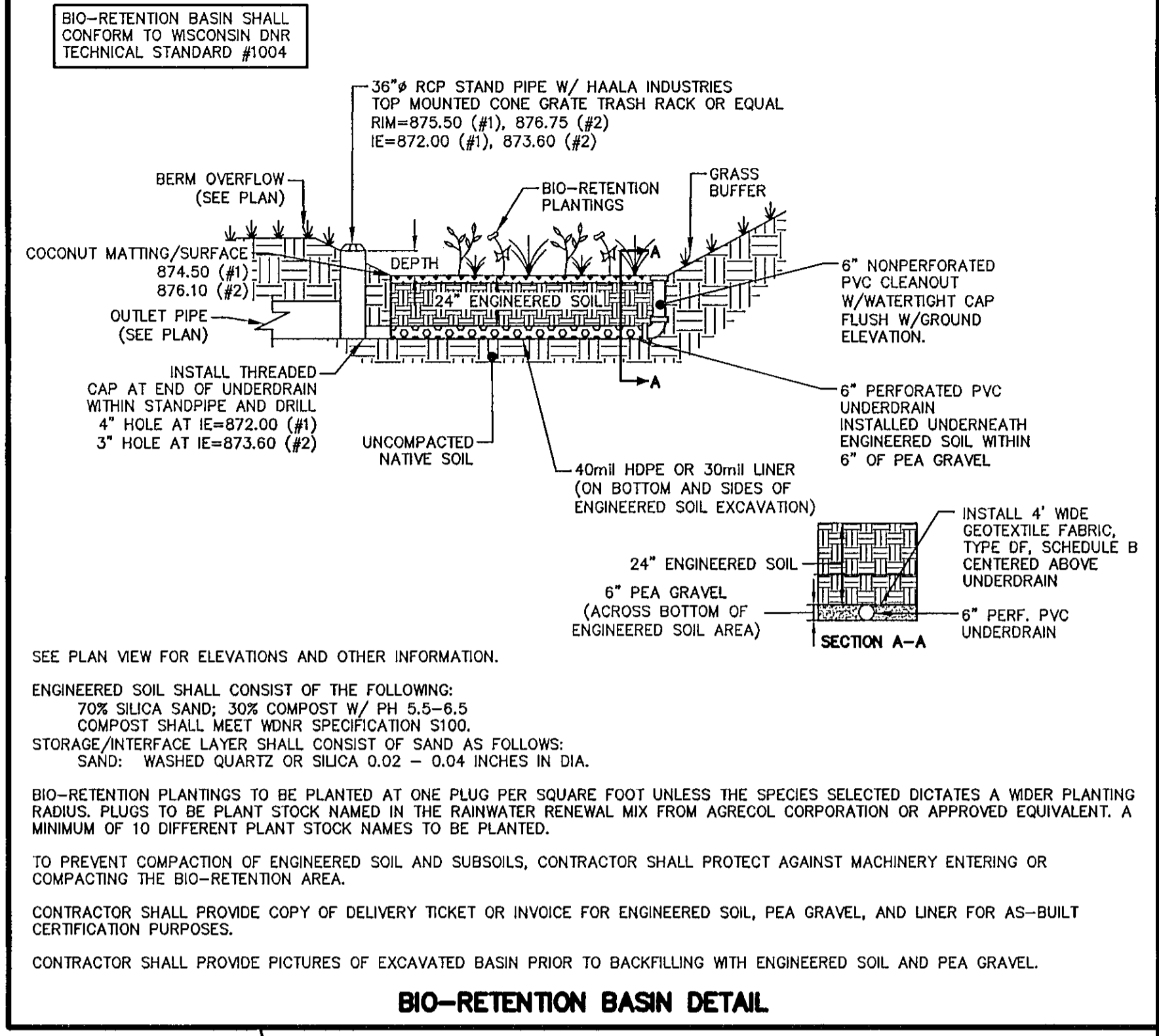
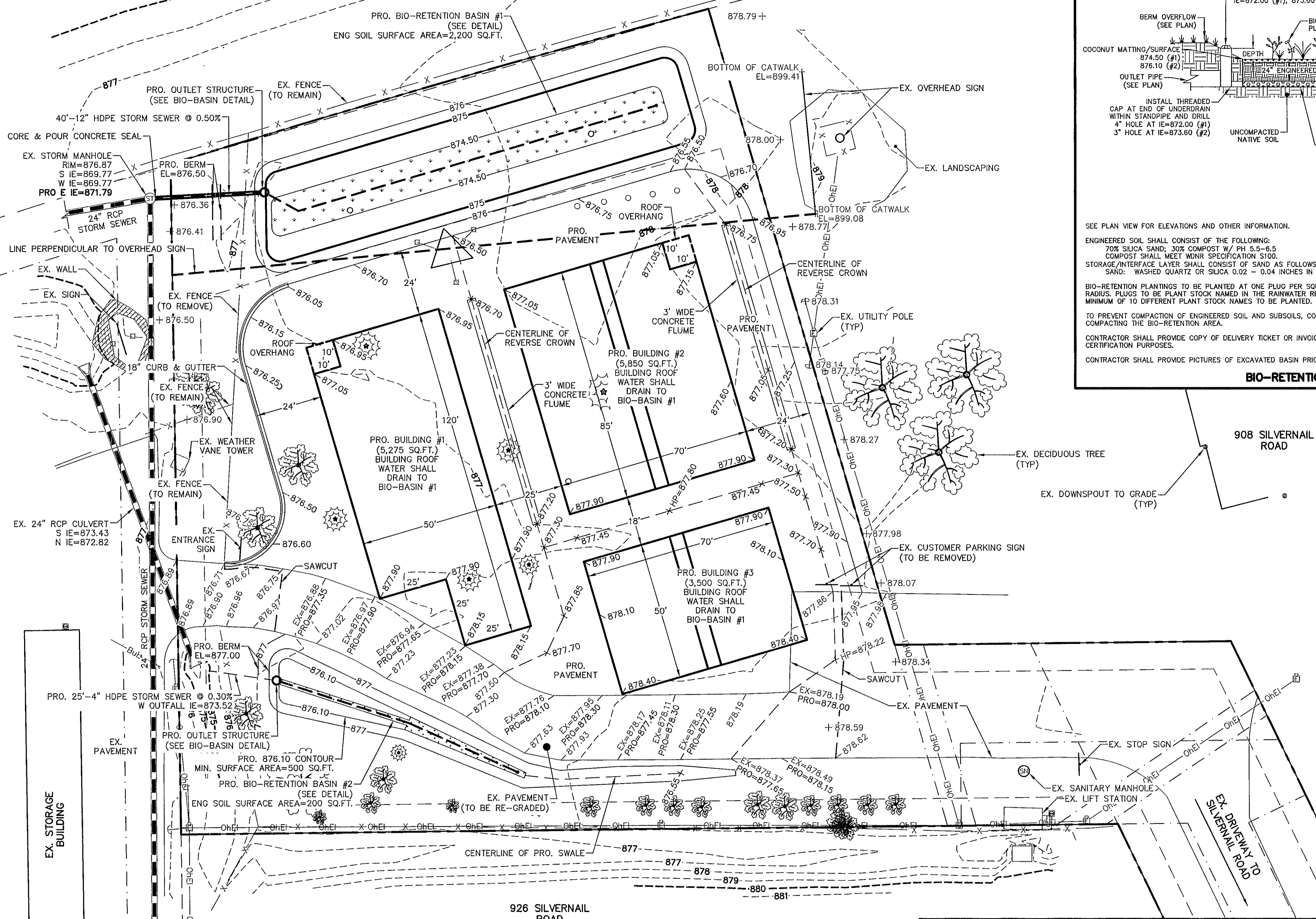


INTERSTATE 94



BIO-RETENTION BASIN DETAIL

**NOTES:**

1) PROPOSED SPOT ELEVATIONS ARE FINISH PAVEMENT SURFACE ELEVATION. REFER TO BUILDING PLANS FOR PAVEMENT SURFACE TO BUILDING FLOOR TRANSITION.

**SITE INFORMATION:**

PROPERTY IS LOT 1 OF CSM 8319  
LOT AREA: 98,204 SQUARE FEET, 2.25 ACRES  
ZONING: B5 COMMUNITY BUSINESS DISTRICT  
BUILDING SETBACKS: 50' FROM RIGHT-OF-WAY, 10' SIDE YARD, 25' REAR PAVED DRIVE AISLE SETBACK: 5' FROM SIDE YARD, 15' FROM RIGHT-OF-WAY  
PRO. IMPERVIOUS AREA=54,059 SQUARE FEET, 1.241 ACRES  
PRO. IMPERVIOUS AREA % = 55.0%  
BUILDING FLOOR AREA = 14,625 SQUARE FEET  
BUILDING FLOOR AREA RATIO = 14.8%

**LEGEND FOR COMMON LINES:**

- 879- - - - - EXISTING MINOR CONTOUR
- 880- - - - - EXISTING MAJOR CONTOUR
- x-x-x-x- - - - - PROPERTY LINE
- - - - - EXISTING FENCE
- OhEl- - - - - EXISTING OVERHEAD ELECTRIC LINE
- BuEl- - - - - EXISTING BURIED ELECTRIC LINE
- EX=878.25 OR 878.49 - - - - EXISTING SPOT ELEVATION
- 878.75 - - - - PROPOSED SPOT ELEVATION

**CLIMATE CONTROLLED STORAGE - CSM 8319**

PRELIMINARY GRADING PLAN  
SHEET C-2  
DATED: AUGUST 28, 2023  
**QUAM ENGINEERING, LLC**  
Residential and Commercial Site Design Consultants  
www.quamengineering.com  
4604 Sigelkow Road, Suite A - McFarland, Wisconsin 53558  
Phone (608) 838-7750; Fax (608) 838-7752





ZONING	
ZONED:	XX
MIN. BUILDING SETBACKS (FT):	STREET YARD: XX INTERIOR SIDE YARD: XX REAR YARD: XX
PAVING SETBACKS (FT):	FRONT & STREET YARD: XX INTERIOR SIDE YARD: XX REAR YARD: XX
MAX. BUILDING HEIGHTS (FT):	PRINCIPAL BUILDING: XX ACCESSORY BUILDING: XX

SITE STATISTICS		
NAME	AREA	AREA RATIO
BUILDABLE AREA	30,458 SF	34%
EXISTING PAVING	22,981 SF	26%
NEW PAVING	16,834 SF	19%
PROPOSED BUILDING A	5,275 SF	6%
PROPOSED BUILDING B	5,850 SF	7%
PROPOSED BUILDING C	3,500 SF	4%
PROPOSED RETENTION / DETENTION POND	5,072 SF	6%
GRAND TOTAL	89,969 SF	100%

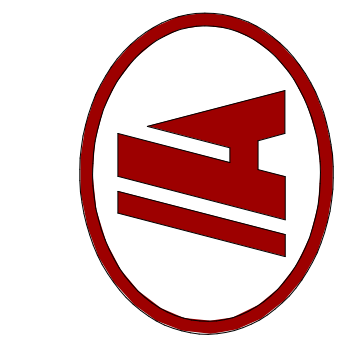
PARKING	
PARKING REQUIREMENTS:	XX
TOTAL STALLS REQUIRED:	XX
TOTAL STALLS PROPOSED:	XX
TOTAL ACCESSIBLE STALLS REQUIRED:	XX
TOTAL ACCESSIBLE STALLS PROPOSED:	XX

- GENERAL SITE NOTES:**
- VISIT JOB SITE TO VERIFY EXISTING SITE CONDITIONS PRIOR TO STARTING CONSTRUCTION. MEET WITH GENERAL CONTRACTOR PRIOR TO STARTING.
  - REMOVE EXISTING TREES ALONG WITH ROOTS AS REQUIRED @ PROPOSED BUILDING AND PAVING AREAS.
  - STRIP AND REMOVE ALL REMAINDER VEGETATION & X"± TOP SOIL FROM WITHIN THE BUILDING AND PAVING AREAS. STOCKPILE REUSABLE, UNCONTAMINATED TOPSOIL AND PROVIDE FOR ALL EXCESS MATERIAL TO BE TRUCKED OFF SITE. RESPREAD SALVAGED TOPSOIL OVER DISTURBED AREAS TO APPROX. 4" DEPTH AFTER CONSTRUCTION IS FINISHED.
  - CUT (OR FILL) THE BUILDING AREA +5.0' BEYOND PERIMETER OF THE BUILDING
  - CUT THE FLOOR AREA TO THE SUB-GRADE ELEVATION. (THE PERIMETER FOUNDATION FOOTINGS TO BE EXCAVATED BY CONC. CONTR. TO THE REQUIRED DEPTHS PER THE FOUNDATION PLAN). BENCH GRADE BACK PER CURRENT OSHA CODE STANDARDS PART #1926 IF REQ'D BY THE G.C. FOR THE PROJECT
  - PROOF ROLL BUILDING AREA FOR ANY SOFT MATERIALS. REPORT ANY SOFT SPOTS TO THE GENERAL CONTRACTOR.
  - ALL FILL MATERIAL FOR BRINGING GRADES UP TO SUB-GRADE ELEVATIONS SHALL BE GRANULAR OR CLEAN COMPACTABLE CLAY AND APPROVED BY ANDERSON-ASHTON.
  - ALL EXTERIOR BACKFILL MATERIAL FOR STANDARD FROST FOUNDATION WALLS SHALL BE CLEAN COMPACTABLE CLAY. INTERIOR BACKFILL MATERIAL SHALL BE 3/4" CLEAR STONE.
  - ALL BACKFILL & FILL MATERIALS SHALL BE INSPECTED AND APPROVED BY ANDERSON-ASHTON PRIOR TO PLACEMENT. ALL FILL MATERIALS SHALL BE COMPACTED IN 8" MAX. LIFTS @ 95% MODIFIED PROCTOR.
  - PREPARE THE PAVING AREA AS SHOWN ON THE CONSTRUCTION DOCUMENTS TO +/- 0.10'
  - PREPARE ALL SWALES AS SHOWN ON PLAN TO PROVIDE POSITIVE DRAINAGE DURING CONSTRUCTION.
  - RETURN AFTER THE BUILDING IS ENCLOSED & FINISH GRADE AND TOPSOIL AROUND PERIMETER OF BUILDING. ALSO, FINISH GRADE AROUND ELECTRICAL, TELEPHONE, GAS, SEWER, WATER AND UTILITY TRENCHES.
  - GRADING CONTRACTOR SHALL FIX AND REPAIR PARKING AREA AND DRIVES AS REQUIRED AFTER UTILITY AND OTHER WORK THAT MAY DISTURB THE SOIL AND/OR GRAVEL BASE BEFORE PAVING BEGINS. GRADING CONTRACTOR SHALL SMOOTH DRUM ROLL ALL PARKING AREAS AND DRIVES BEFORE PAVING BEGINS.
  - GRADING CONTRACTOR SHALL BE PREPARED TO HANDLE ALL SPOILS WHICH MAY INCLUDE ON SITE STORAGE AND TRUCKING OFF SITE. GRADER TO GET PRIOR APPROVAL FROM G.C. FOR PLACEMENT OF STOCKPILE SITES PRIOR TO STARTING STRIPPING OF TOPSOIL.
  - AWARDED GRADING CONTRACTOR SHALL BE RESPONSIBLE FOR THE LABOR AND MATERIAL NEEDED FOR SUPPLYING ANY TRAFFIC CONTROL BARRIERS OR SIGNS AS NEEDED PER LOCAL OR D.O.T. CODES & REGULATIONS DUE TO ANY ROAD WORK OUTSIDE OF PROPERTY LINES
  - THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM BUILDING AT A SLOPE OF NOT LESS THAN ONE UNIT VERTICAL IN 20 UNITS HORIZONTAL (5% SLOPE) FOR A MIN DISTANCE OF 10' MEASURED PERP. TO THE FACE OF THE FOUNDATION WALL.
- ASPHALT PAVING WORK**
- FURNISH AND INSTALL A 8" CRUSHED AGGREGATE BASE AT THE ASPHALT PAVING PARKING AREAS.
  - FINE GRADE AND COMPACT STONE BASE.
  - FURNISH AND INSTALL A 4" (TWO LIFT) AVG. THICKNESS COMPACTED ASPHALT PAVEMENT AT TRUCK/DRIVE AREAS
  - FURNISH AND INSTALL ALL PARKING STALL STRIPING, H.C. SYMBOLS, & H.C. SIGNS ON METAL POSTS.

REVISIONS

THIS IS A SCHEMATIC DRAWING, NOT A WORKING DRAWING. ANDERSON ASHTON IS NOT RESPONSIBLE FOR DIMENSIONS, CONSTRUCTION DETAILS, ENGINEERING DECISIONS, REGULATORY APPROVALS, OR ANY OTHER ASPECTS OF THE PROJECT. IT IS HIGHLY RECOMMENDED THAT A LOCAL ARCHITECT BE ENGAGED TO DEVELOP CONTRACT DOCUMENTS BASED ON THESE SCHEMATIC DRAWINGS AND CORRESPONDING OUTLINE SPECIFICATIONS. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATORY APPROVALS. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATORY APPROVALS. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATORY APPROVALS.

ANDERSON ASHTON DESIGN / BUILD  
2746 South 16th Street  
New Berlin, WI 53151  
Phone: (262) 786-4640  
WWW.ANDERSONASHTON.COM



**PRELIMINARY NOT FOR CONSTRUCTION**

PROPOSED NEW BUILDING FOR:  
**SCENIC SELF STORAGE**

900 SILVERNAUL RD, PEWAUKEE, WI 53072

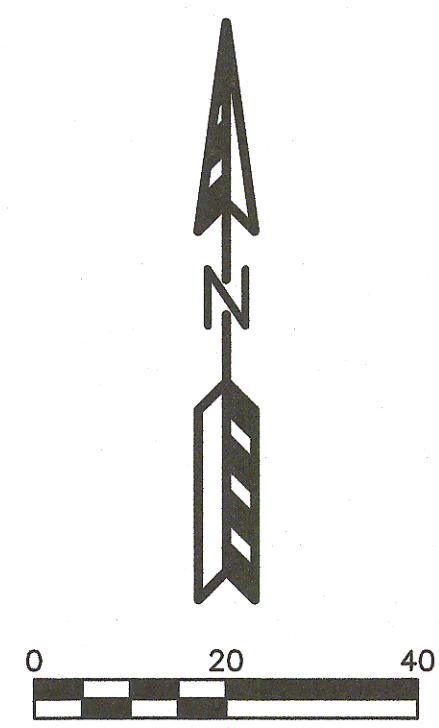
1 ARCHITECTURAL SITE PLAN  
1/16" = 1'-0"

DRAFTED BY: UH  
DESIGNER: RRS  
ISSUE 8/23/2023 10:59:38 AM  
SUBMITTAL DATE XX-XX-XX  
DESIGN NO. 4007  
CONSTRUCTION NO.

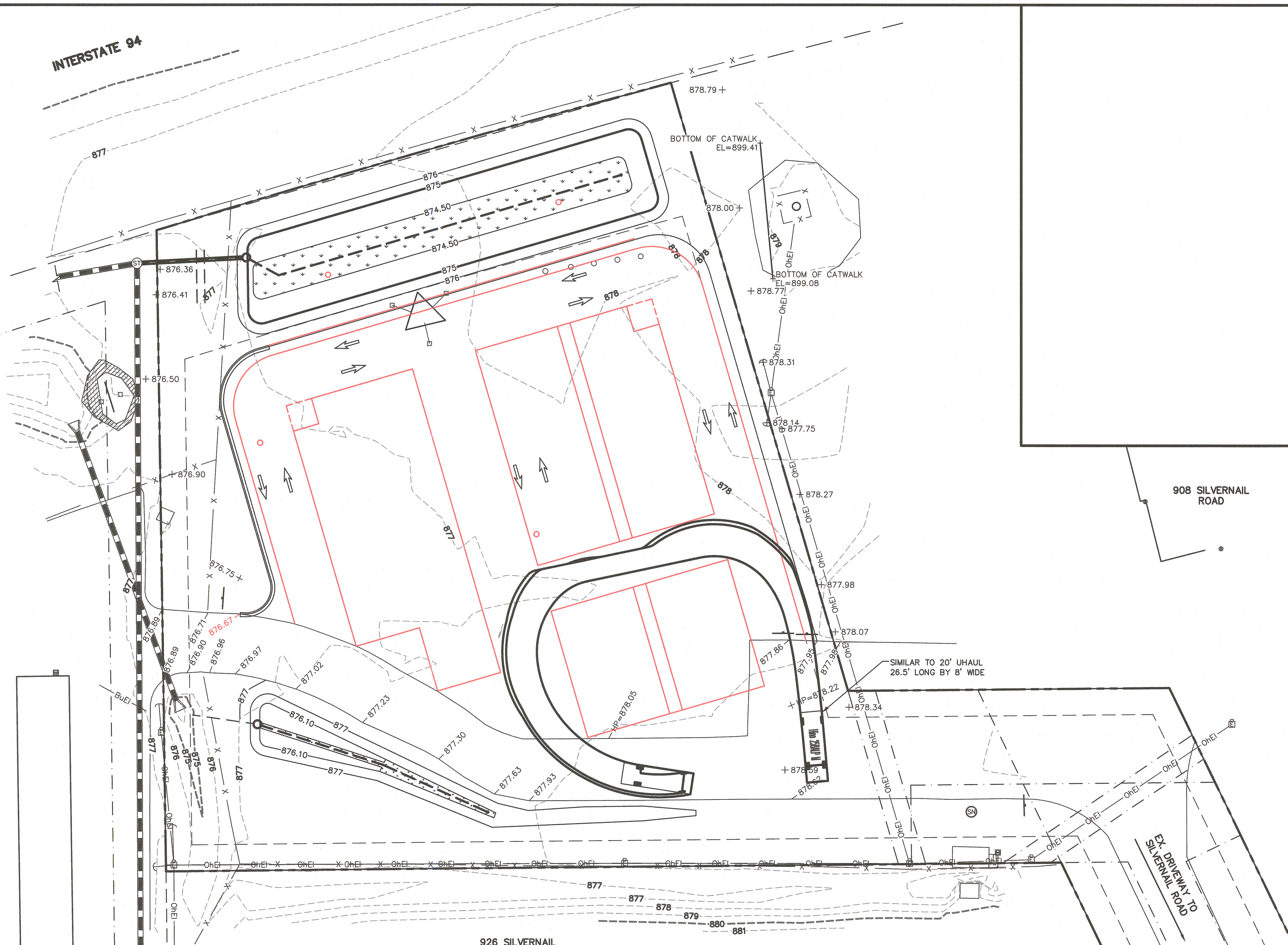
ARCHITECTURAL SITE PLAN  
**AS01**

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INTERSTATE 94



EX. STORM MANHOLE  
RIM=878.20  
N IE=870.66  
E IE=870.70  
S IE=872.36

**NOTES:**  
1) PROPOSED SPOT ELEVATIONS ARE FINISH PAVEMENT SURFACE ELEVATION. REFER TO BUILDING PLANS FOR PAVEMENT SURFACE TO BUILDING FLOOR TRANSITION.

**SITE INFORMATION:**  
PROPERTY IS LOT 1 OF CSM 8319  
LOT AREA: 98,204 SQUARE FEET, 2.25 ACRES  
ZONING: B5 COMMUNITY BUSINESS DISTRICT  
BUILDING SETBACKS: 50' FROM RIGHT-OF-WAY, 10' SIDE YARD, 25' REAR  
PAVED DRIVE AISLE SETBACK: 5' FROM SIDE YARD, 15' FROM RIGHT-OF-WAY  
PRO. IMPERVIOUS AREA=54,253??? SQUARE FEET, 1.25??? ACRES  
PRO. IMPERVIOUS AREA % = 55.2???  
BUILDING FLOOR AREA = 17,500??? SQUARE FEET  
BUILDING FLOOR AREA RATIO = 17.8???%

**LEGEND FOR COMMON LINES:**

-879-	- EXISTING MINOR CONTOUR
-880-	- EXISTING MAJOR CONTOUR
- - -	- PROPERTY LINE
-x-x-x-	- EXISTING FENCE
-OHEI-	- EXISTING OVERHEAD ELECTRIC LINE
-BUEI-	- EXISTING BURIED ELECTRIC LINE
-EX=878.25 OR 878.49	- EXISTING SPOT ELEVATION
-878.75	- PROPOSED SPOT ELEVATION

**CLIMATE CONTROLLED STORAGE - CSM 8319**  
VEHICLE MOVEMENT-INTERNAL  
PAGE 2 OF 2  
DATED: JULY 20, 2023

**QUAM ENGINEERING, LLC**  
Residential and Commercial Site Design Consultants  
www.quamengineering.com  
4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558  
Phone (608) 838-7750; Fax (608) 838-7752



Project:

**CLIMATE CONTROLLED STORAGE**

Silvernail Road  
Waukesha, WI 53072

Issuance and Revisions:

Date	Number	Description
05/26/23		Plan Commission Submittal
06/06/23		Revisions Based on Client Comments
08/25/23		Construction Document Submittal

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Sheet Title:

PROPOSED LANDSCAPE PLAN,  
GENERAL NOTES  
AND PLANT MATERIAL TABLE

Date of Drawing: 08/25/23

Scale: 1" = 30'-0"

Drawn By: MCD

Job Number: L23-035

Sheet Number:

**LSP1.1**

**SITE INFORMATION**

USDA PLANT HARDINESS ZONE	5a (-20 to -15 Degrees F)
LOT ZONING	B-5 - Community Business
LOT AREA	84,234 SQ. FT. (1.93 Acres)
SITE BUILDING AREA	17,500 SQ. FT.
TOTAL IMPERVIOUS	54,253 SQ. FT. (1.25 Acres)
TOTAL GREENSPACE	29,981 SQ. FT. (0.69 Acres)
SITE LANDSCAPE PERCENTAGE	35.6%
TOTAL PARKING STALLS	- STALLS

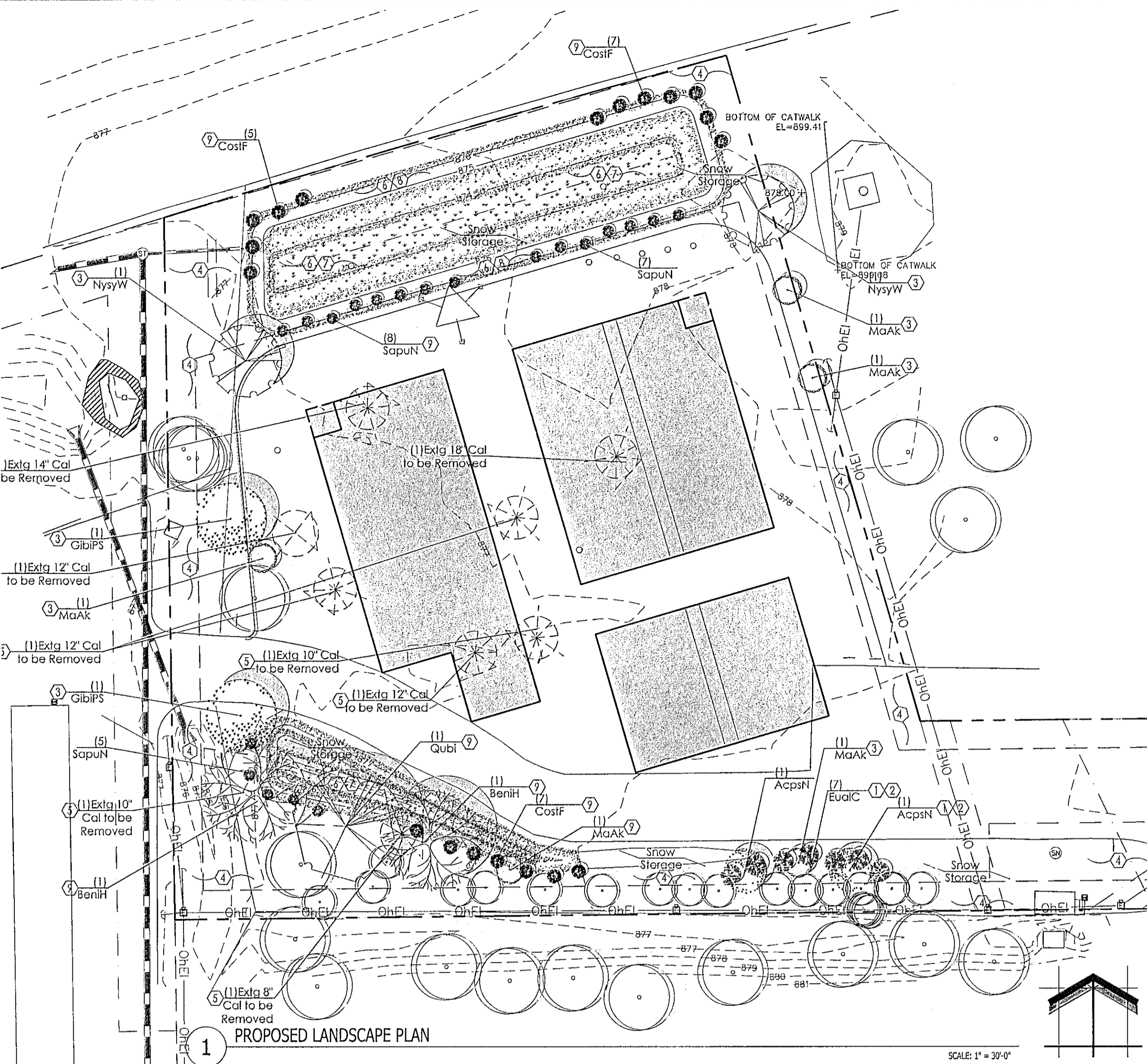
**EXISTING CONDITIONS GENERAL NOTES**

- INFORMATION PERTAINING TO EXISTING CONDITIONS GIVEN ON THESE LANDSCAPE DRAWINGS REPRESENTS TO THE BEST OF OUR KNOWLEDGE THE ACTUAL EXISTING FIELD CONDITIONS. INSITE LANDSCAPE DESIGN, INC. MAKES NO WARRANTY AS TO THEIR ACCURACY. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS IMPERATIVE TO THEIR NEW WORK. REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS TO THE LANDSCAPE ARCHITECT FOR REVIEW. ANY WORK PERFORMED PRIOR TO RESOLUTION OF DISCREPANCIES BY THE LANDSCAPE ARCHITECT IS SUBJECT TO REMOVAL AND REPLACEMENT AT NO ADDITIONAL COST TO THE CONTRACTOR.
- THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA OF DISTURBANCE THAT ARE NOT SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES.
- VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND ALIGNMENT OF WALLS. BRING ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT'S ATTENTION PRIOR TO FABRICATION / CONSTRUCTION BEGINS.
- VERIFY LOCATION OF ACCESS PANELS w/ MECHANICAL AND ELECTRICAL EQUIPMENT FOR ACCESSIBILITY OF MECHANICAL & ELECTRICAL ITEMS. VERIFY LOCATIONS OF ALL BURIED UTILITIES AND STRUCTURES AND LOCATIONS OF ALL OVERHEAD WIRES.
- VERIFY LOCATION OF ALL EXISTING EASEMENTS.
- INSITE LANDSCAPE DESIGN, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF INSITE LANDSCAPE DESIGN, INC.

**LANDSCAPE PLAN GENERAL NOTES**

PLANT MATERIAL SHOWN ON LANDSCAPE PLAN IS DEPICTED AT MATURE GROWTH.

- AT LEAST SEVENTY-TWO HOURS PRIOR TO ANY EXCAVATION, CONTRACTOR SHALL VERIFY UTILITY LOCATIONS AS GIVEN BY THE ELECTRIC, GAS, TELEPHONE, WATER, SEWER, AND CABLE TELEVISION COMPANIES, UTILITIES OR ENTITIES. REVIEW WITH OWNER'S REPRESENTATIVE SITE MECHANICAL, SITE ELECTRICAL AND LIGHTING, SITE GRADING AND DRAINAGE, SITE IRRIGATION AND ALL OTHER DRAWINGS PERTAINING TO UNDERGROUND UTILITY LOCATIONS. RECORD SET OF INFORMATION THE SAME AS IN POSSESSION OF OWNER'S REPRESENTATIVE. ALSO REVIEW OWNER'S "MARK SETS" OF ALL THESE DRAWINGS IN POSSESSION OF THE CONTRACTOR OR OWNER. MARK ALL SUCH UTILITIES ON THE SITE PRIOR TO COMMENCING. COORDINATE WITH OWNER BEFORE AND DURING CONSTRUCTION. REPAIR ANY DAMAGE TO ANY SYSTEM THAT IS CAUSED BY LANDSCAPE CONTRACTOR AT NO COST TO OWNER.
- ALL PLANTINGS SPECIFIED FOR THE CLIMATE CONTROLLED STORAGE PROJECT PLANTING TABLES SHALL COMPLY WITH STANDARDS AS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK ANSI Z60.1 2014 AND ANSI STANDARDS FOR PLANTING 2012.
- ALL DEVIATIONS FROM THE APPROVED CLIMATE CONTROLLED STORAGE PROJECT PLANS SHALL BE NOTED ON THE RECORD DRAWINGS BY THE CONTRACTOR AND MAY BE EXECUTED ONLY WITH PRIOR APPROVAL FROM THE LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE. VERBAL AGREEMENTS OR REVISIONS WITHOUT A CHANGE ORDER WILL NOT BE RECOGNIZED BY LANDSCAPE ARCHITECT AND OWNER.
- ALL PLANTS MUST BE BID AND SELECTED PER THE SPECIES SPECIFIED ON THE PLANS. ANY SPECIES SUBSTITUTIONS MUST BE APPROVED IN WRITING BY LANDSCAPE ARCHITECT. THE SIZES OF PLANT MATERIAL LISTED HEREIN IS A MINIMUM ACCEPTABLE SIZE. ADDITIONALLY, IF EXCESSIVE PRUNING REDUCES THE CROWN THE PLANT SHALL BE REPLACED.
- PROTECT PUBLIC FROM CONSTRUCTION WITH BARRIERS AND BARRICADES.
- ALL AREAS THAT WERE DISTURBED DURING CONSTRUCTION AND AREAS NOT COVERED WITH PAVEMENT, BUILDING, PLANTING BEDS, OR TREE PITS ARE TO BE TOPSOILED 3" DEEP (MIN.) AND SHALL BE SOED/SEEDED WITH SPECIFIED LAWN GRASS. LANDSCAPE CONTRACTOR SHALL INCLUDE COST PER SQUARE YARD FOR ADDITIONAL SEED OPERATIONS AS MAY BE POSSIBLY REQUIRED TO REESTABLISH ADJACENT TURF GRASS AREAS WHICH MAY BECOME DAMAGED DURING THE CONSTRUCTION PROCESS OR TO REPAIR DAMAGE DONE BY OTHERS.
- CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL MATERIALS, TOOLS, EQUIPMENT, LABOR, AND PLANTS NECESSARY FOR PROPER PLANTING AND INSTALLATION OF ALL LANDSCAPE MATERIAL.
- CONTRACTOR IS RESPONSIBLE FOR ALL ESTIMATING AND BIDDING, ALL AREAS, QUANTITIES MATERIALS SHOULD BE FIELD VERIFIED WITH SITE CONDITION.
- WHERE DISCREPANCIES OCCUR BETWEEN THE LANDSCAPE PLANS AND/OR ARCHITECTURAL AND/OR THE CIVIL DRAWINGS (AND ANY OTHER SITE DRAWINGS) THE DISCREPANCIES MUST BE BROUGHT TO THE LANDSCAPE ARCHITECT'S ATTENTION FOR COORDINATION AND RESOLUTION.
- ALL DISEASED, NOXIOUS OR INAPPROPRIATE MATERIALS SHALL BE REMOVED FROM THE PROPOSED SITE PRIOR TO THE START OF CONSTRUCTION AND DURING THE MAINTENANCE PERIOD.
- GENERAL CONTRACTOR SHALL LEAVE THE SITE FREE OF CONSTRUCTION DEBRIS.
- ALL LAWN AND PLANTING AREAS SHALL SLOPE TO DRAIN A MINIMUM OF 2% UNLESS NOTED OTHERWISE AND REVIEWED WITH OWNER'S REPRESENTATIVE FOR FINAL APPROVAL.
- FINISH GRADES FOR SHRUB AND GROUND COVER AREAS SHALL BE HELD 1" BELOW TOP OF ADJACENT PAVEMENTS AND CURBS, UNLESS NOTED OTHERWISE ON THE PLANS. REFER TO LSP1.2 FOR FURTHER INFORMATION.
- ALL PERENNIAL, ANNUAL AND GROUND COVER AREAS TO RECEIVE A BLEND OF ORGANIC SOIL AMENDMENTS PRIOR TO PLANTING. TILL THE FOLLOWING MATERIALS INTO EXISTING TOPSOIL TO A DEPTH OF APPROXIMATELY 8" - A DEPTH OF 12" IN TREE PITS. PROPORTIONS AND QUANTITIES MAY REQUIRE ADJUSTMENT DEPENDING ON THE CONDITION OF EXISTING SOIL. REFER TO LSP1.2 FOR FURTHER INFORMATION.  
**PER EVERY 100 SQUARE FEET ADD:** ONE - 2 CUBIC FOOT BALE OF PEAT MOSS, 2 POUNDS OF 5-10-15 GARDEN FERTILIZER, 1/4 CUBIC YARD OF COMPOSTED MANURE OR OTHER COMPOSTED, ORGANIC MATERIAL.
- ALL SHRUBS TO BE POCKET PLANTED WITH A 50/50 MIX OF COMPOSTED, ORGANIC MATERIAL AND EXISTING SOIL. INSTALL TOPSOIL INTO ALL BEDS AS NEEDED TO ACHIEVE PROPER GRADE. REMOVE ALL EXCESSIVE GRAVEL, CLAY AND STONES. REFER TO LSP1.2 FOR FURTHER INFORMATION.
- PLANT ALL TREES SLIGHTLY HIGHER THAN FINISHED GRADE AT ROOT FLARE. BACK FILL HOLE WITH 2/3 EXISTING TOPSOIL AND ORGANIC SOIL AMENDMENTS SPECIFIED IN NOTE 15. AVOID ANY AIR POCKETS. DISCARD ANY GRAVEL CLAY OR STONES. REFER TO LSP1.2 FOR FURTHER INFORMATION.
- ALL TREES TO BE INSTALLED, STAKED AND GUYED ACCORDING TO DETAILS. REFER TO ANSI STANDARDS FOR PLANTING 2012 AND DETAILS ON LSP1.2 FOR FURTHER INFORMATION.
- PROVIDE A 4'-0" - 5'-0" DIAMETER MULCH RING AT THE ROOT BALL FLARE OF ALL LAWN TREES.
- ALL PLANTINGS TO BE WATERED AT THE TIME OF PLANTING, THROUGHOUT CONSTRUCTION AND UPON COMPLETION OF PROJECT AS REQUIRED.
- WHERE SPECIFIED, ALL PLANT BEDS, PITS AND TREE RINGS ARE TO RECEIVE A MINIMUM OF 2" - 3" DRESSING OF SHREDDED HARDWOOD OAK BARK MULCH SHAVINGS FREE OF GROWTH, WEEDS, FOREIGN MATTER DETRIMENTAL TO PLANT LIFE OR GERMINATION INHIBITING INGREDIENTS. LANDSCAPE CONTRACTOR TO PROVIDE A SAMPLE TO OWNER FOR APPROVAL. CONTRACTOR TO TAKE CARE WITH INSTALLATION NOT TO DAMAGE OR COVER PLANTS. REFER TO LSP1.2 FOR FURTHER INFORMATION.
- LAWN INSTALLATION: CONTRACTOR TO FURNISH AND PREPARE TOPSOIL (3" MIN) AND SEED BED (REMOVE ALL STONES 1" OR LARGER), APPLY STARTER FERTILIZER AND SEED UNIFORMLY. PROVIDE A MULCH COVERING SUITABLE TO GERMINATE AND ESTABLISH TURF. EROSION CONTROL MESH SHOULD BE USED IN SWALES AND STEEP GRASSES WHERE APPLICABLE. METHODS OF INSTALLATION MAY VARY AT THE DISCRETION OF CONTRACTOR. IT IS HIS/HER RESPONSIBILITY TO ESTABLISH AND GUARANTEE A SMOOTH, UNIFORM, QUALITY TURF. IF STRAW MULCH IS USED AS A COVERING, A TACKIFIER MAY BE NECESSARY TO AVOID WIND DAMAGE.
- DELUXE 50 GRASS SEED MIX REINDER'S (800) 785-3301**  
20% KENTUCKY BLUE GRASS  
15% NEWPORT KENTUCKY BLUE GRASS  
15% SR 2100 Kentucky Bluegrass  
25% Creeping Red Fescue  
15% Replicator Perennial Ryegrass  
10% Floe 4 Perennial Ryegrass  
APPLY AT A RATE OF 200 POUNDS PER ACRE. REFER TO SUPPLIERS SPECIFICATIONS & INSTALLATION CUT SHEETS FOR FURTHER FORMATION
- DURING THE INITIAL "90 DAY MAINTENANCE PERIOD" THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE AND ON-GOING PLEASANT VISUAL ENVIRONMENT WHEREAS ANY PLANT WHICH IS NOT RESPONDING TO TRANSPORTING OR THIRIVING SHALL IMMEDIATELY BE REPLACED. NEW LAWNS SHALL BE WATERED AND REPAIRED AND WEEDS MUST CONSTANTLY BE REMOVED. NO EXCEPTIONS WILL BE GRANTED.  
**MAINTENANCE NOTE:**  
MAINTENANCE IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN REQUIRED LANDSCAPING IN ACCORDANCE WITH THE MUNICIPALITY'S PROPERTY MAINTENANCE CODE AND AN APPROVED MAINTENANCE PLAN. THE MAINTENANCE MUST INCLUDE, AT A MINIMUM, METHODS FOR PROVIDING THE FOLLOWING:  
• NECESSARY IRRIGATION (IF REQUIRED)  
• INTEGRATED PEST MANAGEMENT,  
• PROPER FERTILIZATION  
• TREE CARE AND PRUNING, SHRUB TIP CLIPPING AND SHAPING AS REQUIRED  
• REPLACEMENT OF LOST VEGETATION, AND ALL DISEASED, DAMAGED, OR DEAD MATERIAL WILL BE REPLACED BY THE END OF THE FOLLOWING PLANTING SEASON IN PERPETUITY.  
• WEED MANAGEMENT AND BED CARE.
- ALL NEWLY PLANTED TREES AND SHRUBS ARE TO RECEIVE AN APPLICATION OF AN ANTI-TRANSPIRANT SPRAY THAT WILL EFFECTIVELY REDUCE THE WATER LOSS OF TRANSPIRATION OF PLANT MATERIAL AND REDUCE THE STRESS OF TRANSPLANTATION. IT IS RECOMMENDED AS PART OF THE ONGOING MAINTENANCE THAT ANY BROADLEAF EVERGREEN AND CONIFEROUS TREE AND SHRUBS (EXCLUDING ARBORVITAE) RECEIVE AN APPLICATION OF AN ANTI-DESICCANT SPRAY TO REDUCE THE LOSS OF MOISTURE DUE TO WINTER DESICCATION. THE OWNER SHALL TEND AND MAINTAIN ALL PLANT MATERIAL IN A HEALTHY GROWING CONDITION AS PER THE APPROVED PLAN. PLANTINGS SHALL BE REPLACED WHEN NECESSARY AND KEPT FREE FROM REFUSE & DEBRIS. ALL PLANTING MATERIAL WHICH IS DYING OR DAMAGED BEYOND RECOVERY SHALL BE REPLACED WITHIN SIX (6) MONTHS OR BY THE NEXT PLANTING SEASON, WHICHEVER COMES FIRST.
- LANDSCAPE / SITE DEMOLITION CONTRACTOR TO VERIFY LOCATIONS OF EXISTING TREES AND SHRUBS TO BE SALVAGED AND CLEARLY TAG THEM WITH MARKING TAPE AND CONSTRUCTION FENCE.



Proposed Plant Material Table

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
2	AcpnN		<i>Acer pseudoplatanus</i> 'Northwind'	Northern Green Maple	2 1/2" Cal - B&B	1
2	BenH		<i>Betula nigra</i> 'Heritage'	Heritage River Birch	10' - 12' Cal - B&B	2
2	GibiPS		<i>Ginkgo biloba</i> 'Princeton Sentry'	Princeton Sentry Maidenhair Tree	2 1/2" Cal - B&B	1, 6
5	MaAk		<i>Malus 'Adirondack'</i>	Adirondack Flowering Crab	1 1/2" Cal - B&B	1
2	NysyW		<i>Nyssa sylvatica</i> 'Wildfire'	Wildfire Black Gum	2 1/2" Cal - B&B	1
1	Qubi		<i>Quercus bicolor</i>	Swamp White Oak	2 1/2" Cal - B&B	1
-	Extg		Existing to Remain	Existing to Remain	Existing	3
1	Extg		Existing to be Removed	Existing to be Removed	Extg 12" Cal Demo	4
1	Extg		Existing to be Removed	Existing to be Removed	Extg 10" Cal Demo	4

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
1	Extg		Existing to be Removed	Existing to be Removed	Extg 14" Cal Demo	4
3	Extg		Existing to be Removed	Existing to be Removed	Extg 12" Cal Demo	4
1	Extg		Existing to be Removed	Existing to be Removed	Extg 18" Cal Demo	4
1	Extg		Existing to be Removed	Existing to be Removed	Extg 8" Cal Demo	4
1	Extg		Existing to be Removed	Existing to be Removed	Extg 10" Cal Demo	4

Quantity	Code Name	Symbol	Scientific Name	Common Name	Planting Size	Comments
19	CostF		<i>Cornus stolonifera</i> 'Farrow'	Arctic Fire Red Twig Dogwood	18" - 24" - Cont	5
7	EualC		<i>Euonymus alatus</i> 'compatus'	Dwarf Burning Bush	18" - 24" - Cont	5
20	SapuN		<i>Salix purpurea</i> 'Nana'	Dwarf Arctic Blue Leaf Willow	18" - 24" - Cont	5

**Stormwater Management Areas**

Quantity	Symbol	Supplier	Type
3,700 sq. ft. VERIFY		Cardno	Economy Prairie Seed Mix - mixture contains 7 native permanent grass/ sedge species and 15 native forb species. Apply at 10 FLS pounds per acre. Refer to cut sheets for mix specifics and installation instructions.

Quantity	Symbol	Supplier	Type
5,800 sq. ft. VERIFY		Cardno	Rainwater Renewal Seed Mix - mixture contains 15 native permanent grass/ sedge species and 19 native forb species. Refer to cut sheets for mix specifics and installation instructions.

- Comments**
- Straight central leader, full & even crown. Prune only after planting.
  - Well balanced, multi-stemmed tree with a minimum of (3) strong canes and full appearance.
  - Prune existing tree, remove any dead, diseased or hazardous limbs. Thin out as required and raise canopy for safety and visibility for both pedestrians and motorists.
  - Remove tree in its entirety and grind stump to a minimum of 6" below adjacent grade. Remove grinding chips and fill hole with topsoil. Sow with specified turf grass seed as required.
  - Full, well rooted plant, evenly shaped.
  - Male only

**LANDSCAPE PLAN CODED CONSTRUCTION NOTES**

- LANDSCAPE / SITE DEMOLITION CONTRACTOR TO VERIFY LOCATIONS OF EXISTING TREES TO BE SALVAGED AND CLEARLY TAG THEM WITH MARKING TAPE AND CONSTRUCTION FENCE.
- LANDSCAPE INSTALLATION CONTRACTOR TO COORDINATE INSTALLATION OF NEW PLANT MATERIAL AND THE COORDINATION WITH EXISTING TREES TO BE SALVAGED.
- PLANTING BED MULCH AREA. DRESS WITH 2"-3" OF SHREDDED HARDWOOD BARK MULCH. TAKE CARE WITH INSTALLATION NOT TO DAMAGE OR COVER PLANTS. REFER TO GENERAL NOTES AND SPECIFICATIONS FOR FURTHER INFORMATION.
- EARTHEN BED EDGE (SHOVEL POINT) LANDSCAPE EDGE. TYPICAL ALL PLANT MATERIAL AREAS. DRESS WITH 2"-3" OF SHREDDED HARDWOOD BARK MULCH. REFER TO GENERAL NOTES AND SPECIFICATIONS FOR FURTHER INFORMATION.
- MULCHED 4'-0" DIA. TREE RING BED AREA w/ EARTHEN BED EDGE (SHOVEL POINT) LANDSCAPE EDGE AS REQUIRED. DRESS WITH 2"-3" OF SHREDDED HARDWOOD BARK MULCH. REFER TO LSP1.2, GENERAL NOTES AND SPECIFICATIONS FOR FURTHER INFORMATION.
- SEEDED AREAS OF TURF GRASS. REPAIR ANY AND ALL TURF DAMAGE FROM THE CONSTRUCTION PROCESS. IT IS VERY IMPORTANT TO FOLLOW THE MANUFACTURER'S INSTALLATION INSTRUCTIONS REGARDING THE TURF GRASS FOR PROPER GERMINATION AND SURVIVABILITY OF THE SEED MIX AND REFER TO GENERAL NOTES FOR PREPARATION OF TOP SOIL AND SEED INSTALLATION. ALSO, REFER TO GRADING PLAN, GENERAL NOTES AND SPECIFICATIONS FOR FURTHER INFORMATION.
- REMOVE EXISTING TREE IN ITS ENTIRETY. GRIND STUMP TO A DEPTH OF 8"-12" BELOW THE SOIL SURFACE AND PREPARE FOR NEW TURF GRASS SEEDING OR NEW SPECIFIED PLANT MATERIAL. REMOVE ALL ADJACENT SURFACE ROOTS AS REQUIRED FOR NEW INSTALLATION. REMOVE AND HAUL AWAY ALL DEBRIS AND BARK CHIPS.
- BIONET - 5150BN- SHORT-TERM BIODEGRADABLE DOUBLE-NET STRAW BLANKET (0.23 INCHES) INSTALLED AT BIO RETENTION BASINS ABOVE STORM-WATER SEED MIX AND BELOW PROPOSED RIPRAP - INSTALL WITH 4 INCH BIODEGRADABLE NORTH AMERICAN GREEN BIOSTAKE.
- RAIN WATER RENEWAL SEED MIX FROM AGRECOLF FOR LOWER 2/3 OF THE STORMWATER MANAGEMENT BOWL. APPLY AT A RATE OF 33 LBS/ACRE. IT IS VERY IMPORTANT TO FOLLOW THE MANUFACTURER'S INSTALLATION INSTRUCTIONS REGARDING THE PRAIRIE GRASS FOR PROPER GERMINATION AND SURVIVABILITY. ALSO REFER TO GENERAL NOTES FOR PREPARATION OF TOP SOIL AND SEED INSTALLATION. REFER TO GRADING PLAN FOR FURTHER INFORMATION.
- ECONOMY PRAIRIE SEED MIX FROM AGRECOLF FOR UPPER 1/3 OF THE STORMWATER MANAGEMENT BOWL. A RATE OF 38.5 LBS/ACRE. IT IS VERY IMPORTANT TO FOLLOW THE MANUFACTURER'S INSTALLATION INSTRUCTIONS REGARDING THE PRAIRIE GRASS FOR PROPER GERMINATION AND SURVIVABILITY. REFER TO GENERAL NOTES FOR PREPARATION OF TOP SOIL & SEED INSTALLATION AND TO GRADING PLAN FOR FURTHER INFORMATION.
- ALL PLANT MATERIAL WITHIN THE ECONOMY PRAIRIE SEED MIX] TO BE INSTALLED WITH A 4'-0" DIAMETER BIO-DEGRADABLE WOVEN/FIBROUS RING. A LESSER/TEMPORARY MULCH RING IS INTENDED FOR INITIAL FIRST SEASON ROOT ESTABLISHMENT. AFTER THE FIRST GROWING SEASON IT IS EXPECTED THAT THE TREE / LARGE SHRUB WOULD BE ESTABLISHED AND WOULD NO LONGER REQUIRE A MULCH RING AND THE NO-MOW LOW GROW GRASS WILL ESTABLISH ITSELF AND COVER THE TREE RING / ROOT BALL ALONG WITH THE REST OF THE BERMED AREA. REFER TO LSP1.2, GENERAL NOTES AND SPECIFICATIONS FOR FURTHER INFORMATION.

TO OBTAIN LOCATION OF PARTICIPANT'S UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

**DIGGERS HOTLINE**

WISCONSIN STATUTE 182.0175 (1974) REQUIRES A MINIMUM OF 3 DAYS NOTICE BEFORE YOU EXCAVATE (NOT INCLUDING SATURDAY, SUNDAY OR LEGAL HOLIDAYS)

UNDERGROUND SEWER AND UTILITY INFORMATION AS SHOWN IS OBTAINED FROM THE RECORDS OF MUNICIPALITY AND LOCAL UTILITY COMPANIES. THE ACCURACY OF WHICH CAN NOT BE GUARANTEED OR CERTIFIED TO. THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS DRAWING ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

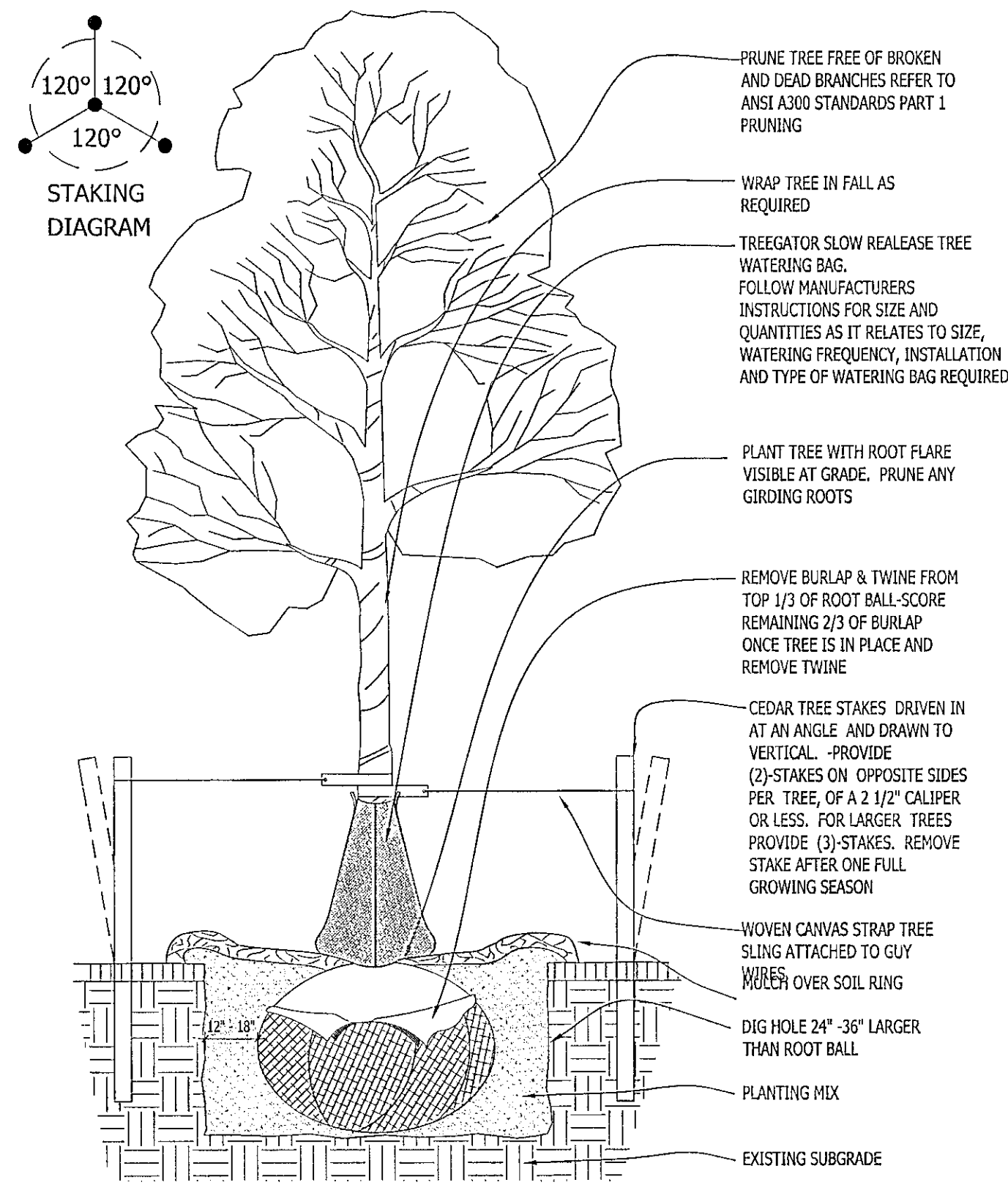
TO OBTAIN LOCATION OF PARTICIPANT'S UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN CALL THE MILWAUKEE UTILITY ALERT NETWORK  
www.diggershotline.com  
1800-242-8511  
OR

**811**  
Know what's below.  
Call 811 before you dig.

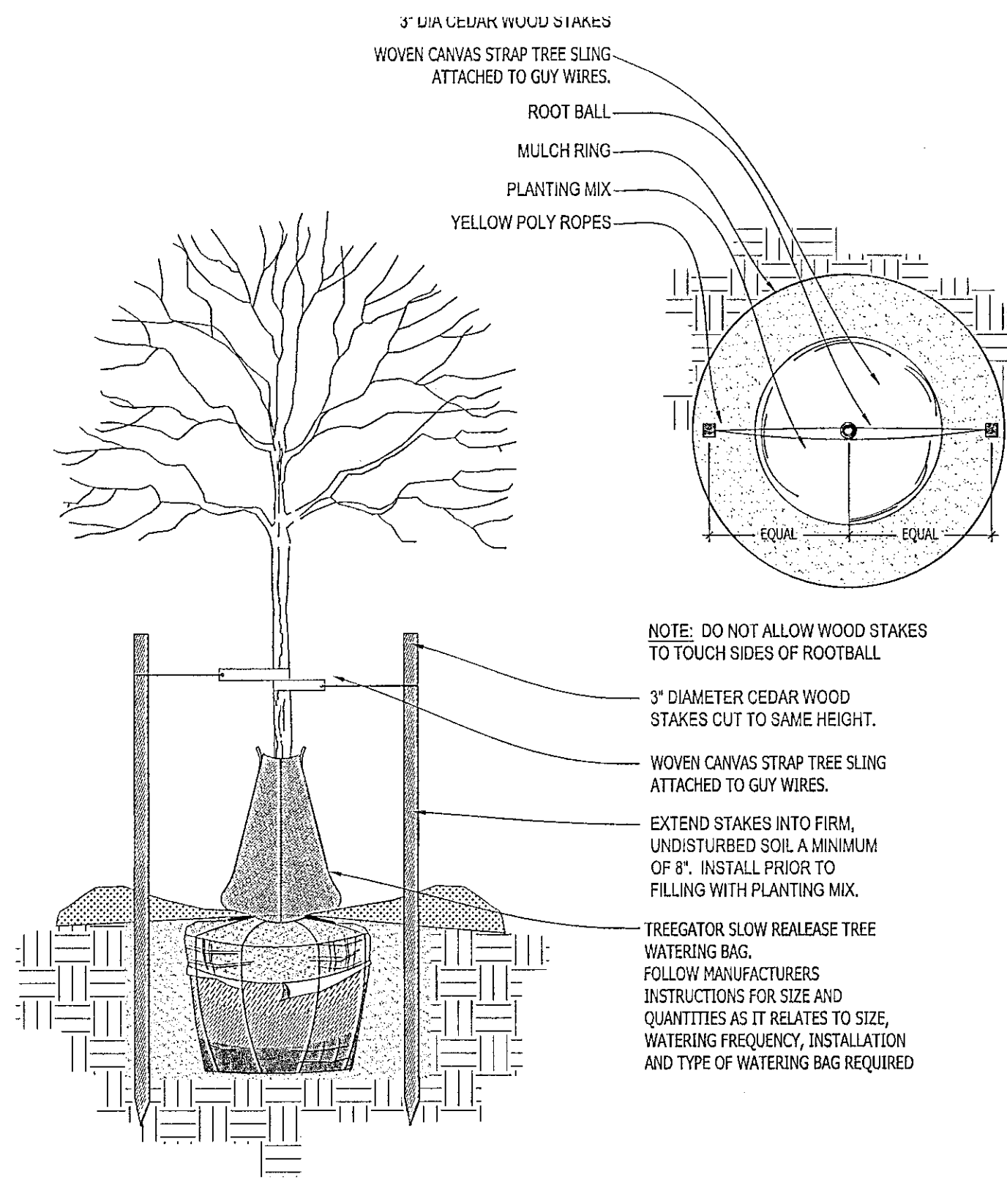
CONSTRUCTION SET USE NO OTHER - DO NOT SCALE THESE DRAWINGS-

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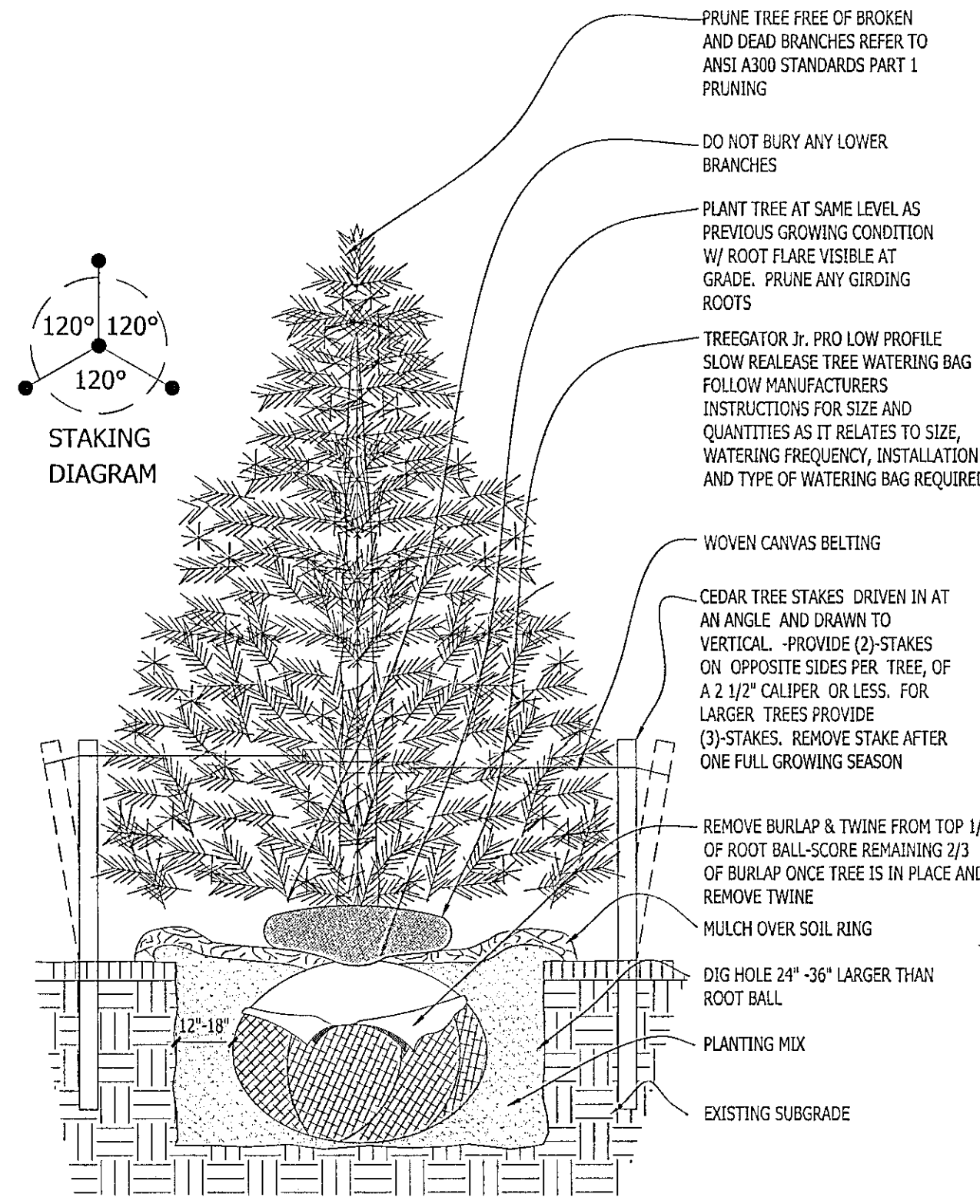




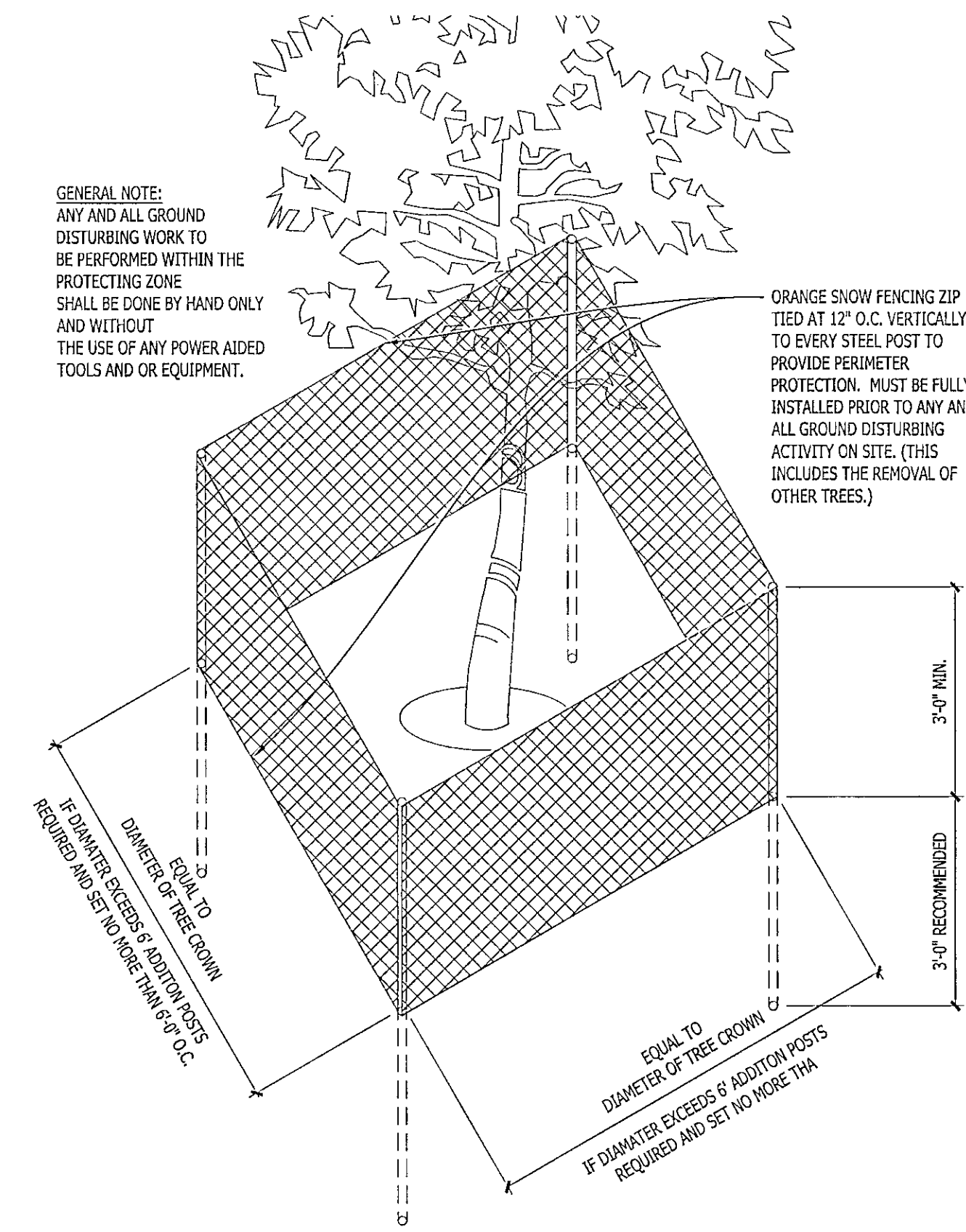
1 DECIDUOUS TREE PLANTING DETAIL SCALE: NONE



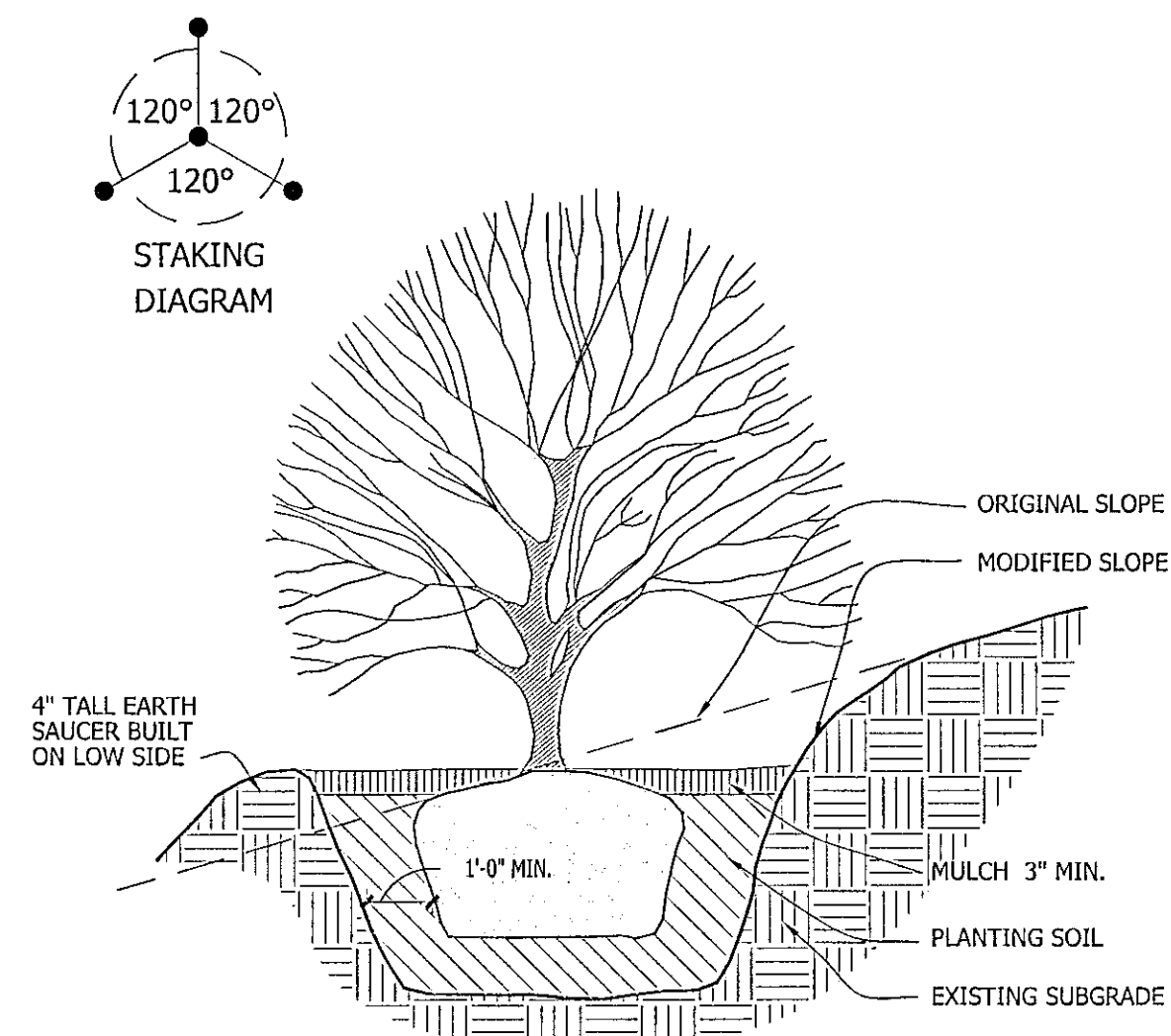
2 DECIDUOUS TREE STAKING PARKING ISLAND/RESTRICTED AREAS SCALE: NONE



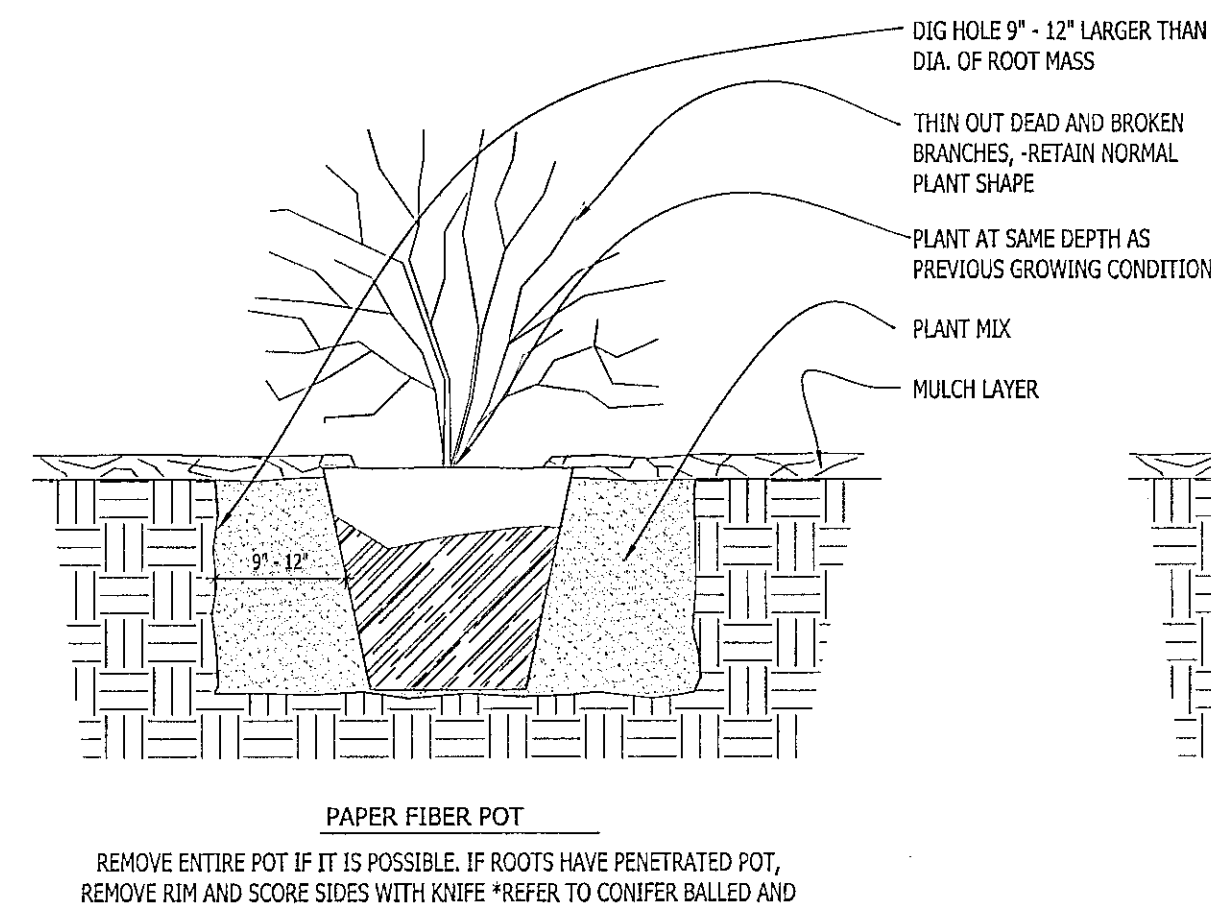
3 CONIFEROUS TREE PLANTING DETAIL SCALE: NONE



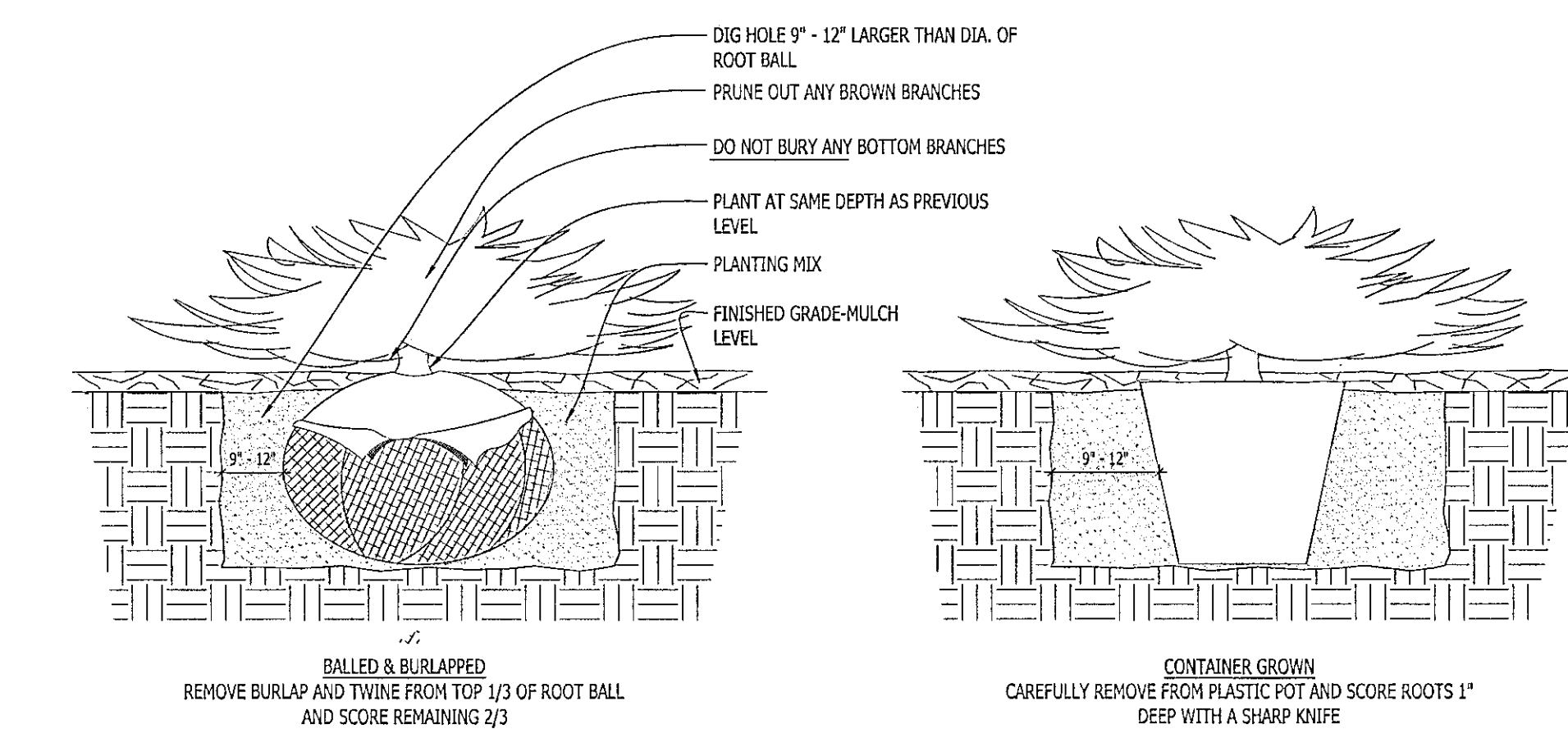
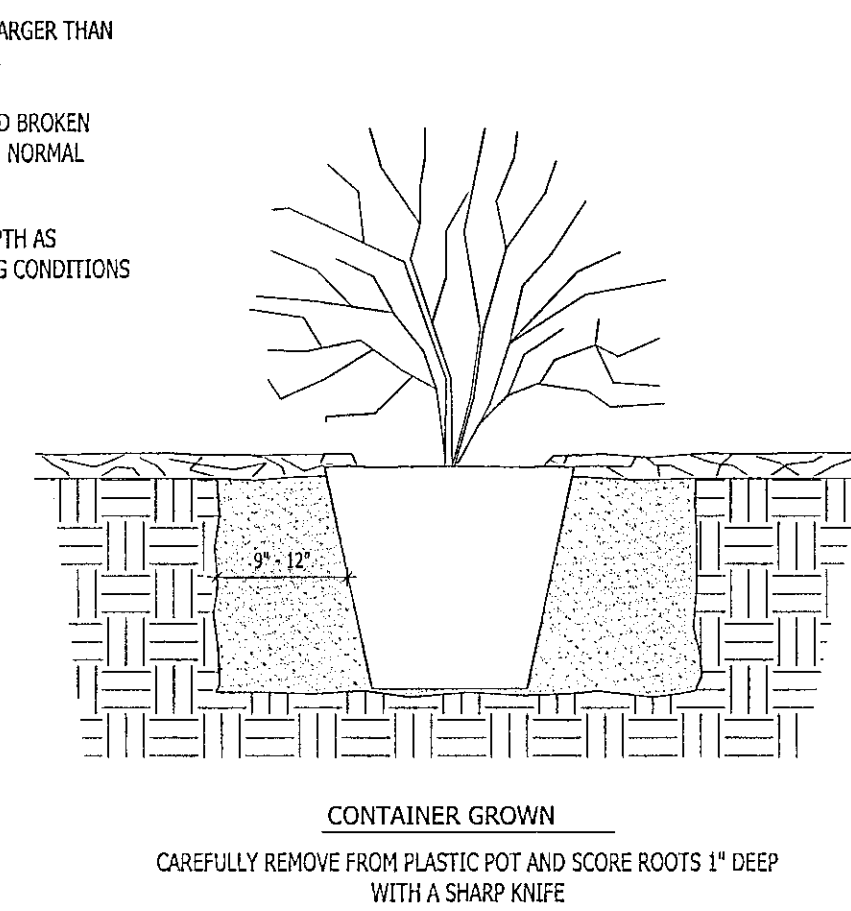
4 EXISTING TREE PROTECTION DETAIL SCALE: NONE



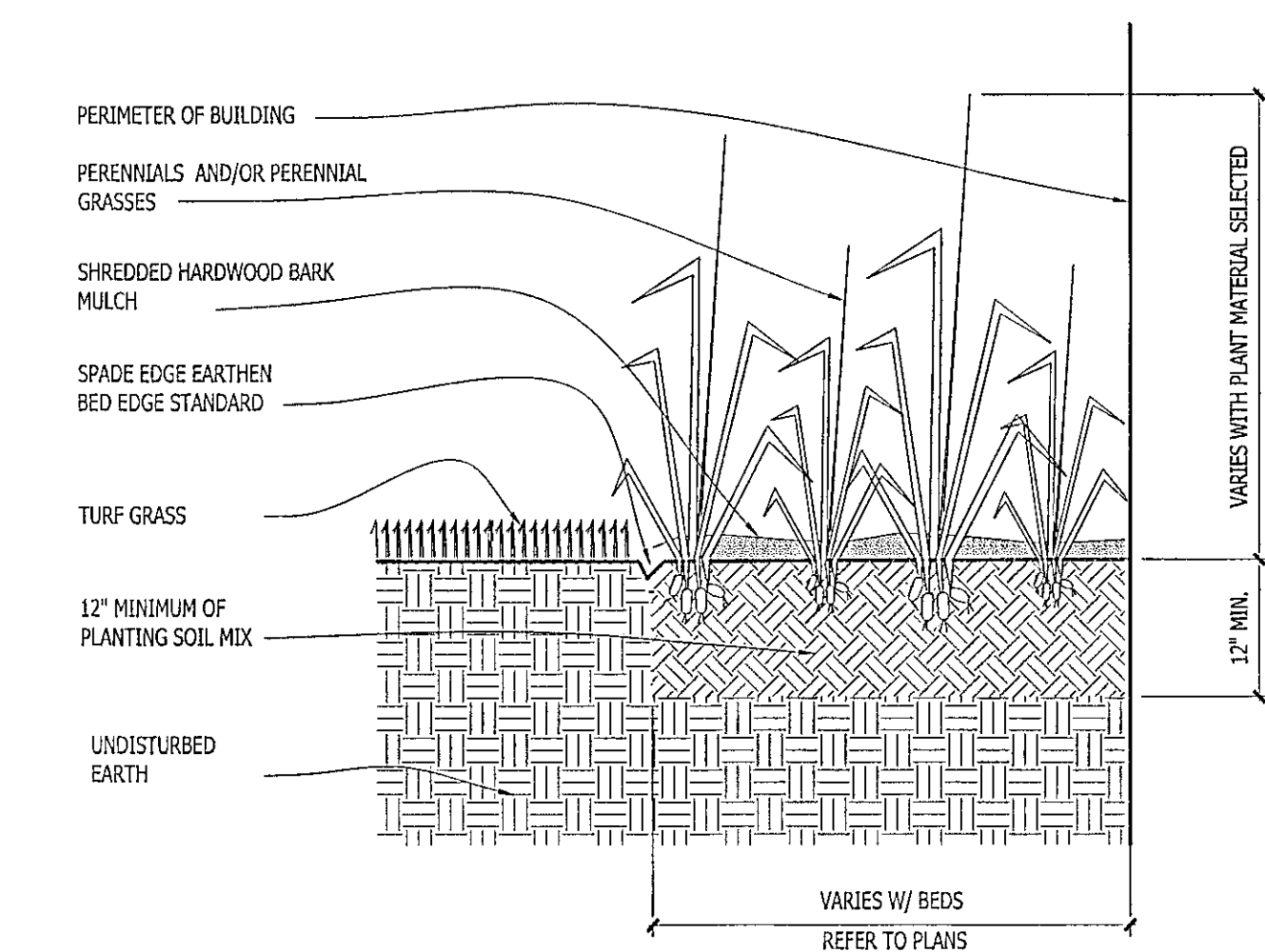
5 SLOPE PLANTING DETAIL SCALE: NONE REFER TO TYPICAL DECIDUOUS TREE DETAIL FOR STAKING



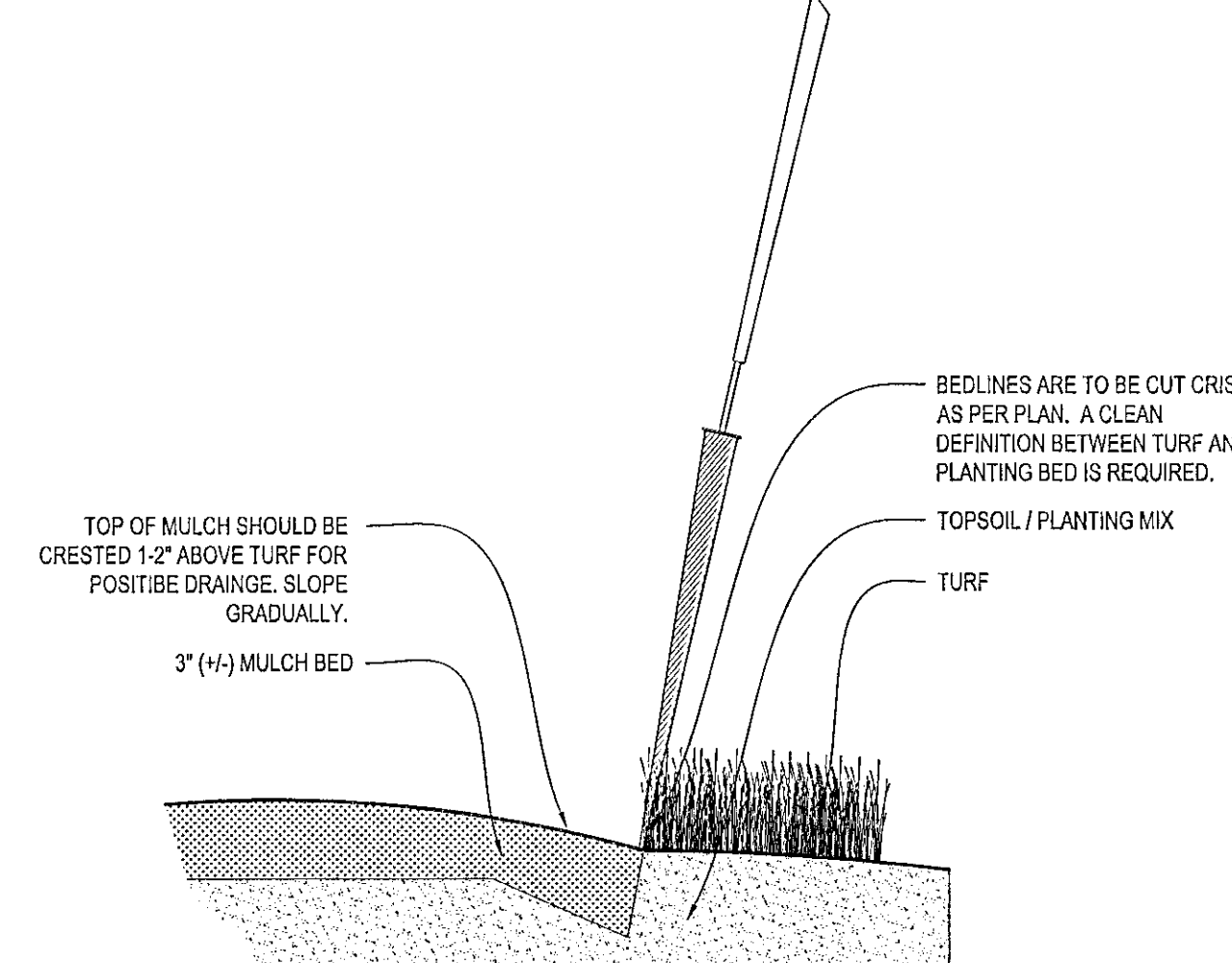
6 DECIDUOUS SHRUB PLANTING DETAIL SCALE: NONE



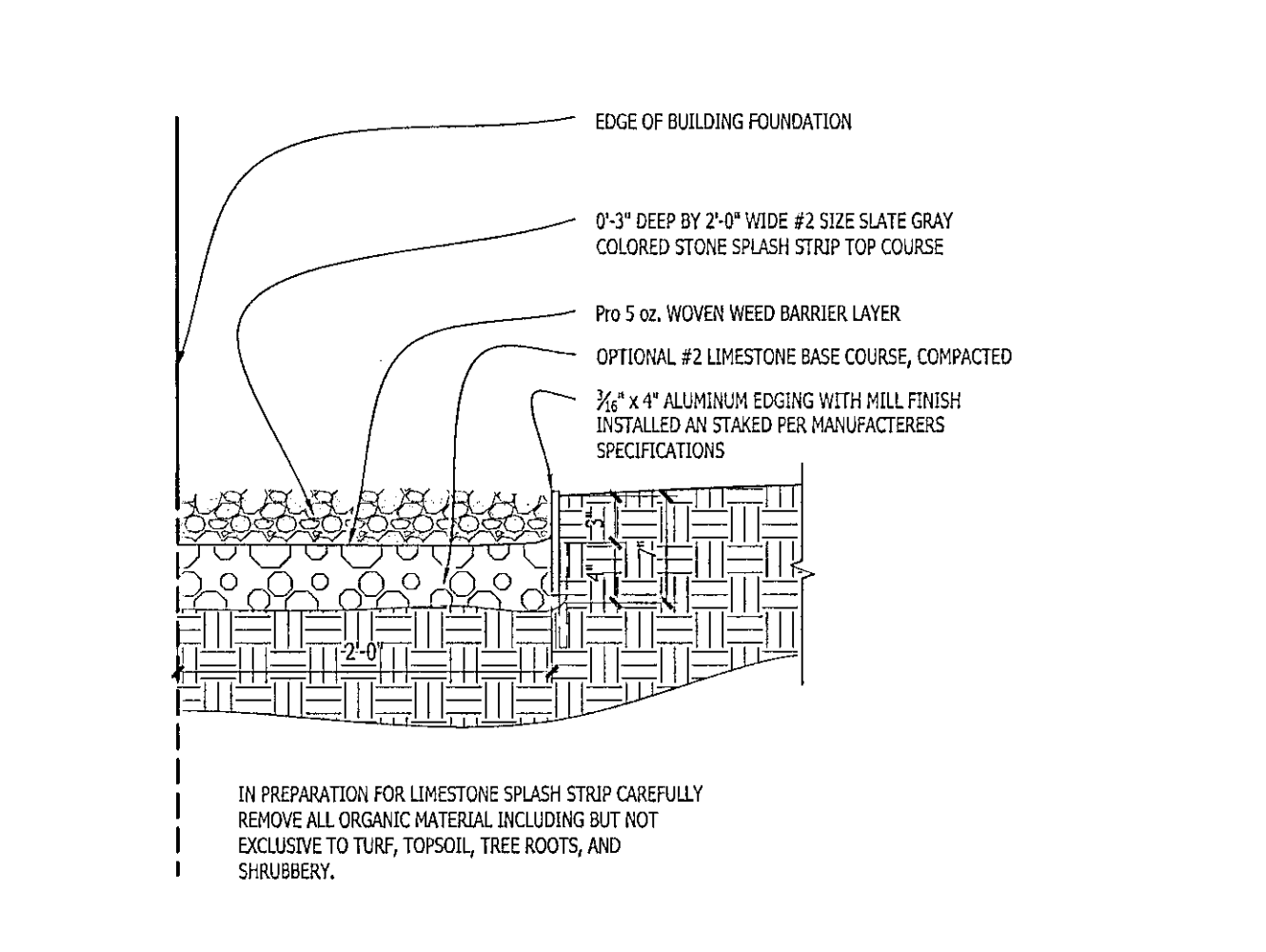
7 CONIFEROUS SHRUB PLANTING DETAIL SCALE: NONE



9 SPADE EDGE PLANT BED EDGE DETAIL SCALE: NONE



10 METAL LANDSCAPE EDGING DETAIL SCALE: 1/2\"/>



11 COMPACTED GRAVEL SPLASH STRIP SCALE: 1\"/>

Issuance and Revisions:

Date	Number	Description
05/26/23		Plan Commission Submittal
06/06/23		Revisions Based on Client Comments
08/25/23		Construction Document Submittal

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Sheet Title:

PROPOSED LANDSCAPE PLAN,  
PLANTING DETAILS

Date of Drawing: 08/25/23

Scale: As Noted

Drawn By: MCD

Job Number: L23-035

Sheet Number:

**LSP1.2**

CONSTRUCTION SET USE NO OTHER- DO NOT SCALE THESE DRAWINGS-

L23-035 - CLIMATE CONTROLLED STORAGE - 08/25/2023





BUILDING A WEST ELEVATION RENDERING





BUILDING A EAST ELEVATION RENDERING





BUILDING B & C WEST ELEVATION RENDERING





BUILDING B & C SOUTHEAST ELEVATION RENDERING





NORTH ELEVATION DAY RENDERING





NORTH ELEVATION NIGHT RENDERING