

BASED ON N24 AND PENNICLE INSPIRE PROTOTYPE



GENERAL CONSTRUCTION NOTES

- THE CONTRACTOR AND SUB-CONTRACTORS SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL FEDERAL, STATE, AND LOCAL SAFETY REQUIREMENTS TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS INCLUDING EMPLOYEES AND PROPERTY. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTORS TO INITIATE, MAINTAIN, AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS, AND PROGRAMS IN CONNECTION WITH THE WORK.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE ALL WORK AND FOR THE MEANS, METHODS, PROCEDURES, TECHNIQUES, AND SEQUENCE OF CONSTRUCTION.
- GENERAL CONTRACTOR SHALL PROVIDE ALL REQUIRED PERMITS, FEES, AND INSPECTIONS AS MAY BE REQUIRED BY GOVERNING BODIES HAVING LEGAL JURISDICTION.
- THE GENERAL CONTRACTOR IS TO GUARANTEE ALL WORK INCLUDING WORK DONE BY SUB-CONTRACTORS FOR A PERIOD OF A MINIMUM ONE (1) YEAR COMMENCING WITH THE DATE OF SUBSTANTIAL COMPLETION OF THE WORK, OR AS STATED IN CONTRACT WITH OWNER, WHICHEVER IS GREATER.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SCHEDULING AND MONITORING OF ON-SITE TESTING AND INSPECTION SERVICES AS LISTED IN THE PROJECT MANUAL AND GENERAL CONDITIONS A201.
- WHEN CONTRACTOR ACCEPTS DELIVERY OF ALL ITEMS NOTED ON PLANS EITHER IN CONTRACT OR NOT IN CONTRACT HE SHALL BE RESPONSIBLE FOR LOSS AND/OR DAMAGE TO THESE ITEMS.
- GENERAL CONTRACTOR TO HAVE JOB PHONE ON PREMISES DURING ENTIRE CONSTRUCTION PERIOD.
- THE GENERAL CONTRACTOR & EACH SUBCONTRACTOR IS TO HAVE A FULL TIME QUALIFIED SUPERVISOR ON THE SITE AT ALL TIMES WHILE WORK IS BEING PERFORMED.
- THE CONTRACTOR SHALL MAINTAIN FOR THE ENTIRE DURATION OF THE WORK ALL EXITS, EXIT LIGHTING, FIRE PROTECTION DEVICES, AND ALARMS IN CONFORMANCE WITH ALL APPLICABLE CODES AND ORDINANCES.
- THE GENERAL CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND EXISTING FIELD CONDITIONS WITH THE DRAWINGS. IN PARTICULAR: OVERALL WALL DIMENSIONS, SOIL CONDITIONS, INCOMING UTILITIES, ETC. GENERAL CONTRACTOR IS TO REPORT IMMEDIATELY TO THE ARCHITECT ANY VARIANCES OR FIELD CONDITIONS THAT MAY CAUSE CONSTRUCTION PROBLEMS PRIOR TO COMMENCING WORK.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. ALL PARTITION LOCATIONS, ALL DOOR AND OPENING LOCATIONS SHALL BE SHOWN ON FLOOR PLAN. IN CASE OF CONFLICT NOTIFY THE ARCHITECT. FLOOR PLAN BY ARCHITECT SUPERSEDES ALL OTHER PLANS. ALL DIMENSIONS MARKED "CLEAR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF ALL FINISHES INCLUDING CARPET, PAD, CERAMIC TILE, V.C.T., SLATWALL, ETC.
- ALL DIMENSIONS SHOWN ARE TO FACE OF MASONRY (BLOCK OR BRICK) OR Drywall Face UNLESS SPECIFICALLY NOTED OTHERWISE.
- ALL DIMENSIONS ON ARCHITECTURAL DRAWINGS LOCATING STRUCTURAL ELEMENTS ARE TO CENTERLINE OF STEEL COLUMNS AND STEEL BEAMS UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS SHOWN ARE NOMINAL DIMENSIONS UNLESS SPECIFICALLY NOTED OTHERWISE.
- EGRESS DOORS SHALL BE PROVIDED PER OBC SECTIONS 1014 THROUGH 1024.
- ALL DOOR HANDLES SHALL BE OF THE LEVER TYPE, HARDWARE SHALL BE MOUNTED NO HIGHER THAN 48" ABOVE FINISH FLOOR.
- ALL ACCESS PANELS SHALL BE 24"X30" UNLESS OTHERWISE NOTED.
- ALL GLASS UNITS LOCATED IN HAZARDOUS LOCATIONS AS INDICATED IN IBC 2406.3 SHALL COMPLY WITH TEST REQUIREMENTS OF CONSUMER PRODUCT SAFETY COMMISSION 16, CFR PART 1201 FOR HUMAN IMPACT LOADS.
- ALL SAW CUTTING AND CORING LOCATIONS SHALL BE REVIEWED IN FIELD BY THE GENERAL CONTRACTOR PRIOR TO CUTTING/CORING.
- ALL WOOD IS TO BE FIRE-RETARDANT TREATED PER AWPA C20 AND C27 AND SHALL NOT HAVE A FLAME SPREAD OF GREATER THAN 25 WHEN TESTED IN ACCORDANCE WITH ASTM E-84. PER IBC SECTION 2303.2.
- ALL EXTERIOR WOOD BLOCKING IS TO BE PRESSURE TREATED PER AWPA U1 AND M4.
- ALL FASTENERS, CONNECTORS, OR OTHER HARDWARE IN DIRECT CONTACT WITH PRESERVATIVE TREATED OR FIRE RETARDANT TREATED WOOD SHALL BE STAINLESS STEEL TYPE 304 OR TYPE 316, OR HOT-DIPPED GALVANIZED STEEL ASTM A653, CLASS G-185 WITH 1.85 OUNCES OF ZINC PER SQUARE FOOT TO REDUCE THE CORROSION PROCESS.
- FIREBLOCKING SHALL BE INSTALLED IN CONCEALED SPACES OF STUD WALL AND PARTITIONS, INCLUDING FURRED OR STUDDO-OFF SPACES OF MASONRY OR CONCRETE WALLS, AND AT THE CEILING AND FLOOR OR ROOF LEVELS. PER IBC SECTION 717.2.2.
- FIREBLOCKING SHALL BE INSTALLED AT ALL INTERCONNECTIONS BETWEEN VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS OVER CABINETS, DROP CEILINGS, COVE CEILINGS AND SIMILAR LOCATIONS. PER IBC SECTION 717.2.3.
- REQUIRED FLAME SPREAD RATING: INTERIOR FINISH OF WALLS AND CEILINGS SHALL HAVE A FLAME SPREAD RATING NOT GREATER THAN THAT DESIGNATED BY THE CLASS PRESCRIBED FOR THE VARIOUS GROUPS LISTED IN IBC TABLE 803.5, WHEN TESTED IN ACCORDANCE WITH IBC SECTION 803.2.
- PROVIDE PORTABLE FIRE EXTINGUISHERS WITH U.L. LABEL AND A RATING OF NOT LESS THAN 4A 80B:C WITH 75 FT TRAVEL DISTANCE TO ALL POSITIONS OF BUILDING OR AS DIRECTED BY THE FIRE DEPARTMENT FIELD INSPECTOR.

PROJECT INFORMATION

PROJECT DESCRIPTION		BUILDING CODES	
THIS IS AN EXTERIOR AND INTERIOR ALTERATION OF AN ARBY'S RESTAURANT FOR CARISCH, INC.		BUILDING CODE	2015 IBC
LOCAL INFORMATION		STRUCTURAL CODE	2015 IBC
		PLUMBING CODE	2015 IPC
		MECHANICAL CODE	2015 IMC
Zoned - B5 Restaurants w/ Drive-thru permitted use		ELECTRICAL CODE	2015 IEC
		NFPA 70	
		ENERGY CODE	ASHRAE 90.1 - 2007
		ACCESSIBILITY CODE (ADA) ANSI A117.1-2009	

PROJECT CODE SUMMARY

USE GROUP:	A-2	IBC SECTION 303.1	
CONSTRUCTION TYPE:	5-B, UNPROTECTED	IBC SECTION 602.5	
ALLOWABLE AREA:	6000 SQ. FT.	IBC TABLE 503	
ACTUAL AREA:	2802 SQ. FT.		
FIRE PROTECTION:	NOT REQUIRED, NOT PROVIDED	IBC SECTION 903.2.1.2	
FIRE ALARM:	NOT REQUIRED, NOT PROVIDED	IBC SECTION 907.2.1	
OCCUPANCY:	IBC TABLE 1004.1.1		
AREA	SQ. FT.	SF/OCC	OCC. LOAD
DINING	955.1	15	64 (64 SEATS)
QUEUING	84.4	5	17
KITCHEN	934.6	200	4 (6)
KITCHEN - Freezer/Cooler/Dry Goods	318.2	300	1 (0)
RESTROOMS AND CIRCULATION	308.9	100	3
TOTAL			89 (91 ACTUAL)
EGRESS:	REQ'D	PROVIDED	
EGRESS WIDTH - DOORS	89 x 0.2" = 17.8" (32" Clear Min)	120"	IBC SECTION 1005
NUMBER OF EXITS:	2	3	IBC SECTION 1015
EXIT ACCESS TRAVEL DIST.	'A-2' USE = 200'-0"	50'	IBC TABLE 1016.1
COMMON PATH OF TRAVEL	'A-2' USE = 75'-0"	35'	IBC SECTION 1014.3
PLUMBING FIXTURES:			
FIXTURE	RATIO (M/F)	REQ'D	PROVIDED
WC	1:75/1:75	1/1	1/1
UR		0	1
LAV	1:200	2	2

SITE LOCATION MAP



LIST OF DRAWINGS

GENERAL	AUGUST 08, 2018		AUGUST 24, 2018		MONTH/DAY, 2017	
	PRELIMINARY	PERMIT/BID	REVISION	PRELIMINARY	PERMIT/BID	REVISION
A0.0	TITLE SHEET	●				
ARCHITECTURAL DRAWINGS						
A0.2	Standard ADAAG / ANSI DETAILS	●				
A0.3	Standard ADAAG / ANSI DETAILS	●				
AR1.0	EXISTING - 3D	●				
AR1.1	SITE - 3D	●				
AR2.0	PROPOSED - 3D	●				
AR2.1	PROPOSED - RENDERINGS	●				
A0.5	LANDSCAPE PLAN	●				
A0.6	PROPOSED - SITE PLAN	●				
A1.1	EXTERIOR ELEVATIONS	●				
A1.2	EXTERIOR ELEVATIONS	●				
A1.3	EXTERIOR ELEVATIONS	●				
A1.4	EXTERIOR ELEVATIONS	●				
A2.0	PROPOSED FLOOR PLAN	●				
A2.1	DEMO FLOOR PLAN	●				
A2.2	EXISTING EQUIPMENT PLAN	●				
A4.0	DETAILS	●				
A4.1	ENLARGED TOILET ROOM PLAN	●				

AUGUST 24, 2018

Owner
Carisch, Inc.
681 East Lake Street, Suite 262
Wayzata, Minnesota 55391
952.475.4953

Architect
Brian Cooley, AIA
Short Elliott Hendrickson, Inc.
159 North Jackson Street, Suite 106
Milwaukee, Wisconsin 53202-6169
414.465.1200

Landscape Architect
Short Elliott Hendrickson, Inc.
6808 Odana Road, Suite 2000
Madison, Wisconsin 53719-1137
608.620.6199

Civil Engineer
Short Elliott Hendrickson, Inc.
501 Maple Avenue
Delafield, Wisconsin 53018
262.646.6855

Structural Engineer
XXX
Contact: Patrick Reynolds
STREET
Milwaukee, Wisconsin 53XXX
414.XXX.XXXX

Interiors
Charter House Holdings, LLC
200 North Franklin
Zeeland, Michigan 49464
616.399.6000

Signs
Persona - Sign Up Company
700 21st Street Southwest
PO Box 210
Watertown, South Dakota 57201
800.843.9888

General Contractor
Brion Building Corporation
3885 N. Brookfield Road, Suite 200
Brookfield, Wisconsin 53045
262.790.0500

Carisch Inc.
Arby's - Waukesha
2330 E. MORELAND BLVD
WAUKESHA, WISCONSIN 53186

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SEH Project 145888
Checked By BC
Drawn By MRC

Project Status Issue Date

Revision Issue

Rev. #	Description	Date
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Title Sheet

A0.0



1 PROPOSED 1_1
12" = 1'-0"



2 PROPOSED 2_1
12" = 1'-0"



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Owner
Carsch, Inc.
681 East Lake Street, Suite 262
Wayzata, Minnesota 55391
952.475.4953

Architect
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Short Elliott Hendrickson, Inc.
159 North Jackson Street, Suite 106
Milwaukee, Wisconsin 53202-6169
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PROPOSED

AR2.0



① RENDER - SOUTH ELEVATION_1
12" = 1'-0"



② RENDER - EAST ELEVATION_1
12" = 1'-0"



③ RENDER - NORTH ELEVATION_1
12" = 1'-0"



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Short Elliott Hendrickson, Inc.
159 North Jackson Street, Suite 106
Milwaukee, Wisconsin 53202-6169
414.465.1200

Landscape Architect
Short Elliott Hendrickson, Inc.
6808 Odana Road, Suite 2000
Madison, Wisconsin 53719-1137
608.620.6199

Civil Engineer
Short Elliott Hendrickson, Inc.
501 Maple Avenue
Delafield, Wisconsin 53018
262.646.6855

Structural Engineer
XXX
Contact: Patrick Reynolds
STREET
Milwaukee, Wisconsin 53XXX
414.XXX.XXXX

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Charter House Holdings, LLC
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General Contractor
Brion Building Corporation
3885 N. Brookfield Road, Suite 200
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262.790.0500

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Arby's - Waukesha
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PROPOSED ELEVATIONS

AR2.1



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Owner

Carsch, Inc.
681 East Lake Street, Suite 262
Wayzata, Minnesota 55391
952.475.4953

Architect

Brian Cooley, AIA
Short Elliott Hendrickson, Inc.
159 North Jackson Street, Suite 106
Milwaukee, Wisconsin 53202-6169
414.465.1200

Landscape Architect

Short Elliott Hendrickson, Inc.
6808 Odana Road, Suite 2000
Madison, Wisconsin 53719-1137
608.620.6199

Civil Engineer

Short Elliott Hendrickson, Inc.
501 Maple Avenue
Delafield, Wisconsin 53018
262.646.6855

Structural Engineer

XXX
Contact: Patrick Reynolds
STREET
Milwaukee, Wisconsin 53XXX
414.XXX.XXXX

Interior

Charter House Holdings, LLC
200 North Franklin
Zeeland, Michigan 49464
616.399.6000

Signs

Persona - Sign Up Company
700 21st Street Southwest
PO Box 210
Watertown, South Dakota 57201
800.843.9888

General Contractor

Contact: Mike Miksich
Brion Building Corporation
3885 N. Brookfield Road, Suite 200
Brookfield, Wisconsin 53045
262.790.0500

Carsch Inc.
Arby's - Waukesha
2830 E. MORELAND BLVD
WAUKESHA, WISCONSIN 53186

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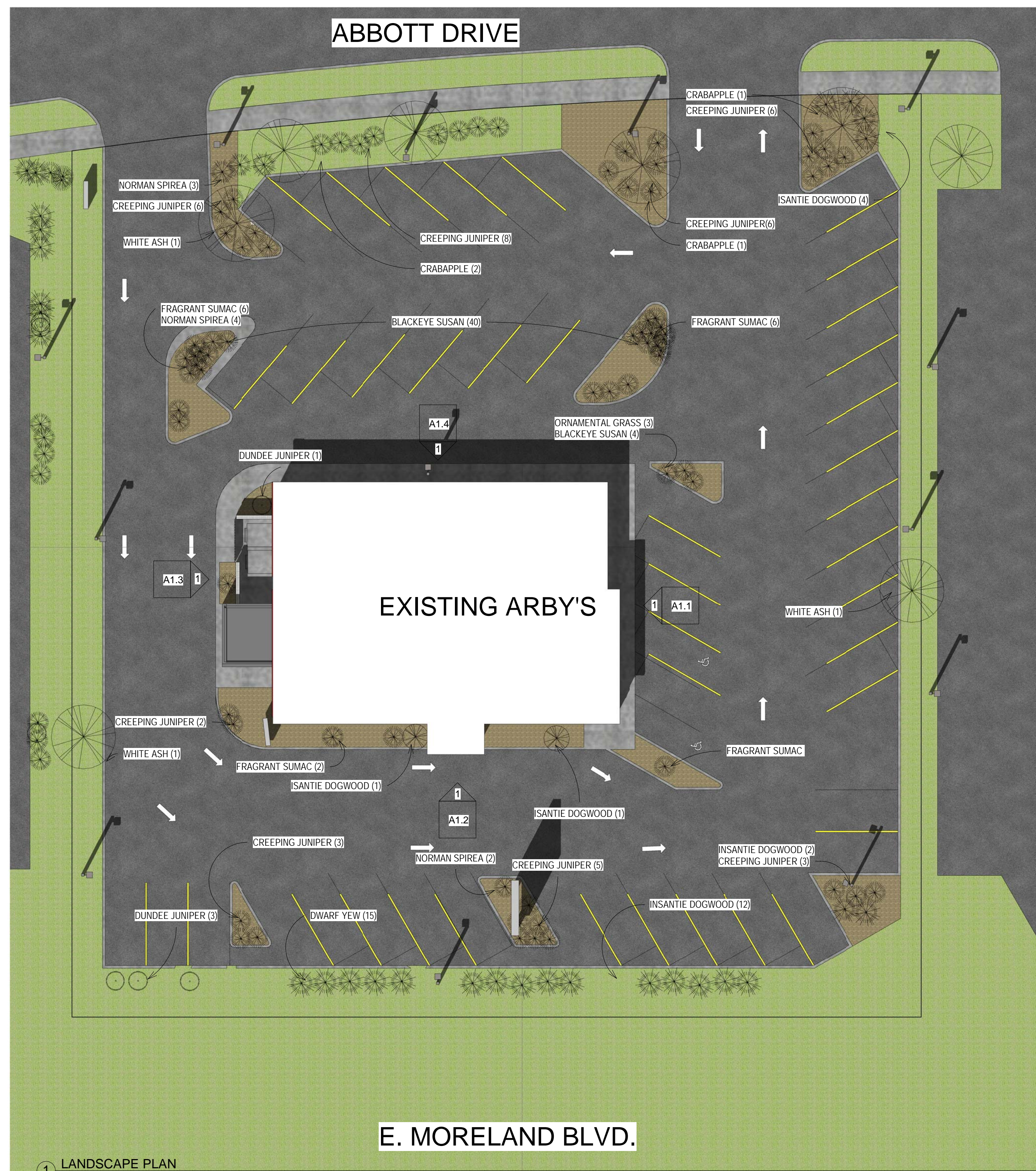
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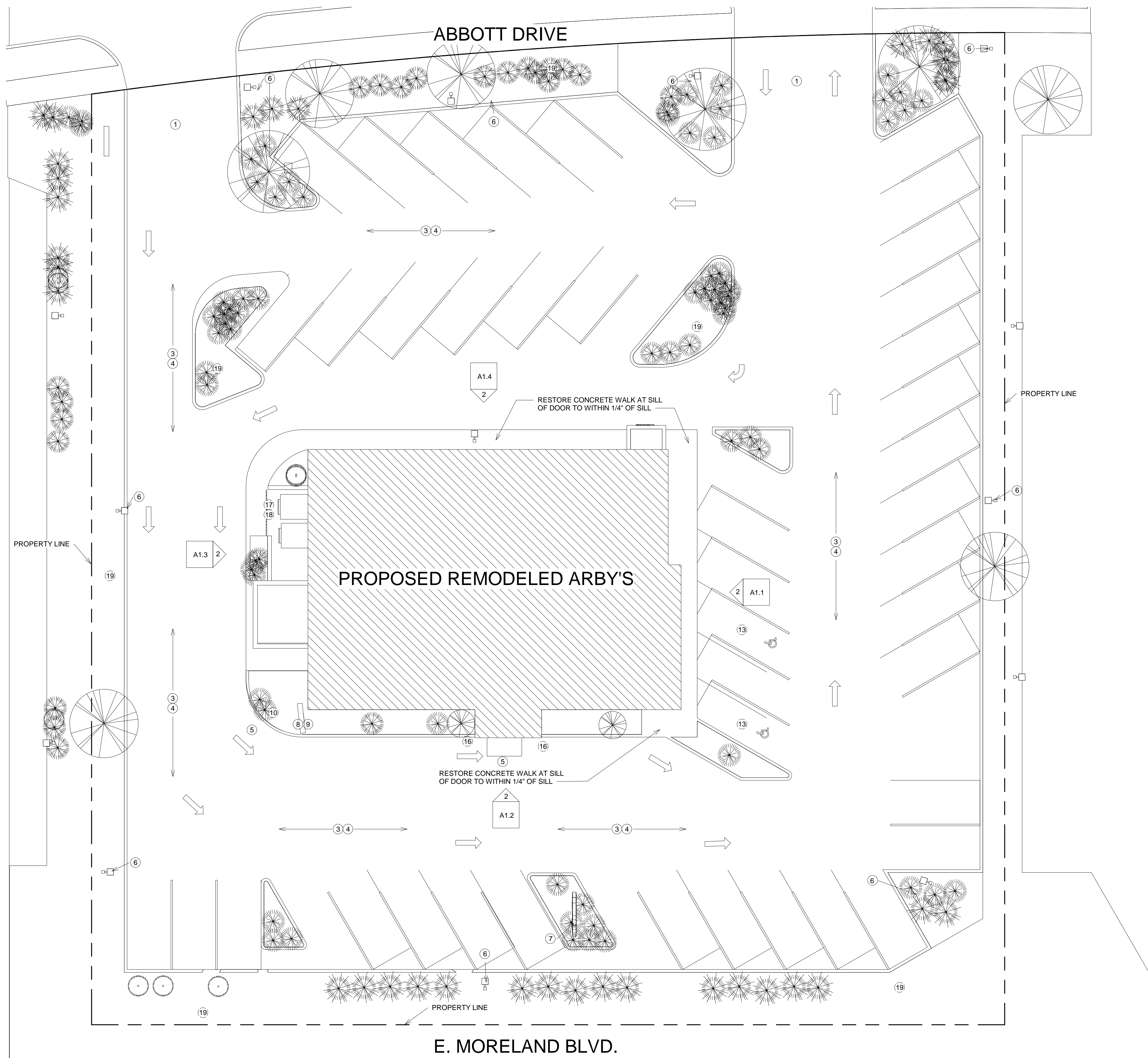
LANDSCAPE PLAN

A0.5



1 LANDSCAPE PLAN
1/16" = 1'-0"





SITE DESIGN NOTES ^(X)

THE FOLLOWING ARE THE PROTOTYPICAL SCOPE OF WORK NOTES FOR THE REMODELING OF YOUR STORE INTO THE REQUIRED INSPIRE IMAGE.
 FRANCHISES ARE TO REFER TO THE SECTION SCOPE OF WORK PREPARED BY THEIR OPERATIONS CONSULTANT FOR THE SCOPE OF WORK "SPECIFIC" TO THEIR STORE.

1. APPROACHES AND ENTRY ARE TO BE IN GOOD REPAIR. REPLACE ANY DAMAGED ASPHALT / CONCRETE SURFACES AND CURBS
2. REPLACE / REPAIR ANY DAMAGED CURBING AND/OR SIDEWALKS
3. PARKING LOTS ARE TO BE IN GOOD CONDITION. REPAIR ANY DAMAGED / WORN / POT HOLES IN THE ASPHALT / CONCRETE SURFACES.
4. CRACK FILL, SEAL AND RESTRIPE PARKING LOT.
5. REPAIR / REPLACE ANY DAMAGED DRIVE THRU PAD
6. EXISTING PARKING LOT POLES AND FIXTURES ARE TO BE IN WORKING CONDITION. REPAIR / REPLACE ANY DAMAGED FIXTURES AND POLES. REPAIR AND REFINISH POLES AND FIXTURES AS NEEDED. ADD ADDITIONAL POLES AND HEADS TO PROPERLY LIGHT PARKING LOT.
7. PYLON SIGNS AND DIRECTIONAL SIGNS ARE TO BE UPGRADED BY AN ARG APPROVED SIGN VENDOR WITH NEW INSPIRE ARBY'S LOGO. G.C. REVIEW DIRECTIONAL SIGN LOCATIONS. VERIFY WITH OWNER.
8. IF READER BOARD PRESENT, REPLACE ALL FADED READER BOARD FACES AND ZIP LETTERS.
9. SCRAPE CLEAN AND REPAINT ALL SIGN POLES AND SIGN CABINETS TO THEIR ORIGINAL COLOR.
10. VERIFY WITH OWNER. INSTALL NEW INSPIRE DRIVE THRU CANOPY AT DRIVE THRU ORDER AREA. REMOVE ANY OTHER DRIVE THRU CLEARANCE BARS.
11. IF FLAG POLES IS PRESENT, RESTORE TO GOOD CONDITION AND FULL WORKING ORDER.
12. REPLACE / REPAIR ANY DAMAGED / LOOSE / RUSTED DRIVE THRU SAFETY RAILINGS.
13. RELOCATE 2 ADA PARKING STALLS TO LOCATIONS SHOWN. HC SIGNAGE AND SIGN POST TO BE IN LIKE NEW CONDITION. RECONDITION / REPLACE AS NEEDED.
14. REMOVE EXISTING CURB RAMP AND REPAIR MATCHING EXISTING CURB AND SIDEWALK.
15. PROVIDE NEW ADA CURB RAMP MEETING ANSI 117.1 AND LOCAL CODES.
16. REVIEW ALL EXISTING PIPE BOLLARDS. BOLLARDS SHALL BE IN GOOD CONDITION. REPAIR AS NEEDED WITH NEW INSPIRE COLORS. REPLACE / REPAIR ANY DAMAGED OR LEANING POST.
17. REVIEW EXISTING DUMPSTER ENCLOSURES. REPAIR / REPLACE EXISTING BLOCK AS NEEDED. REPAIR / REPLACE SAGGING GATES. REPAIR / STAIN AS NEEDED.
18. CONCRETE PADS AT DUMPSTER MUST BE IN GOOD CONDITION. REPAIR / REPLACE ANY DAMAGED / CRACKED CONCRETE PADS AND APPROACHES.
19. UPGRADE / REFRESH EXISTING LANDSCAPING PER MUNICIPAL APPROVED PLAN. REPLACE ANY DEAD OR OVER GROWN PLANT MATERIAL.

○ SITE DESIGN NOTES
 1/4" = 1'-0"



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Owner
 Carsch, Inc.
 681 East Lake Street, Suite 262
 Wauzata, Minnesota 55391
 952.475.4953

Architect
 Brian Cooley, AIA
 Short Elliott Hendrickson, Inc.
 159 North Jackson Street, Suite 106
 Milwaukee, Wisconsin 53202-6169
 414.465.1200

Landscape Architect
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 6808 Odana Road, Suite 2000
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Civil Engineer
 Short Elliott Hendrickson, Inc.
 501 Maple Avenue
 Delafield, Wisconsin 53018
 262.646.6855

Structural Engineer
 XXX
 Contact: Patrick Reynolds
 STREET
 Milwaukee, Wisconsin 53XXX
 414.XXX.XXXX

Interiors
 Charter House Holdings, LLC
 200 North Franklin
 Zeeland, Michigan 49464
 616.399.6000

Signs
 Persona - Sign Up Company
 700 21st Street Southwest
 PO Box 210
 Watertown, South Dakota 57201
 800.843.9888

General Contractor
 Briohn Building Corporation
 3885 N. Brookfield Road, Suite 200
 Brookfield, Wisconsin 53045
 262.790.0500

Carsch, Inc.
Arby's - Waukesha
 2330 E. MORELAND BLVD
 WAUKESHA, WISCONSIN 53186

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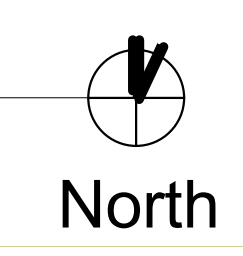
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Rev. #	Description	Date

PROPOSED SITE PLAN

A0.6



SLIM12



12, 18 and 26 Watt SLIM wallpacks are ultra efficient and deliver impressive light distribution with a compact low-profile design that's super easy to install as a downlight or uplight.
Color: Bronze Weight: 4.5 lbs

Accent Uplight - See Cut Sheets

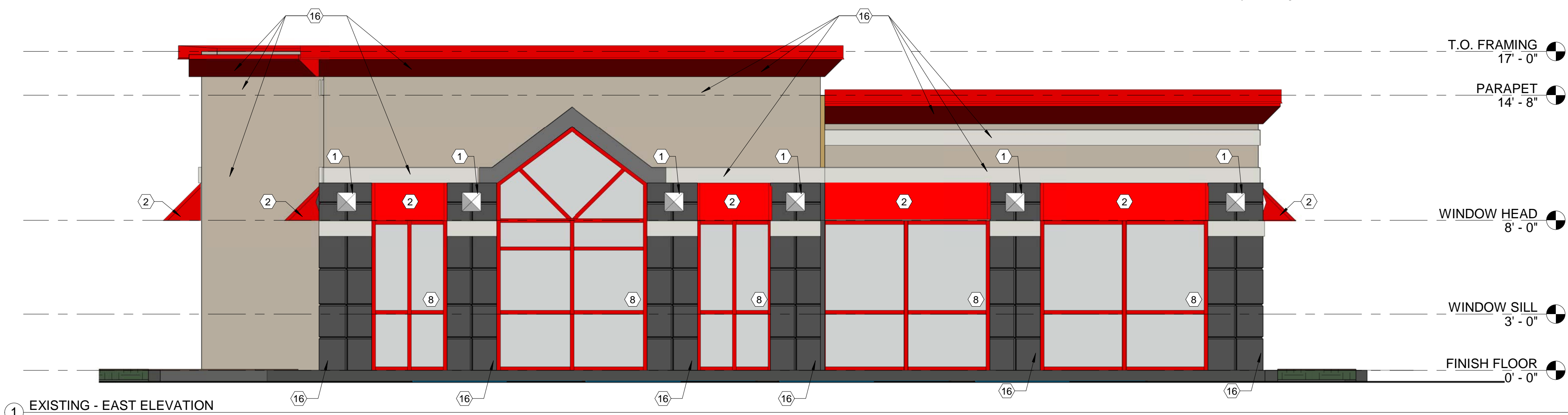


Brick / Dryvit

DEMOLITION KEYED NOTES

- REMOVE EXISTING EXTERIOR LIGHTING.
- REMOVE EXISTING AWNINGS.
- REMOVE INTERIOR FINISHES, FIXTURES AND EQUIPMENT IN DINING ROOM.
- REMOVE PLUMBING FIXTURES AND ACCESSORIES IN RESTROOMS.
- REMOVE COUNTERTOP. MODIFY KNEEWALL AS REQUIRED.
- TRENCH FLOOR AS REQUIRED TO RELOCATED SODA DISPENSER IN DINING ROOM AND DRIVE THRU.
- DISCONNECT PLUMBING AND ELECTRICAL CONNECTIONS PRIOR TO REMOVAL. TRENCH FLOOR AS REQUIRED TO EXTEND ELECTRICAL FEED TO SUB-PANEL IN NEW PRODUCTION COUNTER.
- REUSE EXISTING WINDOW FRAMES. PREPARE FOR NEW FINISH AND GLAZING. VERIFY SCOPE OF WORK IN KITCHEN AND BACK OF HOUSE WITH OWNER.
- RELOCATE UTILITIES AS REQUIRED FOR NEW LAYOUT. CAP ALL ABANDONED UTILITIES.
- DRIVE THRU WINDOW TO BE REPLACE WINDOW. VERIFY SIZE AND INSTALL REQUIREMENTS OF NEW WINDOW UNIT.
- NOT USED.
- REMOVE BEVERAGE AND CONDIMENT COUNTER. CAP ALL ABANDONED UTILITIES.
- REMOVE EXISTING DOOR, FRAME AND CASING. REPLACE WITH STYLE AND TYPE SPECIFIED IN DECOR DRAWINGS AND COMPLIANT WITH APPLICABLE CODES.
- REUSE EXISTING VESTIBULE DOORS. PREPARE FOR NEW FINISH.
- REUSE REAR DOOR. PREPARE FOR NEW FINISH.
- REMOVE EXISTING EIFS AND TRIM. PREPARE WALL STRUCTURE TO RECEIVE NEW FINISH.
- REMOVE LOW WALL.
- REMOVE FLOOR FINISHES. PREPARE TO RECEIVE NEW FINISHES AS SCHEDULED.
- REMOVE WALL FINISHES. PREPARE WALL FOR NEW FINISHES AS SCHEDULED.

DEMOLITION KEYED NOTES
1/4" = 1'-0"



1 EXISTING - EAST ELEVATION
1/4" = 1'-0"

FINISH SCHEDULE

MARK	MANUFACTURER	DESCRIPTION	NOTES
A1	DRYVIT	EFIS WALL SYSTEM	COLOR: ARBY081030 TEXTURE: STANDARD
A2	NOT USED	CUSTOM BRICK SPECIALTY FINISH WITH 23 PT. 1/2" GROUT, BROOKLYN BRICK TEMPLATE	BASE COAT: DRYVIT "NCB" BRICK LAYER: ARBY121020 GROUT LAYER: ARBY111009
B	NOT USED		
C1	DRYVIT	EFIS WALL SYSTEM	COLOR: ARBY081030 TEXTURE: STANDARD
C2	DRYVIT	EFIS WALL SYSTEM WITH V-GROOVE REVEAL AT 4" O.C.	COLOR: ARBY081030 TEXTURE: STANDARD
C3	DRYVIT	EFIS WALL SYSTEM WITH V-GROOVE REVEAL AT 8" O.C.	COLOR: ARBY081030 TEXTURE: STANDARD
D	SHERWIN WILLIAMS	SW #6869 STOP	SATIN FINISH
E	NOT USED	--	
F	SHERWIN WILLIAMS	SW #7024 FUNCTIONAL GRAY	SATIN FINISH
G	SHERWIN WILLIAMS	SW #2808 ROCKWOOD DARK BROWN	SATIN FINISH
H	COUNTY MATERIALS	BRICK - HERITAGE COLLECTION	WHITE
J	COUNTY MATERIALS	BRICK - HERITAGE COLLECTION	SABLE
K	SHERWIN WILLIAMS	SW #7005 PURE WHITE	SATIN FINISH

METALS			
A	EXCEPTIONAL METALS/DURO-LAST	TWO-PIECE SNAP-ON METAL COPINGREGAL WHITE / DURO-LAST #SR70TE87	FOR USE WITH DURO-LAST ROOFING SYSTEM DETAIL FA310
B	EXCEPTIONAL METALS/DURO-LAST	TWO-PIECE SNAP-ON METAL COPING DARK BRONZE / DURO-LAST #SR26TE84	FOR USE WITH DURO-LAST ROOFING SYSTEM DETAIL FA310
C	PRE-FABRICATED CANOPY/BAND	PRODUCT CODE: 9940-30198R PRODUCT NAME: FC SD RAL 3000 FLAME RED	
D	PRE-FABRICATED POST	PRODUCT CODE: 9840-80957R PRODUCT NAME: FC SD RAL 8017 CHOC. BROWN	

NOTES:

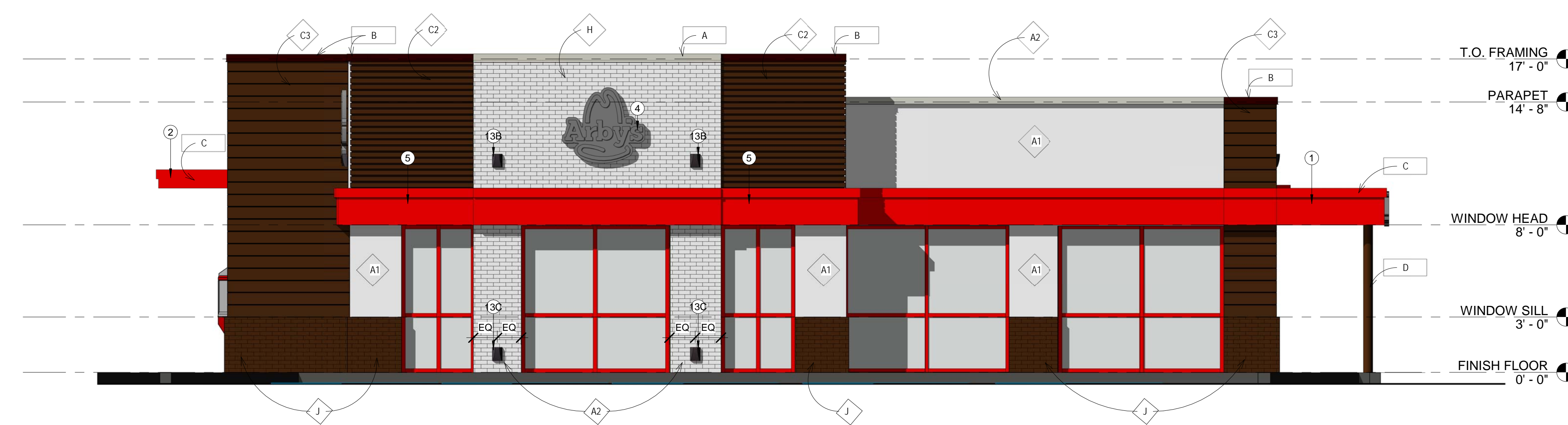
- PAINT ALL EXPOSED METERS, SERVICE ENTRANCES, GAS PIPE, ROOF ACCESS LADDER, ETC. TO MATCH ADJACENT EXTERIOR WALL SURFACE.
- MAKE SURE THAT WALL WEEPS AND FLASHING ARE INSTALLED CORRECTLY. DO NOT BLOCK WEEPS.
- ALUMINUM STOREFRONT TO BE DARK BRONZE. REFER TO SUCCESSOR LICENSING SCOPE OF WORK.
- ALL EXTERIOR GLAZING TO BE 1" INSULATED GLAZING.
- BASIS OF DESIGN FOR THE EFIS WALL SYSTEM IS DRYVIT OUTSULATION PLUS MD. EFIS WALL SYSTEM IS 2" THICK UNLESS NOTED OTHERWISE. INSTALL EFIS PRODUCT IN STRICT ACCORDANCE WITH MANUFACT. SPECIFICATIONS AND DETAILS.
- SIGNAGE IS SHOWN FOR REFERENCE ONLY. FINAL SIZE, LOCATION AND QUANTITY TO BE DETERMINED BY SIGNAGE VENDOR. SIGNAGE VENDOR SHALL PERMIT ALL SIGNS UNDER SEPARATE COVER.

FINISH SCHEDULE
1/4" = 1'-0"

DESIGN NOTES

- THE FOLLOWING ARE THE PROTOTYPICAL SCOPE OF WORK NOTES FOR THE REMODELING OF YOUR STORE INTO THE REQUIRED INSPIRE IMAGE.
- FRANCHISEES ARE TO REFER TO THE SECTION SCOPE OF WORK PREPARED BY THEIR OPERATIONS CONSULTANT FOR THE SCOPE OF WORK "SPECIFIC" TO THEIR STORE.
- INSTALL CANOPY/ACCENT BAND AT 8'-0" A.F.F.
 - CENTER DRIVE THRU CANOPY ON DRIVE THRU WINDOW.
 - INSTALL RED EIFS ACCENT BAND AT 8'-0" A.F.F.
 - INSTALL ARBY'S HAT SIGN ON ACCENT BAND, CENTER.
 - INSTALL ARBY'S LETTERSET IN WHITE CENTERED ON CANOPY.
 - INSTALL BRICK PATTERNED EIFS:
 - ON FRONT OF BUILDING, ALIGN WITH JAMB OF MIDDLE WINDOW BELOW.
 - EXTEND TO BOTTOM OF WALL, ON BOTH SIDES OF FIRST WINDOW.
 - WRAP CORNER OF BUILDING AND EXTEND TO FIRST WINDOW ON MAIN ENTRANCE SIDE OF BUILDING.
 - USE WHITE METAL COPING AT TOP OF WALL.
 - INSTALL BROWN EIFS WITH 4" O.C. V-GROOVES:
 - ON FRONT OF BUILDING FROM EDGE OF BRICK PATTERNED EIFS TO THE CORNER OF THE BUILDING.
 - ON SIDE OF BUILDING FROM THE CORNER TO THE DRIVE THRU BUMP-OUT, ABOVE THE ACCENT BAND ONLY.
 - USE BROWN METAL COPING AT TOP OF WALL.
 - INSTALL BROWN EIFS WITH 8" O.C. V-GROOVES AT THE DRIVE THRU BUMP-OUT. USE BROWN METAL COPING AT TOP OF WALL.
 - PATCH AND REPAIR EXISTING EIFS AND PAINT WHITE. REPLACE EIFS AS REQUIRED.
 - INSTALL WALL MOUNTED UPLIGHT FIXTURE
 - AT 12'-0" O.C., AT 11'-6" AFF.
 - AT 11'-6" AFF.
 - AT 11'-6" AFF.
 - INSTALL NEW DRIVE THRU WINDOW.

DESIGN NOTES
1/4" = 1'-0"



2 PROPOSED - EAST ELEVATION
1/4" = 1'-0"



Building a Better World for All of Us®

Owner
Carsch, Inc.
681 East Lake Street, Suite 262
Wayzata, Minnesota 55391
952.475.4953

Architect
Brian Cooley, AIA
Short Elliott Hendrickson, Inc.
159 North Jackson Street, Suite 106
Milwaukee, Wisconsin 53202-6169
414.465.1200

Landscape Architect
Short Elliott Hendrickson, Inc.
6808 Odana Road, Suite 2000
Madison, Wisconsin 53719-1137
608.620.6199

Civil Engineer
Short Elliott Hendrickson, Inc.
501 Maple Avenue
Delafield, Wisconsin 53018
262.646.6855

Structural Engineer
XXX
Contact: Patrick Reynolds
STREET
Milwaukee, Wisconsin 53XXX
414.XXX.XXXX

Interiors
Charter House Holdings, LLC
200 North Franklin
Zealand, Michigan 49464
616.399.6000

Signs
Persona - Sign Up Company
700 21st Street Southwest
PO Box 210
Watertown, South Dakota 57201
800.843.9888

General Contractor
Contact: Mike Miksich
Brion Building Corporation
3885 N. Brookfield Road, Suite 200
Brookfield, Wisconsin 53045
262.790.0500

Carsch, Inc.
Arby's - Waukesha
2330 E. MORELAND BLVD
WAUKESHA, WISCONSIN 53186

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EXTERIOR ELEVATIONS

A1.1

Owner
Carsch, Inc.
681 East Lake Street, Suite 262
Wayzata, Minnesota 55391
952.475.4953

Architect
Brian Cooley, AIA
Short Elliott Hendrickson, Inc.
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Milwaukee, Wisconsin 53202-6169
414.465.1200

Landscape Architect
Short Elliott Hendrickson, Inc.
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XXX
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DEMOLITION KEYED NOTES (X)

- REMOVE EXISTING EXTERIOR LIGHTING.
- REMOVE EXISTING AWNINGS.
- REMOVE INTERIOR FINISHES, FIXTURES AND EQUIPMENT IN DINING ROOM.
- REMOVE PLUMBING FIXTURES AND ACCESSORIES IN RESTROOMS.
- REMOVE COUNTERTOP. MODIFY KNEEWALL AS REQUIRED.
- TRENCH FLOOR AS REQUIRED TO RELOCATED SODA DISPENSER IN DINING ROOM AND DRIVE THRU.
- DISCONNECT PLUMBING AND ELECTRICAL CONNECTIONS PRIOR TO REMOVAL. TRENCH FLOOR AS REQUIRED TO EXTEND ELECTRICAL FEED TO SUB-PANEL IN NEW PRODUCTION COUNTER.
- REUSE EXISTING WINDOW FRAMES. PREPARE FOR NEW FINISH AND GLAZING. VERIFY WITH OWNER.
- VERIFY SCOPE OF WORK IN KITCHEN AND BACK OF HOUSE WITH OWNER. RELOCATE UTILITIES AS REQUIRED FOR NEW LAYOUT. CAP ALL ABANDONED UTILITIES.
- DRIVE THRU WINDOW TO BE REPLACE WINDOW. VERIFY SIZE AND INSTALL REQUIREMENTS OF NEW WINDOW UNIT.
- NOT USED.
- REMOVE BEVERAGE AND CONDIMENT COUNTER. CAP ALL ABANDONED UTILITIES.
- REMOVE EXISTING DOOR, FRAME AND CASING. REPLACE WITH STYLE AND TYPE SPECIFIED IN DECOR DRAWINGS AND COMPLIANT WITH APPLICABLE CODES. REUSE EXISTING VESTIBULE DOORS. PREPARE FOR NEW FINISH.
- REUSE REAR DOOR. PREPARE FOR NEW FINISH.
- REMOVE EXISTING EIFS AND TRIM. PREPARE WALL STRUCTURE TO RECEIVE NEW FINISH.
- REMOVE LOW WALL.
- REMOVE FLOOR FINISHES. PREPARE TO RECEIVE NEW FINISHES AS SCHEDULED.
- REMOVE WALL FINISHES. PREPARE WALL FOR NEW FINISHES AS SCHEDULED.

DEMOLITION KEYED NOTES

1/4" = 1'-0"

FINISH SCHEDULE

MARK	MANUFACTURER	DESCRIPTION	NOTES
A1	DRYVIT	EIFS WALL SYSTEM	COLOR: ARBY081030 TEXTURE: STANDARD
A2	NOT USED	CUSTOM BRICK SPECIALTY FINISH WITH 23 PT. 1/2" GROUT, BROOKLYN BRICK TEMPLATE	BASE COAT: DRYVIT "NCB" BRICK LAYER: ARBY121020 GROUT LAYER: ARBY111009
B	NOT USED		
C1	DRYVIT	EIFS WALL SYSTEM	COLOR: ARBY081030 TEXTURE: STANDARD
C2	DRYVIT	EIFS WALL SYSTEM WITH V-GROOVE REVEAL AT 4" O.C.	COLOR: ARBY081030 TEXTURE: STANDARD
C3	DRYVIT	EIFS WALL SYSTEM WITH V-GROOVE REVEAL AT 8" O.C.	COLOR: ARBY081030 TEXTURE: STANDARD
D	SHERWIN WILLIAMS	SW #6869 STOP	SATIN FINISH
E	NOT USED	--	
F	SHERWIN WILLIAMS	SW #7024 FUNCTIONAL GRAY	SATIN FINISH
G	SHERWIN WILLIAMS	SW #2808 ROCKWOOD DARK BROWN	SATIN FINISH
H	COUNTY MATERIALS	BRICK - HERITAGE COLLECTION	WHITE
J	COUNTY MATERIALS	BRICK - HERITAGE COLLECTION	SABLE
K	SHERWIN WILLIAMS	SW #7005 PURE WHITE	SATIN FINISH

METALS

A	EXCEPTIONAL METALS/DURO-LAST	TWO-PIECE SNAP-ON METAL COPING REGAL WHITE / DURO-LAST #SR70TE87	FOR USE WITH DURO-LAST ROOFING SYSTEM DETAIL FA3110
B	EXCEPTIONAL METALS/DURO-LAST	TWO-PIECE SNAP-ON METAL COPING DARK BRONZE / DURO-LAST #SR26TE84	FOR USE WITH DURO-LAST ROOFING SYSTEM DETAIL FA3110
C	PRE-FABRICATED CANOPY/BAND	PRODUCT CODE: 9940-30198R PRODUCT NAME: FC SD RAL 3000 FLAME RED	
D	PRE-FABRICATED POST	PRODUCT CODE: 9840-80957R PRODUCT NAME: FC SD RAL 8017 CHOC. BROWN	

NOTES:

- PAINT ALL EXPOSED METERS, SERVICE ENTRANCES, GAS PIPE, ROOF ACCESS LADDER, ETC. TO MATCH ADJACENT EXTERIOR WALL SURFACE.
- MAKE SURE THAT WALL WEEPS AND FLASHING ARE INSTALLED CORRECTLY. DO NOT BLOCK WEEPS.
- ALUMINUM STOREFRONT TO BE DARK BRONZE. REFER TO SUCCESSOR LICENSING SCOPE OF WORK.
- ALL EXTERIOR GLAZING TO BE 1" INSULATED GLAZING.
- BASIS OF DESIGN FOR THE EIFS WALL SYSTEM IS DRYVIT OUTSULATION PLUS MD. EIFS WALL SYSTEM IS 2" THICK UNLESS NOTED OTHERWISE. INSTALL EIFS PRODUCT IN STRICT ACCORDANCE WITH MANUFACTURER SPECIFICATIONS AND DETAILS.
- SIGNAGE IS SHOWN FOR REFERENCE ONLY. FINAL SIZE, LOCATION AND QUANTITY TO BE DETERMINED BY SIGNAGE VENDOR. SIGNAGE VENDOR SHALL PERMIT ALL SIGNS UNDER SEPARATE COVER.

FINISH SCHEDULE

1/4" = 1'-0"

DESIGN NOTES (X)

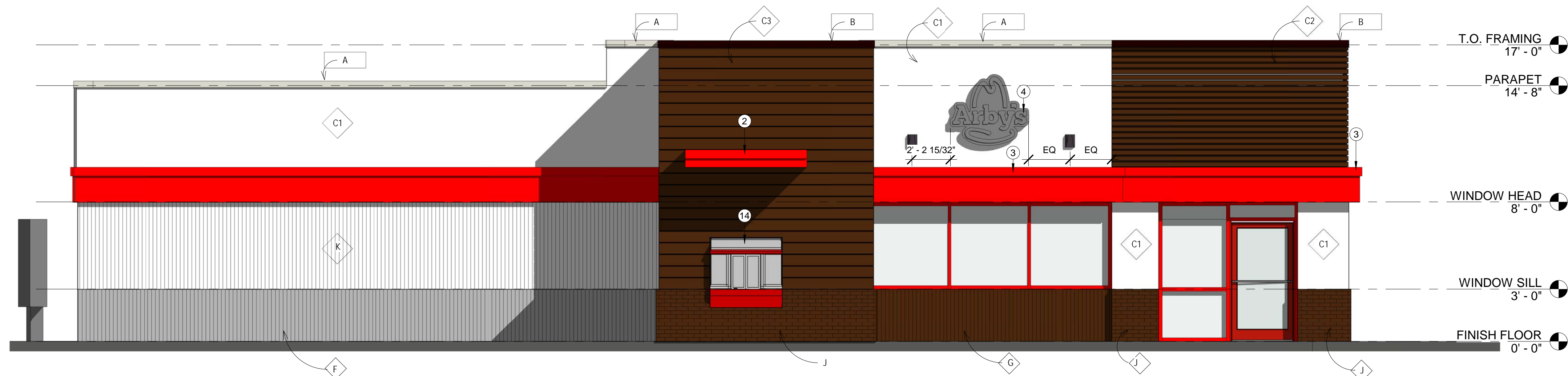
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- INSTALL CANOPY/ACCENT BAND AT 8'-0" A.F.F.
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- INSTALL RED EIFS ACCENT BAND AT 8'-0" A.F.F.
- INSTALL ARBY'S HAT SIGN ON ACCENT BAND, CENTER.
- INSTALL ARBY'S LETTERSET IN WHITE CENTERED ON CANOPY.
- INSTALL BRICK PATTERNED EIFS:
 - ON FRONT OF BUILDING, ALIGN WITH JAMB OF MIDDLE WINDOW BELOW.
 - EXTEND TO BOTTOM OF WALL, ON BOTH SIDES OF FIRST WINDOW.
 - WRAP CORNER OF BUILDING AND EXTEND TO FIRST WINDOW ON MAIN ENTRANCE SIDE OF BUILDING.
 - USE WHITE METAL COPING AT TOP OF WALL.
- INSTALL BROWN EIFS WITH 4" O.C. V-GROOVES:
 - ON FRONT OF BUILDING FROM EDGE OF BRICK PATTERNED EIFS TO THE CORNER OF THE BUILDING.
 - ON SIDE OF BUILDING FROM THE CORNER TO THE DRIVE THRU BUMP-OUT.
 - ABOVE THE ACCENT BAND ONLY.
 - USE BROWN METAL COPING AT TOP OF WALL.
- INSTALL BROWN EIFS WITH 8" O.C. V-GROOVES AT THE DRIVE THRU BUMP-OUT. USE BROWN METAL COPING AT TOP OF WALL.
- PATCH AND REPAIR EXISTING EIFS AND PAINT WHITE. REPLACE EIFS AS REQUIRED.
- INSTALL WALL MOUNTED UPLIGHT FIXTURE
 - AT 12'-0" O.C., AT 11'-6" AFF.
 - AT 11'-6" AFF.
 - AT 11'-6" AFF.
- INSTALL NEW DRIVE THRU WINDOW.

DESIGN NOTES

1/4" = 1'-0"



Carsch Inc.
Arby's - Waukesha

2330 E. MORELAND BLVD
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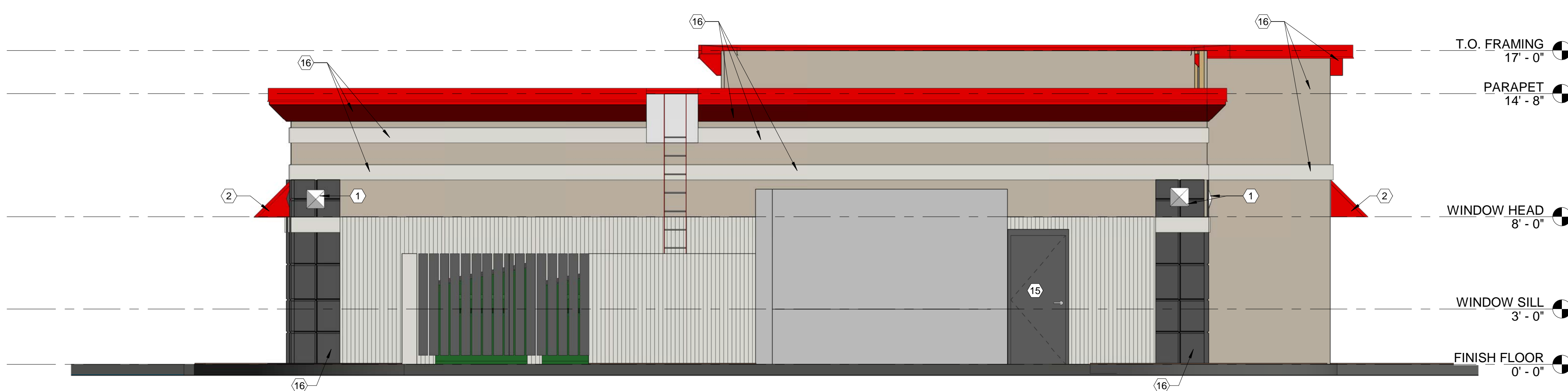
EXTERIOR ELEVATIONS

A1.2

DEMOLITION KEYED NOTES (X)

- REMOVE EXISTING EXTERIOR LIGHTING.
- REMOVE EXISTING AWNINGS.
- REMOVE INTERIOR FINISHES, FIXTURES AND EQUIPMENT IN DINING ROOM.
- REMOVE PLUMBING FIXTURES AND ACCESSORIES IN RESTROOMS.
- REMOVE COUNTERTOP. MODIFY KNEEWALL AS REQUIRED.
- TRENCH FLOOR AS REQUIRED TO RELOCATED SODA DISPENSER IN DINING ROOM AND DRIVE THRU.
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- REUSE EXISTING WINDOW FRAMES. PREPARE FOR NEW FINISH AND GLAZING. VERIFY WITH OWNER.
- VERIFY SCOPE OF WORK IN KITCHEN AND BACK OF HOUSE WITH OWNER. RELOCATE UTILITIES AS REQUIRED FOR NEW LAYOUT. CAP ALL ABANDONED UTILITIES.
- DRIVE THRU WINDOW TO BE REPLACE WINDOW. VERIFY SIZE AND INSTALL REQUIREMENTS OF NEW WINDOW UNIT.
- NOT USED.
- REMOVE BEVERAGE AND CONDIMENT COUNTER. CAP ALL ABANDONED UTILITIES.
- REMOVE EXISTING DOOR, FRAME AND CASING. REPLACE WITH STYLE AND TYPE SPECIFIED IN DECOR DRAWINGS AND COMPLIANT WITH APPLICABLE CODES.
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- REMOVE LOW WALL.
- REMOVE FLOOR FINISHES. PREPARE TO RECEIVE NEW FINISHES AS SCHEDULED.
- REMOVE WALL FINISHES. PREPARE WALL FOR NEW FINISHES AS SCHEDULED.

DEMOLITION KEYED NOTES 1/4" = 1'-0"



1 EXISTING - WEST ELEVATION
1/4" = 1'-0"

FINISH SCHEDULE

MARK	MANUFACTURER	DESCRIPTION	NOTES
A1	DRYVIT	EFIS WALL SYSTEM	COLOR: ARBY081030 TEXTURE: STANDARD
A2	NOT USED	CUSTOM BRICK SPECIALTY FINISH WITH 23 PT. 1/2" GROUT, BROOKLYN BRICK TEMPLATE	BASE COAT: ARBY121020 BRICK LAYER: ARBY111009 GROUT LAYER:
B	NOT USED		
C1	DRYVIT	EFIS WALL SYSTEM	COLOR: ARBY081030 TEXTURE: STANDARD
C2	DRYVIT	EFIS WALL SYSTEM WITH V-GROOVE REVEAL AT 4" O.C.	COLOR: ARBY081030 TEXTURE: STANDARD
C3	DRYVIT	EFIS WALL SYSTEM WITH V-GROOVE REVEAL AT 8" O.C.	COLOR: ARBY081030 TEXTURE: STANDARD
D	SHERWIN WILLIAMS	SW #6869 STOP	SATIN FINISH
E	NOT USED	--	
F	SHERWIN WILLIAMS	SW #7024 FUNCTIONAL GRAY	SATIN FINISH
G	SHERWIN WILLIAMS	SW #2808 ROCKWOOD DARK BROWN	SATIN FINISH
H	COUNTY MATERIALS	BRICK - HERITAGE COLLECTION	WHITE
J	COUNTY MATERIALS	BRICK - HERITAGE COLLECTION	SABLE
K	SHERWIN WILLIAMS	SW #7005 PURE WHITE	SATIN FINISH

METALS			
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- NOTES:
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FINISH SCHEDULE 1/4" = 1'-0"

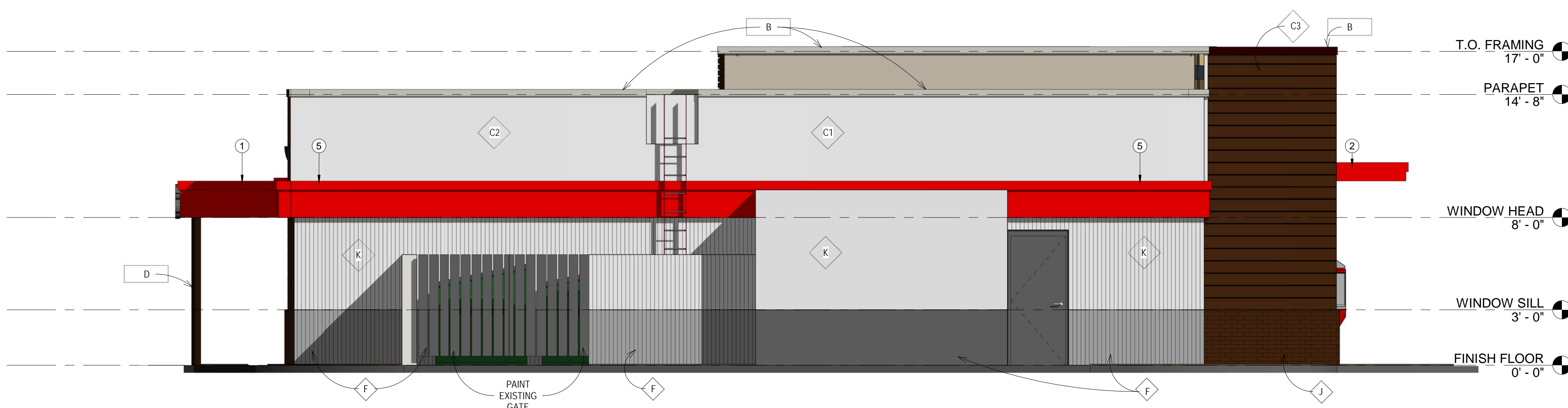
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 - WRAP CORNER OF BUILDING AND EXTEND TO FIRST WINDOW ON MAIN ENTRANCE SIDE OF BUILDING.
 - USE WHITE METAL COPING AT TOP OF WALL.
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 - ON SIDE OF BUILDING FROM THE CORNER TO THE DRIVE THRU BUMP-OUT.
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 - AT 12'-0" O.C., AT 11'-6" AFF.
 - AT 11'-6" AFF.
 - AT 1'-6" AFF.
- INSTALL NEW DRIVE THRU WINDOW.

DESIGN NOTES 1/4" = 1'-0"

2 PROPOSED - WEST ELEVATION
1/4" = 1'-0"



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Architect
Brian Cooley, AIA
Short Elliott Hendrickson, Inc.
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Milwaukee, Wisconsin 53202-6169
414.465.1200

Landscape Architect
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6808 Odana Road, Suite 2000
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Civil Engineer
Short Elliott Hendrickson, Inc.
501 Maple Avenue
Delafield, Wisconsin 53018
262.646.6855

Structural Engineer
XXX
Contact: Patrick Reynolds
STREET
Milwaukee, Wisconsin 53XXX
414.XXX.XXXX

Interior
Charter House Holdings, LLC
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Persona - Sign Up Company
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EXTERIOR ELEVATIONS



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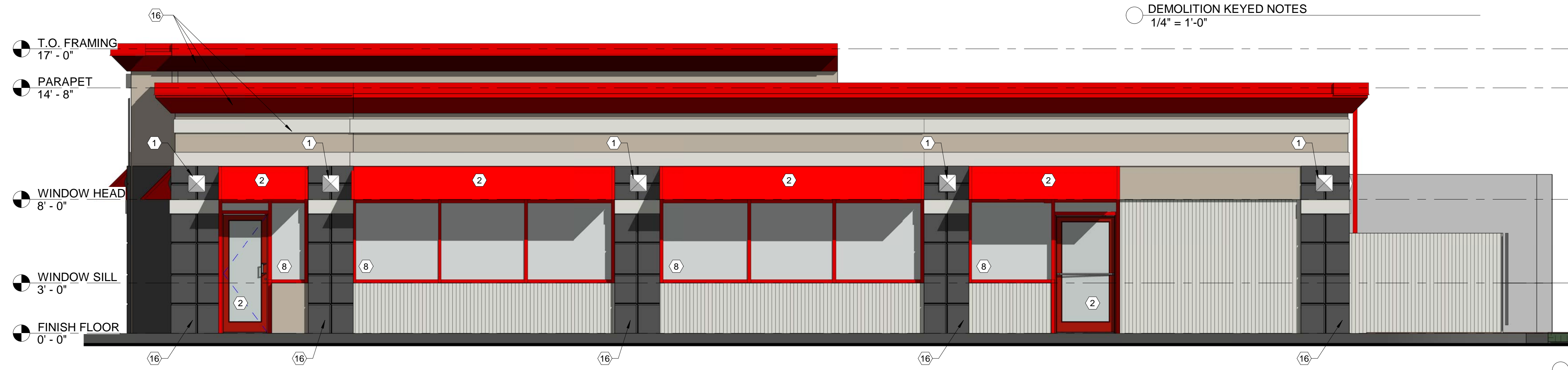
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DEMOLITION KEYED NOTES (X)

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- REMOVE EXISTING AWNINGS.
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- REMOVE PLUMBING FIXTURES AND ACCESSORIES IN RESTROOMS.
- REMOVE COUNTERTOP. MODIFY KNEEWALL AS REQUIRED.
- TRENCH FLOOR AS REQUIRED TO RELOCATED SODA DISPENSER IN DINING ROOM AND DRIVE THRU.
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- REMOVE WALL FINISHES. PREPARE WALL FOR NEW FINISHES AS SCHEDULED.

DEMOLITION KEYED NOTES 1/4" = 1'-0"



1 EXISTING - NORTH ELEVATION
1/4" = 1'-0"

FINISH SCHEDULE

MARK	MANUFACTURER	DESCRIPTION	NOTES
A1	DRYVIT	EFIS WALL SYSTEM	COLOR: ARBY081030 TEXTURE: STANDARD
A2	NOT USED	CUSTOM BRICK SPECIALTY FINISH WITH 23 PT. 1/2" GROUT, BROOKLYN BRICK TEMPLATE	BASE COAT: DRYVIT "NCB" BRICK LAYER: ARBY121020 GROUT LAYER: ARBY111009
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C1	DRYVIT	EFIS WALL SYSTEM	COLOR: ARBY081030 TEXTURE: STANDARD
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D	SHERWIN WILLIAMS	SW #6869 STOP	SATIN FINISH
E	NOT USED	--	
F	SHERWIN WILLIAMS	SW #7024 FUNCTIONAL GRAY	SATIN FINISH
G	SHERWIN WILLIAMS	SW #2808 ROCKWOOD DARK BROWN	SATIN FINISH
H	COUNTY MATERIALS	BRICK - HERITAGE COLLECTION	WHITE
J	COUNTY MATERIALS	BRICK - HERITAGE COLLECTION	SABLE
K	SHERWIN WILLIAMS	SW #7005 PURE WHITE	SATIN FINISH

METALS	DESCRIPTION	NOTES
A	EXCEPTIONAL METALS/DURO-LAST TWO-PIECE SNAP-ON METAL COPINGREGAL WHITE / DURO-LAST #SR70/TE87	FOR USE WITH DURO-LAST ROOFING SYSTEM DETAIL FA3110
B	EXCEPTIONAL METALS/DURO-LAST TWO-PIECE SNAP-ON METAL COPING DARK BRONZE / DURO-LAST #SR26/TE84	FOR USE WITH DURO-LAST ROOFING SYSTEM DETAIL FA3110
C	PRE-FABRICATED CANOPY/BAND PRODUCT CODE: 9940-30198R PRODUCT NAME: FC SD RAL 3000 FLAME RED	
D	PRE-FABRICATED POST PRODUCT CODE: 9840-80957R PRODUCT NAME: FC SD RAL 8017 CHOC. BROWN	

- NOTES:**
- PAINT ALL EXPOSED METERS, SERVICE ENTRANCES, GAS PIPE, ROOF ACCESS LADDER, ETC. TO MATCH ADJACENT EXTERIOR WALL SURFACE.
 - MAKE SURE THAT WALL WEEPS AND FLASHING ARE INSTALLED CORRECTLY. DO NOT BLOCK WEEPS.
 - ALUMINUM STOREFRONT TO BE DARK BRONZE. REFER TO SUCCESSOR LICENSING SCOPE OF WORK.
 - ALL EXTERIOR GLAZING TO BE 1" INSULATED GLAZING.
 - BASIS OF DESIGN FOR THE EFIS WALL SYSTEM IS DRYVIT OUTSULATION PLUS MD. EFIS WALL SYSTEM IS 2" THICK UNLESS NOTED OTHERWISE. INSTALL EFIS PRODUCT IN STRICT ACCORDANCE WITH MANUFACT. SPECIFICATIONS AND DETAILS.
 - SIGNAGE IS SHOWN FOR REFERENCE ONLY. FINAL SIZE, LOCATION AND QUANTITY TO BE DETERMINED BY SIGNAGE VENDOR. SIGNAGE VENDOR SHALL PERMIT ALL SIGNS UNDER SEPARATE COVER.

FINISH SCHEDULE 1/4" = 1'-0"

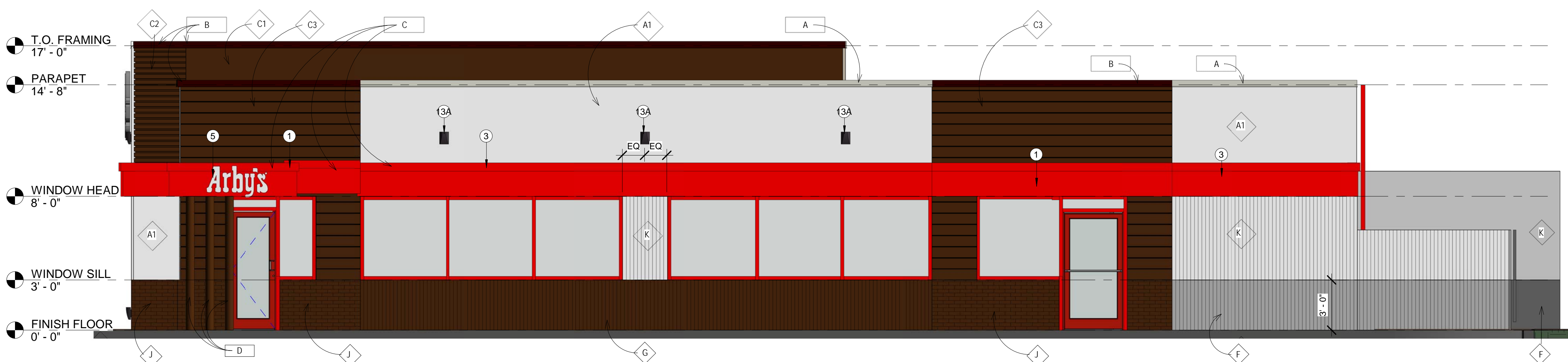
DESIGN NOTES (X)

THE FOLLOWING ARE THE PROTOTYPICAL SCOPE OF WORK NOTES FOR THE REMODELING OF YOUR STORE INTO THE REQUIRED INSPIRE IMAGE.

FRANCHISES ARE TO REFER TO THE SECTION SCOPE OF WORK PREPARED BY THEIR OPERATIONS CONSULTANT FOR THE SCOPE OF WORK 'SPECIFIC' TO THEIR STORE.

- INSTALL CANOPY/ACCENT BAND AT 8'-0" A.F.F.
- CENTER DRIVE THRU CANOPY ON DRIVE THRU WINDOW.
- INSTALL RED EIFS ACCENT BAND AT 8'-0" A.F.F.
- INSTALL ARBY'S HAT SIGN ON ACCENT BAND, CENTER.
- INSTALL ARBY'S LETTERSET IN WHITE CENTERED ON CANOPY.
- INSTALL BRICK PATTERNED EIFS:
 - ON FRONT OF BUILDING, ALIGN WITH JAMB OF MIDDLE WINDOW BELOW,
 - EXTEND TO BOTTOM OF WALL, ON BOTH SIDES OF FIRST WINDOW,
 - WRAP CORNER OF BUILDING AND EXTEND TO FIRST WINDOW ON MAIN ENTRANCE SIDE OF BUILDING.
 - USE WHITE METAL COPING AT TOP OF WALL.
- INSTALL BROWN EIFS WITH 4" O.C. V-GROOVES:
 - ON FRONT OF BUILDING FROM EDGE OF BRICK PATTERNED EIFS TO THE CORNER OF THE BUILDING,
 - ON SIDE OF BUILDING FROM THE CORNER TO THE DRIVE THRU BUMP-OUT,
 - ABOVE THE ACCENT BAND ONLY,
 - USE BROWN METAL COPING AT TOP OF WALL.
- INSTALL BROWN EIFS WITH 8" O.C. V-GROOVES AT THE DRIVE THRU BUMP-OUT. USE BROWN METAL COPING AT TOP OF WALL.
- PATCH AND REPAIR EXISTING EIFS AND PAINT WHITE. REPLACE EIFS AS REQUIRED.
- INSTALL WALL MOUNTED UPLIGHT FIXTURE
 - AT 12'-0" O.C., AT 11'-6" AFF.
 - AT 11'-6" AFF.
 - AT 1'-6" AFF.
- INSTALL NEW DRIVE THRU WINDOW.

DESIGN NOTES 1/4" = 1'-0"



2 PROPOSED - NORTH ELEVATION
1/4" = 1'-0"

Arby's - Waukesha
2330 E. MORELAND BLVD.
WAUKESHA, WISCONSIN 53186

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Revision Issue	
Rev. #	Description Date

EXTERIOR ELEVATIONS

A1.4



Building a Better World for All of Us®

Owner
 Carsch, Inc.
 681 East Lake Street, Suite 262
 Wayzata, Minnesota 55391
 952.475.4953

Architect
 Brian Cooley, AIA
 Short Elliott Hendrickson, Inc.
 159 North Jackson Street, Suite 106
 Milwaukee, Wisconsin 53202-6169
 414.465.1200

Landscape Architect
 Short Elliott Hendrickson, Inc.
 6808 Odana Road, Suite 2000
 Madison, Wisconsin 53719-1137
 608.620.6199

Civil Engineer
 Short Elliott Hendrickson, Inc.
 501 Maple Avenue
 Delafield, Wisconsin 53018
 262.646.6855

Structural Engineer
 XXX
 Contact: Patrick Reynolds
 STREET
 Milwaukee, Wisconsin 53XXX
 414.XXX.XXXX

Interiors
 Charter House Holdings, LLC
 200 North Franklin
 Zeeland, Michigan 49464
 616.399.6000

Signs
 Persona - Sign Up Company
 700 21st Street Southwest
 PO Box 210
 Watertown, South Dakota 57201
 800.843.9888

General Contractor
 Briohn Building Corporation
 3885 N. Brookfield Road, Suite 200
 Brookfield, Wisconsin 53045
 262.790.0500

Arby's - Waukesha
 2330 E. MORELAND BLVD
 WAUKESHA, WISCONSIN 53186

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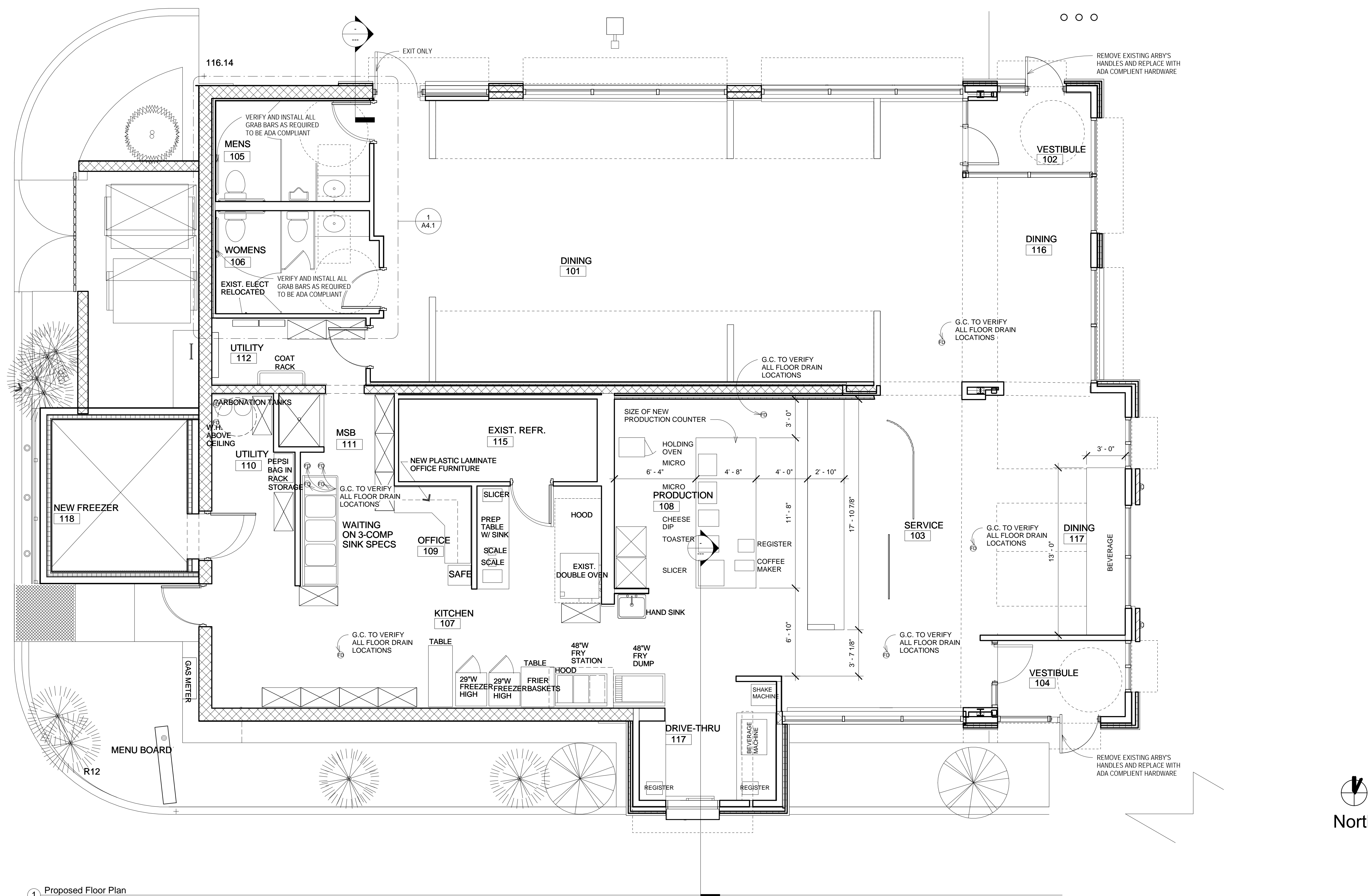
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PROPOSED FLOOR PLAN

A2.0



1 Proposed Floor Plan
 1/4" = 1'-0"





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Owner
Carsch, Inc.
681 East Lake Street, Suite 262
Wayzata, Minnesota 55391
952.475.4953

Architect
Brian Cooley, AIA
Short Elliott Hendrickson, Inc.
159 North Jackson Street, Suite 106
Milwaukee, Wisconsin 53202-6169
414.465.1200

Landscape Architect
Short Elliott Hendrickson, Inc.
6808 Odana Road, Suite 2000
Madison, Wisconsin 53719-1137
608.620.6199

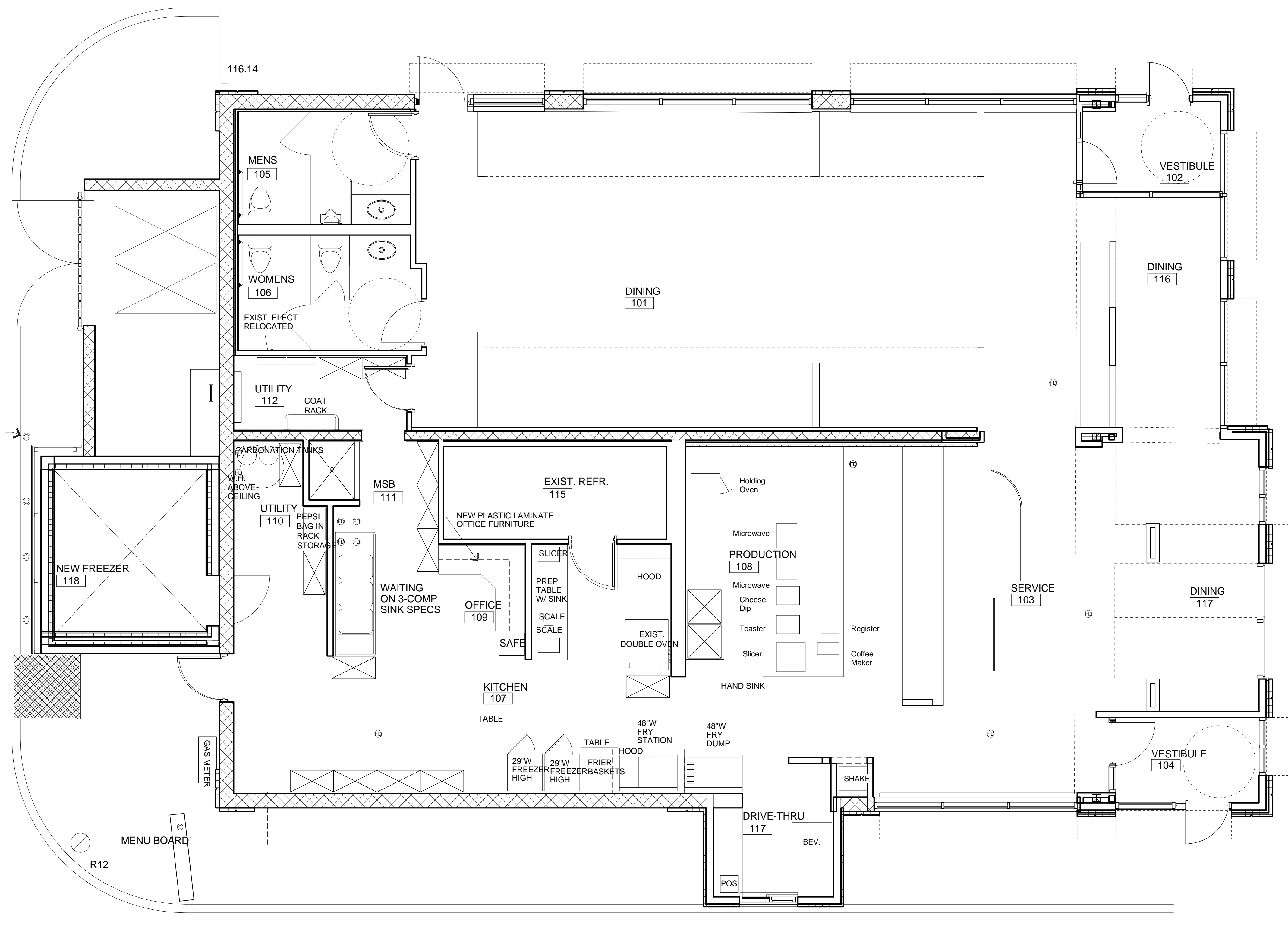
Civil Engineer
Short Elliott Hendrickson, Inc.
501 Maple Avenue
Delafield, Wisconsin 53018
262.646.6855

Structural Engineer
XXX
Contact: Patrick Reynolds
STREET
Milwaukee, Wisconsin 53XXX
414.XXX.XXXX

Interiors
Charter House Holdings, LLC
200 North Franklin
Zeeland, Michigan 49464
616.399.6000

Signs
Persona - Sign Up Company
700 21st Street Southwest
PO Box 210
Watertown, South Dakota 57201
800.843.9888

General Contractor
Brion Building Corporation
3885 N. Brookfield Road, Suite 200
Brookfield, Wisconsin 53045
262.790.0500



Arby's - Waukesha

2330 E. MORELAND BLVD
WAUKESHA, WISCONSIN 53186

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EXISTING EQUIPMENT PLAN

A2.2

1 EXISTING EQUIPMENT PLAN
1/4" = 1'-0"

BUILDING ADDITION