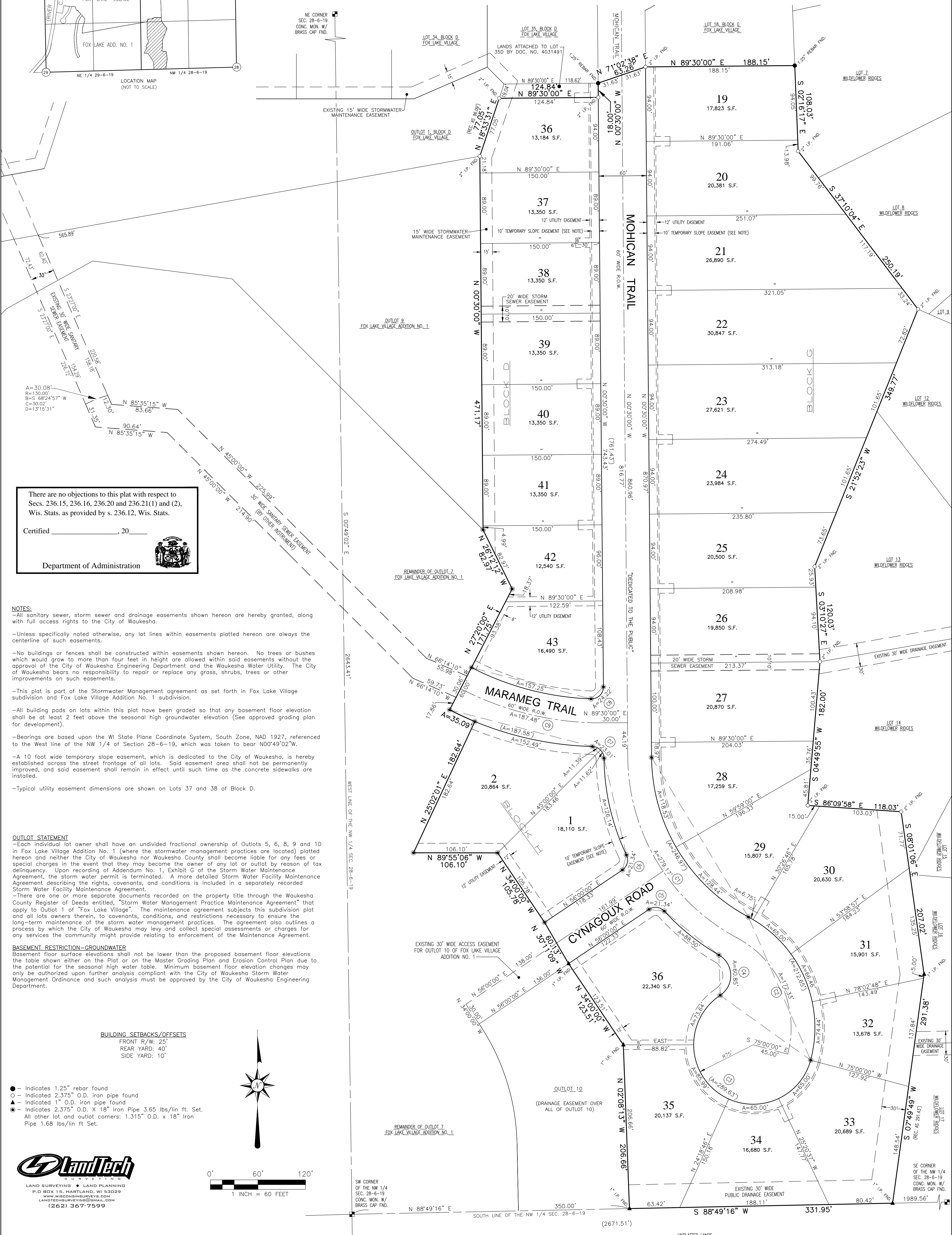
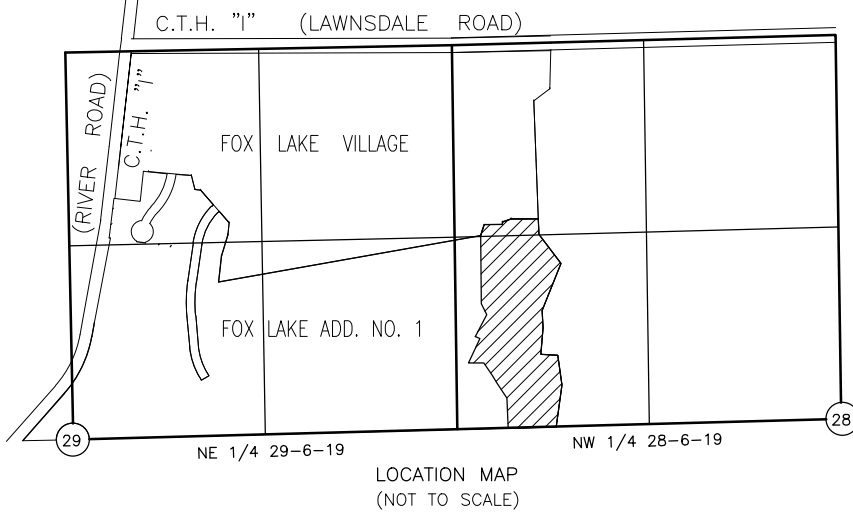


# FOX LAKE VILLAGE ADDITION NO. 2

BEING A PART OF OUTLOT 7 OF "FOX LAKE VILLAGE ADDITION NO. 1", LANDS BEING A PART OF THE SW 1/4 AND THE NW 1/4 OF THE NW 1/4 OF SECTION 28, TOWN 6 NORTH, RANGE 19 EAST, CITY OF WAUKESHA, WAUKESHA COUNTY, WISCONSIN



There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified \_\_\_\_\_, 20\_\_\_\_

Department of Administration

- NOTES:**
- All sanitary sewer, storm sewer and drainage easements shown hereon are hereby granted, along with full access rights to the City of Waukesha.
  - Unless specifically noted otherwise, any lot lines within easements platted hereon are always the centerline of such easements.
  - No buildings or fences shall be constructed within easements shown hereon. No trees or bushes which would grow to more than four feet in height are allowed within said easements without the approval of the City of Waukesha Engineering Department and the Waukesha Water Utility. The City of Waukesha bears no responsibility to repair or replace any grass, shrubs, trees or other improvements on such easements.
  - This plat is part of the Stormwater Management agreement as set forth in Fox Lake Village subdivision and Fox Lake Village Addition No. 1 subdivision.
  - All building pads on lots within this plat have been graded so that any basement floor elevation shall be at least 2 feet above the seasonal high groundwater elevation (See approved grading plan for development).
  - Bearings are based upon the WI State Plane Coordinate System, South Zone, NAD 1927, referenced to the West line of the NW 1/4 of Section 28-6-19, which was taken to bear N00°49'02"W.
  - A 10 foot wide temporary slope easement, which is dedicated to the City of Waukesha, is hereby established across the street frontage of all lots. Said easement area shall not be permanently improved, and said easement shall remain in effect until such time as the concrete sidewalks are installed.
  - Typical utility easement dimensions are shown on Lots 37 and 38 of Block D.

**OUTLOT STATEMENT**

-Each individual lot owner shall have an undivided fractional ownership of Outlots 5, 6, 8, 9 and 10 in Fox Lake Village Addition No. 1 (where the stormwater management practices are located) platted hereon and neither the City of Waukesha nor Waukesha County shall be liable for any fees or special charges in the event that they may become the owner of any lot or outlot by reason of tax delinquency. Upon recording of Addendum No. 1, Exhibit G of the Storm Water Maintenance Agreement, the storm water permit is terminated. A more detailed Storm Water Maintenance Agreement describing the rights, covenants, and conditions is included in a separately recorded Storm Water Facility Maintenance Agreement.

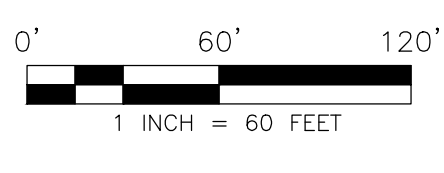
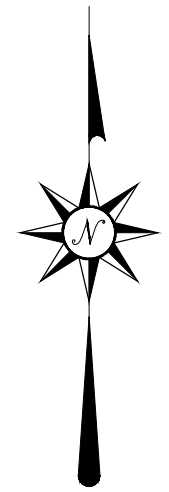
-There are one or more separate documents recorded on the property title through the Waukesha County Register of Deeds entitled, "Storm Water Management Practice Maintenance Agreement" that apply to Outlot 1 of "Fox Lake Village". The maintenance agreement subjects this subdivision plat and all lots owners therein, to covenants, conditions, and restrictions necessary to ensure the long-term maintenance of the storm water management practices. The agreement also outlines a process by which the City of Waukesha may levy and collect special assessments or charges for any services the community might provide relating to enforcement of the Maintenance Agreement.

**BASEMENT RESTRICTION-GROUNDWATER**

Basement floor surface elevations shall not be lower than the proposed basement floor elevations the table shown either on the Plat or on the Master Grading Plan and Erosion Control Plan due to the potential for the seasonal high water table. Minimum basement floor elevation changes may only be authorized upon further analysis compliant with the City of Waukesha Storm Water Management Ordinance and such analysis must be approved by the City of Waukesha Engineering Department.

**BUILDING SETBACKS/OFFSETS**

FRONT R/W: 25'  
REAR YARD: 40'  
SIDE YARD: 10'



- - Indicates 1.25" rebar found
- - Indicated 2.375" O.D. iron pipe found
- ▲ - Indicated 1" O.D. iron pipe found
- ◆ - Indicates 2.375" O.D. x 18" Iron Pipe 3.65 lbs/lin ft. Set.
- - All other lot and outlot corners: 1.315" O.D. x 18" Iron Pipe 1.68 lbs/lin ft. Set.

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