19035 W. CAPITOL DR., SUITE 200
BROOKFIELD, WI 53045
PHONE: (262) 790-1480
FAX: (262) 790-1481
EMAIL: jprudek@trioeng.com

PROJECT:
RIVER ROAD VILLAS
CITY OF WAUKESHA, WISCONSIN
BY: BIELINSKI HOMES
1830 MEADOW LN., SUITE A
PEWAUKEE, WI 53072

REVISION HISTORY

DATE	DESCRIPTION
05/12/25	PRELIMINARY PLANS
08/19/25	ROAD PROFILE REVISION
11/14/25	PER CITY COMMENTS

DATE:

NOVEMBER 14, 2025

JOB NUMBER:

25-09-966

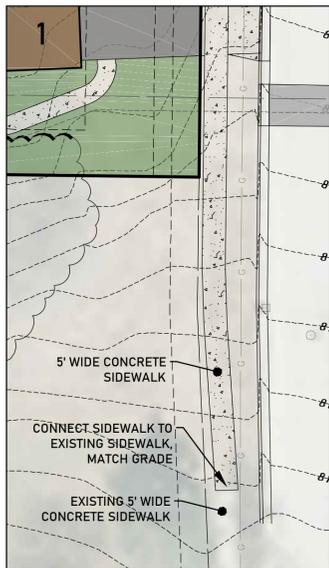
DESCRIPTION:

COVER SHEET

SHEET

T1

SITE DATA	
EXISTING ZONING:	B-5 (Community Business)
PROPOSED ZONING:	RD-2 (Two-Family Resident)
SETBACKS:	
FRONT:	25 FEET
REAR:	40 FEET
SIDEYARD:	10 FEET
PROPOSED LOT AREA DATA:	
TOTAL LOT AREA:	212,032 S.F. (4.87 Acres)
TOTAL BUILDING AREA:	42,272 S.F. (0.97 Acres) 19.9% of Lot
TOTAL PAVEMENT AREA:	47,782 S.F. (1.10 Acres) 22.6% of Lot
TOTAL OPEN SPACE AREA:	169,759 S.F. (3.90 Acres) 57.5% of Lot
PROPOSED UNITS:	24 UNITS
DENSITY:	4.93 UN/AC
PARKING DATA:	
REQUIRED PARKING SPACES:	2 Per Unit (48 Total)
PROPOSED PARKING SPACES:	
GARAGE SPACES:	48 SPACES (2 PER UN)
DRIVEWAY SPACES:	48 SPACES (2 PER UN)
SURFACE SPACES:	6 SPACES
TOTAL SPACES:	102 SPACES (4.25 SPACES/UNIT)



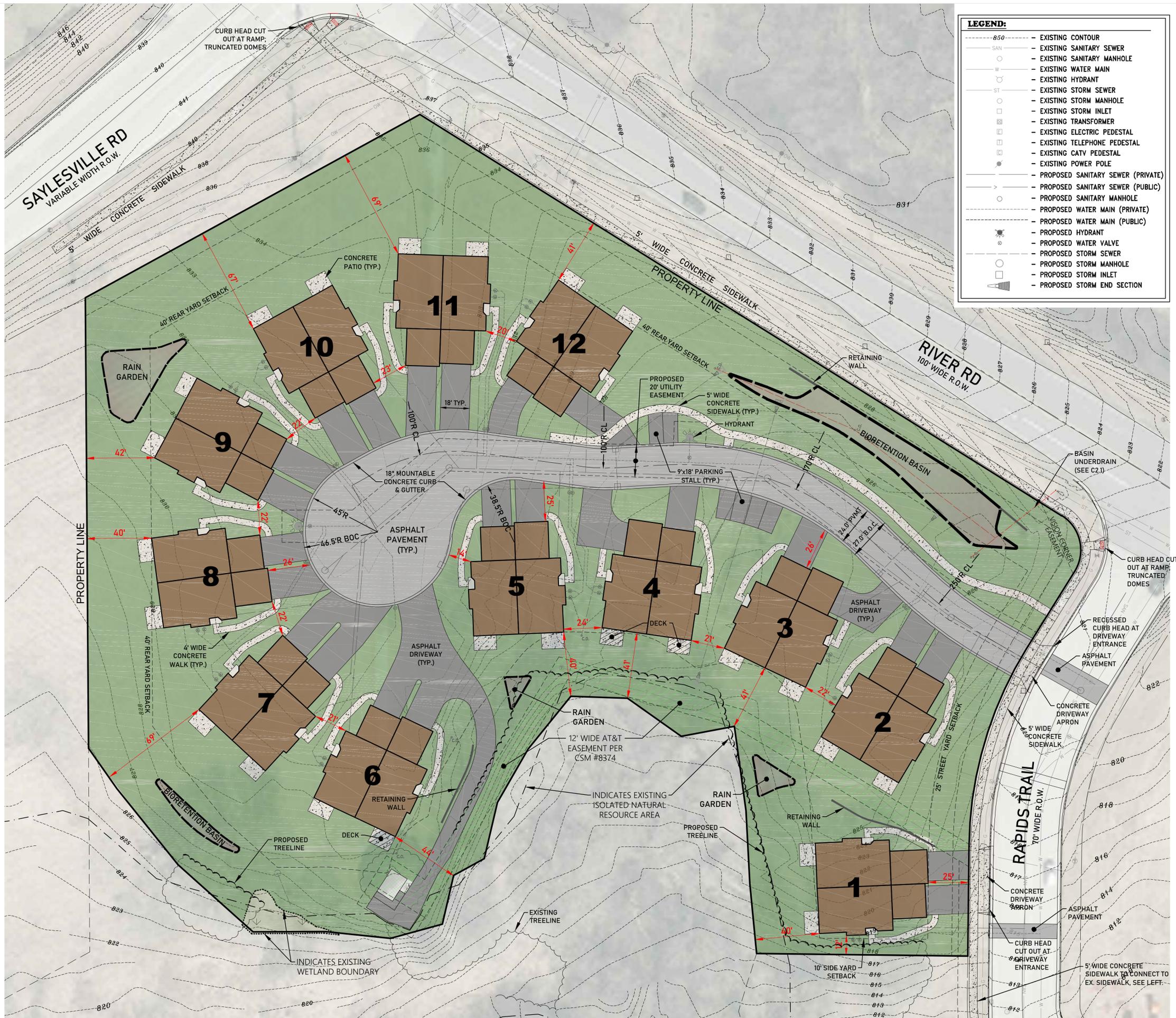
5' WIDE SIDEWALK EXTENSION
SCALE: 1" = 20'



SCALE: 1" = 30' (22"X34")
SCALE: 1" = 60' (11"X17")

811 CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE. KNOW WHAT'S BELOW. **CALL BEFORE YOU DIG.**

NOTE: EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.



19035 W. CAPITOL DR., SUITE 200
BROOKFIELD, WI 53045
PHONE: (262) 790-1480
FAX: (262) 790-1481
EMAIL: j.pudlak@trioeng.com

PROJECT:
RIVER ROAD VILLAS
CITY OF WAUKESHA, WISCONSIN
BY: BIELINSKI HOMES
1830 MEADOW LN., SUITE A
PEWAUKEE, WI 53072

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JOB NUMBER:
25-09-966

DESCRIPTION:
PROPOSED
SITE PLAN

SHEET
C1.1

X:\2025\25-09-966 RIVER ROAD VILLAS - WAUKESHA\DRAWINGS\CONSTRUCTION PLANS\RIVER ROAD VILLAS-CIVIL PLAN SET_22X34.DWG

GRADING PLAN NOTES:

- IN ALL LOCATIONS WHERE ELEVATIONS ARE SHOWN AS ±, THE ELEVATION HAS BEEN DETERMINED USING INTERPOLATED EXISTING SURVEY GRADES. CONTRACTOR SHALL VERIFY ALL EXISTING MATCH GRADES PRIOR TO CONSTRUCTION OF ANY IMPROVEMENTS WITHIN THE PROXIMITY OF THESE INTERPOLATED GRADES. IF DISCREPANCIES ARE PRESENT CONTRACTOR SHALL REPORT THEM TO THE DESIGN ENGINEER FOR VERIFICATION OF PROPOSED SLOPES PRIOR TO INSTALLATION OF PROPOSED IMPROVEMENTS. DESIGN ENGINEER IS NOT RESPONSIBLE FOR SLOPES OF PROPOSED IMPROVEMENTS BASED ON THESE ± GRADES WITHOUT CONFIRMATION OF EXISTING ELEVATIONS AT TIME OF CONSTRUCTION.
- OVERALL SITE MUST BE GRADED TO WITHIN 4" OF FINAL GRADE PRIOR TO THE ELECTRICAL INSTALLATION.

FFE 100.0 — FINISHED FLOOR ELEV.
GAR 100.0 — GARAGE ELEV. (AT OVERHEAD DOOR)
FYG 100.0 — FRONT YARD GRADE
RYG 100.0 — REAR YARD GRADE

TYPICAL BUILDING ELEVATIONS
NOT TO SCALE

GRADING PLAN LEGEND:

FINISHED FLOOR	=	100.00
TOP OF FOUNDATION (FRONT, 9' WALL)	=	99.82
GARAGE (AT OVERHEAD DOOR)	=	99.50
FRONT YARD GRADE	=	99.16
TOP OF FOUNDATION (REAR, 8' WALL)	=	98.82
REAR YARD GRADE	=	98.16
BASEMENT FLOOR	=	91.07
TOP OF FOOTING	=	90.82

LEGEND:

850	EXISTING CONTOUR
850	PROPOSED CONTOUR
850.0	PROPOSED SPOT ELEVATION
→	PROPOSED FLOW ARROW
FFE 850.0	PROPOSED YARD GRADE
GAR 850.0	PROPOSED GARAGE GRADE
FYG 850.0	FINISHED FLOOR ELEVATION
RYG 850.0	REAR YARD GRADE
→	PROPOSED OVERLAND FLOW ROUTE



X:\2025\25-09-966 RIVER ROAD VILLAS - WAUKESHA DRAWINGS\CONSTRUCTION PLANS\RIVER ROAD VILLAS-CIVIL PLAN SET_22X34.DWG



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DESCRIPTION:
GRADING & DRAINAGE PLAN

SHEET
C2.0



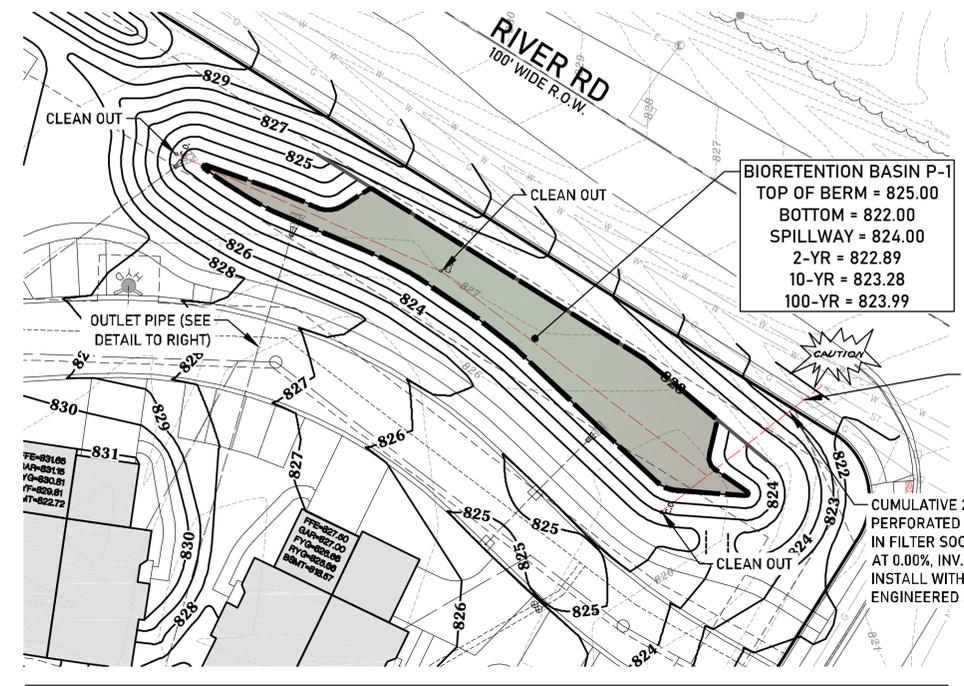
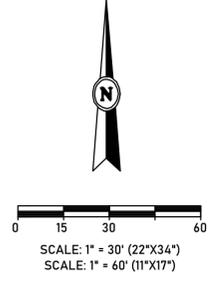
CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE. KNOW WHAT'S BELOW. **CALL BEFORE YOU DIG.**

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LEGEND:

- 850 - EXISTING CONTOUR
- 850 - PROPOSED CONTOUR
- 850.0 - PROPOSED SPOT ELEVATION
- PROPOSED FLOW ARROW
- PROPOSED YARD GRADE
- PROPOSED GARAGE GRADE
- FINISHED FLOOR ELEVATION
- REAR YARD GRADE
- PROPOSED OVERLAND FLOW ROUTE

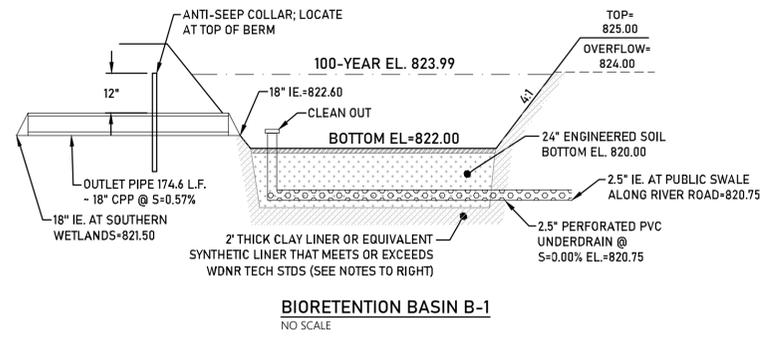
FFE 850.0
GAR 850.0
FYG 850.0
RYG 850.0



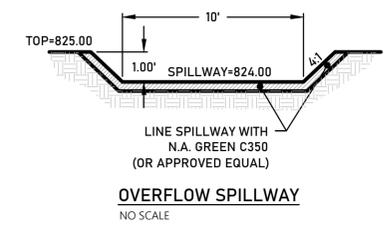
BIORETENTION BASIN B-1
 TOP OF BERM = 825.00
 BOTTOM = 822.00
 SPILLWAY = 824.00
 2-YR = 822.89
 10-YR = 823.28
 100-YR = 823.99

CONTRACTOR TO VERIFY GAS MAIN ELEVATION AND REPORT INVERT CONFLICTS AT UNDERDRAIN CROSSING TO DESIGN ENGINEER.

CUMULATIVE 271.9 LF - 2.5" PERFORATED UNDERDRAIN IN FILTER SOCK INSTALLED AT 0.00% INV. = 820.75; INSTALL WITHIN ENGINEERED SOIL LAYER.



BIORETENTION BASIN B-1
NO SCALE



OVERFLOW SPILLWAY
NO SCALE

BIORETENTION BASIN B-1

BIORETENTION BASIN NOTES

ENGINEERED SOIL COMPOSITION:
 PLANTING MIXTURE SHALL CONSIST OF A MIXTURE OF 70 TO 85% SAND AND 15 TO 30% COMPOST IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1004, BIORETENTION FOR INFILTRATION. THE PERCENTAGES ARE BASED ON VOLUME. SPECIAL ATTENTION SHOULD BE GIVEN TO PLANT SELECTION WHEN THE PERCENTAGE OF SAND EXCEEDS 75%.

THE SAND COMPONENT SHALL BE USDA COARSE SAND (0.02 TO 0.04 INCH DIAMETER), PRE-WASHED TO REMOVE CLAY AND SILT PARTICLES, AND WELL-DRAINED OR DRY PRIOR TO MIXING. SAND CONSISTING OF DOLOMITE OR CALCIUM CARBONATE MAY ALSO BE USED.

THE COMPOST COMPONENT SHALL MEET THE REQUIREMENTS OF WDNR SPECIFICATION S100, COMPOST.

BIO-RETENTION PLANTINGS:
 SIDE SLOPES OF THE BIO-RETENTION DEVICES SHALL BE PLANTED WITH DOT #20 SEED MIX AND THE BOTTOM OF THE BIO-RETENTION DEVICES SHALL BE PLANTED WITH DOT #70A SEED MIX OR APPROVED EQUIVALENT.

STORAGE LAYER:
 THE GRAVEL SHALL MEET THE COARSE AGGREGATE #2 AND OTHER SPECIFICATIONS OF WISCONSIN STANDARDS AND SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, SECTION 501.2.5, 2003 EDITION, OR AN EQUIVALENT AS APPROVED BY THE ADMINISTERING AUTHORITY. GRAVEL SHALL BE DOUBLE-WASHED.

A LAYER OF SAND MAY BE USED IN LIEU OF GRAVEL TO FORM THE STORAGE LAYER. SEE SAND SPECIFICATION NOTED UNDER ENGINEERED SOIL COMPOSITION.

UNDERDRAIN PIPE PROTECTION:
 THE UNDERDRAIN PIPE SHALL BE PROTECTED FROM CLOGGING BY USE OF FILTER FABRIC OR A FILTER SOCK. IF THE STORAGE LAYER IS SAND, A FILTER SOCK SHALL BE USED. A COVER OF PEA GRAVEL MAY ALSO BE USED.

FILTER FABRIC - FILTER FABRIC SHALL COVER THE UNDERDRAIN PIPE AND SHALL NOT EXTEND LATERALLY FROM EITHER SIDE OF THE PIPE MORE THAN TWO FEET. THE FABRIC SHALL MEET THE SPECIFICATIONS OF WISCONSIN STANDARDS AND SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, SECTION 645.2.4, SCHEDULE TEST B, 2003 EDITION, OR AN EQUIVALENT APPROVED BY THE ADMINISTERING AUTHORITY.

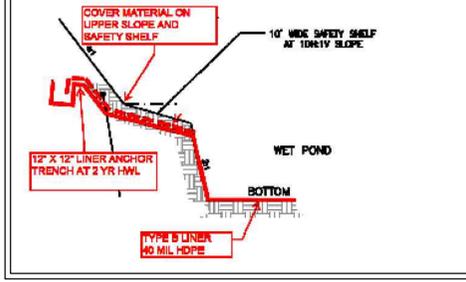
FILTER SOCK - THE OPENINGS IN THE FILTER SHALL BE SMALL ENOUGH TO PREVENT SAND PARTICLES FROM ENTERING THE UNDERDRAIN PIPE. THE FLOW RATE OF THE FABRIC SHALL BE CAPABLE OF PASSING WATER AT A RATE EQUAL TO OR GREATER THAN THE FLOW RATE CAPACITY OF THE TOTAL COMBINED PERFORATIONS IN THE UNDERDRAIN PIPE. IN ADDITION, THE FABRIC SHALL MEET THE OTHER REQUIREMENTS OF WISCONSIN STANDARDS AND SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, SECTION 612.2.8(1-3), 2003 EDITION, OR AN EQUIVALENT APPROVED BY THE ADMINISTERING AUTHORITY.

CLAY LINER NOTE:

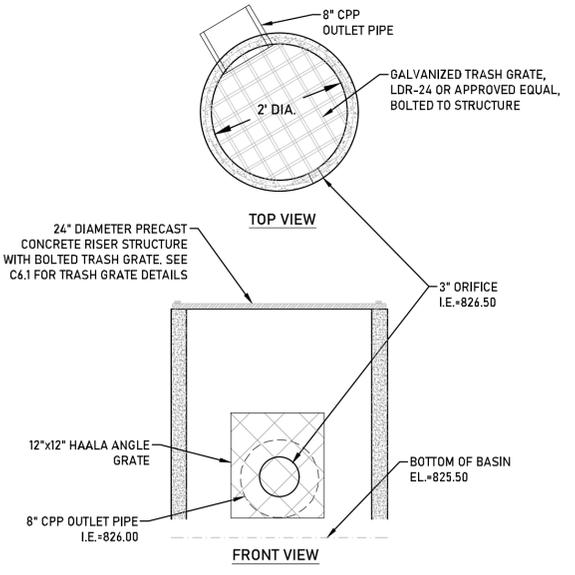
- 2" THICK CLAY LINER IN ACCORDANCE WITH WDNR TECH. STD. 1001 TYPE B, AND SOILS REPORT.
- CLAY LINER MATERIALS SHOULD BE COMPACTED TO A MINIMUM OF 90 TO 92% DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR (ASTM D1557)
- IF PREDOMINANTLY GRANULAR TEXTURE SOILS AND/OR GROUNDWATER INFLOW IS ENCOUNTERED AT OR BELOW THE BOTTOM ELEVATION OF THE POND, A "SACRIFICIAL" LIFT OF CLAYEY FILL MAY BE REQUIRED TO BE PLACED ALONG THE SIDEWALLS AND BASE PRIOR TO COMMENCING WITH ACTUAL LINER PLACEMENT/CONSTRUCTION TO AID IN ATTAINING A SATISFACTORILY COMPACTED LINER SECTION. THE PLACEMENT OF A "SACRIFICIAL" LAYER IS PARTICULARLY BENEFICIAL IN CREATING A STABLE SUBBASE IN THE EVENT SLIGHT GROUNDWATER SEEPAGE OCCURS.
- GEOTECHNICAL TESTING SHALL BE PERFORMED ON POTENTIAL CLAY LINER MATERIAL TO CONFIRM THAT SPECIFICATIONS ARE MET.
- CLAY LINER SHALL EXTEND UP TO 100-YEAR WATER SURFACE ELEVATION.

HDPE LINER NOTE:

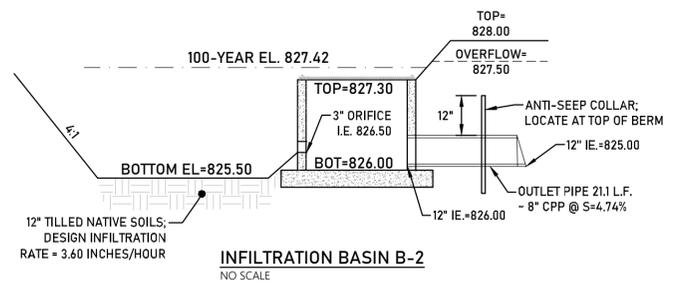
- TYPE B HDPE LINER
- LINER PRODUCT INFORMATION:
 - MIN. THICKNESS = 40 MILS
 - COLOR = BLACK
 - SUPPLIER = SOLMAX
- INSTALLED PER MANUFACTURER SPECIFICATIONS
- LINER SHALL BE TRENCHED INTO POND SLOPE PER DETAIL AND SAFETY SHELF COVERED WITH MIN. 6" OF TOPSOIL.



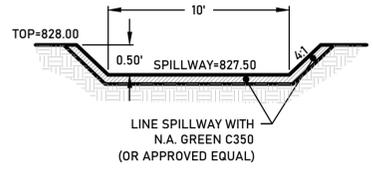
TWO-PIECE ANTI-SEEP COLLAR NOTES:
 - ANTI-SEEP COLLAR MATERIAL SHALL MATCH OUTLET PIPE MATERIAL.
 - ANTI-SEEP COLLARS SHALL BE 1/4" POLYETHYLENE SHEETS WITH COLLAR FOR PIPE; DIMENSIONS SHALL BE AS NOTED ON THE DETAIL.
 - INSTALL ANTI-SEEP COLLARS PER MANUFACTURER SPECIFICATIONS.



RESTRICTOR STRUCTURE R-2 DETAIL
NOT TO SCALE

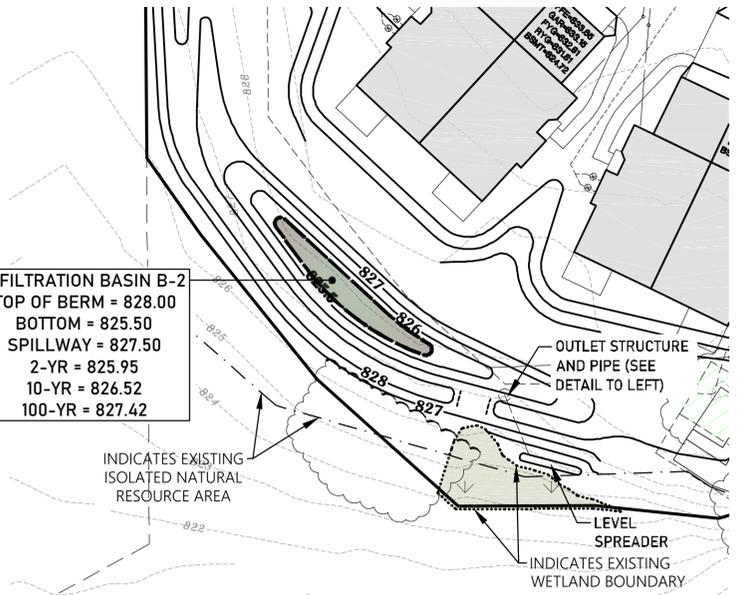


INFILTRATION BASIN B-2
NO SCALE



OVERFLOW SPILLWAY
NO SCALE

INFILTRATION BASIN B-2
 TOP OF BERM = 828.00
 BOTTOM = 825.50
 SPILLWAY = 827.50
 2-YR = 825.95
 10-YR = 826.52
 100-YR = 827.42



INFILTRATION BASIN B-2



19035 W. CAPITOL DR., SUITE 200
 BROOKFIELD, WI 53045
 PHONE: (262) 790-1480
 FAX: (262) 790-1481
 EMAIL: jpaulek@trioeng.com

PROJECT:
RIVER ROAD VILLAS
 CITY OF WAUKESHA, WISCONSIN
 BY: BIELINSKI HOMES
 1830 MEADOW LN., SUITE A
 PEWAUKEE, WI 53072

REVISION HISTORY

DATE	DESCRIPTION
05/12/25	PRELIMINARY PLANS
08/19/25	ROAD PROFILE REVISION
11/14/25	PER CITY COMMENTS

DATE:
 NOVEMBER 14, 2025

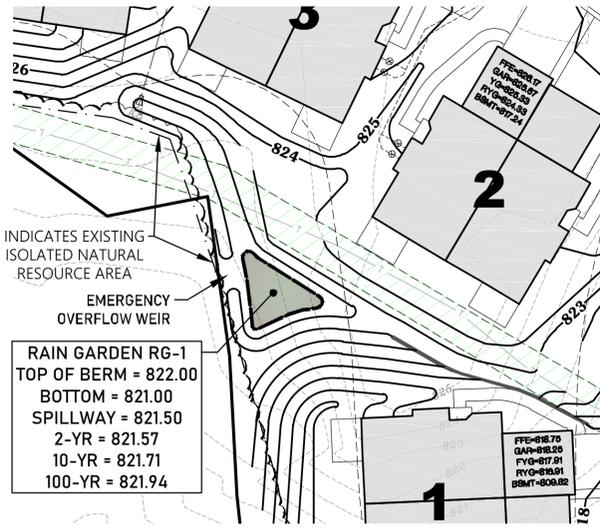
JOB NUMBER:
 25-09-966

DESCRIPTION:
 STORMWATER FACILITY DETAILS

SHEET

C2.1

X:\2025\25-09-966 RIVER ROAD VILLAS - WAUKESHA\DRAWINGS\CONSTRUCTION PLANS\RIVER ROAD VILLAS-CIVIL PLAN SET_22X34.DWG

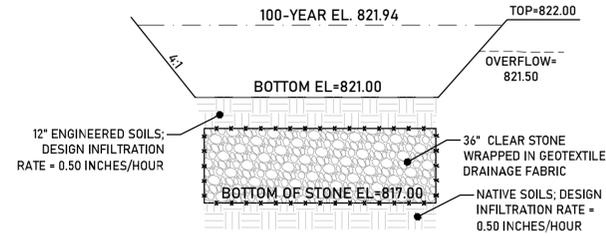


INDICATES EXISTING ISOLATED NATURAL RESOURCE AREA

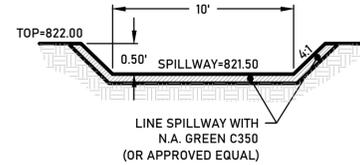
EMERGENCY OVERFLOW WEIR

RAIN GARDEN RG-1
 TOP OF BERM = 822.00
 BOTTOM = 821.00
 SPILLWAY = 821.50
 2-YR = 821.57
 10-YR = 821.71
 100-YR = 821.94

RAIN GARDEN RG-1



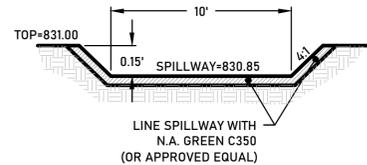
RAIN GARDEN RG-1
NO SCALE



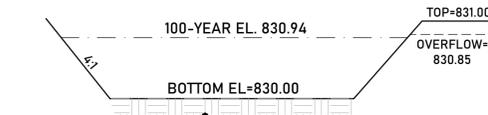
OVERFLOW SPILLWAY RG-1
NO SCALE

RAIN GARDEN NOTES

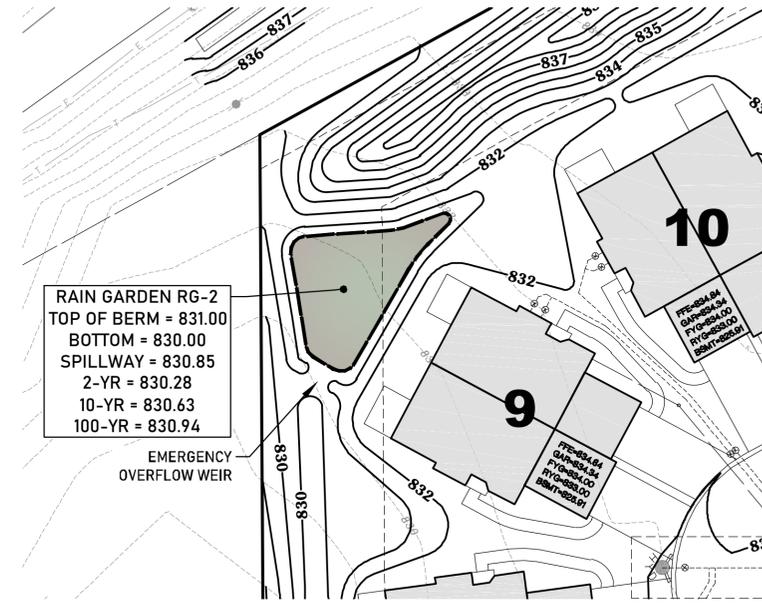
1. FINAL RAIN GARDEN WORK SHALL NOT BE INSTALLED UNTIL THE SITE IS SUBSTANTIALLY STABILIZED.
2. DURING ALL PHASES OF CONSTRUCTION, THE BASIN AREAS SHALL BE PROTECTED FROM HEAVY EQUIPMENT COMPACTION.
3. REMOVE ACCUMULATED SEDIMENT PRIOR TO TILLING OF NATIVE SOILS.
4. TILLED NATIVE SOILS IN THE RAIN GARDEN AREAS SHALL NOT BE COMPACTED.



OVERFLOW SPILLWAY RG-2
NO SCALE



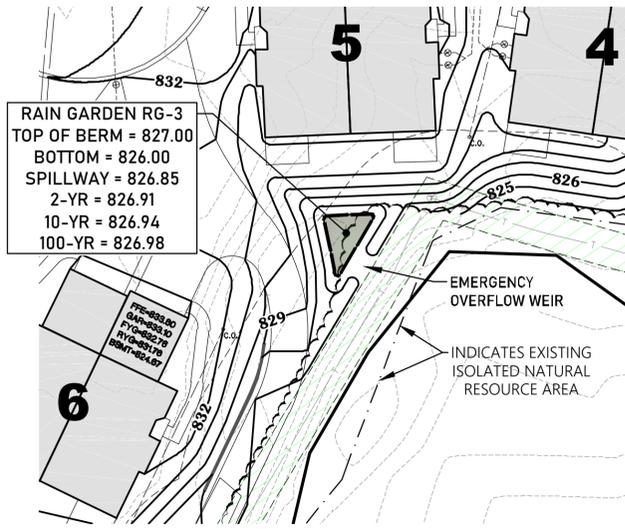
RAIN GARDEN RG-2
NO SCALE



RAIN GARDEN RG-2
 TOP OF BERM = 831.00
 BOTTOM = 830.00
 SPILLWAY = 830.85
 2-YR = 830.28
 10-YR = 830.63
 100-YR = 830.94

EMERGENCY OVERFLOW WEIR

RAIN GARDEN RG-2

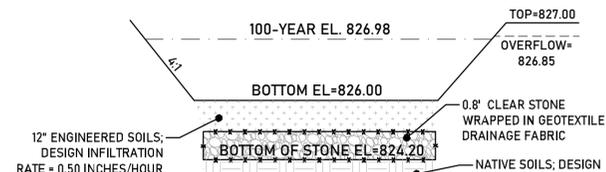


RAIN GARDEN RG-3
 TOP OF BERM = 827.00
 BOTTOM = 826.00
 SPILLWAY = 826.85
 2-YR = 826.91
 10-YR = 826.94
 100-YR = 826.98

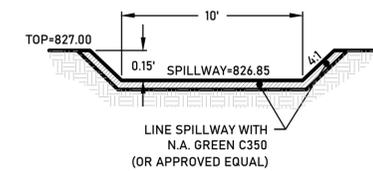
EMERGENCY OVERFLOW WEIR

INDICATES EXISTING ISOLATED NATURAL RESOURCE AREA

RAIN GARDEN RG-3



RAIN GARDEN RG-3
NO SCALE



OVERFLOW SPILLWAY RG-3
NO SCALE



0 15 30 60
 SCALE: 1" = 30' (22"X34")
 SCALE: 1" = 60' (11"X17")

LEGEND:

- - - - - EXISTING CONTOUR
- - - - - PROPOSED CONTOUR
- 850.0 PROPOSED SPOT ELEVATION
- PROPOSED FLOW ARROW
- FFE 850.0 PROPOSED YARD GRADE
- GAR 850.0 PROPOSED GARAGE GRADE
- RYG 850.0 FINISHED FLOOR ELEVATION
- RYR 850.0 REAR YARD GRADE
- PROPOSED OVERLAND FLOW ROUTE

811 CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE. KNOW WHAT'S BELOW. **CALL BEFORE YOU DIG.**

NOTE: EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.



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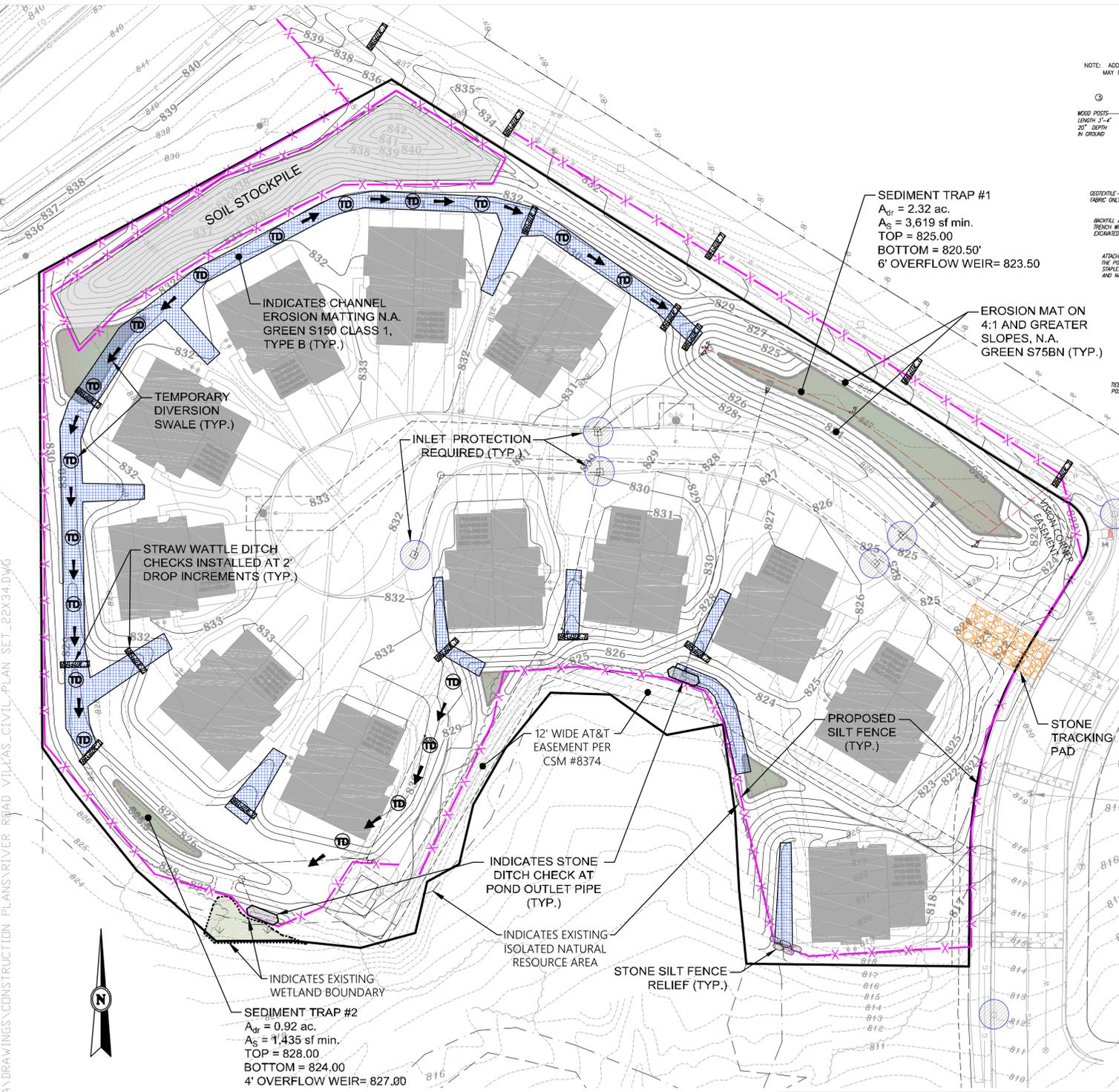
DATE:
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JOB NUMBER:
 25-09-966

DESCRIPTION:
 STORMWATER FACILITY DETAILS

SHEET

C2.2



SEDIMENT TRAP #1
 $A_{OT} = 2.32$ ac.
 $A_S = 3,619$ sf min.
 TOP = 825.00
 BOTTOM = 820.50'
 6' OVERFLOW WEIR = 823.50

EROSION MAT ON 4:1 AND GREATER SLOPES, N.A. GREEN S75BN (TYP.)

INDICATES CHANNEL EROSION MATTING N.A. GREEN S150 CLASS 1, TYPE B (TYP.)

INLET PROTECTION REQUIRED (TYP.)

STRAW WATTLE DITCH CHECKS INSTALLED AT 2' DROP INCREMENTS (TYP.)

12' WIDE AT&T EASEMENT PER CSM #8374

PROPOSED SILT FENCE (TYP.)

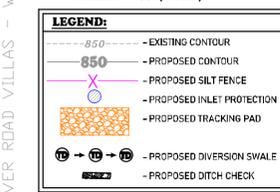
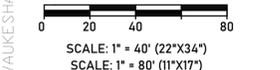
STONE TRACKING PAD

INDICATES STONE DITCH CHECK AT POND OUTLET PIPE (TYP.)

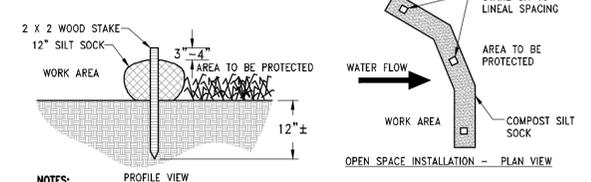
INDICATES EXISTING ISOLATED NATURAL RESOURCE AREA

STONE SILT FENCE RELIEF (TYP.)

SEDIMENT TRAP #2
 $A_{OT} = 0.92$ ac.
 $A_S = 1,435$ sf min.
 TOP = 828.00
 BOTTOM = 824.00
 4' OVERFLOW WEIR = 827.00



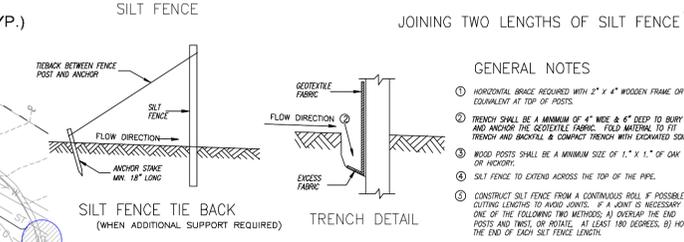
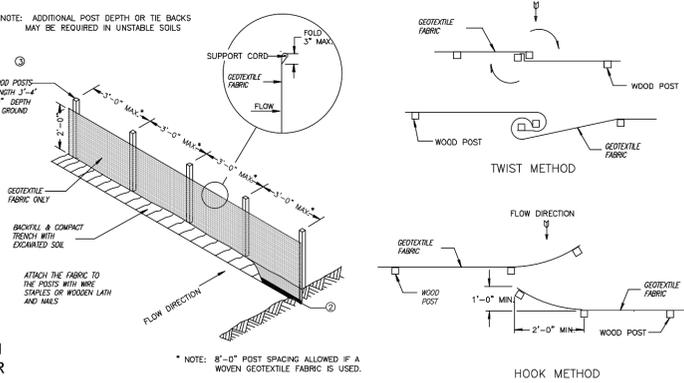
811
 CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE. KNOW WHAT'S BELOW. CALL BEFORE YOU DIG.
 NOTE: EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.



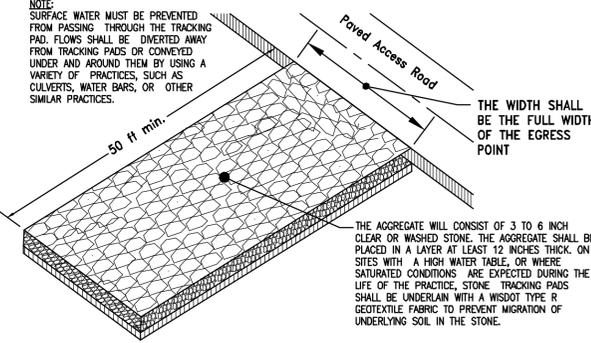
NOTES:
 1. ALL MATERIAL TO MEET MANUFACTURER'S SPECIFICATIONS
 2. REFER TO MANUFACTURERS AND/OR SUPPLIERS. SPECIFICATIONS FOR INSTALLATION RECOMMENDATIONS.
 3. ACTUAL LOCATION MAY BE FIELD ADJUSTED TO MINIMIZE DISTURBANCE TO EXISTING VEGETATION.
 4. INSTALL EVERY 200' OR 2' GRADE DROP IN SWALES.

STRAW WATTLE DITCH CHECK INSTALLATION DETAIL
 NO SCALE

LATE SEASON STABILIZATION NOTES:
 THE OBJECTIVE IS TO STABILIZE THE SITE WITH 70% VEGETATIVE COVERAGE OF ALL PERSISTENTLY DISTURBED AREAS BEFORE THE END OF THE GROWING SEASON. THIS WILL BE DONE BY SEEDING OF ALL DISTURBED AREAS WITH PERMANENT VEGETATION BY SEPTEMBER 15, 2022. IF THIS DEADLINE IS MISSED, THEN STABILIZATION WILL BE COMPLETED BY:
 1. SEEDING OF ALL DISTURBED AREAS WITH TEMPORARY SEED MIX (OATS, WINTER WHEAT, ANNUAL RYE) BY OCTOBER 15. PERMANENT SEED MIX MUST BE IMPLEMENTED BY JUNE 1 OF THE FOLLOWING YEAR.
 2. IF THE OCTOBER 15 DEADLINE IS MISSED, COVERAGE OF ALL DISTURBED AREAS BY NOVEMBER 1 WITH:
 a. TOPSOIL, SEED, AND THE MATERIAL CALLED FOR ON THIS PLAN, WHERE TOPSOIL, SEED, AND EROSION CONTROL MATTING IS CALLED FOR.
 b. TOPSOIL, SEED, AND TYPE A SOIL STABILIZER FROM THE WDOT PRODUCT ACCEPTABILITY LIST OR OTHER METHOD APPROVED BY THE CITY ENGINEER FOR ALL AREAS WHERE SEED, TOPSOIL, AND MULCH IS CALLED FOR ON THIS PLAN.
 3. IF THE NOVEMBER 1 DEADLINE HAS BEEN MISSED, AND THE CITY ENGINEER HAS DETERMINED THAT IT IS INFEASIBLE TO PLACE TOPSOIL, THE PERMIT APPLICANT SHALL:
 a. APPLY TYPE A SOIL STABILIZER FROM THE WDOT PRODUCT ACCEPTABILITY LIST TO ALL DISTURBED AREAS.
 b. INSTALL DITCH CHECKS IN ALL DITCHES WITH SLOPE GREATER THAN 0.5% AT INTERVALS SUCH THAT THE TOP OF THE DOWNHILL DITCH CHECK IS AT THE ELEVATION OF THE FOOT OF THE UPHILL DITCH CHECK. DITCH CHECKS SHALL BE EITHER:
 i. TRIANGULAR FOAM-CORE
 ii. STONE INSTALLED PER THE WDNR TECHNICAL STANDARD
 iii. COMPOST-FILLED TUBES, OR
 iv. A COMPARABLE PRODUCT AS APPROVED BY THE CITY ENGINEER.

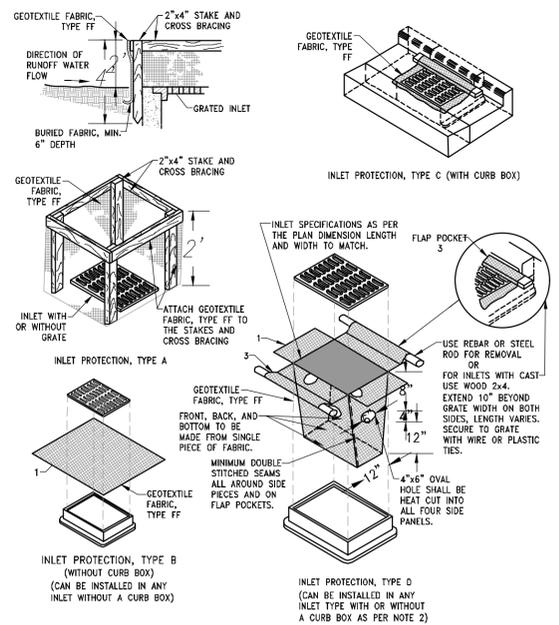


SILT FENCE INSTALLATION DETAIL
 NO SCALE



CONSTRUCTION ENTRANCE DETAIL
 NO SCALE

- EROSION CONTROL NOTES:**
1. THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO MINIMIZE EROSION, WATER POLLUTION AND SILTATION CAUSED BY CONSTRUCTION OF THIS PROJECT. EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS.
 2. EROSION CONTROL PLAN: PRIOR TO BEGINNING WORK, THE CONTRACTOR MAY BE REQUIRED TO SUBMIT AN EROSION AND SEDIMENT CONTROL PLAN, DETAILING SPECIFIC MEASURES THAT WILL BE USED IN THE VARIOUS STAGES OF CONSTRUCTION FOR APPROVAL BY THE ENGINEER.
 3. IMPLEMENTATION: THE CONTRACTOR SHALL NOT BEGIN WORK UNTIL AFTER INITIAL EROSION AND SEDIMENT CONTROL DEVICES ARE IN PLACE AND APPROVED BY THE ENGINEER.
 4. EROSION CONTROL MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:
 A. DIVERT UPSTREAM RUNOFF FROM FLOWING THROUGH THE CONSTRUCTION SITE.
 B. PROTECT DOWNSTREAM AND ADJACENT WATERWAYS AND WETLANDS WITH SILT FENCE.
 C. DELAY STRIPPING TOPSOIL UNTIL REQUIRED FOR CONSTRUCTION.
 D. PLACE SILT FENCE OR EROSION CONTROL BALES IN DITCHES AND OTHER DRAINAGE WAYS TO COLLECT SEDIMENT AND TO SLOW THE VELOCITY OF RUNOFF.
 E. MAINTAIN EXISTING SEDIMENT BASIN AS DICTATED BY SITE CONDITIONS.
 F. PROTECT STORM SEWER INLETS AND THE UPSTREAM END OF CULVERTS WITH SILT FENCE OR EROSION CONTROL BALES.
 G. PROMPT REMOVAL OF EXCAVATED MATERIAL.
 H. PROPER STORAGE OF BACKFILL AND BEDDING MATERIALS INCLUDING PLACING SILT FENCE OR EROSION CONTROL BALES ON THE DOWNSLOPE SIDES OF SPOIL PILES.
 I. CONSTRUCTION OF TRACKING PAD TO CONSTRUCTION SITE TO PREVENT SEDIMENT FROM BEING TRACKED ONTO ROADWAYS.
 J. PROMPT (SAME DAY) CLEANUP OF MATERIAL TRACKED ONTO ADJACENT STREETS.
 K. TIMELY RESTORATION OF DAMAGE SURFACE AREAS.
 L. ALL AREAS THAT WILL REMAIN DISTURBED AFTER OCTOBER 15, MUST BE TEMPORARILY SEED AS OF THAT DATE.
 5. TEMPORARY EROSION CONTROL MEASURES
 A. THE CONTRACTOR SHALL CONSTRUCT TEMPORARY EROSION CONTROL MEASURES, WHERE EROSION IS LIKELY TO BE A PROBLEM, PRIOR TO BEGINNING WORK ON THOSE SECTIONS OF THE PROJECT.
 B. TEMPORARY EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL AFTER PERMANENT EROSION CONTROL, SUCH AS SEEDING OR SODDING, HAS BEEN ESTABLISHED.
 C. IN THE EVENT THE PERMANENT EROSION CONTROL MEASURES ARE NOT FULLY IMPLEMENTED IN CURRENT CONSTRUCTION SEASON, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY TEMPORARY EROSION CONTROL MEASURES UNTIL AFTER PERMANENT MEASURES HAVE BEEN COMPLETED IN THE FOLLOWING YEAR.
 D. ALL DISTURBED AREAS THAT REMAIN INACTIVE FOR SEVEN DAYS OR LONGER SHALL RECEIVE TEMPORARY SEEDING.
 E. TRENCH DEWATERING SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARDS.
 F. INSTALL SILT FENCE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD DETAILS.
 G. ALL RIP RAP AT PIPE OUTLETS SHALL BE 3x5 MEDIUM RIP RAP OVER TYPE R FABRIC PER WDOT SPECIFICATIONS UNLESS OTHERWISE DESIGNATED.
 6. EROSION CONTROL INSPECTION AND MAINTENANCE
 A. INSPECT EROSION CONTROL MEASURES WEEKLY AND AFTER SITE RECEIVES 0.5" OF RAIN IN A 24-HOUR PERIOD DURING CONSTRUCTION.
 B. REPAIR OR REPLACE EROSION CONTROLS THAT ARE DAMAGED OR FALLING.
 C. ALL AREAS TO BE SEED AND MULCHED SHALL USE WDOT SEED MIXTURE NO. 20. MULCH SHALL APPLIED PER WDOT SPECIFICATIONS USING METHOD B FOR PLACEMENT.
 D. DIVERSION BERMS SHALL BE CONSTRUCTED TO BLOCK AND REDIRECT RUNOFF AS INDICATED ON THE PLAN. SIDE SLOPES SHALL NOT EXCEED 2:1; TOP WIDTH SHALL BE 2' MIN.; BERM HEIGHT SHALL BE 1.5' MIN. 15' DUST CONTROL - CONTRACTOR SHALL PREVENT EXCESSIVE DUST FROM LEAVING THE CONSTRUCTION SITE THROUGH CONSTRUCTION PHASING AND TIMELY STABILIZATION OR THE USE OF BMPs SUCH AS SITE WATERING AND MULCH - ESPECIALLY WITH VERY DRY OR FINE SANDY SOILS.
 E. TO OBTAIN CITY STORM WATER PERMIT AND PERFORM WEEKLY EROSION CONTROL INSPECTIONS, AND SUBMIT INSPECTIONS TO CITY EROSION CONTROL INSPECTOR. AT THE END OF PROJECT, COORDINATE PERMIT TERMINATION WITH CITY EROSION CONTROL INSPECTOR.



GENERAL NOTES:
 MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.
 WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
 1. FINISHED SURF, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
 2. FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
 3. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.
INSTALLATION NOTES:
TYPE B & C
 TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE. THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.
TYPE D
 DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.
 TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
 THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3", WHERE NECESSARY THE CONTRACTOR SHALL CINGH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

INLET PROTECTION DETAIL
 NO SCALE

- CONSTRUCTION SEQUENCE PLAN**
1. SPRING 2026: STAKE WETLAND AND FLOODPLAIN BOUNDARY. INSTALL TRACKING PAD AND SILT FENCE AROUND THE PERIMETER OF THE SITE.
 - 1.1. THE WETLAND BOUNDARIES SHOWN ON THE PLANS SHALL BE STAKED PER THE ACTUAL WETLAND FIELD DETERMINATION PRIOR TO INSTALLATION OF EROSION CONTROL PERIMETER MEASURES AND SITE DISTURBANCE.
 2. SUMMER 2026: CLEAR AND GRUB SITE.
 3. SUMMER 2026: STRIP TOPSOIL AND STOCKPILE INITIAL TOPSOIL ALONG NORTH PERIMETER. SEED AND STABILIZE STOCKPILES IMMEDIATELY UPON COMPLETION OF STOCKPILING.
 - 3.1. ALL EXPOSED SOIL AREAS NOT DISTURBED FOR UP TO SEVEN (7) DAYS MUST BE IMMEDIATELY RESTORED WITH SEED AND MULCH.
 4. SUMMER 2026: INSTALL DIVERSION BERMS WITH DITCH CHECKS AND SEDIMENT TRAPS. EXCEPTING SITE RUNOFF TO SEDIMENT TRAPS AS INDICATED ON THE PLAN.
 5. SUMMER 2026: ROUGH GRADE SITE.
 6. SUMMER 2026: INSTALL SANITARY SEWER AND WATER MAIN. COMPLETE ALL TESTING AND CONTACT CITY PRIOR TO CONNECTING TO EXISTING MAINS. NOTE THAT THIS STEP MAY BEGIN CONCURRENT WITH ROUGH GRADING ONCE THE UTILITY AREAS HAVE BEEN GRADED TO SUBGRADE.
 7. SUMMER 2026: INSTALL STORM SEWER, AND ASSOCIATED EROSION CONTROL MEASURES PER EROSION CONTROL PLAN. NOTE THAT THIS STEP MAY BEGIN CONCURRENT WITH SANITARY SEWER AND WATER MAIN INSTALLATION.
 8. SUMMER/FALL 2026: FINISH GRADE THE SITE. NOTE THAT THIS STEP MAY OCCUR CONCURRENT WITH STORM SEWER INSTALLATION.
 9. SUMMER/FALL 2026: INSTALL STONE BASE COURSE, CONSTRUCT CURB, AND PLACE BINDER COURSE PAVEMENT. NOTE THAT THIS STEP MAY BEGIN CONCURRENT WITH FINISH GRADING.
 10. FALL 2026: RESPRAD TOPSOIL AND PLACE SEED, MULCH, MATTING AND OTHER SITE STABILIZERS AS NEEDED. NOTE THAT THIS STEP MAY BEGIN CONCURRENT WITH FINISH GRADING AND ROAD CONSTRUCTION. ALSO NOTE THAT ANY AREAS, SUCH AS POND SLOPES, THAT ARE FINISH GRADED AND TOPSOILED SHALL BE SEED, MULCHED AND/OR MATTED IMMEDIATELY AFTER TOPSOIL IS PLACED.
 11. REMOVE TEMPORARY SEDIMENT TRAPS AND CONSTRUCT STORMWATER MANAGEMENT BASINS PER PLAN. ENSURE ALL SILT HAS BEEN REMOVED AND NATIVE SOILS HAVE BEEN EXPOSED. PROVIDE 12" DEEP MINIMUM TILL OF NATIVE SOILS PRIOR TO ADDING ENGINEERED SOILS. IF OVER EXCAVATION IS REQUIRED IN THIS STEP, FILL EXCAVATION WITH ON SITE GRANULAR MATERIAL TO ELEVATION NEEDED TO IMPLEMENT BASIN DESIGN.
 12. FALL 2026: LATE SEASON (AFTER OCTOBER 15) STABILIZATION NOTES:
 12.1. ALL AREAS THAT WILL REMAIN DISTURBED AFTER OCTOBER 15 MUST BE TEMPORARILY SEED AS OF THAT DATE.
 12.2. ANY FINAL SITE STABILIZATION THAT OCCURS AFTER OCTOBER 15 MAY REQUIRE CONTRACTOR TO COVER DISTURBED AREAS WITH THE ANIONIC FORM OF POLYACRYLAMIDE (PAM), PER WDNR TECHNICAL STANDARD 1050 AND WSDOT PAL LIST. CONTRACTOR SHALL COORDINATE WITH CITY ENGINEER AND WDNR FOR LATE SEASON STABILIZATION REQUIREMENTS.
 13. SPRING/SUMMER 2027: REMOVE CONSTRUCTION EROSION CONTROL MEASURES AFTER SITE IS STABILIZED (SUBSTANTIALLY VEGETATED) AND ALL CONSTRUCTION IS COMPLETE.



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DESCRIPTION:
 EROSION CONTROL PLAN

SHEET

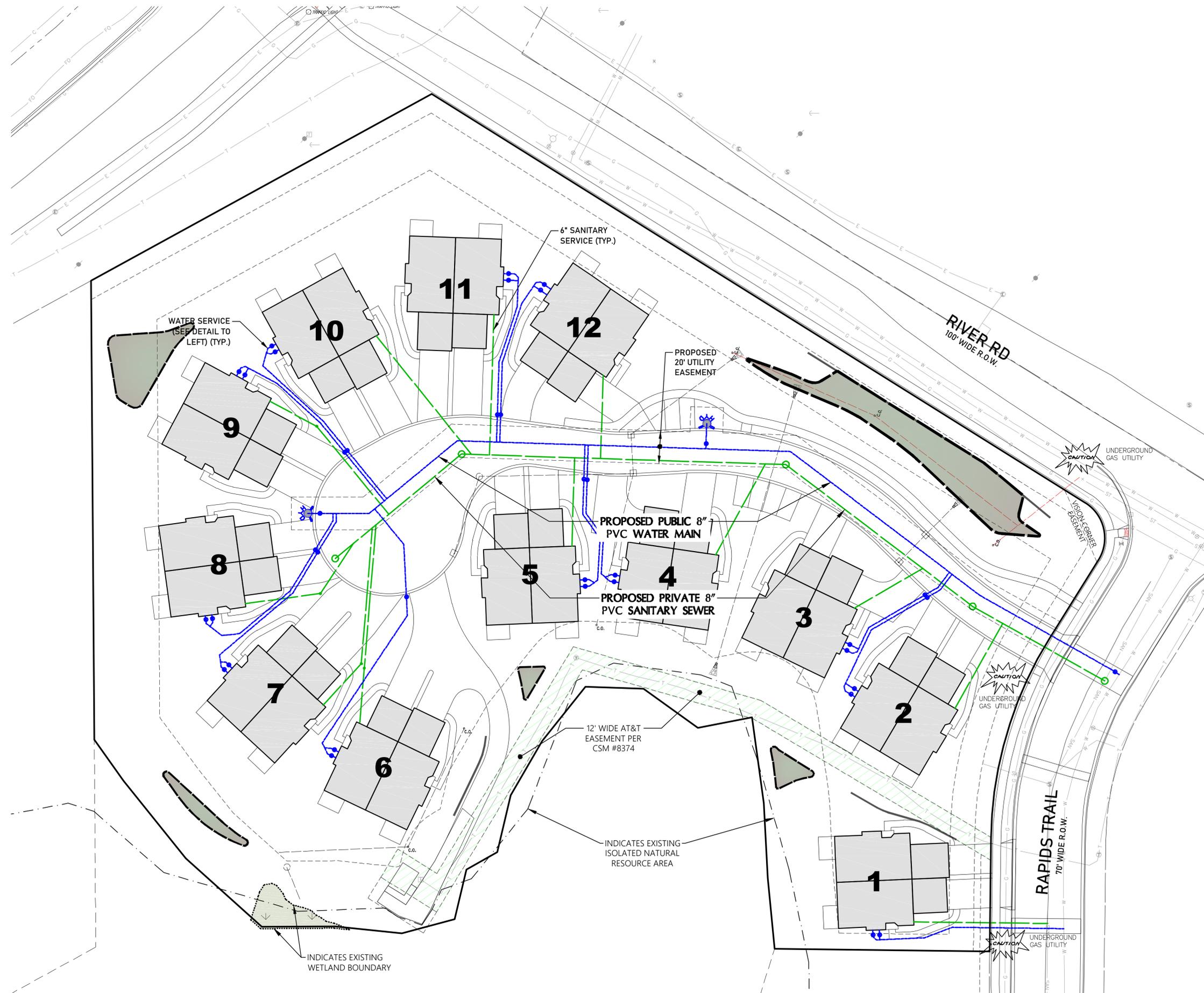
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LEGEND:

- PROPOSED STORM SEWER
- - PROPOSED STORM MANHOLE
- - PROPOSED STORM INLET
- ▲ - PROPOSED STORM END SECTION
- - - - PROPOSED SANITARY SEWER
- - PROPOSED SANITARY MANHOLE
- - - - PROPOSED WATER MAIN
- - PROPOSED WATER VALVE
- ★ - PROPOSED WATER HYDRANT

UTILITY NOTES

- SANITARY SEWER**
- ALL SANITARY SEWER TO BE INSTALLED IN ACCORDANCE WITH CITY OF WAUKESHA STANDARDS.
 - ALL APPLICATIONS AND FEES FOR SANITARY SEWER MUST BE COMPLETED AND PAID PRIOR TO CONNECTION TO SEWER SYSTEMS.
 - ANY UTILITY WORK IN THE RIGHT-OF-WAY AND ALL SANITARY SEWER CONNECTIONS TO BE INSPECTED BY CITY. NOTIFY CITY 72 HOURS IN ADVANCE OF CONNECTING TO SEWER.
 - WHEN STARTING AN INSTALLATION, THE FARTHEST DOWNSTREAM LOCATION OF THE NEW SANITARY SEWER SYSTEM SHALL HAVE A PLUG INSTALLED AND MAINTAINED BY THE UTILITY CONTRACTOR. THAT PLUG SHALL NOT BE REMOVED UNTIL THE SYSTEM HAS BEEN ACCEPTED BY THE CITY ENGINEER AND DEEMED OPERATIONAL BY THE CITY.
 - ALL PVC SEWER PIPE SHALL MEET THE REQUIREMENTS SET FORTH IN SECTION 8.10.0 (SSWCW).
 - ALL SANITARY SEWER LATERALS (OUTSIDE OF BUILDINGS) SHALL BE MADE OF GASKETED PVC FITTINGS MEETING ASTM D-3034, SDR 35.
 - ALL SANITARY SEWER LATERALS TO CONNECT TO SANITARY MAIN VIA WYE OF 0.81 VERTICAL RISE.
 - TRACER WIRE IS REQUIRED FOR ALL SANITARY SEWER AND LATERALS. (SEE NOTE BELOW).
- WATERMAIN**
- ALL PVC WATERMAIN CONSTRUCTED AS PART OF THIS PLAN SHALL BE PVC, C-900, CLASS 150 (DR18), UNLESS OTHERWISE NOTED. PVC PIPE SHALL HAVE PUSH-ON JOINTS WITH RUBBER GASKET.
 - HYDRANTS SHALL BE SET AT 2 FT. BEHIND THE BACK OF CURB, WITH THE NOZZLE ELEVATION 2' ABOVE TOP OF CURB.
 - HYDRANT NOZZLE TO BE 5" THREADED STEAMER CONNECTION.
 - ALL WATERMANS (AND SERVICES) CALLED FOR ON THESE PLANS ARE TO BE INSTALLED WITH CLASS "B" BEDDING AS SPECIFIED IN CH. 4.3.0, LAYING OF WATERMAIN, AND FILE NO. 36, PART VII (SSWCW). ALL WATERMAIN INSTALLED WITHIN THE CITY OF WAUKESHA RIGHT OF WAY SHALL BE BEDDED IN SAND.
 - TRACER WIRE IS REQUIRED FOR ALL WATERMAIN AND LATERALS. (SEE NOTE BELOW).
- TRACER WIRE NOTE**
- CONTRACTOR SHALL INSTALL PLASTIC COATED TRACER WIRE (10 TO 14 GAUGE SOLID COPPER, OR COPPER COATED STEEL WIRE) PER COMM 382.30(1)(I)-(H). PLASTIC WIRE MAY BE TAPED TO PLASTIC DRAIN PIPE. IF ATTACHED, THE TRACER SHALL BE SECURED EVERY 6 TO 20 FEET AND AT ALL BENDS. TRACER WIRE SHALL HAVE ACCESS POINTS AT LEAST EVERY 300 FEET.
- TRENCH BACKFILL**
- SPOIL BACKFILL MAY BE USED FOR UTILITY TRENCHES CONTINGENT ON TESTING AND APPROVAL BY THE CITY OF WAUKESHA. ALL SPOIL BACKFILL TO BE USED MUST MEET THE STATE OF WISCONSIN SPECIFICATIONS FOR UTILITY BACKFILL.
 - BACKFILL WITHIN 5' OF PUBLIC RIGHT OF WAY SHALL BE SLURRY.



0 15 30 60
 SCALE: 1" = 30' (22"x34")
 SCALE: 1" = 60' (11"x17")

811 CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE EXCAVATION. KNOW WHAT'S BELOW. **CALL BEFORE YOU DIG.**

NOTE: EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.



19035 W. CAPITOL DR., SUITE 200
 BROOKFIELD, WI 53045
 PHONE: (262) 790-1480
 FAX: (262) 790-1481
 EMAIL: j.pudlak@trioeng.com

PROJECT:
RIVER ROAD VILLAS
 CITY OF WAUKESHA, WISCONSIN
 BY: BIELINSKI HOMES
 1830 MEADOW LN., SUITE A
 PEWAUKEE, WI 53072

REVISION HISTORY	
DATE	DESCRIPTION
05/12/25	PRELIMINARY PLANS
08/19/25	ROAD PROFILE REVISION
11/14/25	PER CITY COMMENTS

DATE:
 NOVEMBER 14, 2025

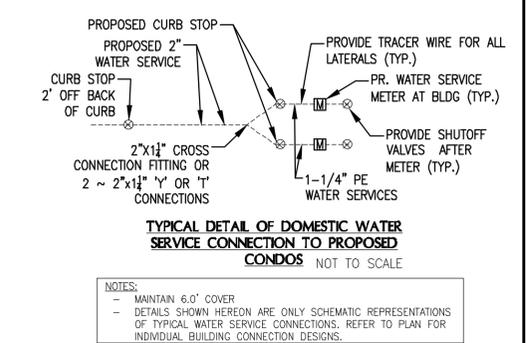
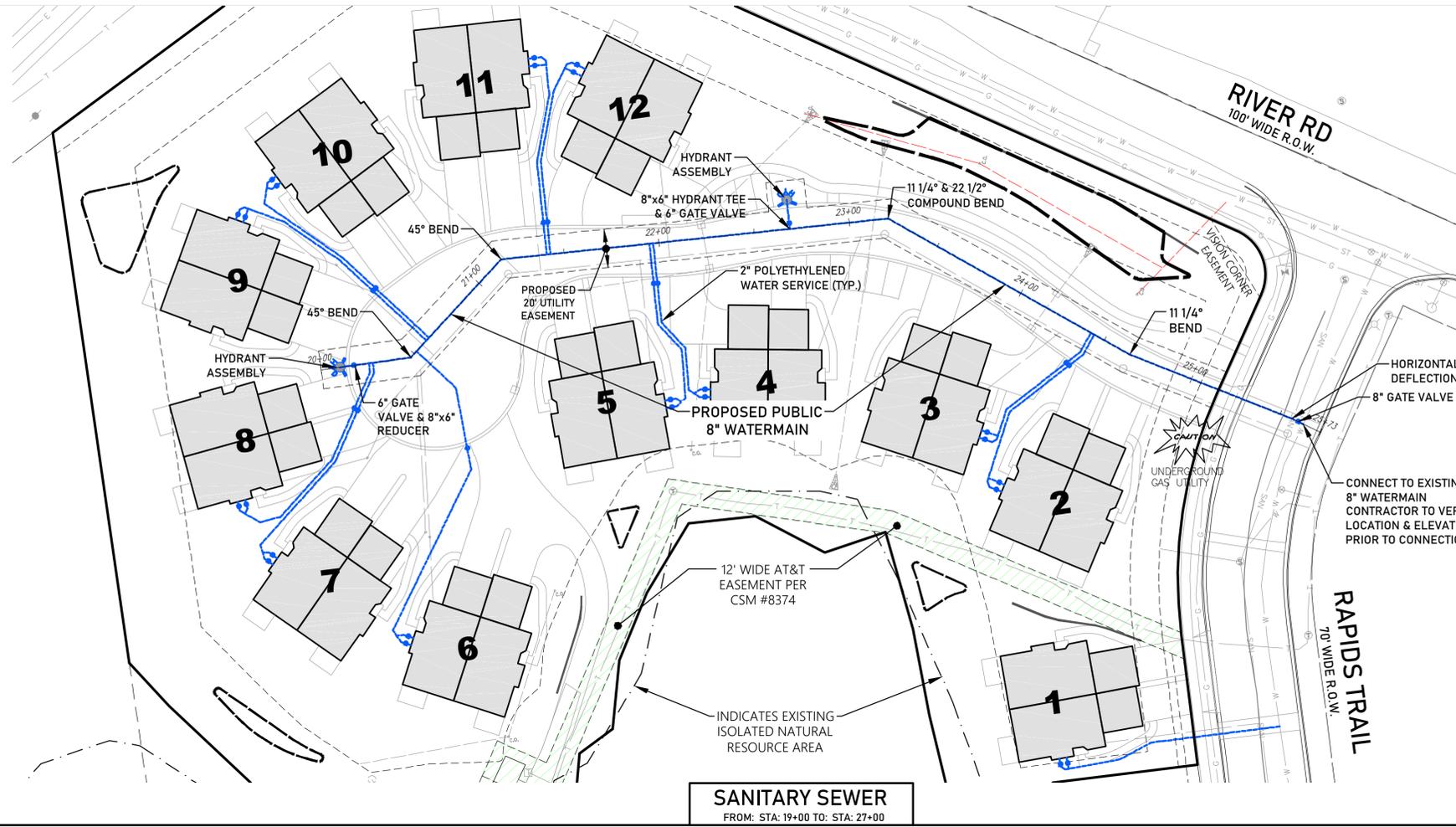
JOB NUMBER:
 25-09-966

DESCRIPTION:
 OVERALL
 SANITARY &
 WATER PLAN

SHEET

C4.0

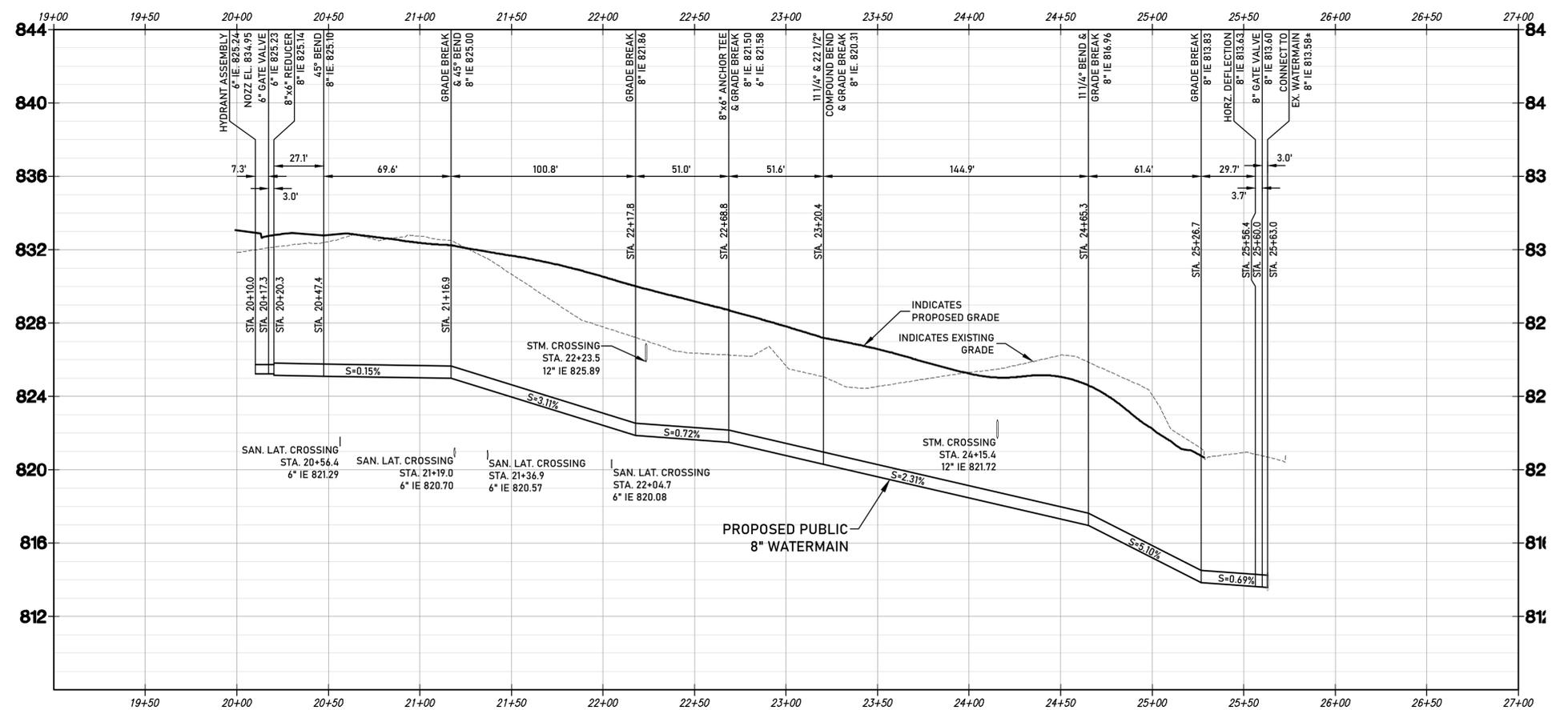
X:\2025\25-09-966 RIVER ROAD VILLAS - WAUKESHA\DRAWINGS\CONSTRUCTION PLANS\RIVER ROAD VILLAS-CIVIL PLAN_SET_22X34.DWG



X:\2025\25-09-966 RIVER ROAD VILLAS - WAUKESHA\DRAWINGS\CONSTRUCTION PLANS\RIVER ROAD VILLAS CIVIL PLAN SET_22X34.DWG

811 CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE EXCAVATION. KNOW WHAT'S BELOW. **CALL BEFORE YOU DIG.**

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WISCONSIN
Matthew Bailey
REGISTERED PROFESSIONAL ENGINEER
E-1133
OCONOMOC

TRIO
DESIGN • LAND SURVEYING
CIVIL ENGINEERING

19035 W. CAPITOL DR., SUITE 200
BROOKFIELD, WI 53045
PHONE: (262) 790-1480
FAX: (262) 790-1481
EMAIL: jpaulek@trioeng.com

PROJECT:
RIVER ROAD VILLAS
CITY OF WAUKESHA, WISCONSIN
BY: BIELINSKI HOMES
1830 MEADOW LN., SUITE A
PEWAUKEE, WI 53072

REVISION HISTORY

DATE	DESCRIPTION
05/12/25	PRELIMINARY PLANS
08/19/25	ROAD PROFILE REVISION
11/14/25	PER CITY COMMENTS

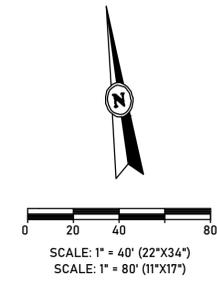
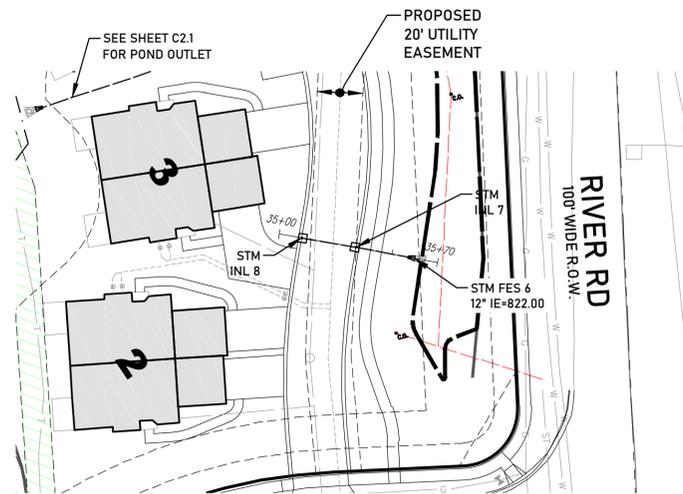
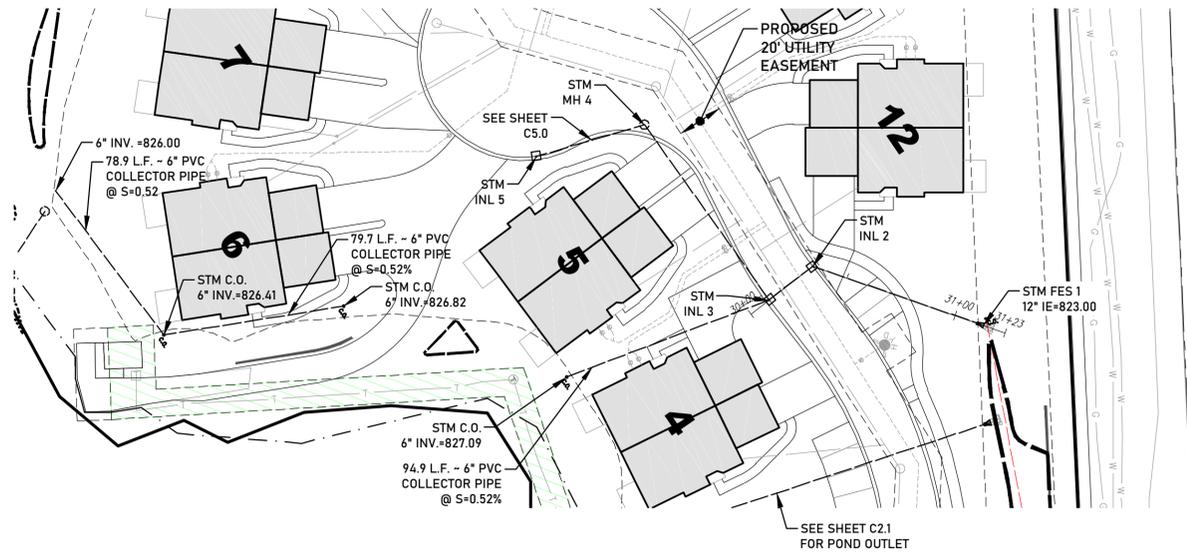
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NOVEMBER 14, 2025

JOB NUMBER:
25-09-966

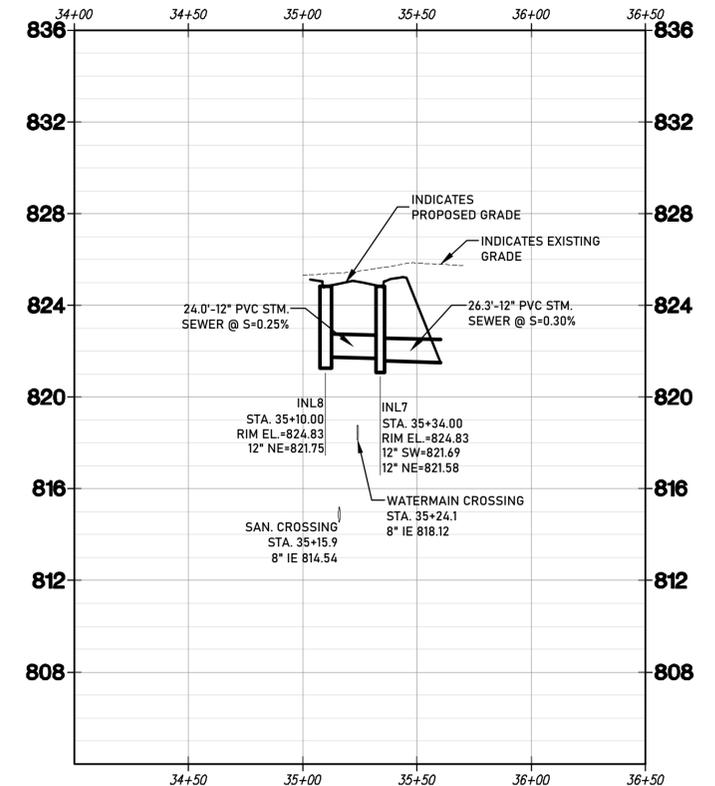
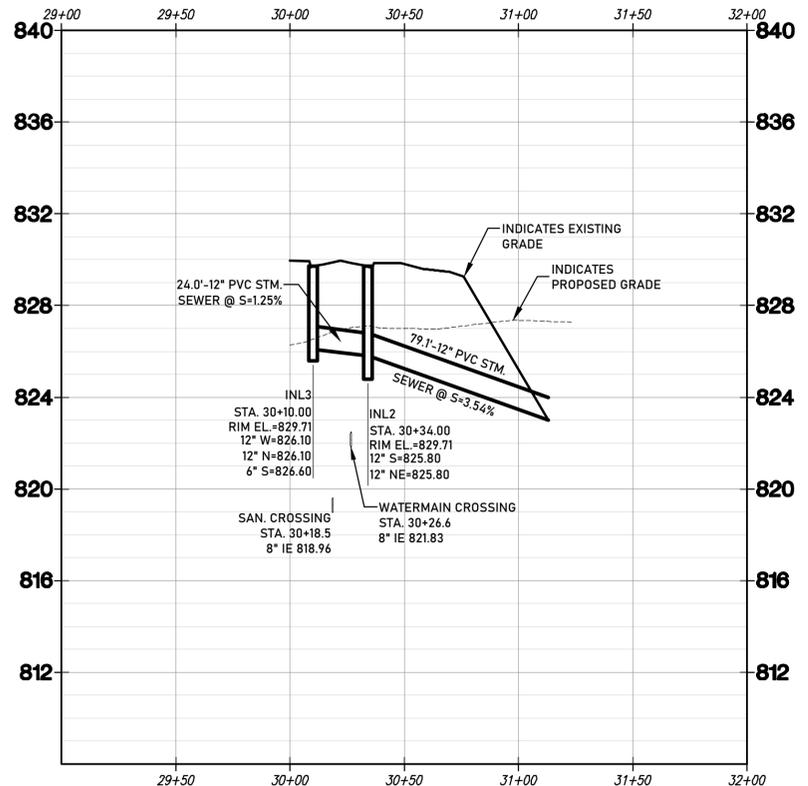
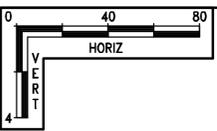
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WATERMAIN
PLAN &
PROFILE

SHEET
C4.2

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ROAD & STORM SEWER
FROM: STA: 29+00 TO: STA: 36+50



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19035 W. CAPITOL DR., SUITE 200
BROOKFIELD, WI 53045
PHONE: (262) 790-1480
FAX: (262) 790-1481
EMAIL: jprudek@trioeng.com

PROJECT:
RIVER ROAD VILLAS
CITY OF WAUKESHA, WISCONSIN
BY: BIELINSKI HOMES
1830 MEADOW LN., SUITE A
PEWAUKEE, WI 53072

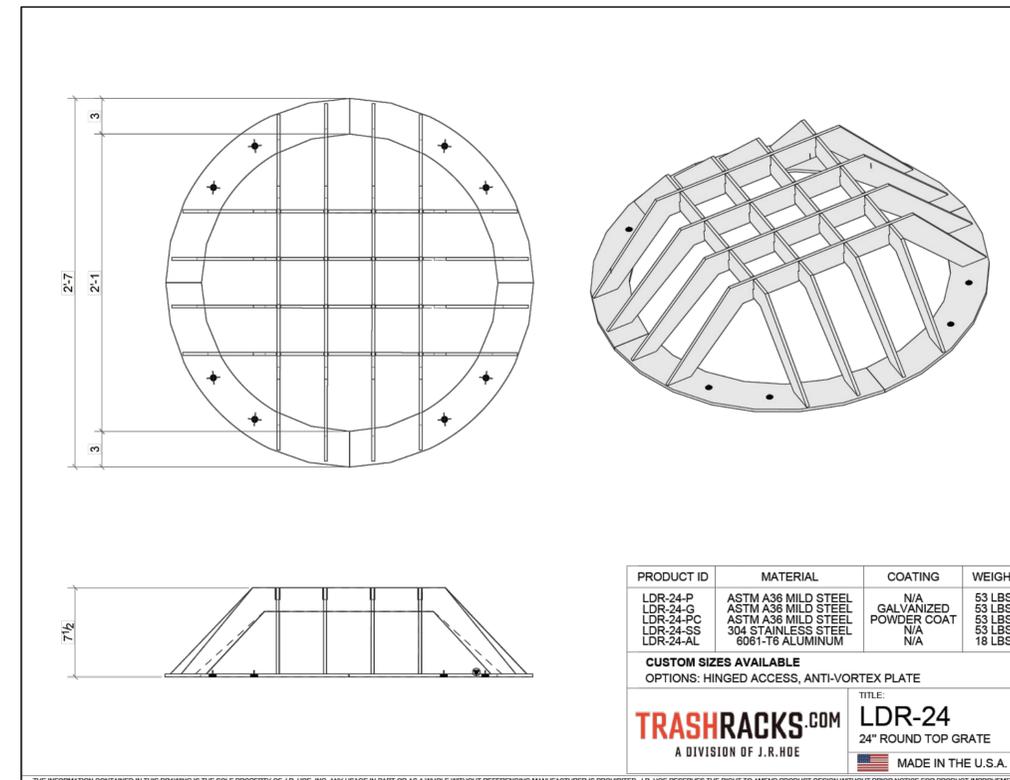
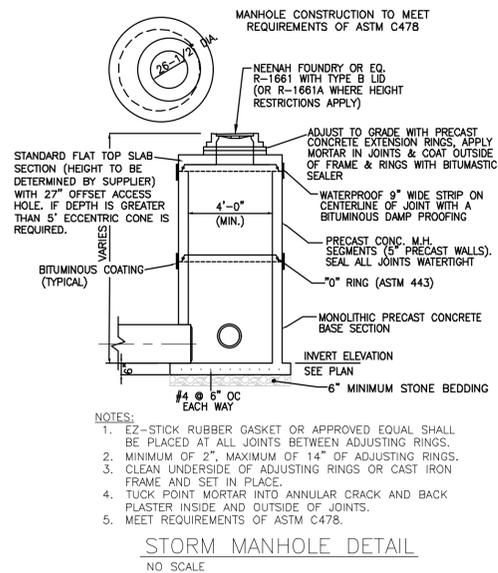
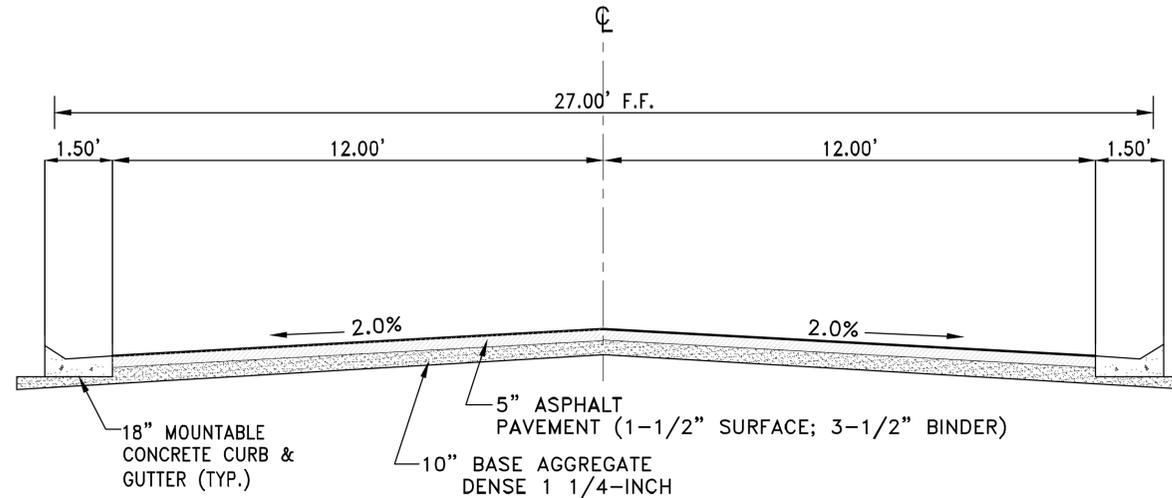
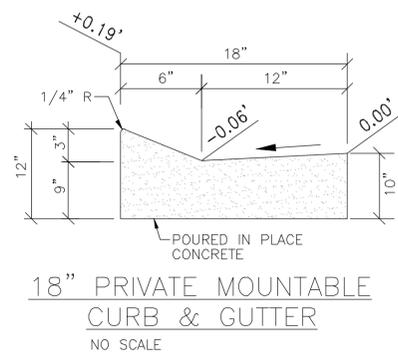
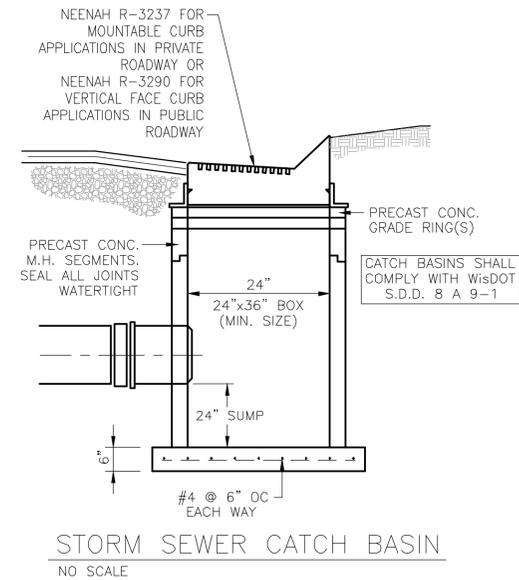
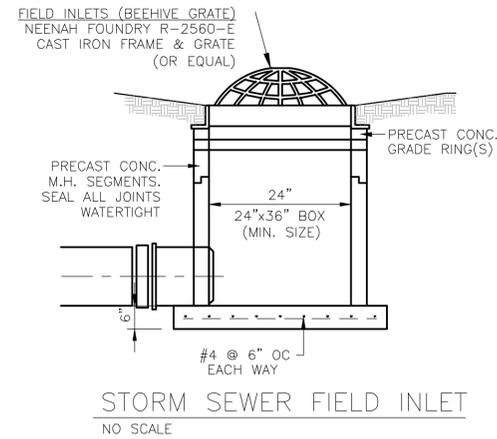
REVISION HISTORY	
DATE	DESCRIPTION
05/12/25	PRELIMINARY PLANS
08/19/25	ROAD PROFILE REVISION
11/14/25	PER CITY COMMENTS

DATE:
NOVEMBER 14, 2025

JOB NUMBER:
25-09-966

DESCRIPTION:
STORM
SEWER PLAN
& PROFILE

SHEET
C5.1



19035 W. CAPITOL DR., SUITE 200
BROOKFIELD, WI 53045
PHONE: (262) 790-1480
FAX: (262) 790-1481
EMAIL: jpaulek@trioeng.com

PROJECT:
RIVER ROAD VILLAS
CITY OF WAUKESHA, WISCONSIN
BY: BIELINSKI HOMES
1830 MEADOW LN., SUITE A
PEWAUKEE, WI 53072

REVISION HISTORY	
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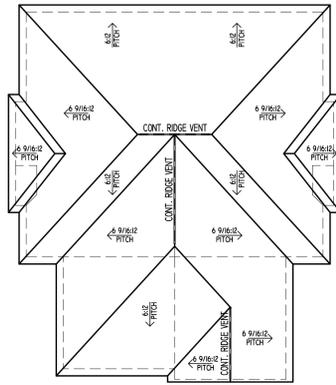
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25-09-966

DESCRIPTION:
CONSTRUCTION
DETAILS

SHEET

C6.1

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ROOF PLAN
SCALE: 1/16" = 1'-0"



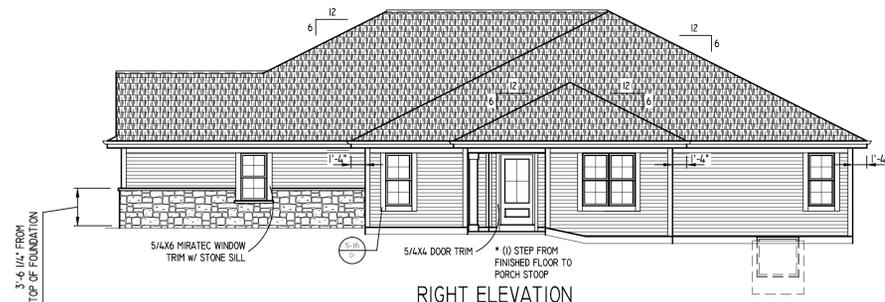
FRONT ELEVATION
SCALE: 1/4" = 1'-0"

- EXTERIOR MATERIALS**
- ROOFING: DIMENSIONAL SHINGLES.
 - SIDING: DOUBLE 4" EXP. LOW MAINTENANCE VINYL LAP SIDING.
 - 5/4x6 w/ 5/4x4 MIRATEC CORNER BOARDS @ FRONT ELEVATION.
 - VINYL CORNER POSTS @ SIDES & REAR.
 - FASCIA: 8" ALUMINUM CLAD.
 - SOFFIT: VENTED ALUMINUM.
 - RAKE FASCIA: 6" ALUMINUM CLAD.
 - RAKE TRIM: 3" ALUMINUM CLAD.
 - RAKE FRIEZE: 5/4x6 MIRATEC.
 - FIXTURE BLOCKS: VINYL J-BLOCK.
 - GARAGE JAMB: 5/4x6 PAINTED MIRATEC.
 - (1) ROW (3'-0" WIDE) ICE/WATER SHIELD ENTIRE LENGTH OF ALL VALLEYS.
 - PORCH SOFFIT: NON-VENTED ALUMINUM.



LEFT ELEVATION
SCALE: 1/8" = 1'-0"

NOTE: HEEL HEIGHTS ARE AS FOLLOWS:
-6:12 ROOF PITCH (4 3/8" HEEL) w/ 1'-4" OVERHANG
-6 9/16±:12 ROOF PITCH (5 1/8" HEEL) w/ 1'-4" OVERHANG



RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



REAR ELEVATION
SCALE: 1/8" = 1'-0"

Model: ADALYN
Elevation: TRANSITIONAL
Series: PARK VILLAS
Plan: #500

BIELINSKI HOMES
1830 Meadow Lane, Suite A • Pewaukee, WI 53072 • (262) 542-9494

Built for:
**Bielinski Homes
River Road Villas**

Job Number: ----

Phase: BASE PLANS

Date	By	Revision

Drawn By: MAD Wkst Date: ----
Plan Date: 8/19/25 Release Date: ----

Technical Data:
SQUARE FOOTAGE:
1ST FLOOR - 1300 SQ. FT.
2ND FLOOR - N/A
OPEN VOLUME - N/A
TOTAL 1300 SQ. FT.

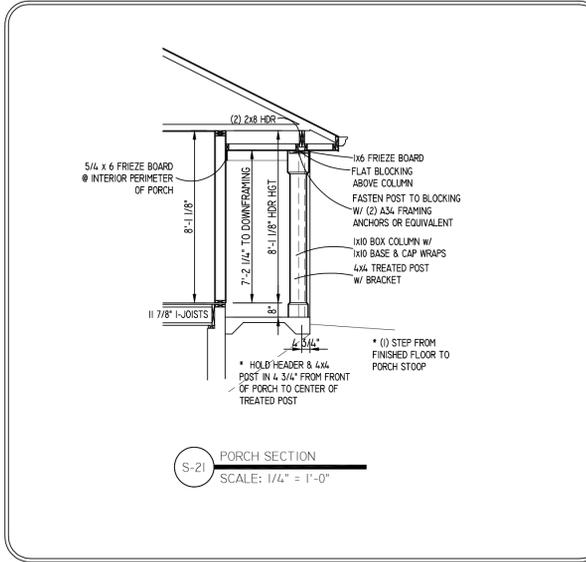
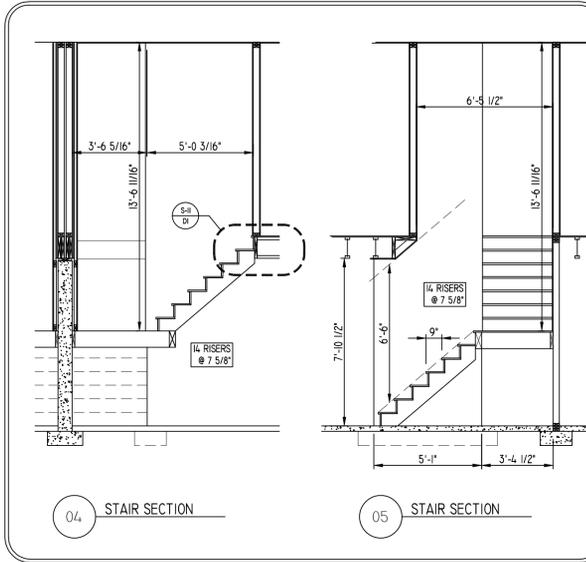
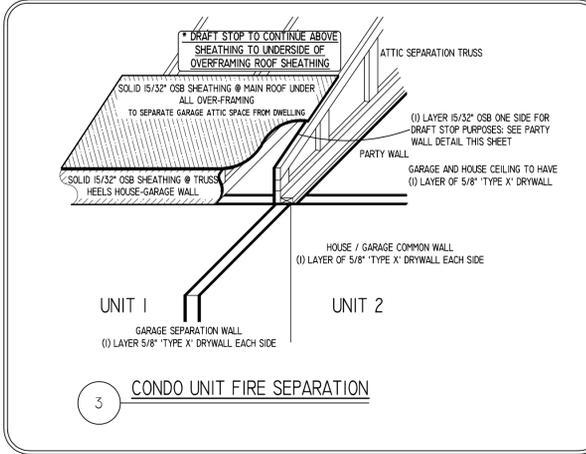
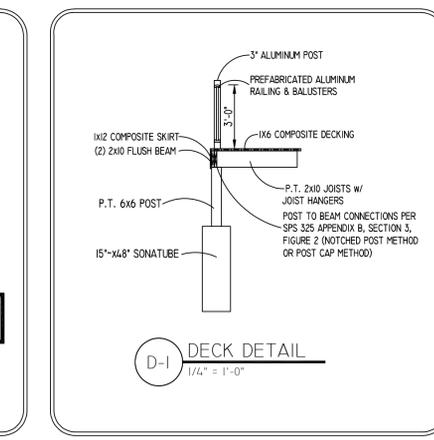
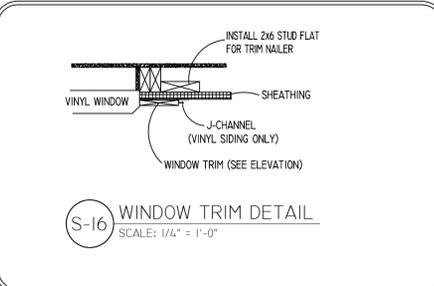
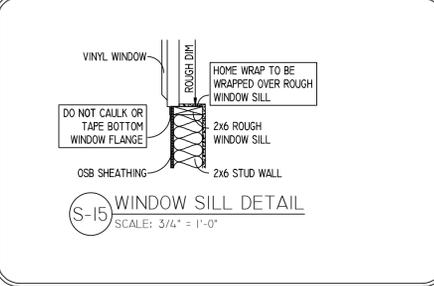
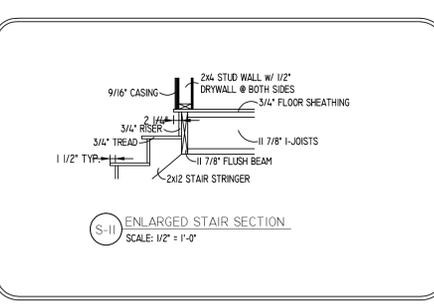
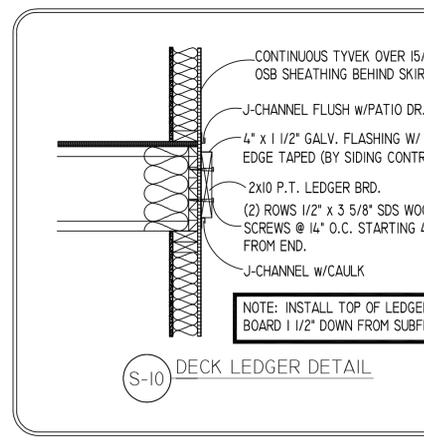
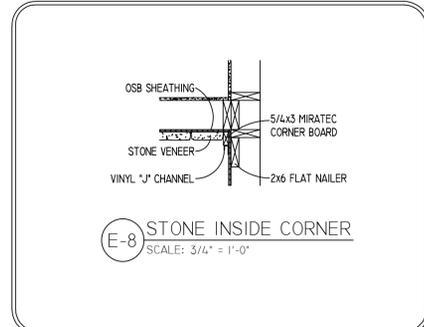
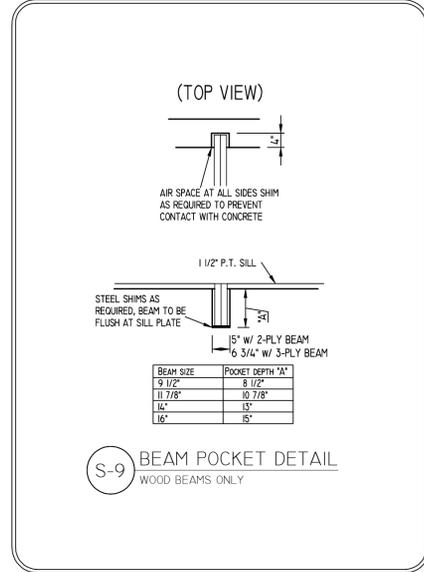
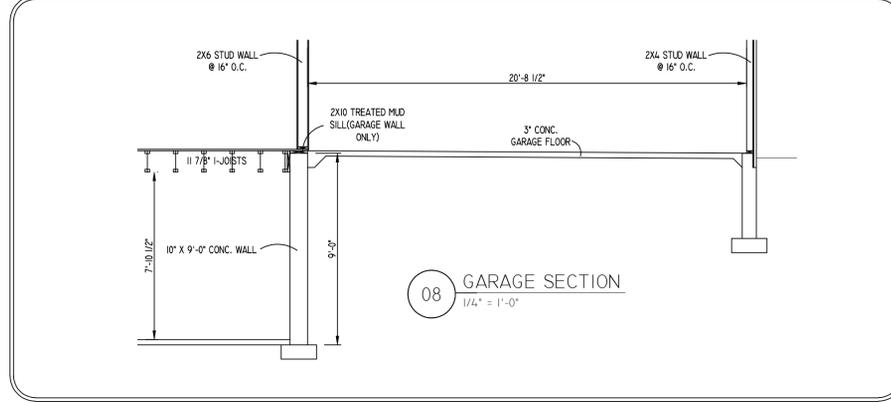
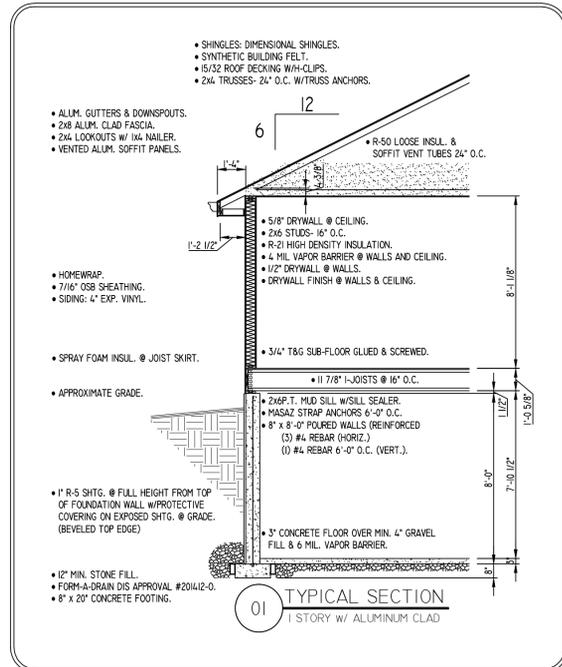
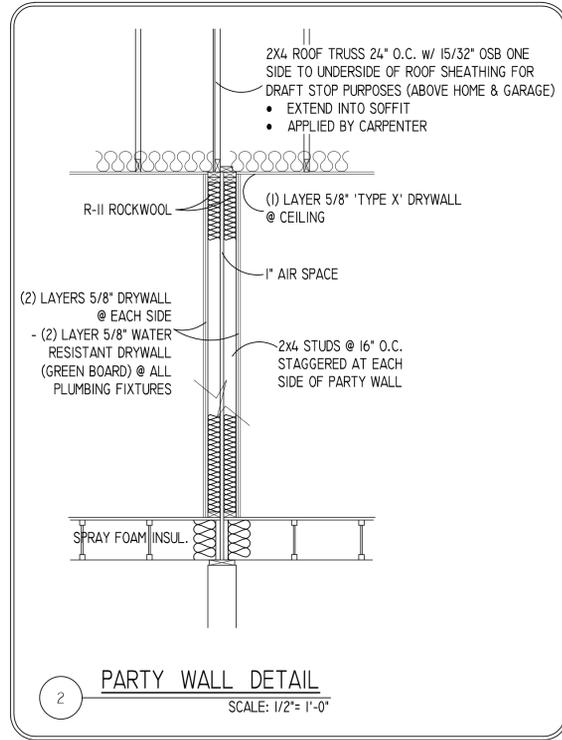
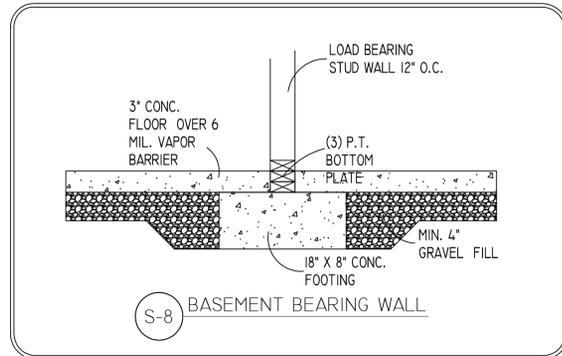
UNIT 1 GARAGE AREA - 441 SQ. FT.
UNIT 2 GARAGE AREA - 483 SQ. FT.
OVERALL WIDTH - 60'-1"
OVERALL DEPTH - 69'-0"

Model: ADALYN
Elevation: TRANSITIONAL
Plan: #1300 Series: PARK VILLAS

Sheet Title
ELEVATIONS

Sheet Number
1.1 of 3

8/19/25

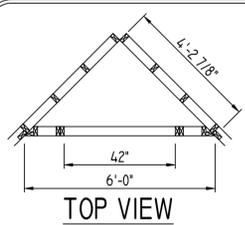


Model: ADALYN
Elevation: TRANSITIONAL
Series: PARK VILLAS
Sheet Title: DETAILS

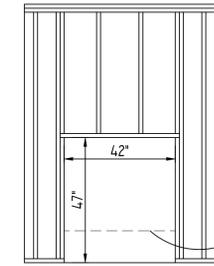
BIELINSKI HOMES
1830 Meadow Lane, Suite A • Pewaukee, WI 53072 • (262) 542-9494

Built for: Bielinski Homes River Road Villas
Job Number: ----
Phase: BASE PLANS
Date: 8/19/25 By: MAD Revision: ----
Drawn By: MAD Wkst Date: ----
Plan Date: 8/19/25 Release Date: ----
Technical Date: **SQUARE FOOTAGE:**
1ST FLOOR - 1300 SQ. FT.
2ND FLOOR - N/A
OPEN VOLUME - N/A
TOTAL 1300 SQ. FT.
UNIT 1 GARAGE AREA - 441 SQ. FT.
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OVERALL WIDTH - 60'-1"
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Model: ADALYN
Elevation: TRANSITIONAL
Plan: #1300 Series: PARK VILLAS
Sheet Title: DETAILS
Sheet Number: D1 of 2

8/19/25



TOP VIEW



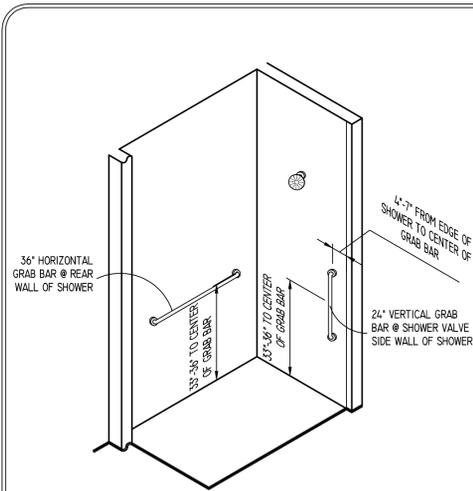
FRONT VIEW

■ FIREPLACE INSTALLER TO FURNISH DUROCK MATERIAL & LABOR TO COMPLETE FINISHED OPENING

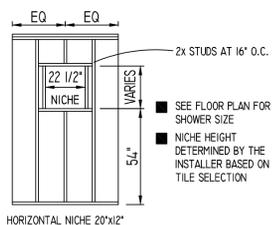
■ FIREPLACE INSTALLER TO FURNISH ALL FRAMING MATERIALS & LABOR FOR 12" FIREPLACE PLATFORM WHEN NEEDED AND DOWN FRAMING OF ROUGH OPENING HEIGHT

12" TALL PLATFORM (IF NEEDED) FOR RAISED HEARTH (SEE FACING DETAIL)

S-12 FIREPLACE FRAMING DETAIL
CORNER UNIT



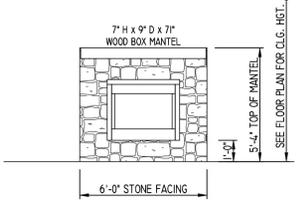
I-20 SHOWER GRAB BAR LOCATIONS



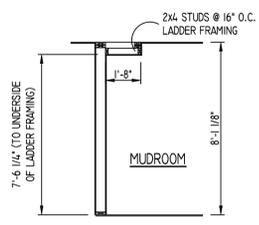
I-14 TILE SHOWER NICHE FRAMING DETAIL
SCALE: 1 1/2" = 1'-0"

NOTES

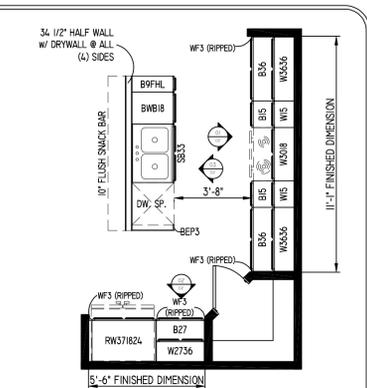
- GENERAL NOTES:
1. SOME NOTES MAY NOT PERTAIN. IT IS THE RESPONSIBILITY OF THE SUB-CONTRACTOR OR VENDOR TO CLARIFY WHICH NOTES DO NOT PERTAIN.
2. THESE NOTES ARE TO BE COMBINED WITH THE CONSTRUCTION WORK SHEET. IF THERE ARE VAGUE OR CONFLICTING INSTRUCTIONS, IT IS THE RESPONSIBILITY OF THE SUB-CONTRACTOR OR VENDOR TO GET CLARIFICATION FROM OUR CONSTRUCTION DEPARTMENT.
- EXTERIOR:
3. FLOOR PLAN DIMENSIONS ARE OUT-TO-OUT OF STUD WALLS.
4. OUTSIDE FACE OF 2X6 WALL STUDS ARE TO BE FLUSH WITH OUTSIDE OF FOUNDATION WALL.
5. ALL EXTERIOR WALLS ARE 2X6, 16" O.C., CONSTRUCTION UNLESS NOTED AT WALL LOCATION OR DETAIL.
6. ALL WINDOWS ARE LISTED IN FEET/INCHES.
7. ALL EXTERIOR HEADERS ARE TO BE 2-X2'S UNLESS OTHERWISE NOTED ON THE FLOOR PLAN.
8. WINDOW HEADERS HEIGHTS ARE TO BE AS FOLLOWS:
• 6'-10" FOR 8'-0" & 9'-0" CEILING, UNLESS NOTED OTHERWISE
9. HOME WRAP TO BE INSTALLED ON THE ENTIRE EXTERIOR OF THE HOUSE INCLUDING GABLE ENDS.
10. GARAGE TO HAVE OSB SHEATHING @ ALL EXTERIOR WALLS & GABLES, DOUBLE SOLE PLATES W/ PRESSURE TREATED BOTTOM PLATE, AND THE FLOOR TO BE 4" CONCRETE, SLOPED TOWARDS DOOR.
11. ALL GABLE ENDS OTHER THAN @ GARAGES, TO HAVE 1/2" OSB SHEATHING.
12. 2X4 MSR STUDS, 16" O.C. W/ 1" FOAM SHEATHING WHEN PLATE HEIGHT IS 10'-0" OR GREATER.
13. ICE & WATER SHIELD TO BE USED AT ALL SLOPES AND CORNERS.
14. 8" MAX @ ALL EXTERIOR STEPS.
- INTERIOR:
15. ALL INTERIOR WALLS ARE 2X4, 16" O.C., CONSTRUCTION UNLESS NOTED AT WALL LOCATION OR DETAIL.
16. ALL INTERIOR HEADERS ARE TO BE LADDER FRAME UNLESS OTHERWISE NOTED ON THE FLOOR PLAN.
17. PLUMBER TO VERIFY IF SEWER HOOK UP FOR SUMP PUMP IS REQUIRED. LOCATE CROOK FOR SEWER LATERAL.
DO NOT DRILL THROUGH ANY LOAD BEARING STUDS @ WINDOW HEADERS. USE ISLAND VENT AS NEEDED.
18. ALL 50" HIGH MIRRORS ARE TO BE RAISED 6" ABOVE BACKSPLASH.
19. STANDARD HEIGHTS:
• TOILET PAPER HOLDERS 26" A.F.F.
• TOWEL BARS 54" A.F.F.
• HAND RAILS 30" TO 36" ABOVE NOSING
• GUARD RAILS 40" A.F.F.
19. SOLID BLOCKING REQUIRED @ SHOWER DOORS ON TILED WALLS AND WITHIN 1'-0" OF EACH END OF HAND RAILS.
20. STAIRS:
• MINIMUM HEADROOM FOR ALL STAIRS TO BE 6'-4"
• 8" RISER HEIGHT MAX.
21. 20 MIN. FIRE RATED DOOR @ GARAGE COMMON WALL.
22. GARAGE COMMON WALL TO BE 5/8" FIRECODE DRYWALL W/ A 3/4" HOUR FIRE RATING.
23. ALL AREAS WITH VINYL FLOORING ARE TO BE FLUSH WITH ADJACENT WOOD OR CERAMIC FLOORS.
24. LOCATIONS OF HVAC, ELECTRICAL OUTLETS, LIGHTS & SWITCHES ARE APPROXIMATE, UNLESS NOTED OTHERWISE.
25. GFI OUTLETS @ WASHING MACHINE TO BE 38" A.F.F.
26. CEILING @ BASEMENT STAIR OPENINGS TO BE FLAT 6" ABOVE BOTTOM OF HEADER.
27. SCUTTLE DOORS TO BE SELF CLOSING W/ LATCH.
28. TEMPERED GLASS @ DOORS, SIDELIGHTS, TUB ENCLOSURES, STAIR LANDINGS & PANELS WITHIN 24" OF DOORS.



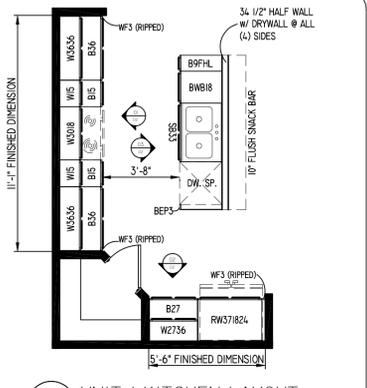
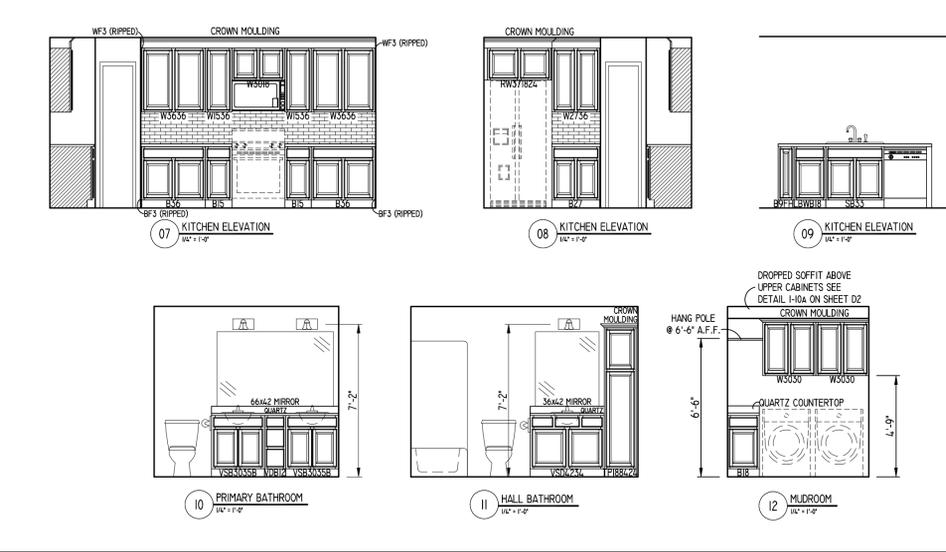
F-2 FIREPLACE DETAIL
DIRECT VENT GAS FIREPLACE W/FANS SET ON 12" PLATFORM



I-10a MUDROOM SOFFIT SECTION
SCALE: 1/4" = 1'-0" MERILLAT CABINETS



K-1 UNIT 1 KITCHEN LAYOUT
SCALE: 1/4" = 1'-0"
• CROWN MOULDING @ KITCHEN
• QUARTZ COUNTERTOPS @ KITCHEN (OMIT QUARTZ BACKSPLASH)
• TILE BACKSPLASH @ KITCHEN
• BASE LEVEL CABINET DOOR HARDWARE THROUGHOUT



K-1 UNIT 1 KITCHEN LAYOUT
SCALE: 1/4" = 1'-0"
• CROWN MOULDING @ KITCHEN
• QUARTZ COUNTERTOPS @ KITCHEN
• BASE LEVEL CABINET DOOR HARDWARE THROUGHOUT

Model: ADALYN
Elevation: TRANSITIONAL
Series: PARK VILLAS
Part: #500

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BIELINSKI HOMES
1830 Meadow Lane, Suite A • Pewaukee, WI 53072 • (262) 542-9494

Built for:
Bielinski Homes
River Road Villas

Job Number: ----

Phase: BASE PLANS

Date	By	Revision
8/19/25	MAD	Release Date: ----

Technical Data:
SQUARE FOOTAGE:
1ST FLOOR - 1300 SQ. FT.
2ND FLOOR - N/A
OPEN VOLUME - N/A
TOTAL 1300 SQ. FT.

UNIT 1 GARAGE AREA - 441 SQ. FT.
UNIT 2 GARAGE AREA - 483 SQ. FT.

OVERALL WIDTH - 60'-1"
OVERALL DEPTH - 69'-0"

Model: ADALYN
Elevation: TRANSITIONAL
Part: #1300 Series: PARK VILLAS
Sheet Title

DETAILS

Sheet Number

8/19/25







