

SEAL:

STUART ANDERSON, P.E.
WL. REG. #44904-6

HEARTLAND DENTAL SUNSET DR. & TENNY AVE. WAUKESHA, WI 53189

VICINITY MAP



LEGAL DESCRIPTION

AS DESCRIBED IN CHICAGO TITLE INSURANCE COMPANY – FIDELITY NATIONAL TITLE INSURANCE COMPANY ORDER NUMBER CO-7016 NCS-MI-FILE NO. 17-111319 WITH AN EFFECTIVE DATE OF NOVEMBER 21, 2017 – REVISION A.

LOT 3 OF CERTIFIED SURVEY MAP NO. 11606, RECORDED AUGUST 23, 2017 IN BOOK 116 OF CERTIFIED SURVEY MAPS ON PAGES 94-97, AS DOCUMENT NO. 4295767, BEING A DIVISION OF LOTS 2 AND 3 IN CERTIFIED SURVEY MAP NO. 11263, BEING A DIVISION OF PART OF THE NORTHEAST 1/4 AND SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 14, TOWNSHIP 6 NORTH, RANGE 19 EAST, IN THE CITY OF WAUKESHA, COUNTY OF WAUKESHA, STATE OF WISCONSIN.

TAX KEY NO: WAKC 1350.256 (LOT 3) AND PART OF WAKC 1350.255 (LOT 2)
ADDRESS: SITUATED ON E. SUNSET DRIVE

REVISION ISSUE LOG

REV #	ISSUE DATE	DESCRIPTION	AFFECTED SHEETS	REMARKS	BY

SHEET INDEX

SHT. NO.	DESCRIPTION
CS	COVER SHEET
CIVIL DRAWINGS	
C0	GENERAL NOTES
C1	SITE DIMENSION PLAN
C2	SITE UTILITY PLAN
C3	GRADING AND DRAINAGE PLAN
C3.1	STORMWATER POLLUTION PREVENTION CONTROL
C4	DETAILS
C4.1	DETAILS
SL1	SITE LIGHTING PLAN
L1	LANDSCAPE PLAN
L2	LANDSCAPE DETAILS
L3	IRRIGATION PLANS
L4	IRRIGATION DETAILS
-	SURVEY

NO DATE REVISIONS

LOCATION MAP



OWNER & CONSULTANTS

OWNER

MELIER STORES LP
2929 WALKER AV NW
GRAND RAPIDS, MI 49544

ARCHITECT

INTERPLAN LLC
604 COURTLAND ST, SUITE 100
ORLANDO, FL 32804
CONTACT: JAY SCHONEMAN

CIVIL ENGINEER

INTERPLAN LLC
604 COURTLAND ST, SUITE 100
ORLANDO, FL 32804
CONTACT: CHRIS BLURTON



SUNSET DR. & TENNY AVE.
WAUKESHA, WI 53189

PROJECT NO: 2017.0582
DATE: 3-1-18

CS
COVER SHEET

CHECKED: CDB DRAWN: H.M

SEAL:

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NO DATE REMARKS
REVISIONS



SUNSET DR. & TENNY AVE.
WAUKESHA, WI 53189

PROJECT NO: 2017.0582
DATE: 3-1-18

C1
SITE DIMENSION PLAN

CHECKED: CDB DRAWN: H.M.

TRAFFIC CONTROL & SIGNAGE

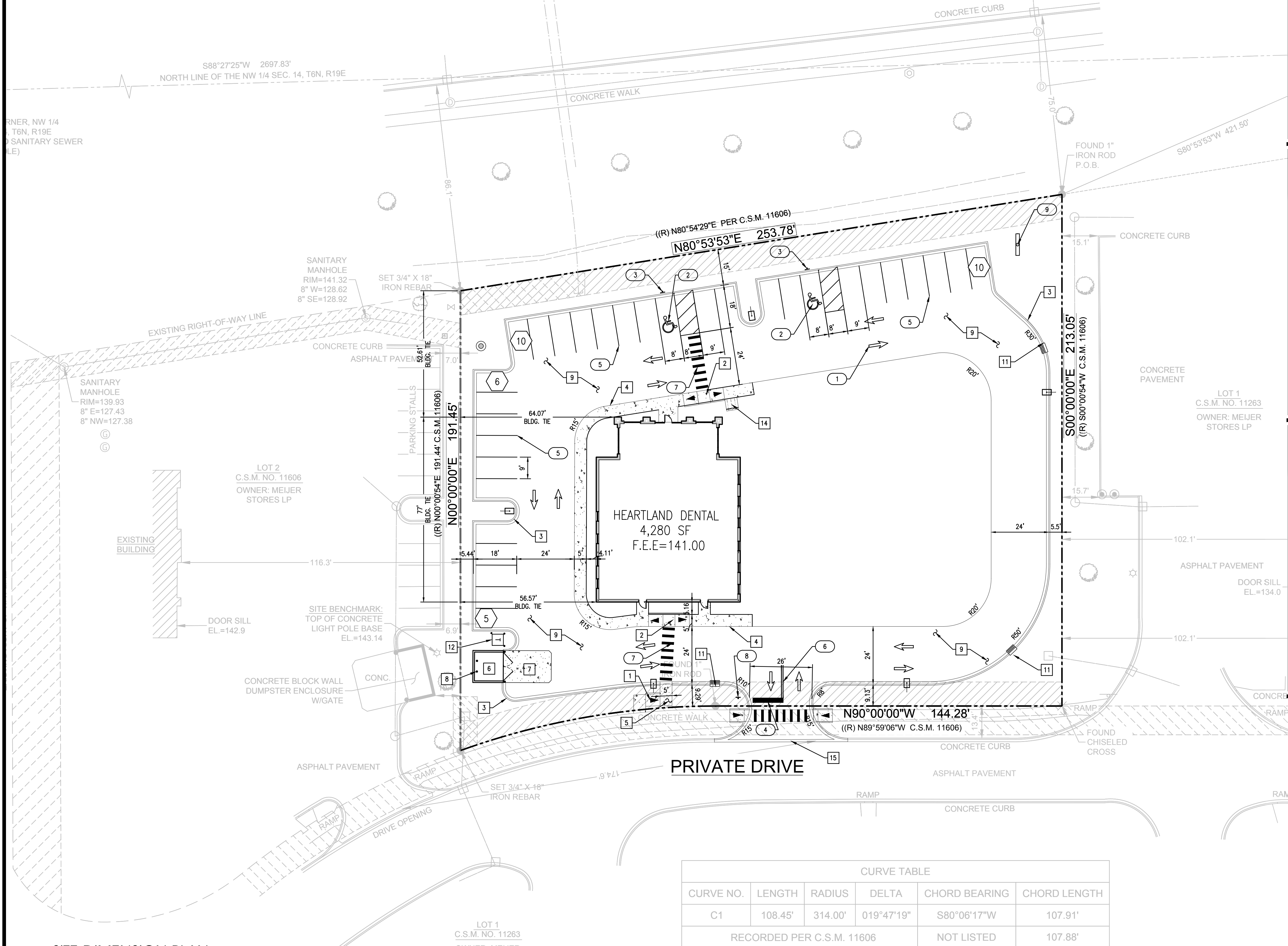
- 1 DIRECTIONAL ARROW (11 C4) (TYP.)
- 2 HANDICAP PAVEMENT SYMBOLS (12 C4) (TYP.)
- 3 HANDICAP SIGN (13 C4)
- 4 24" WIDE WHITE STOP BAR (TYP.)
- 5 PAVEMENT STRIPING (4" WHITE) (TYP.)
- 6 4" DOUBLE YELLOW LINE
- 7 24" WIDE WHITE CROSSWALK STRIPING
- 8 30" STOP SIGN (R1-1)
- 9 MONUMENT SIGNAGE

- ALL TRAFFIC CONTROL SIGNAGE SHALL CONFORM TO "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" BY THE U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION.
- WORK DONE WITHIN SUNSET DRIVE R.O.W. SUBJECT TO CITY OF WAUKESHA REVIEW AND APPROVAL.

SITE NOTES

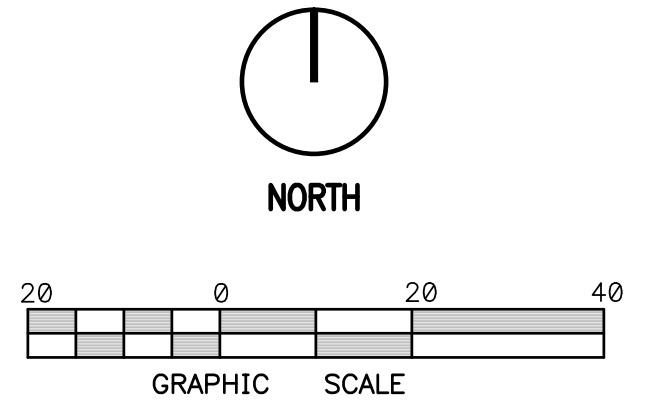
- 1 HANDICAP RAMP (14 C4)
- 2 SIDEWALK RAMP (15 C4)
- 3 CONC. CURB AND GUTTER (5 C4) (TYP.)
- 4 MONOLITHIC CURB AND SIDEWALK (6 C4)
- 5 CONCRETE SIDEWALK (8 C4)
- 6 DUMPSTER ENCLOSURE (1-3 C4)
- 7 CONCRETE APRON (7 C4)
- 8 BOLLARD (4 C4)
- 9 ASPHALT PAVEMENT (10 C4)
- 10 EXISTING FIRE HYDRANT (SEE SHEET C2)
- 11 DRAINAGE STRUCTURES
- 12 TRANSFORMER PAD
- 13 LIGHT POLE
- 14 BIKE RACK (9 C4)
- 15 VALLEY GUTTER (17 C4)

EAST SUNSET DRIVE
(VARIABLE PUBLIC R.O.W.)
ASPHALT PAVEMENT



CURVE TABLE

CURVE NO.	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C1	108.45'	314.00'	019°47'19"	S80°06'17"W	107.91'
RECORDED PER C.S.M. 11606				NOT LISTED	107.88'



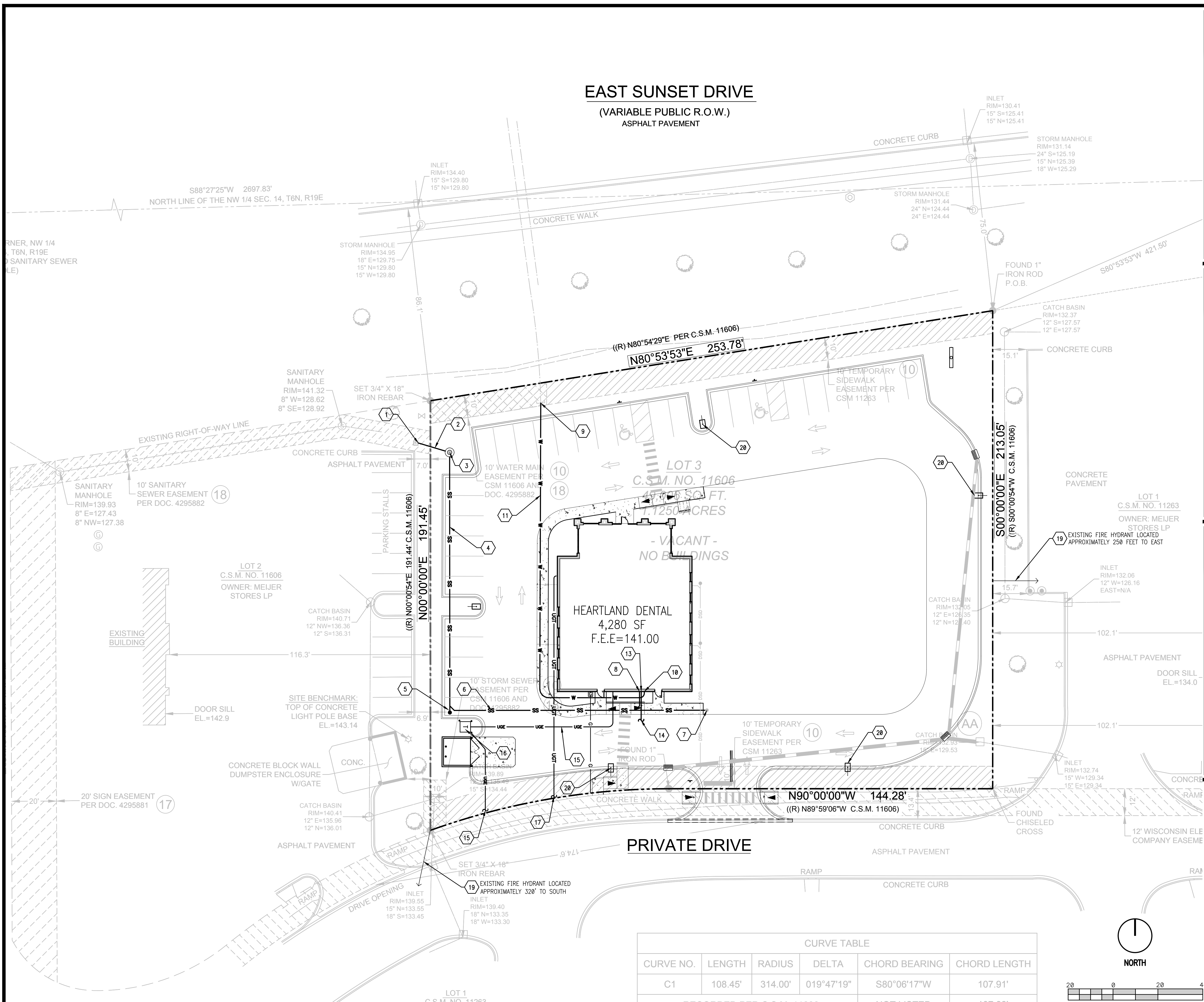
REFER TO SHEET C0 FOR GENERAL NOTES, SPECIFICATIONS, AND LEGENDS, IN ADDITION TO SITE-SPECIFIC NOTES AND REQUIREMENTS.

SITE DIMENSION PLAN

1:20'
LOT 1
C.S.M. NO. 11263
OWNER: MEIJER STORES LP

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EAST SUNSET DRIVE
(VARIABLE PUBLIC R.O.W.)
ASPHALT PAVEMENT



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SITE UTILITY NOTES

- SANITARY SEWER**
- 1 CONNECT TO EXISTING 8" SANITARY SEWER
STUB-OUT @ INV. = ± 129.50
(CONTRACTOR TO UNCOVER AND CONFIRM LOCATION, SIZE AND ELEVATION OF STUB OUT AT START OF CONSTRUCTION)
 - 2 15 LF - 8" PVC @ 0.40% SLOPE
 - 3 SANITARY SEWER MANHOLE #1
RIM = 140.85
INV. IN = 129.65
INV. OUT = 129.55
 - 4 112 LF - 6" PVC @ 1.0% SLOPE
 - 5 CLEAN OUT
INV. OUT = 130.77
 - 6 112 LF - 6" PVC @ 1.0% SLOPE (16 C4) (TYP.)
 - 7 CLEAN OUT
RIM = 140.80
INV. IN = 132.89
INV. OUT = 131.89
 - 8 10 LF - 4" PVC @ 2.0% SLOPE
CONNECT TO BUILDING SEWER LINE @ INV. ELEV = ±131.87
- DOMESTIC WATER**
- 9 CONNECT TO EXISTING 2" WATER MAIN STUB-OUT
(LOCATION AND SIZE FROM 'PANDA EXPRESS' PLANS, CONTRACTOR TO UNCOVER AND CONFIRM)
 - 10 1" WATER METER AND RPZ
BACKFLOW PREVENTER
(LOCATED INSIDE BUILDING)
 - 11 2" PE WATER SERVICE TO BUILDING
 - 12 NOT USED
- IRRIGATION**
- 13 1" IRRIGATION METER AND RPZ
BACKFLOW PREVENTER
(LOCATED INSIDE BUILDING)
 - 14 1.5" IRRIGATION SERVICE FROM BUILDING
(SEE IRRIGATION SITE PLAN)
- ELECTRIC**
- 15 CONTRACTOR SHALL COORDINATE UNDERGROUND ELECTRICAL SERVICE WITH WE ENERGIES FOR CONDUIT SIZE, CONNECTION POINT AND APPROVED TRANSFORMER LOCATION.
 - 16 TRANSFORMER PAD. CONTRACTOR TO COORDINATE WITH WE ENERGIES FOR FINAL LOCATION OF TRANSFORMER TO BE SET.
- PHONE**
- 17 CONTRACTOR SHALL COORDINATE UNDERGROUND TELEPHONE SERVICE WITH AT&T TELEPHONE FOR CONDUIT SIZE, CONNECTION POINT.
- GAS**
- 18 CONTRACTOR SHALL COORDINATE UNDERGROUND GAS SERVICE WITH WE ENERGIES FOR CONDUIT SIZE, CONNECTION POINT.
- FIRE**
- 19 EXISTING FIRE HYDRANT (EXISTING)
- STREET LIGHT**
- 20 LIGHT POLE (SEE ELECTRICAL SITE PLAN)

INTERPLAN
ARCHITECTURE
ENGINEERING
INTERIOR DESIGN
PROJECT MANAGEMENT

AA 003420
CA 8660

604 COURTLAND STREET
SUITE 100
ORLANDO, FLORIDA 32804
PH 407.645.6008
FX 407.629.9124

SEAL:

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WL. REG. #44904-6

REFER TO SHEET C0 FOR GENERAL NOTES,
SPECIFICATIONS, AND LEGENDS, IN ADDITION
TO SITE-SPECIFIC NOTES AND REQUIREMENTS.

NO DATE REMARKS
REVISIONS



SUNSET DR. & TENNY AVE.
WAUKESHA, WI 53189

PROJECT NO: 2017.0582
DATE: 3-1-18

C2
SITE UTILITY PLAN

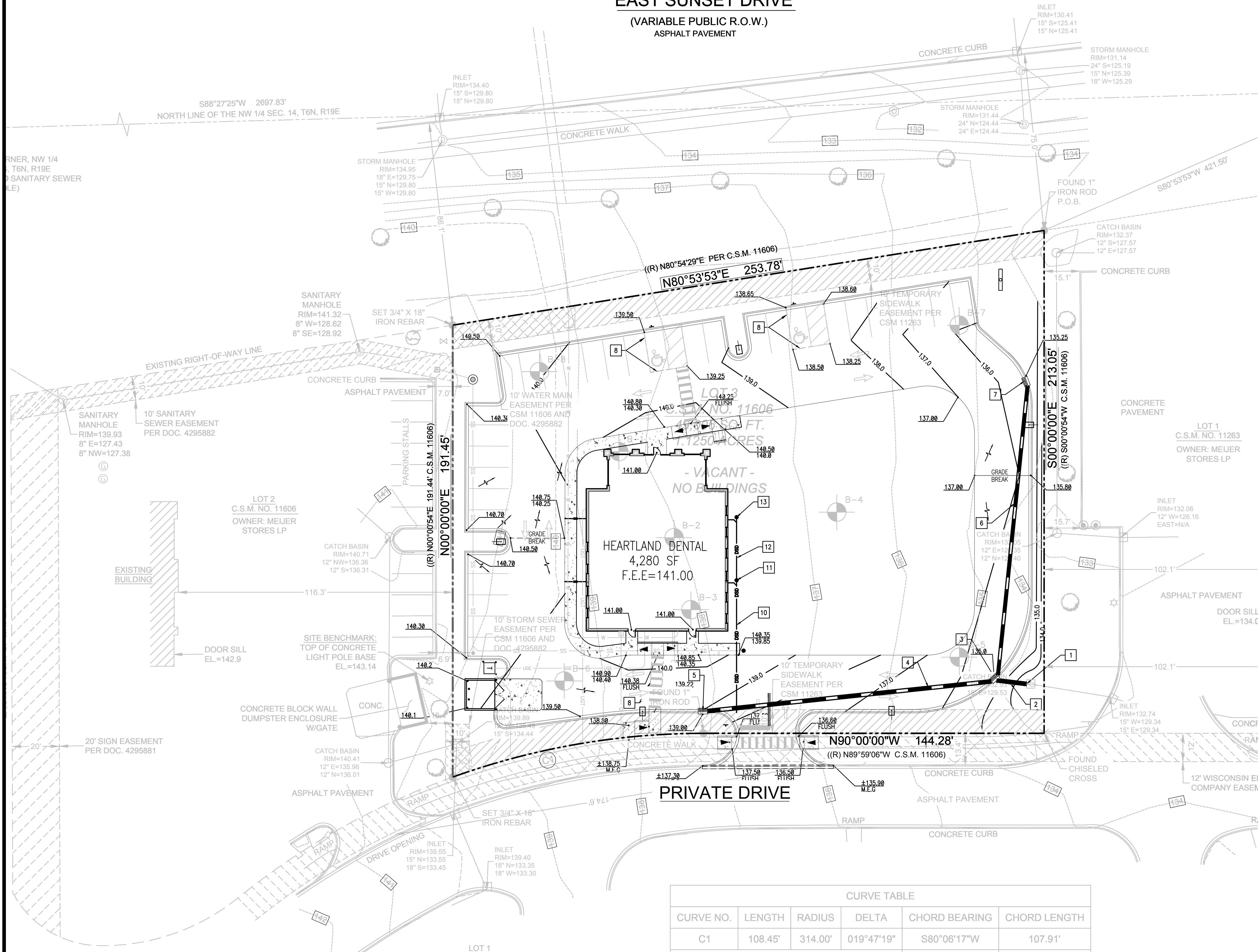
CHECKED: CDB DRAWN: H.M

SITE UTILITY PLAN

1:20'
LOT 1
C.S.M. NO. 11263
OWNER: MEIJER
STORES LP

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EAST SUNSET DRIVE
(VARIABLE PUBLIC R.O.W.)
ASPHALT PAVEMENT



CURVE TABLE

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DRAINAGE STRUCTURE TABLE

- 1 CORE DRILL AND CONNECT TO EXISTING DROP INLET @ INV. ELEV. = 129.63
 - 2 14 LF 15" HDPE @ 0.2%
 - 3 INLET #1 STORMWATER INLET WITH TYPE "W" GRATE
GRATE ELEV. = 135.00
INV. ELEV. (C) = 129.63
INV. ELEV. (N) = 129.63
INV. ELEV. (W) = 129.63
 - 4 120 LF 15" HDPE @ 2%
 - 5 INLET #2 STORMWATER INLET WITH TYPE "W" GRATE
GRATE ELEV. = 139.00
INV. ELEV. (E) = 132.03
 - 6 129 LF 15" HDPE @ 2%
 - 7 INLET #3 STORMWATER INLET WITH TYPE "W" GRATE
GRATE ELEV. = 135.25
INV. ELEV. (S) = 132.21
 - 8 HANDICAP ZONE - MAX. 2.0% SLOPE IN ANY DIRECTION.
 - 9 ACCESSIBLE ROUTE MAX. 2% CROSS SLOPE, 5% IN DIRECTION OF TRAVEL
 - 10 55 LF - 6" PVC @ 1.1% SLOPE
 - 11 C.O. INV. = 132.4
 - 12 26 LF - 6" PVC @ 1.1% SLOPE
 - 13 C.O. INV. = 132.7
- DOWNSPOUTS PIPE INFORMATION

NOTE:
CONTRACTOR SHALL FIELD VERIFY LOCATION, INVERT ELEVATION, MATERIALS AND PIPE SIZE BEFORE CONSTRUCTION BEGINS.
CONTRACTOR SHALL BEGIN STORMWATER PIPING CONSTRUCTION AT THE POINT OF CONNECTION OF EXISTING STORMWATER SYSTEM.
ALL RCP PIPE SHALL BE CLASS III UNLESS OTHERWISE NOTED ON PLANS AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURE'S LATEST SPECIFICATIONS.
ALL RCP PIPE JOINTS SHALL BE WRAPPED IN FILTER FABRIC WRAP.
6" BELOW BASE MINIMUM PIPE COVER.
WHEN ANY ROOTS OR EXISTING TREE ARE ENCOUNTERED DURING LAND CLEARING AND/OR GRADING OF THE SITE, THE ROOTS MUST BE CUT OFF EVENLY WITH CLEAN SHARP PRUNING TOOLS. THE CONTRACTOR/DEVELOPER SHALL MINIMIZE THE DAMAGE TO EXISTING TREE ROOT SYSTEMS.



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ENGINEERING
INTERIOR DESIGN
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SUNSET DR. & TENNY AVE.
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C3
GRADING AND DRAINAGE
PLAN

CHECKED: CDB DRAWN: H.M

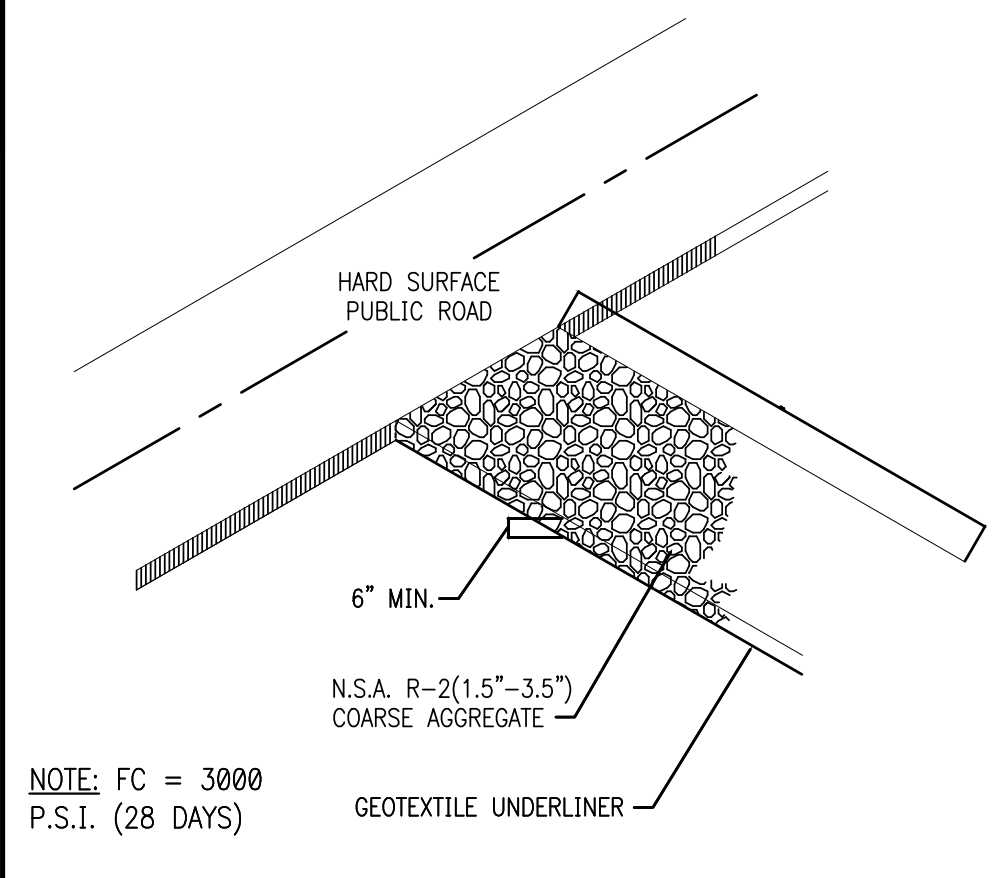
GRADING & DRAINAGE PLAN

1:20'
OWNER: MEIJER STORES LP

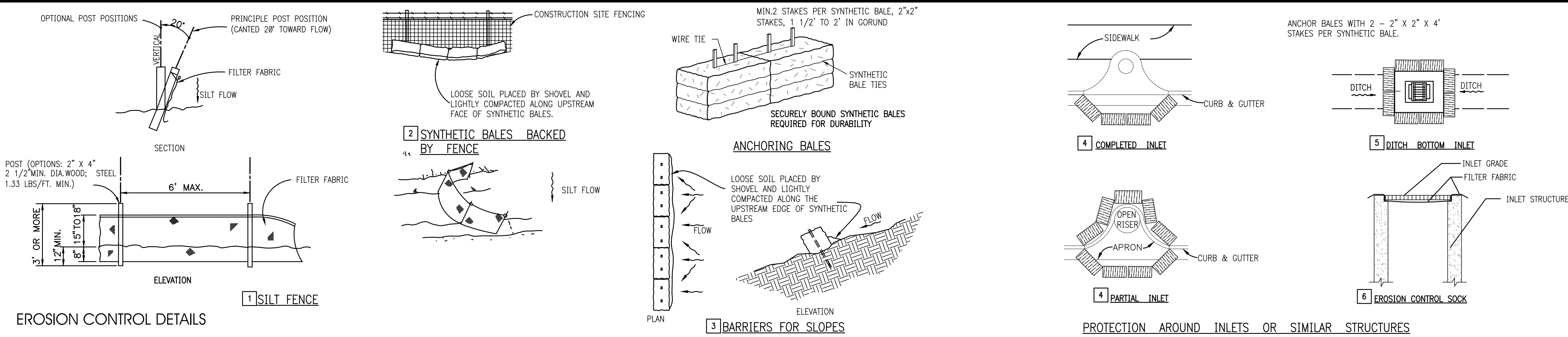
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POLLUTION CONTROL NOTES

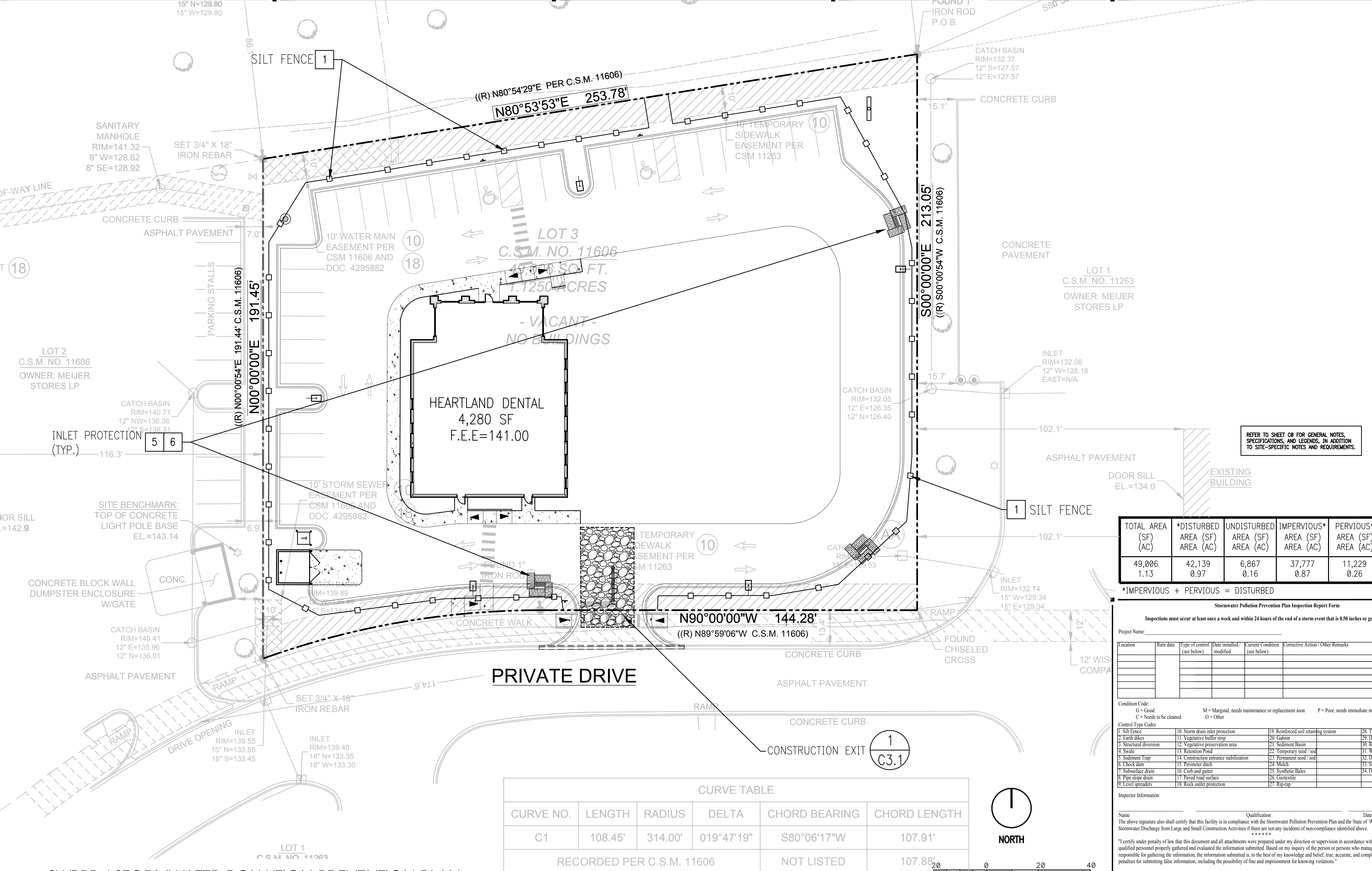
- ALL EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL COMPLETION OF CONSTRUCTION.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL CONFORM WITH LOCAL CITY/COUNTY AND WATER MANAGEMENT DISTRICT SPECIFICATIONS, SUBJECT TO AUTHORIZED AND APPROVED VARIANCES, WAIVERS AND/OR CONDITIONS OF SITE PERMITS.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PLACED PRIOR TO OR AS THE FIRST STEP IN CONSTRUCTION. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTATION OF SILT OFF THE SITE.
- ALL AREAS AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTING CONDITION, UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. THE COST FOR SUCH RESTORATION SHALL BE INCIDENTAL TO OTHER CONSTRUCTION AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN THESE PLANS AND FIELD CONDITIONS PRIOR TO CONSTRUCTION.
- PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL PROVIDE TREE PROTECTION BARRIERS TO MEET THE REQUIREMENTS OF LOCAL SPECIFICATIONS.
- THE CONTRACTOR SHALL SELECTIVELY CLEAR ONLY THE AREAS REQUIRED FOR CONSTRUCTION AND STABILIZE ANY POTENTIAL EROSION AREAS IMMEDIATELY FOLLOWING COMPLETION OF CONSTRUCTION.
- CONTRACTOR SHALL KEEP ANY AND ALL SAND, SILT OR OTHER DEBRIS FROM MOVING OFF-SITE. USE AND MAINTAIN SILT FENCE JUST INSIDE OF PROPERTY LINE.
- CONTRACTOR SHALL BLOCK INTRUSION OF SAND, SILT OR OTHER DEBRIS INTO ANY DRAINAGE OR SANITARY SEWER STRUCTURE OR PIPING ON OR ADJACENT TO SITE.
- ALL CLEARED AREAS FOR IMPROVEMENT AND/OR CONSTRUCTION SHALL BE WATERED TO PREVENT WIND EROSION.
- FOR ADDITIONAL INFORMATION AND DETAILS, SEE WISDOT '86' SERIES DETAILS.
- UNLESS SPECIFIED, SILT FENCES MAY BE USED IN LIEU OF SYNTHETIC BARRIERS.
- ADDITIONAL POSTS AND RAILS MAY BE NECESSARY TO SECURE AND SUPPORT BARRIERS.
- ADDITIONAL BARRIER LENGTHS MAY BE REQUIRED BY THE COUNTY ENGINEER OR BY REGULATORY AGENCIES.
- FILTER FABRIC MUST BE INSTALLED UNDER ALL INLET GRATES, AT ALL TIMES WHEN INLETS ARE NOT PROTECTED BY SILT FENCE OR SYNTHETIC BALES, UNTIL THE LIMEROCK BASE IS FINISHED AND PRIMED.
- THE CONTRACTOR IS REQUIRED TO HAVE THIS PLAN ALONG WITH A COPY OF THE NPDES NOTICE OF INTENT POSTED IN A VISIBLE LOCATION ON THE CONSTRUCTION SITE AT ALL TIMES.
- CONTRACTOR IS REQUIRED TO KEEP A LOG ON SITE FOR THE SOIL EROSION AND SEDIMENT CONTROL MEASURES INDICATED ON THE PLAN. THE LOG SHALL CONTAIN DATES FOR: INSTALLATION OF CONTROL MEASURES, MAJOR SITE CONSTRUCTION ACTIVITIES, INSPECTION ON AT LEAST A WEEKLY BASIS AND INSPECTION AFTER ANY RAINFALL EVENT THAT IS 1/2" OR GREATER.
- THE CONTRACTOR IS REQUIRED TO SUBMIT A COPY OF THIS LOG ALONG WITH A NOTICE OF TERMINATION TO THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES UPON THE COMPLETION OF CONSTRUCTION.



1 CRUSHED STONE CONSTRUCTION EXIT
NTS



EROSION CONTROL DETAILS



TOTAL AREA (SF)	*DISTURBED AREA (SF)	UNDISTURBED AREA (SF)	IMPERVIOUS* AREA (SF)	PERVIOUS* AREA (SF)
49,006	42,139	6,867	37,777	11,229
1.13	0.97	0.16	0.87	0.26

*IMPERVIOUS + PERVIOUS = DISTURBED

Stormwater Pollution Prevention Plan Inspection Report Form

Inspections must occur at least once a week and within 24 hours of the end of a storm event that is 0.50 inches or greater.

Location	Rain data	Type of control (see below)	Date installed/modified	Current Condition (see below)	Corrective Action / Other Remarks

Condition Code:
G = Good
M = Marginal, needs maintenance or replacement soon
P = Poor, needs immediate maintenance or replacement
C = Needs to be cleaned

Control Type Codes:

1. Silt fence	10. Storm drain inlet protection	19. Reinforced soil retaining system	28. Tree protection
2. Earth dikes	11. Vegetative buffer strip	20. Gabion	29. Detention pond
3. Structural diversion	12. Vegetative preservation area	21. Sediment Basin	30. Retention pond
4. Silt trap	13. Retention Pond	22. Temporary seed/soil	31. Waste disposal / housekeeping
5. Sediment trap	14. Construction entrance stabilization	23. Permanent seed/soil	32. Dam
6. Check dam	15. Perimeter ditch	24. Mulch	33. Sand Bag
7. Subsurface drain	16. Curb and gutter	25. Synthetic Bales	34. Other
8. Pipe slope drain	17. Paved road surface	26. Geotextile	
9. Level spreaders	18. Rock outlet protection	27. Rip-rap	

Inspector Information: Name _____ Date _____
The above signature also shall certify that this facility is in compliance with the Stormwater Pollution Prevention Plan and the State of Wisconsin Generic Permit for Stormwater Discharge from Large and Small Construction Activities if there are not any incidents of non-compliance identified above.

Qualification _____
Date _____

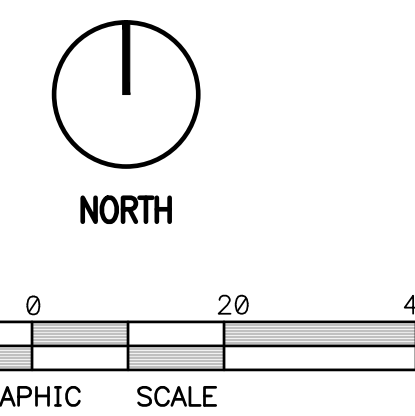
I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

Name (Responsible Authority) _____ Date _____

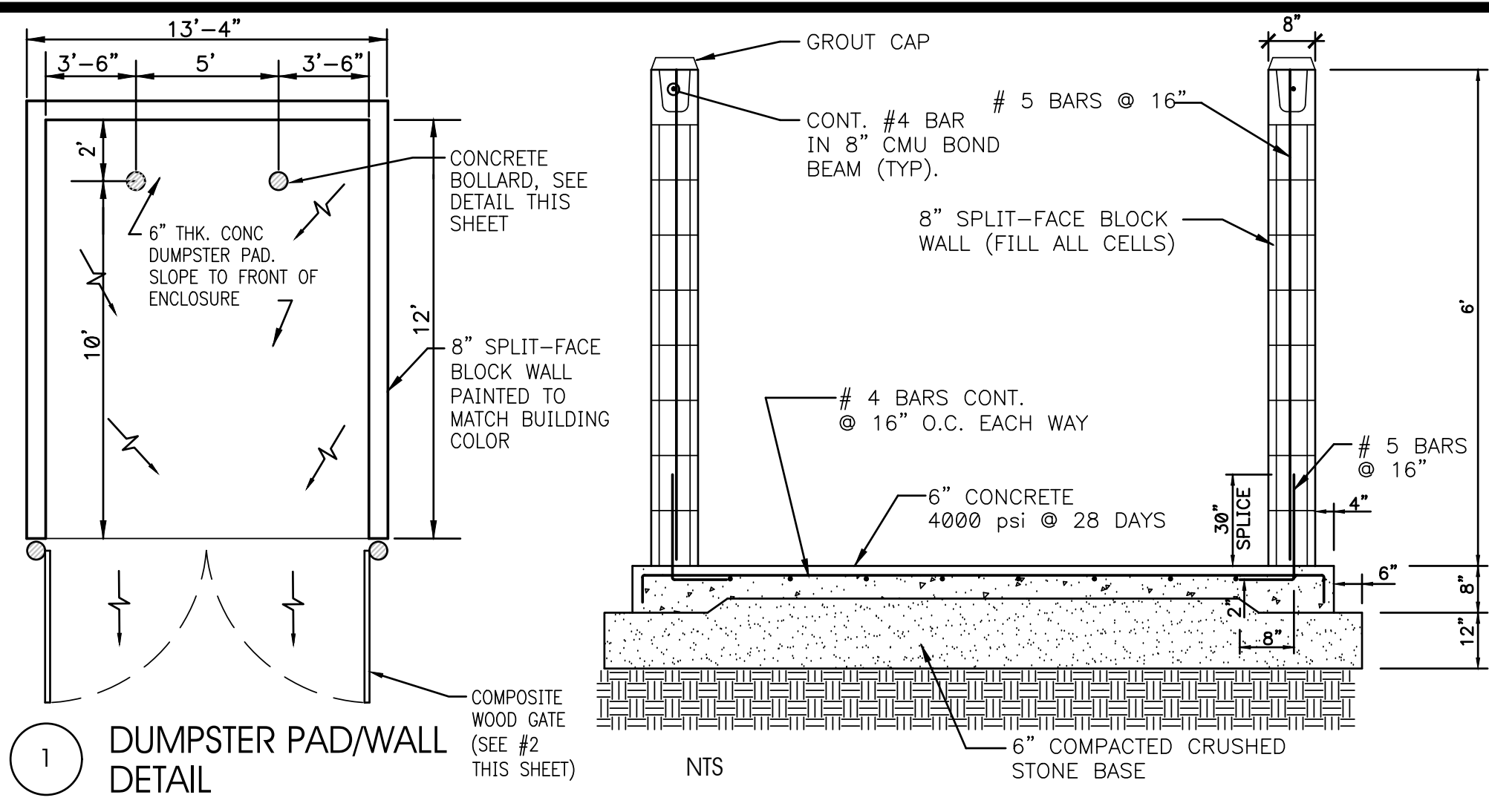
CURVE TABLE

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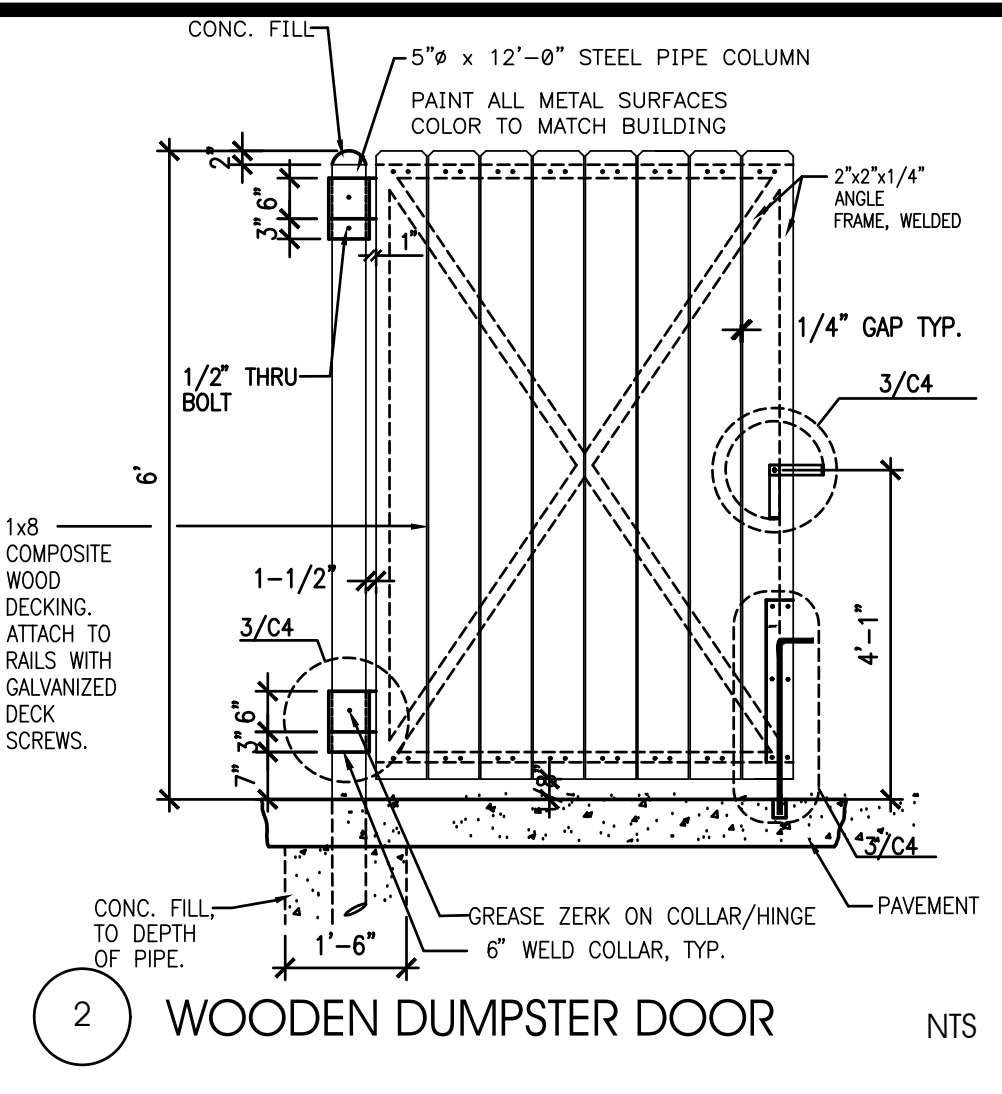
1"=20'



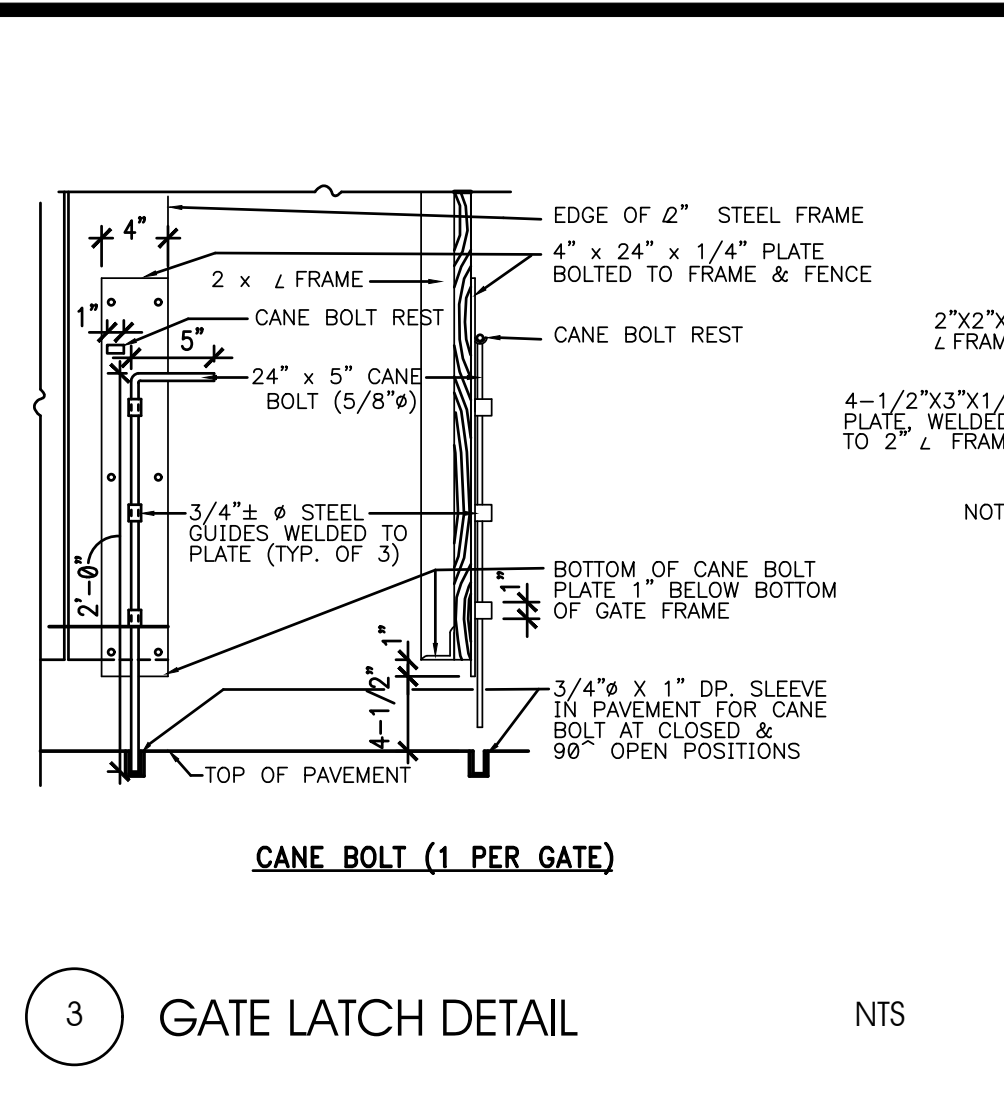
SWPPP / STORMWATER POLLUTION PREVENTION PLAN



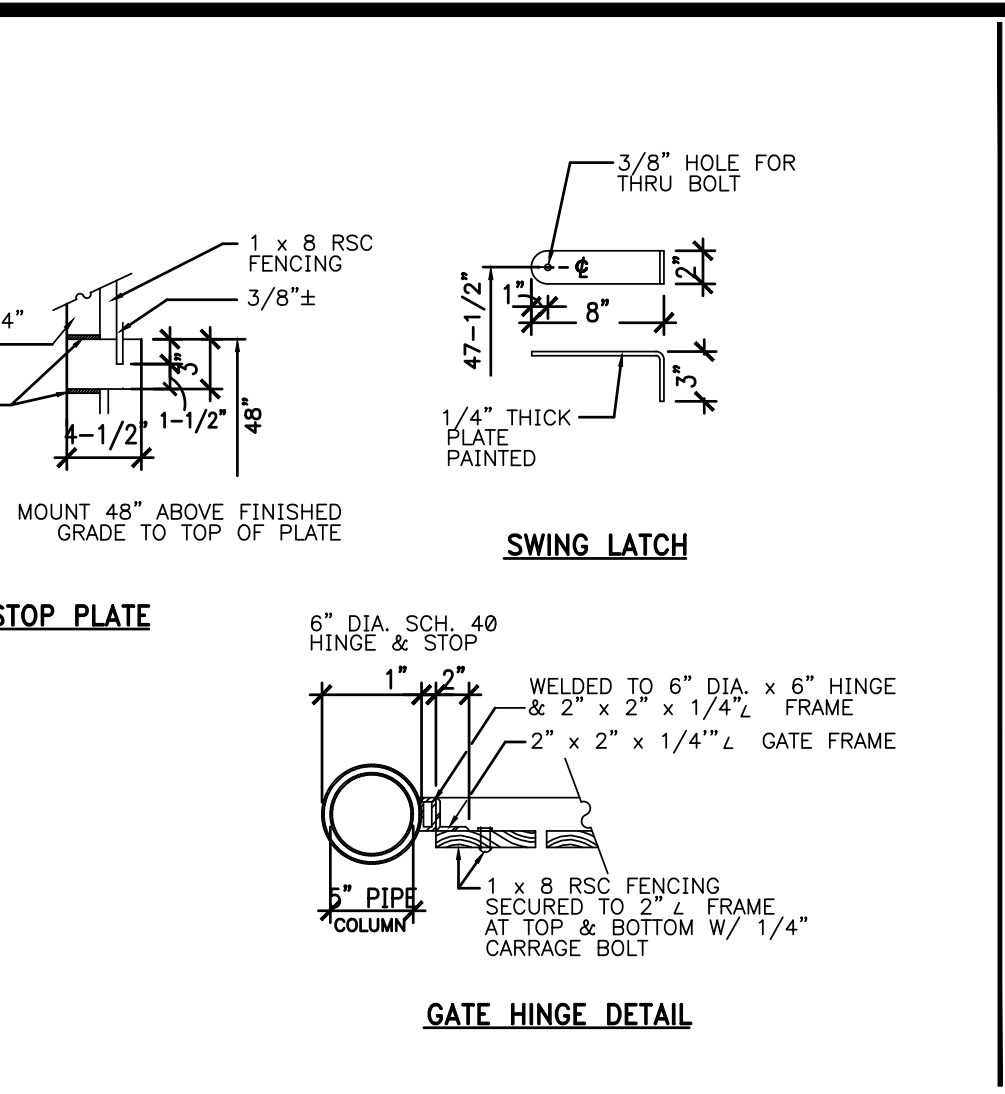
1 DUMPSTER PAD/WALL DETAIL



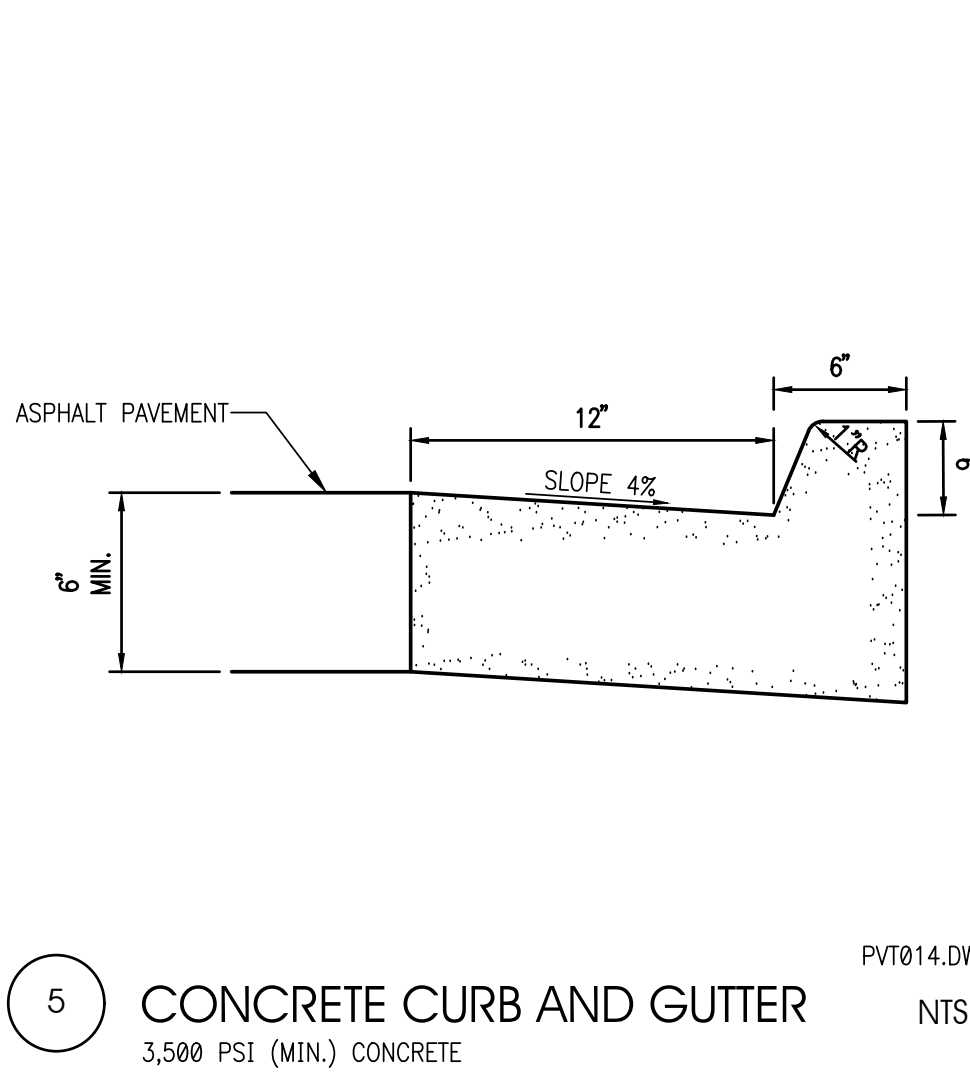
2 WOODEN DUMPSTER DOOR



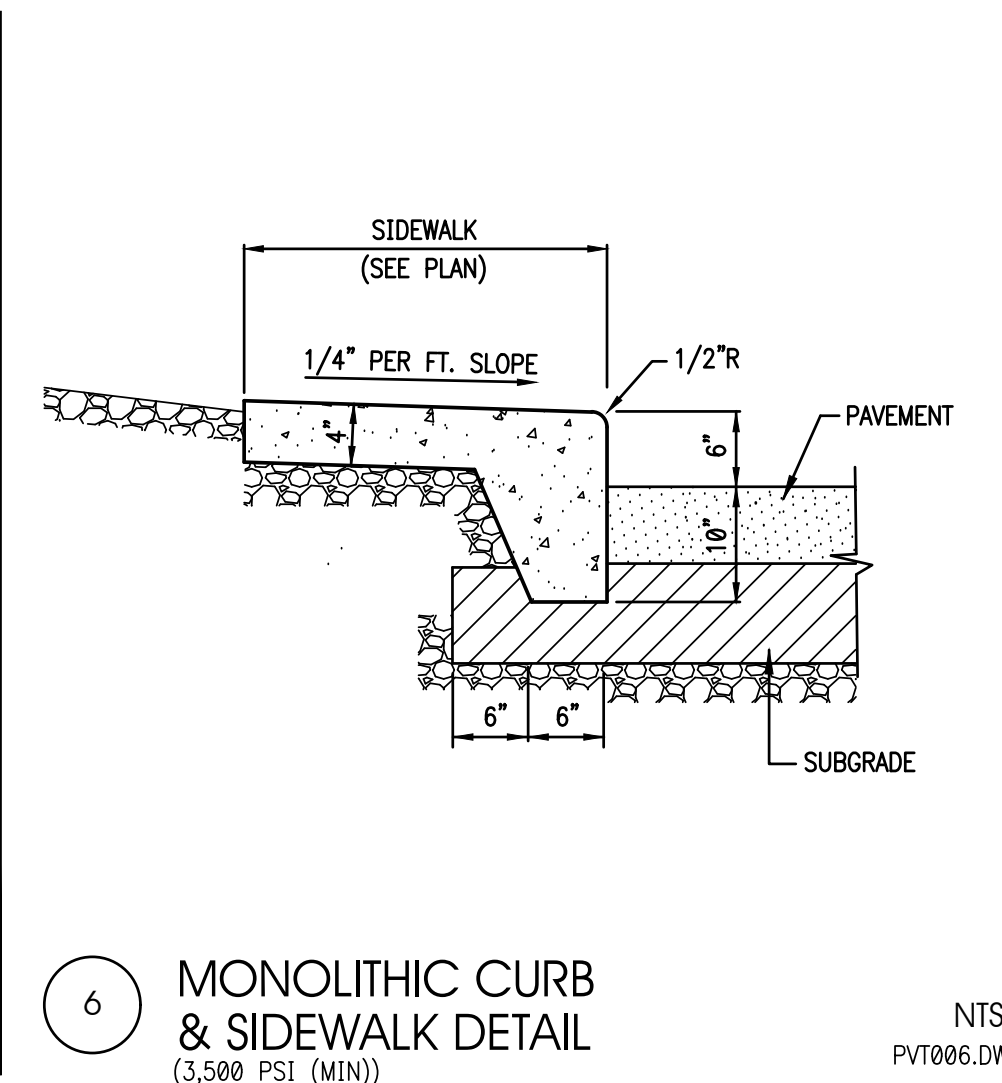
3 GATE LATCH DETAIL



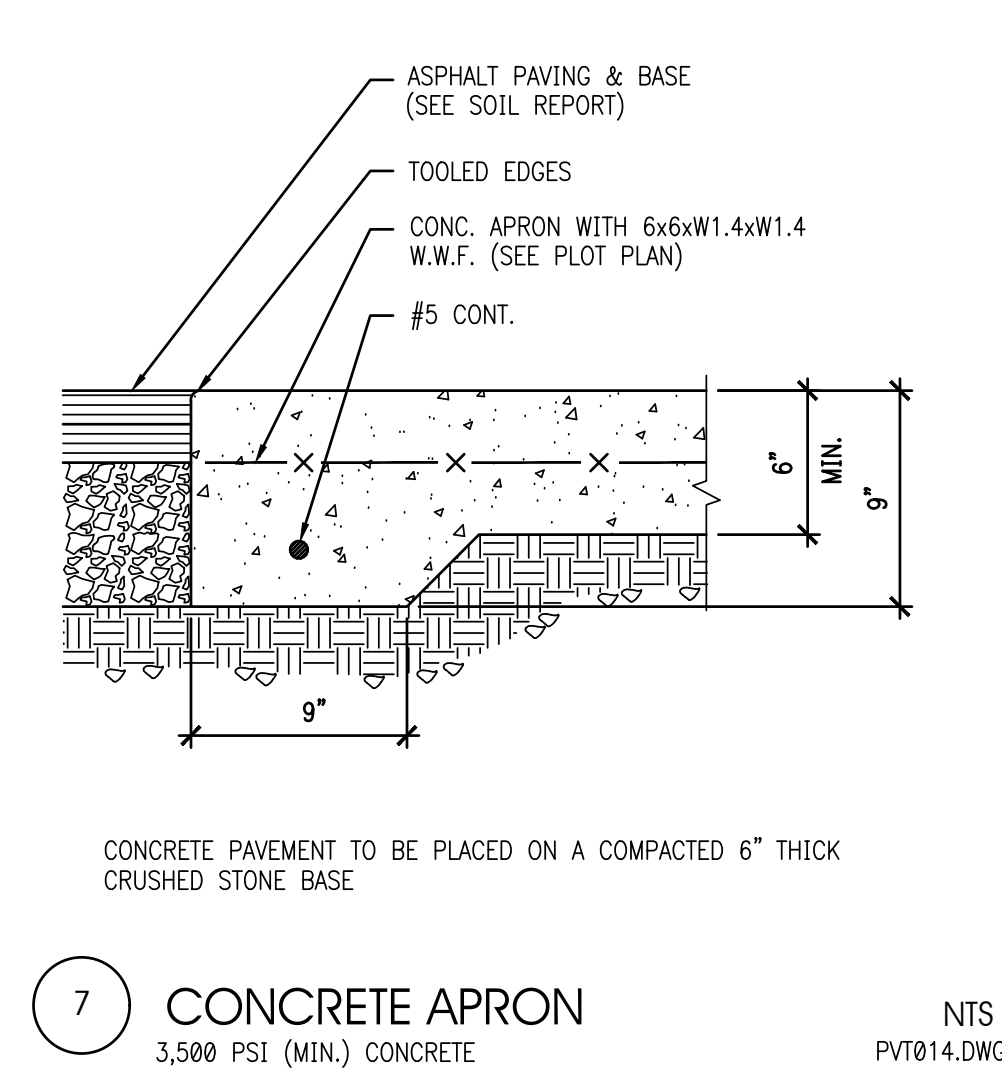
4 BOLLARD



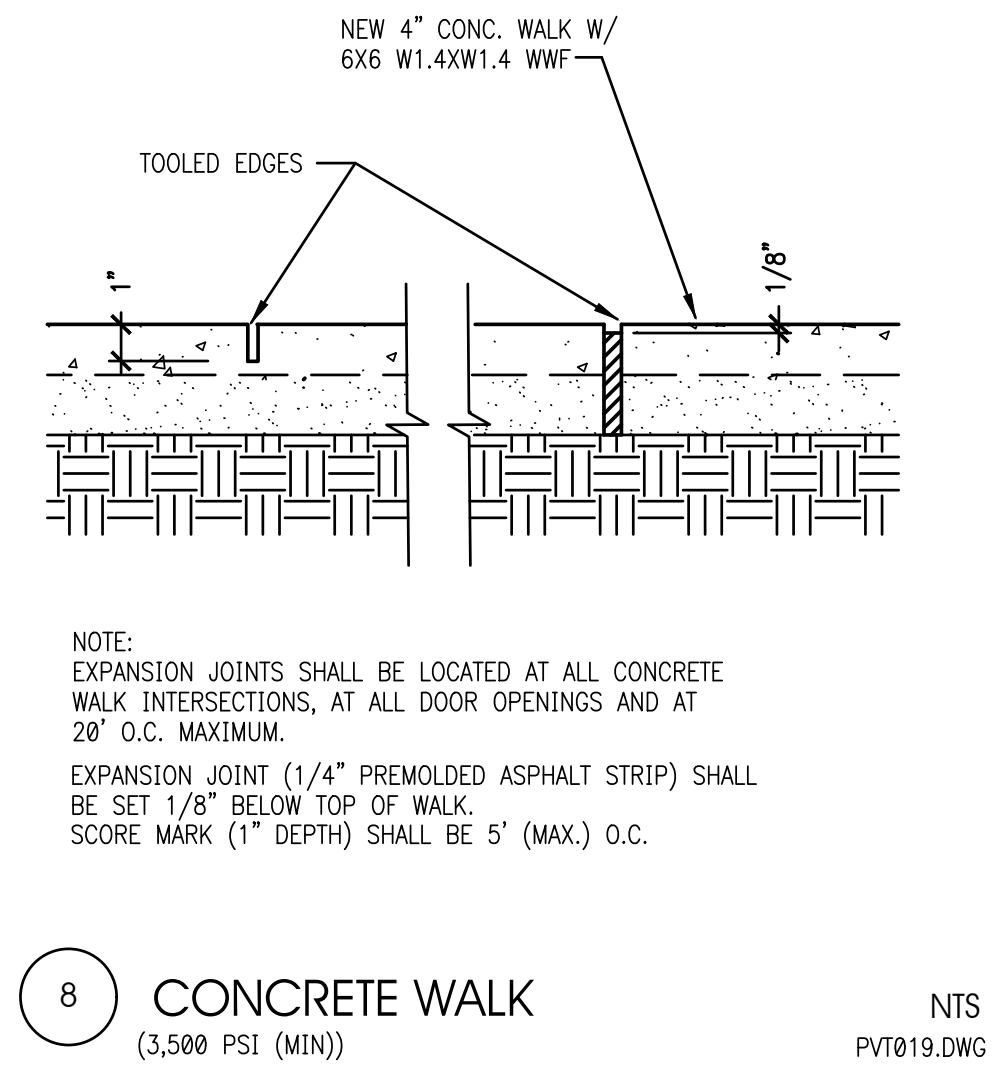
5 CONCRETE CURB AND GUTTER



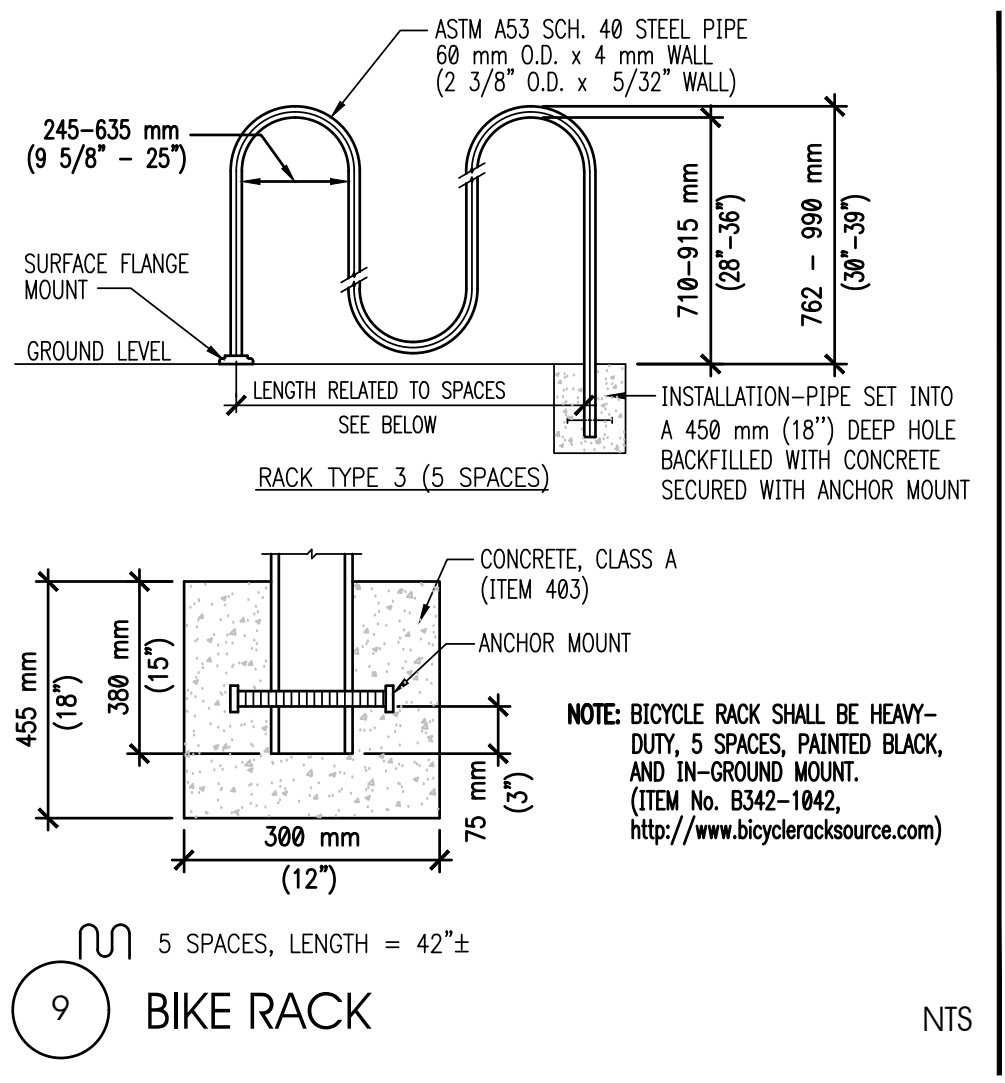
6 MONOLITHIC CURB & SIDEWALK DETAIL



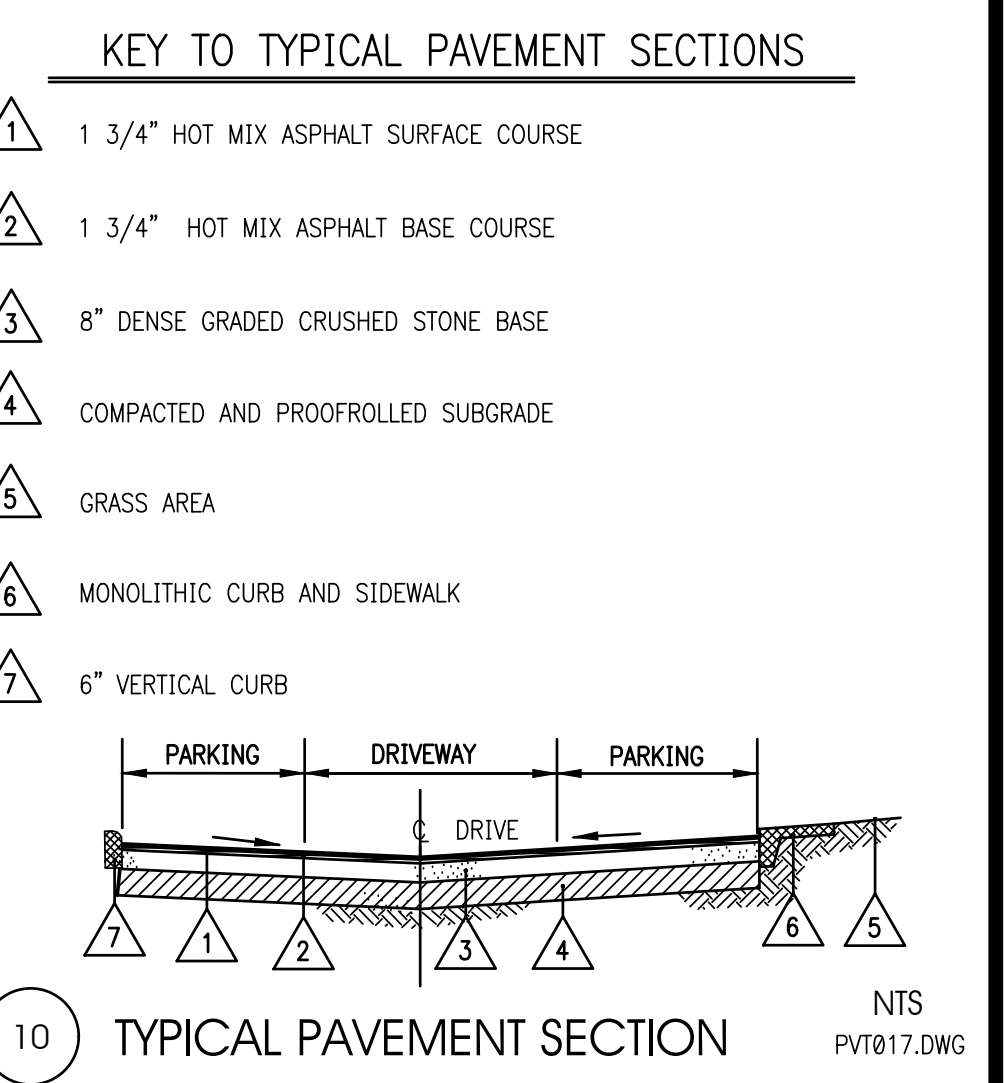
7 CONCRETE APRON



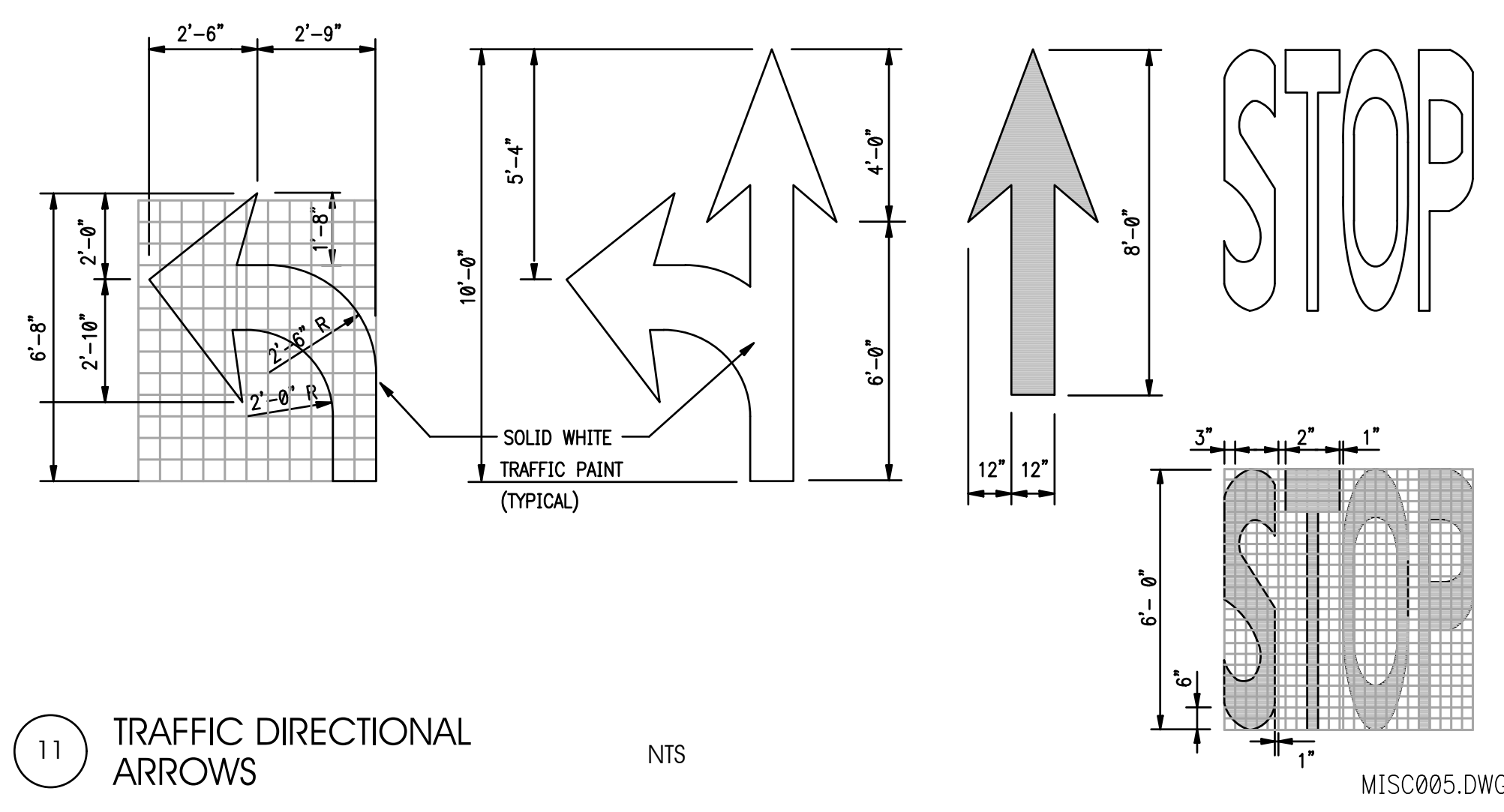
8 CONCRETE WALK



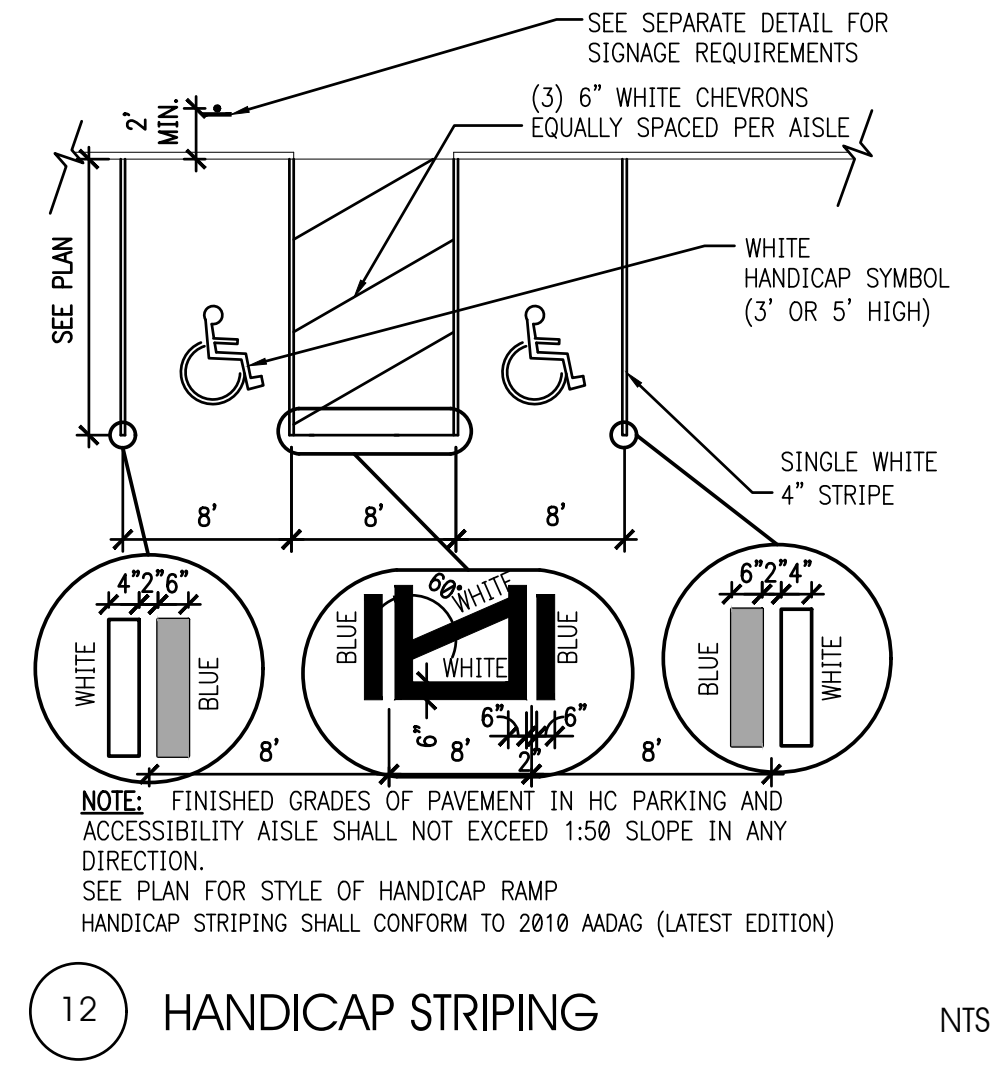
9 BIKE RACK



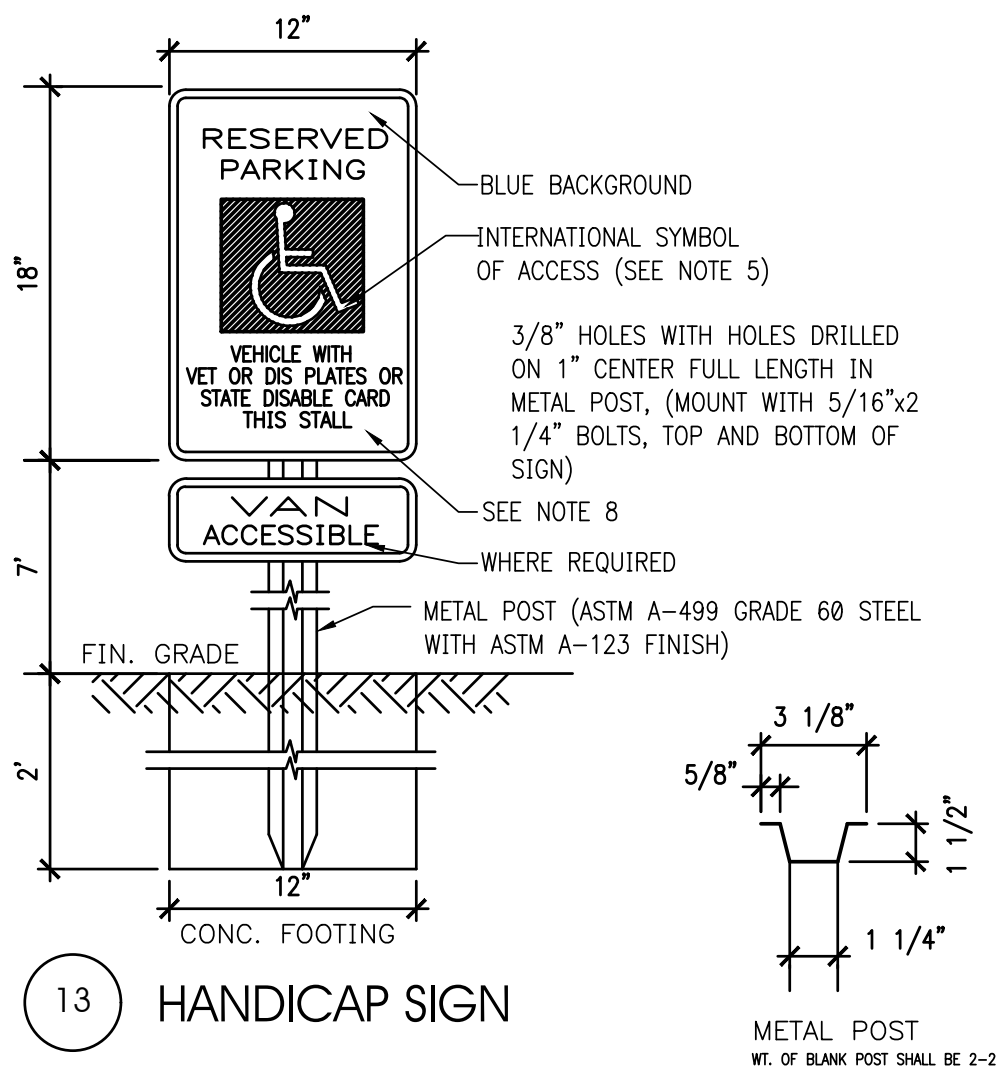
10 TYPICAL PAVEMENT SECTION



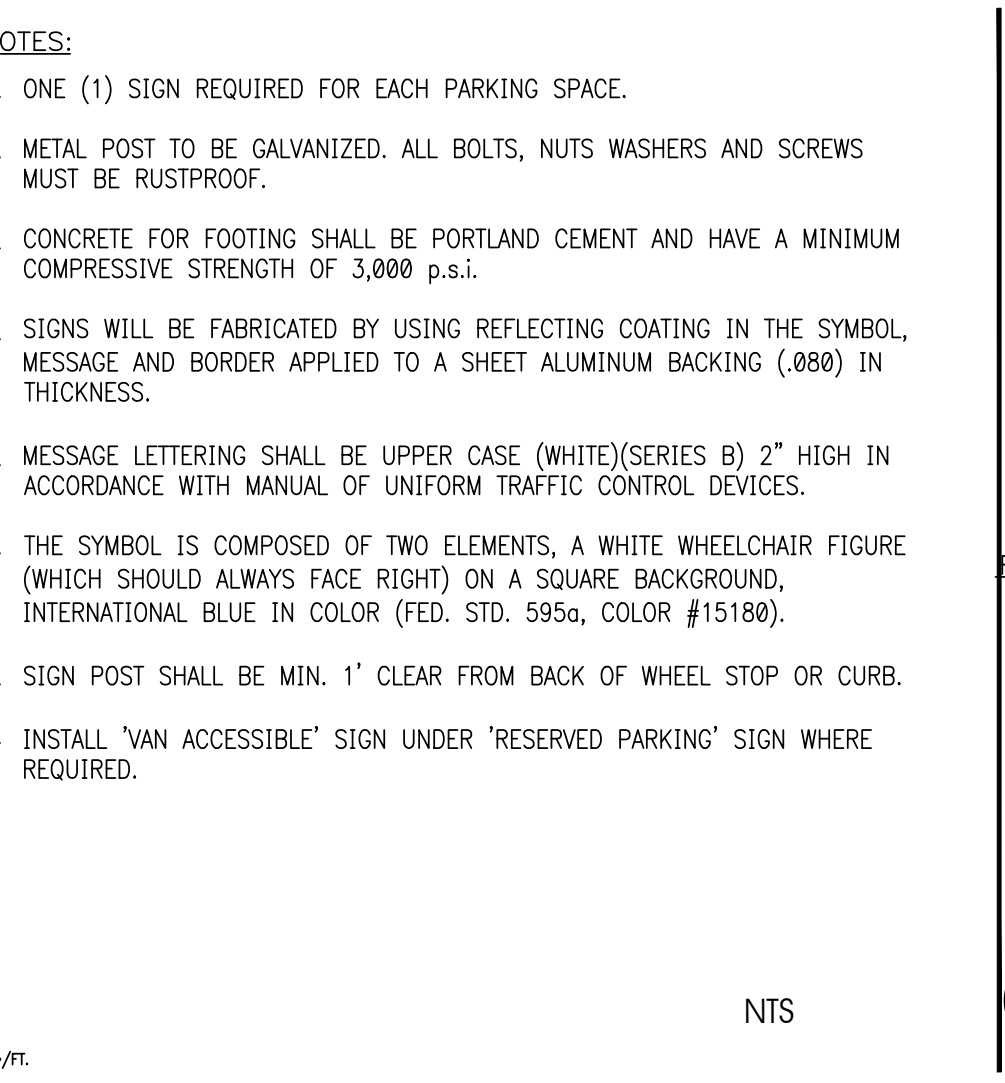
11 TRAFFIC DIRECTIONAL ARROWS



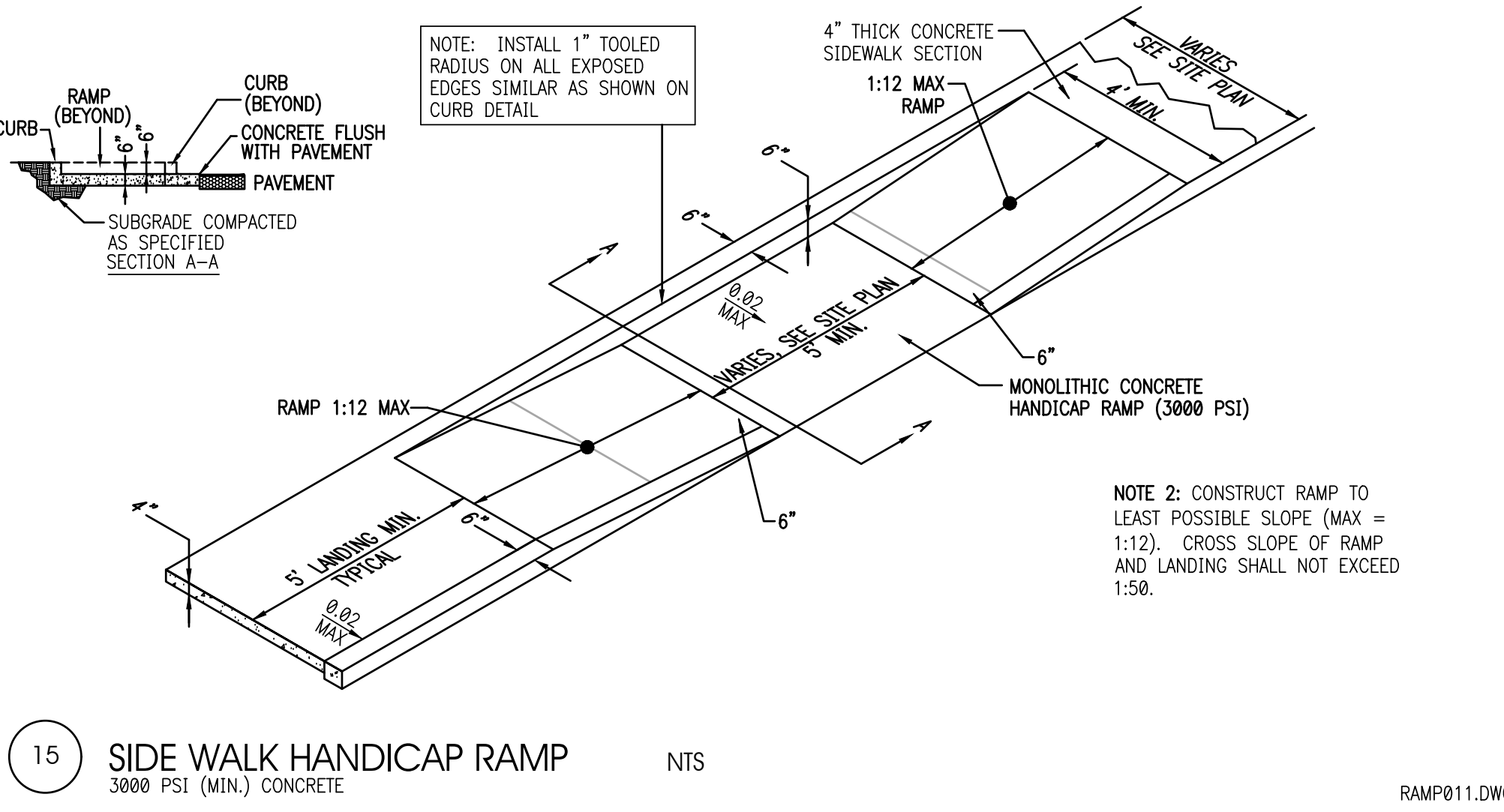
12 HANDICAP STRIPING



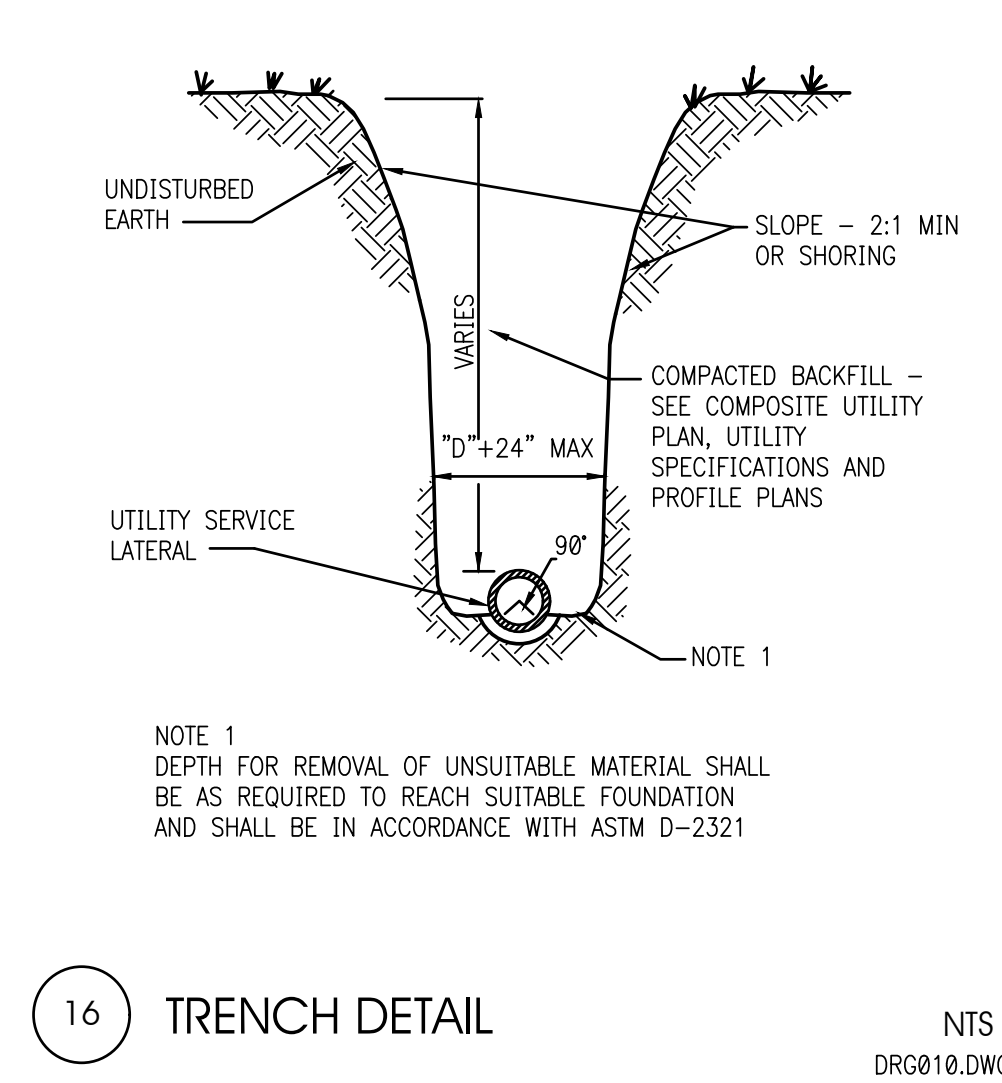
13 HANDICAP SIGN



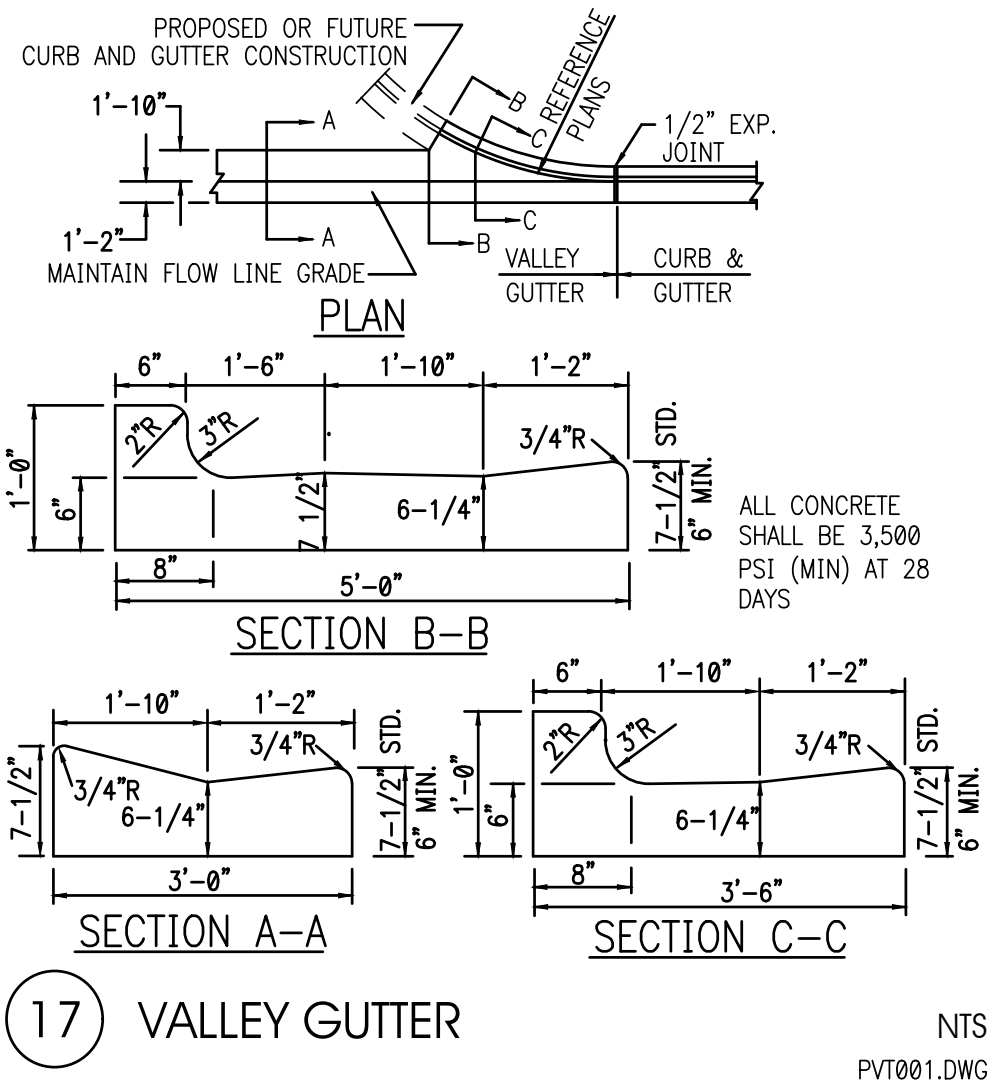
14 HANDICAP END RAMP



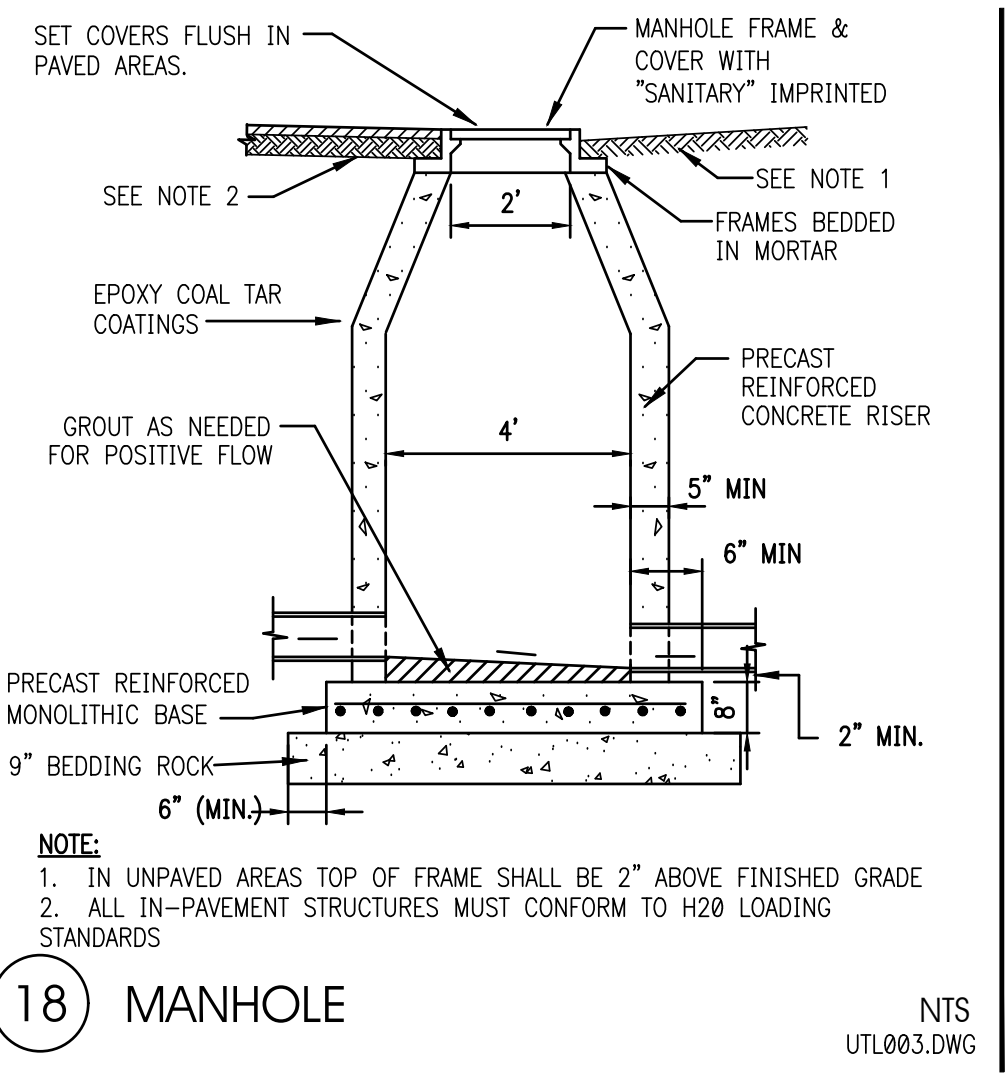
15 SIDE WALK HANDICAP RAMP



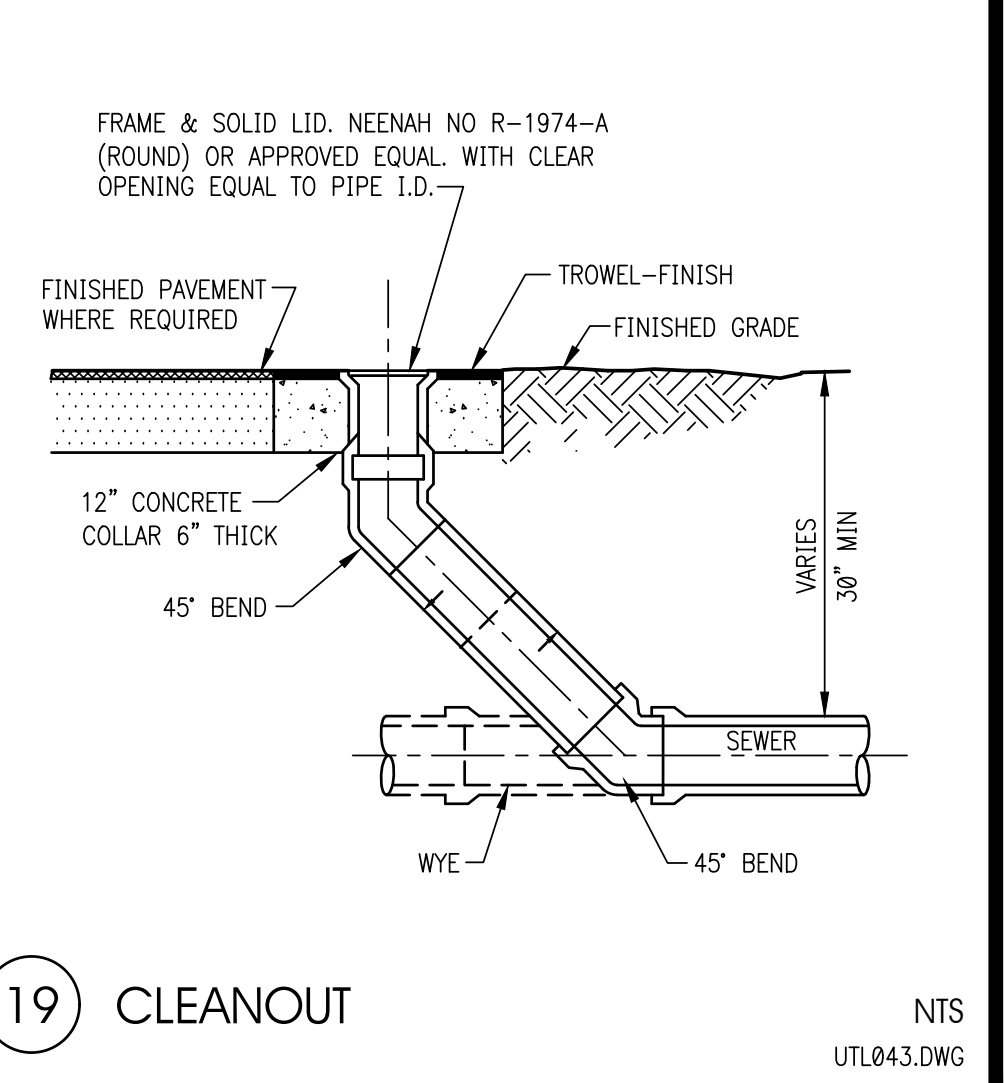
16 TRENCH DETAIL



17 VALLEY GUTTER



18 MANHOLE



19 CLEANOUT

INTERPLAN
 ARCHITECTURE
 ENGINEERING
 INTERIOR DESIGN
 PROJECT MANAGEMENT
 AA 003420
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 604 COURTLAND STREET
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SEAL:
 STUART ANDERSON, P.E.
 W. REG. #44904-6

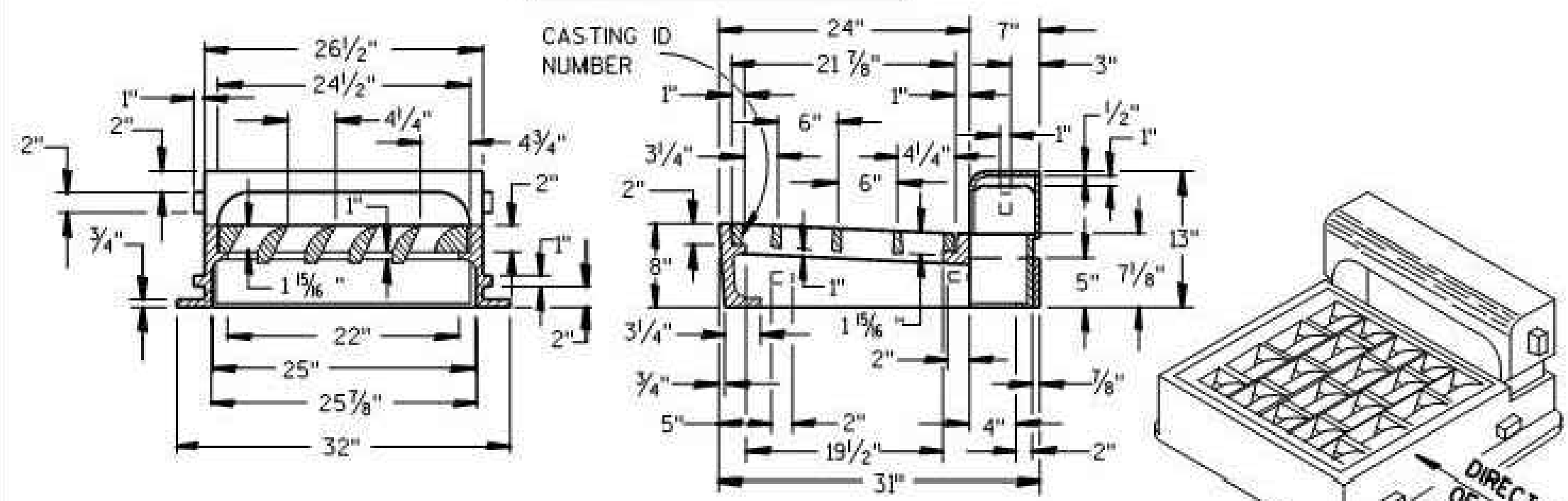
NO DATE REMARKS
 REVISIONS

HEARTLAND
 DENTAL
 SUNSET DR. & TENNY AVE.
 WAUKESHA, WI 53189
 PROJECT NO: 2017.0582
 DATE: 3-1-18

C4
 DETAILS
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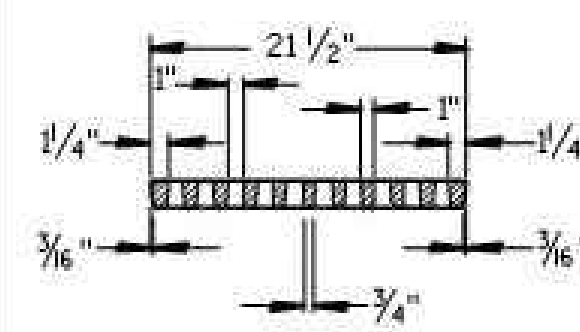
8D17: Manholes, Manhole and Inlet Covers

INLET COVERS

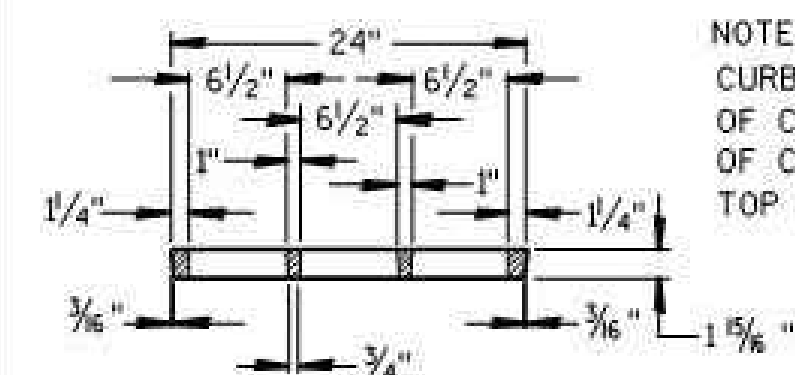


TYPE "R"

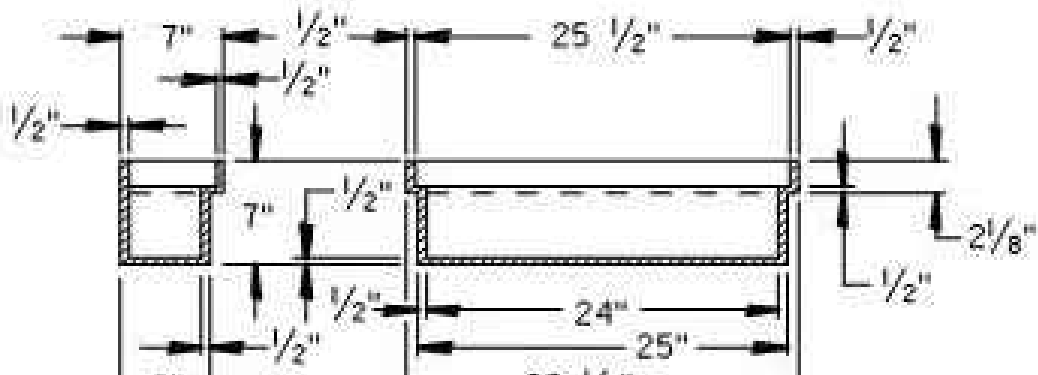
SHOWING SPECIAL GRATE NO. 1
(TO BE NOTED AS R-1 IN DRAINAGE TABLE)



(APPROX. WEIGHT - 510 LBS.)
FRAME..... 245 LBS.
CURB..... 120 LBS.
GRATE..... 145 LBS.



NOTE:
CURB PLUG USED IN PLACE
OF CURB BOX IN ABSENCE
OF CONC. CURB. FILL TO
TOP WITH CONCRETE.

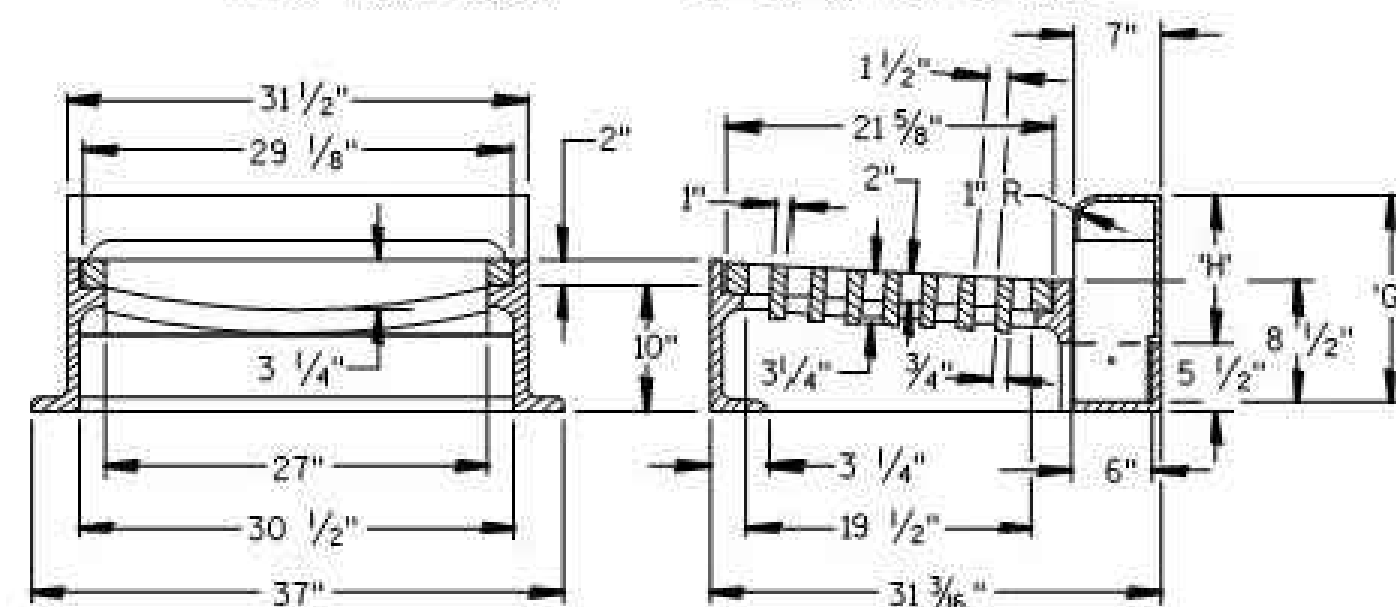


**SECTION B-B SECTION A-A
SPECIAL CURB PLUG "P"**
(CURB PLUG..... 85 LBS.)
(TO BE NOTED AS R-P IN DRAINAGE TABLE)

GRATE FOR TYPE "R" INLET COVER

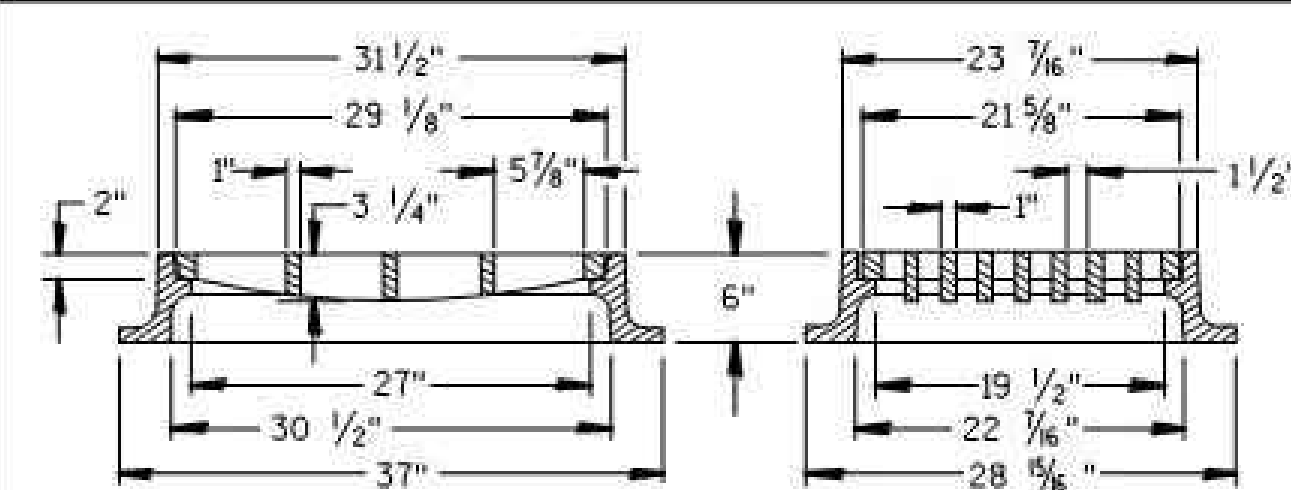
(GRATE..... 150 LBS.)
(TO BE USED UNLESS OTHERWISE NOTED IN DRAINAGE TABLE)

"H" = 9" FOR 6" CURB
"H" = 11" FOR 8" CURB
"G" = 13 3/4" FOR 6" CURB
"G" = 15 3/4" FOR 8" CURB



TYPE "W"

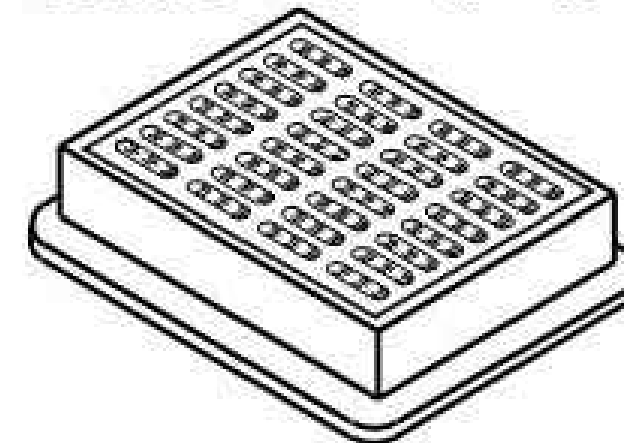
(APPROX. WEIGHT - 670 LBS.)
FRAME..... 350 LBS.
CURB BOX..... 135 LBS.
GRATE..... 185 LBS.



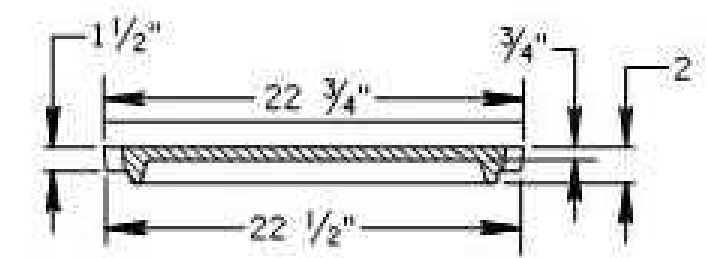
TYPE "X"

(APPROX. WEIGHT - 470 LBS.)

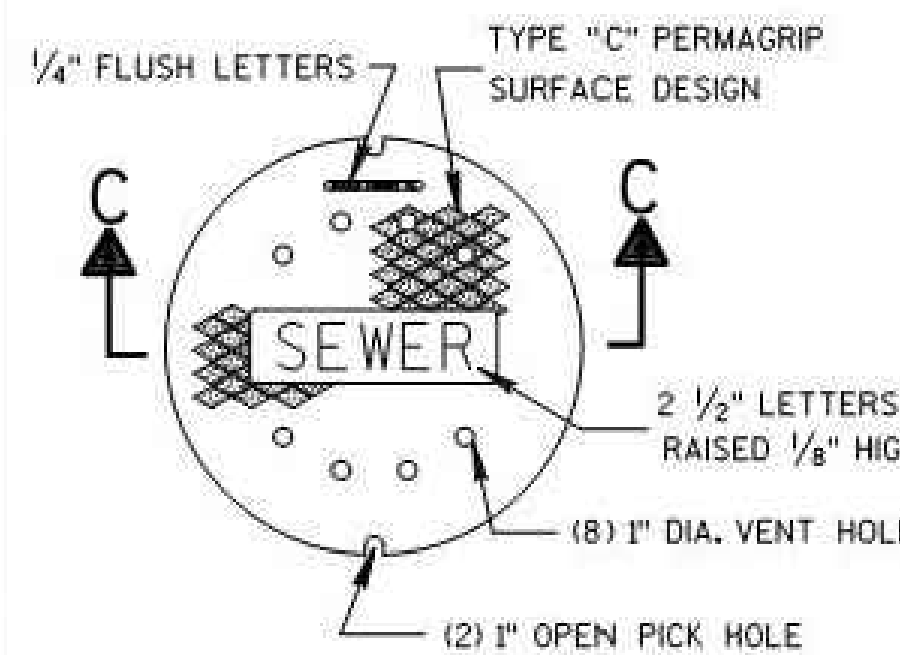
ALTERNATE GRATE (FOR EXPRESSWAY RAMPS) TYPES "W" & "X"



MANHOLE COVER



SECTION C-C



TYPE "Q"

(APPROX. WEIGHT - 290 LBS.)

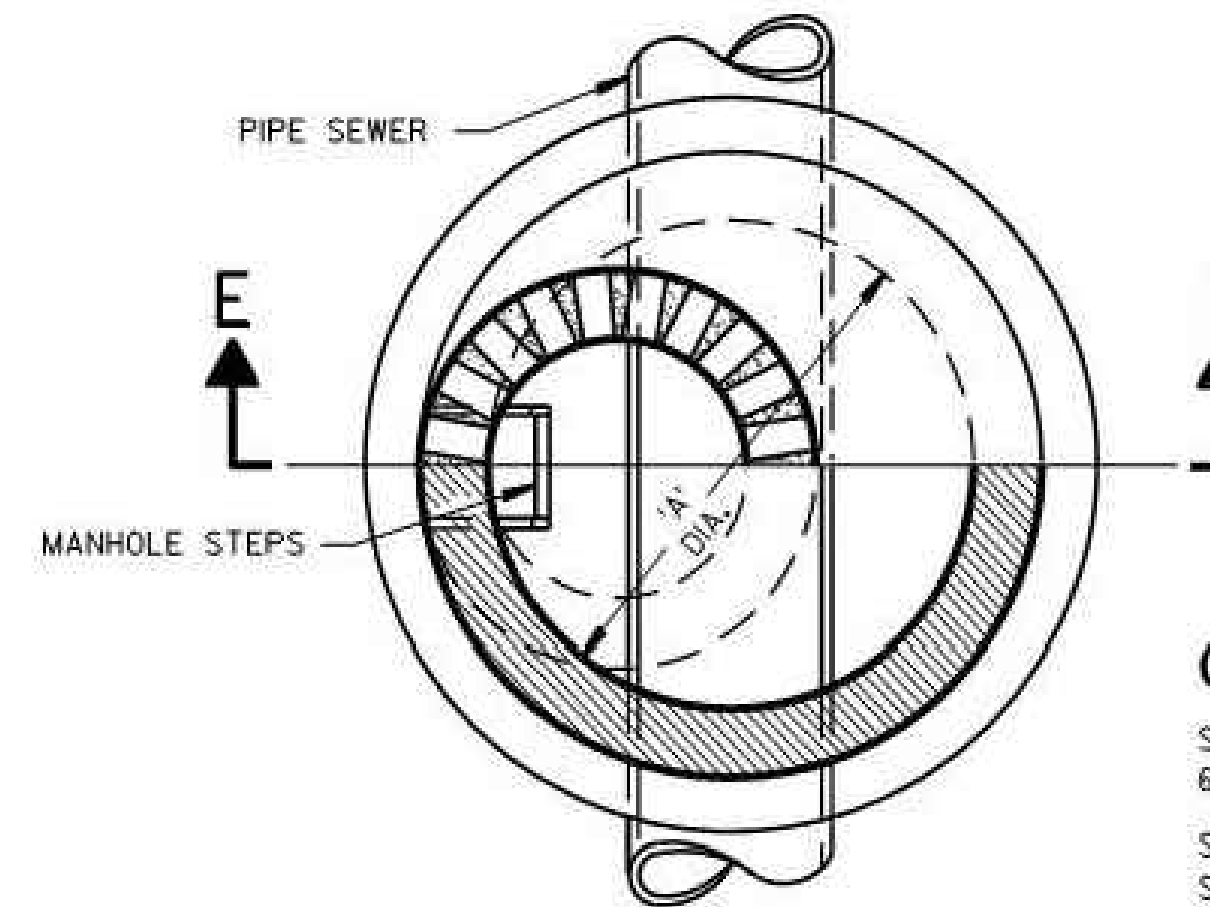
TABLE OF DIMENSIONS

TYPE	'A'	'B'	'C'
11	3'-6"	2'-8"	12" - 36"*
12	4'-0"	3'-8"	12" - 42"***
13	5'-0"	5'-8"	42" - 48"
14	6'-0"	7'-8"	54" - 60"

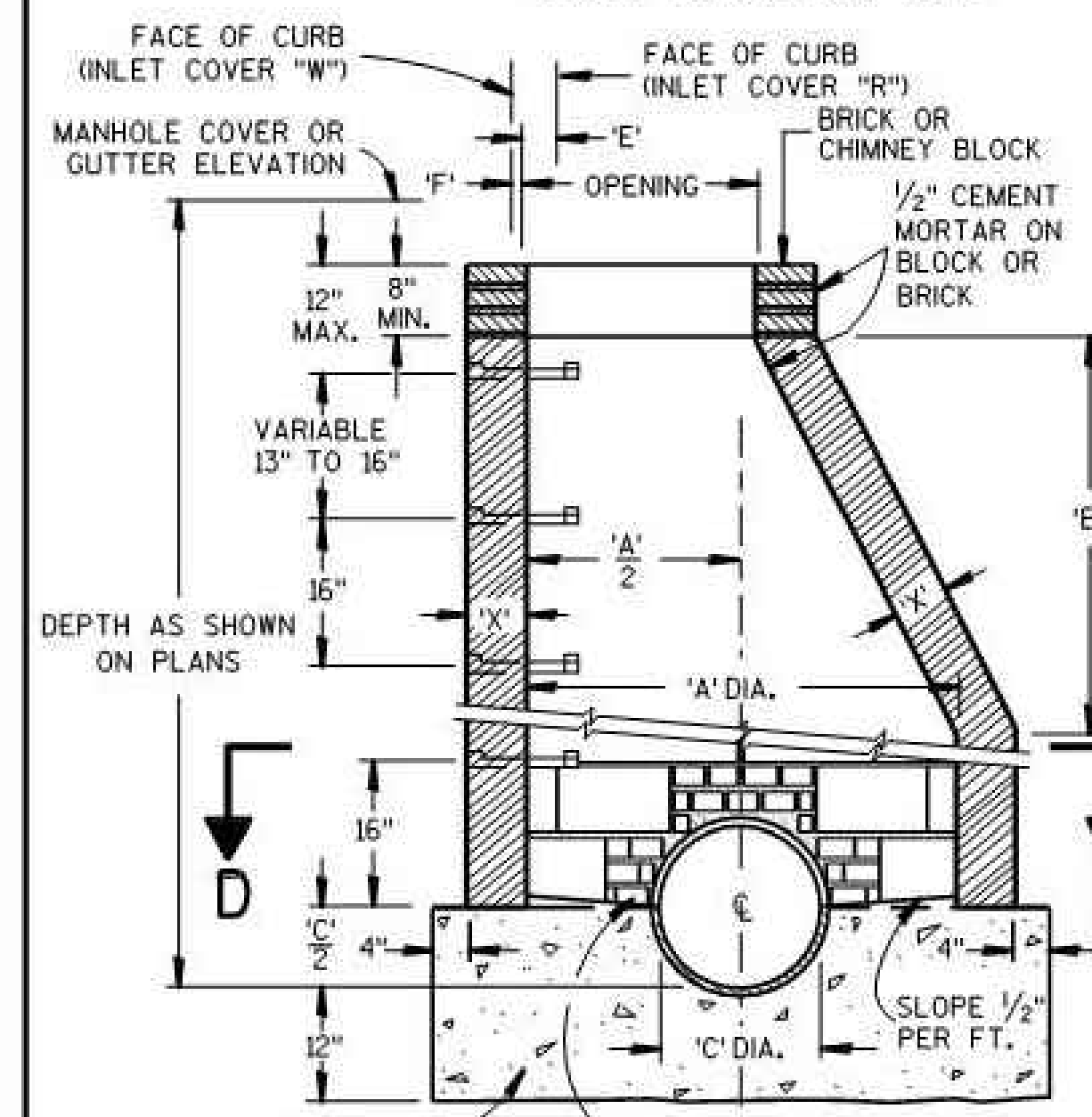
* 12" - 21" FOR PRECAST MANHOLES
** 12" - 24" FOR PRECAST MANHOLES

THE FIRST STEP SHALL BE PLACED
16" ABOVE THE BENCH.

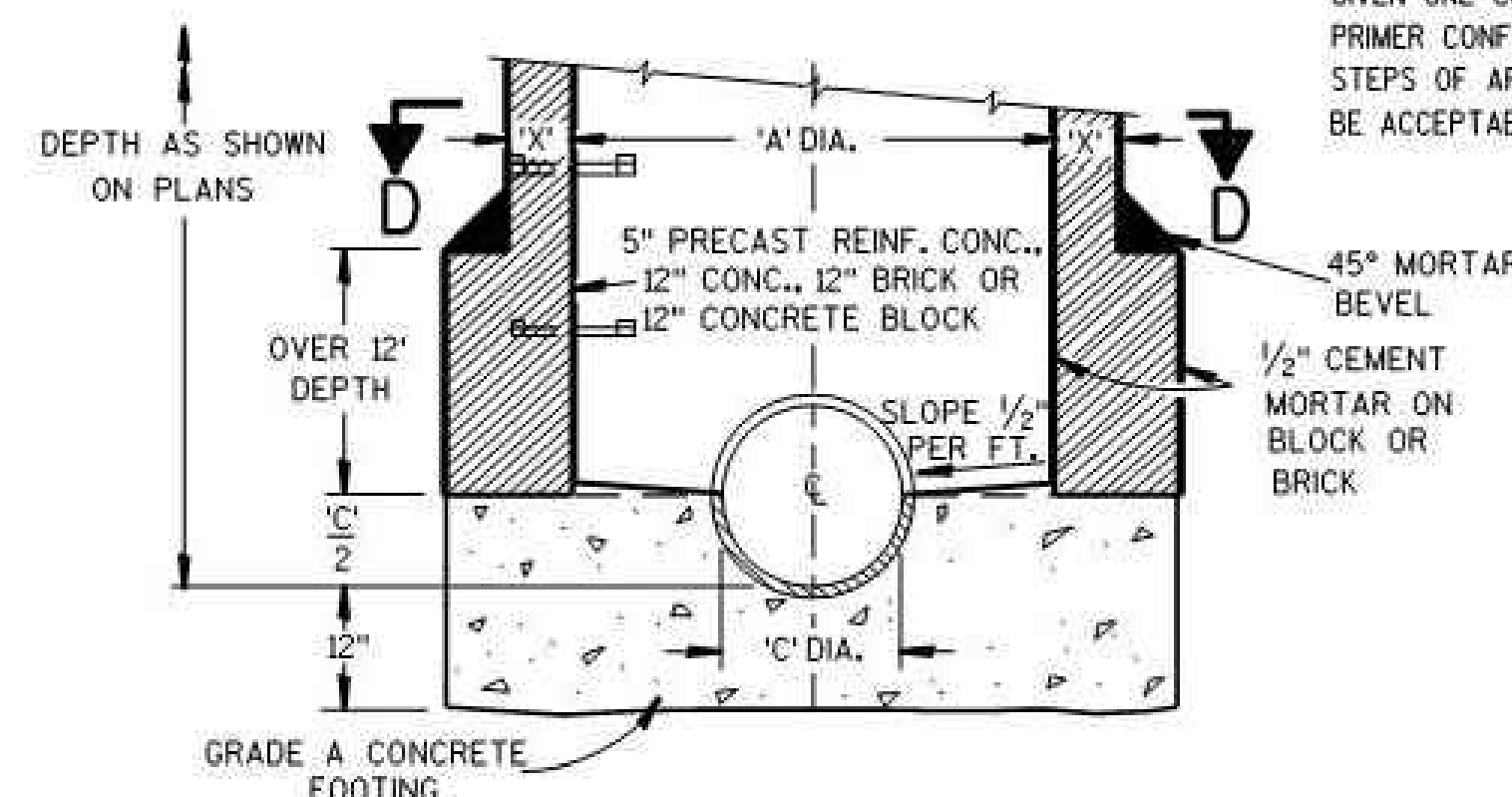
MANHOLE



HALF SECTION D-D



SECTION E-E



TYPES 11, 12, 13 & 14

TABLE OF OPENING DIMENSIONS

COVER		OPENING	'E'	'F'
"O"	ROUND	2'-2" DIA.	-	-
"W"	CURB BOX	1'-8" X 2'-6"	-	1"
"X"	INLET	1'-10" X 2'-6"	-	-
"R"	CURB BOX	2'-0" X 2'-1"	4"	-

GENERAL NOTES

STRUCTURE WALL THICKNESS 'X' TO BE 8" BRICK, 6" CONCRETE BLOCK,
6" GRADE A CONCRETE OR 5" PRECAST REINFORCED CONCRETE.

STRUCTURE FOOTINGS ARE TO BE GRADE A CONCRETE OF THE THICKNESS
SHOWN IN THE DETAIL OR 5" PRECAST REINFORCED CONCRETE.

REINFORCEMENT FOR 5" PRECAST REINFORCED CONCRETE SHALL BE 6" X 6"
W16 X W16 WELDED SREEL WIRE FABRIC AND SHALL BE EMBEDDED 2" CLEAR.

PRECAST INLET UNITS AND BASES SHALL CONFORM TO THE PERTINENT
REQUIREMENTS OF AASHTO DESIGNATION M 199.

PRECAST CONCRETE FLAT SLAB TOPS MAY BE USED ON THE STRUCTURES.
THE TOPS SHALL BE INSTALLED ON A BED OF MORTAR.

PRECAST REINFORCED BASES SHALL BE PLACED ON A BED OF MATERIAL AT
LEAST 6" IN DEPTH, WHICH MEETS THE REQUIREMENTS FOR GRANULAR BACK-
FILL. THIS BEDDING SHALL BE COMPACTED AND PROVIDE UNIFORM SUPPORT
FOR THE ENTIRE AREA OF THE BASE.

SET FRAME ELEVATION 0.03 FT. LOWER THAN ELEVATION INDICATED
ON THE PLANS.

THE CONTRACTOR MAY FORM AND POUR MONOLITHIC CONCRETE INVERT PROVIDED
THE PIPE ENDS ARE EXTENDED INTO THE M.H. AND NOT TERMINATED
WITHIN THE M.H. WALLS.

MANHOLE STEPS
STEPS MEETING THE FOLLOWING REQUIREMENTS SHALL BE INSTALLED IN ALL
STRUCTURES OVER 5 FEET IN DEPTH: 16 INCH C-C MAX. SPACING; PROJECT
A MINIMUM CLEAR DISTANCE OF 4 INCHES FROM THE WALL AT THE POINT OF
EMBEDMENT; MINIMUM WALL EMBEDMENT OF 3 INCHES IN PRECAST MANHOLE
AND 6 INCHES IN 8 INCH BRICK OR 6 INCH BLOCK MANHOLE; TREAD OF STEP
SHALL HAVE A NON-SKID SURFACE AND BE FLANKED BY CLEATS, WITH A MIN-
IMUM OF 10 INCHES CLEAR BETWEEN CLEATS, TO PREVENT FOOT SLIPPING
OFF THE EDGE CLEATS SHALL BE A MINIMUM OF 3/4 INCH HIGH BY 3/4 INCH
WIDE HAVING A MINIMUM THICKNESS OF 3/8 INCH. STEPS SHALL BE CAPABLE
OF SUPPORTING A CONCENTRATED LOAD OF 300 LBS. FERROUS METAL STEPS
NOT PAINTED OR TREATED TO RESIST CORROSION SHALL HAVE A MINIMUM
CROSS SECTIONAL DIMENSION OF 1 INCH.

SOLID ALUMINUM STEPS SHALL HAVE A MINIMUM CROSS SECTIONAL DIMENSION
OF 0.75 INCH. ALUMINUM SURFACES TO BE EMBEDDED IN CONCRETE SHALL BE
GIVEN ONE COAT OF SUITABLE QUALITY PAINT, SUCH AS ZINC CHROMATE
PRIMER CONFORMING TO FEDERAL SPECIFICATION TT-P-645 OR EQUIVALENT.
STEPS OF APPROVED POLYPROPYLENE PLASTIC COATED REINFORCING BAR WILL
BE ACCEPTABLE.

MANHOLES, MANHOLE & INLET COVERS

STATE OF WISCONSIN
DEPARTMENT OF TRANSPORTATION

APPROVED

4/12/2011

DATE

FHWA

/s/ Jerry H. Zogg

ROADSIDE STANDARDS DEVELOPMENT

ENGINEER

6

6

S.D.D. 8 D 17-6

S.D.D. 8 D 17-6

NO DATE REMARKS
REVISIONS



SUNSET DR. & TENNY AVE.
WAUKESHA, WI 53189

PROJECT NO: 2017.0582
DATE: 3-1-18

C4.1
DETAILS

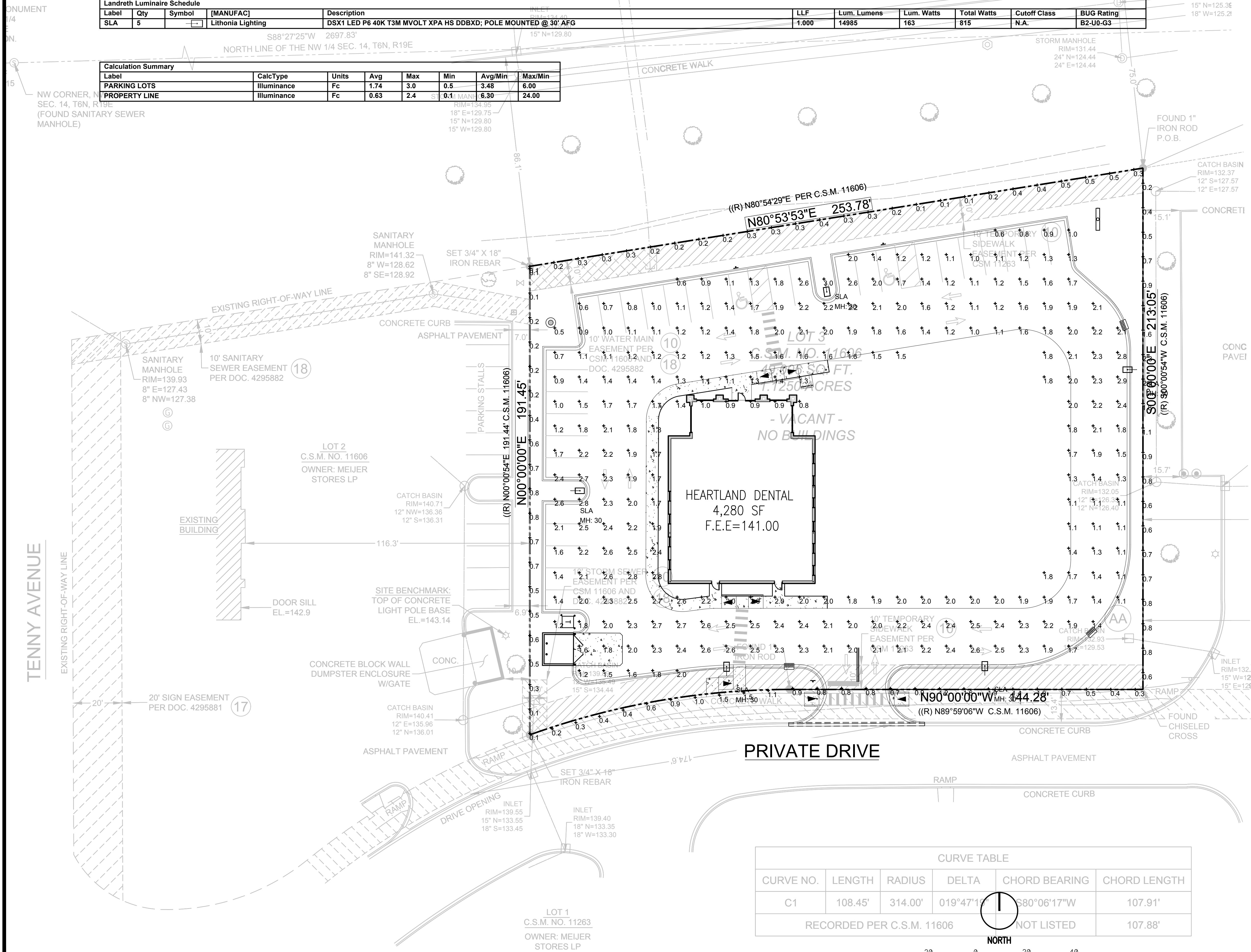
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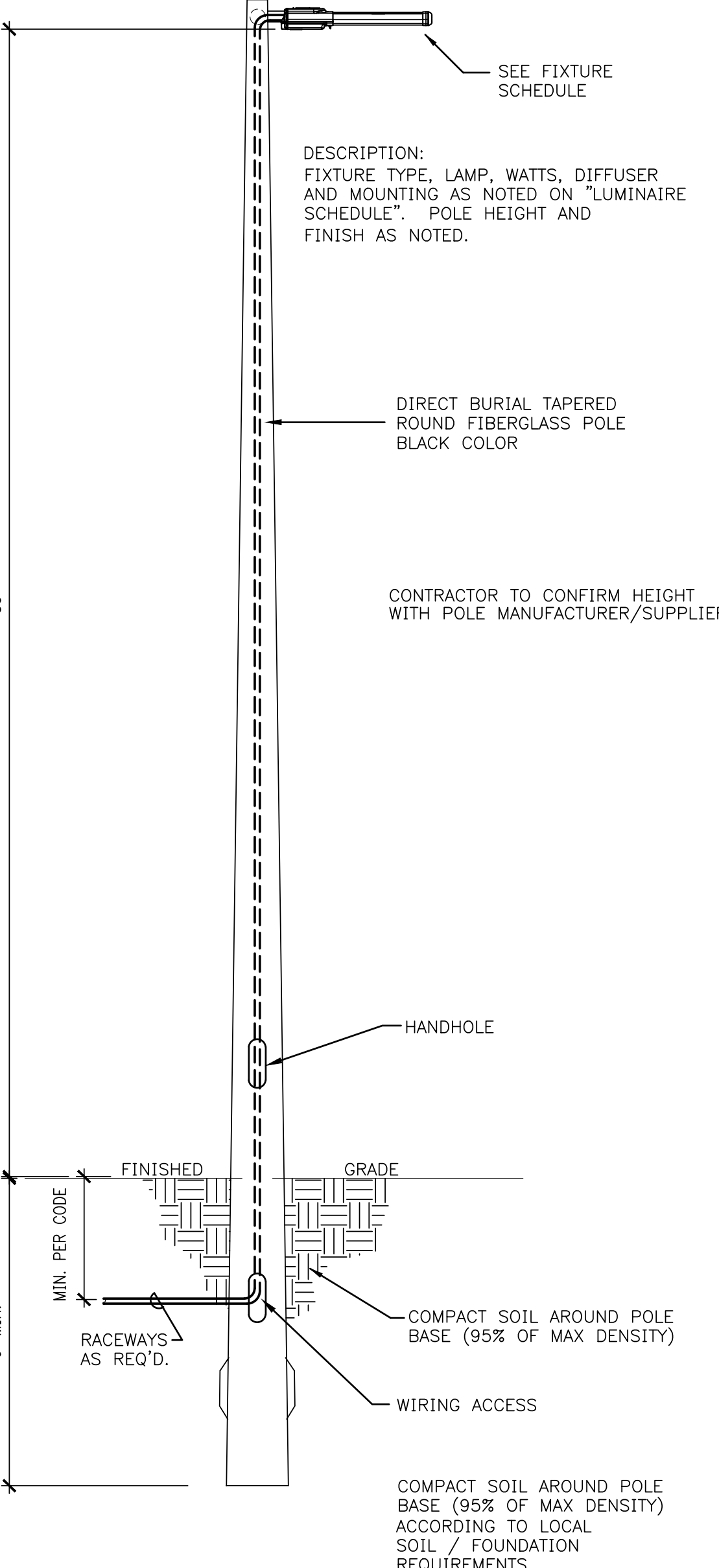
EAST SUNSET DRIVE
(VARIABLE PUBLIC R.O.W.)
ASPHALT PAVEMENT

Label	Qty	Symbol	[MANUFAC]	Description	LLF	Lum. Lumens	Lum. Watts	Total Watts	Cutoff Class	BUG Rating
SLA	5	[Symbol]	Lithonia Lighting	DSX1 LED P6 40K T3M MVOLT XPA HS DDBXD; POLE MOUNTED @ 30' AFG	1.000	14985	163	815	N.A.	B2-U0-G3

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PARKING LOTS	Illuminance	Fc	1.74	3.0	0.5	3.48	6.00
PROPERTY LINE	Illuminance	Fc	0.63	2.4	0.1	6.30	24.00



CURVE TABLE						
CURVE NO.	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH	
C1	108.45'	314.00'	019°47'10"	S80°06'17"W	107.91'	
RECORDED PER C.S.M. 11606					NOT LISTED	107.88'

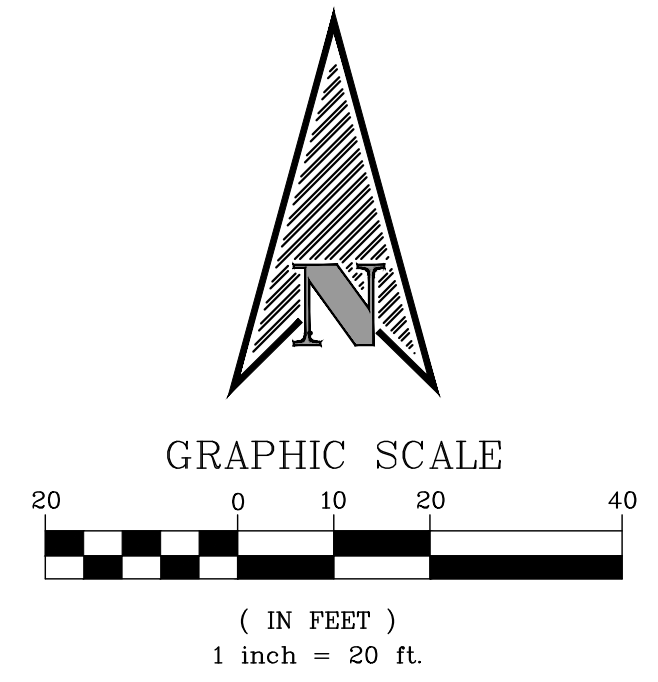


NOTES:
ALL POLE BASES TO BE INSTALLED OF 24"-36" BEHIND BACK OF CONCRETE CURB.
POLE SHALL BE CAPABLE OF WITHSTANDING 90 MPH WIND SPEED (3 SECOND GUST PER AASHTO 2009 SPEC).

1 SITE LIGHTING POLE AND BASE NTS

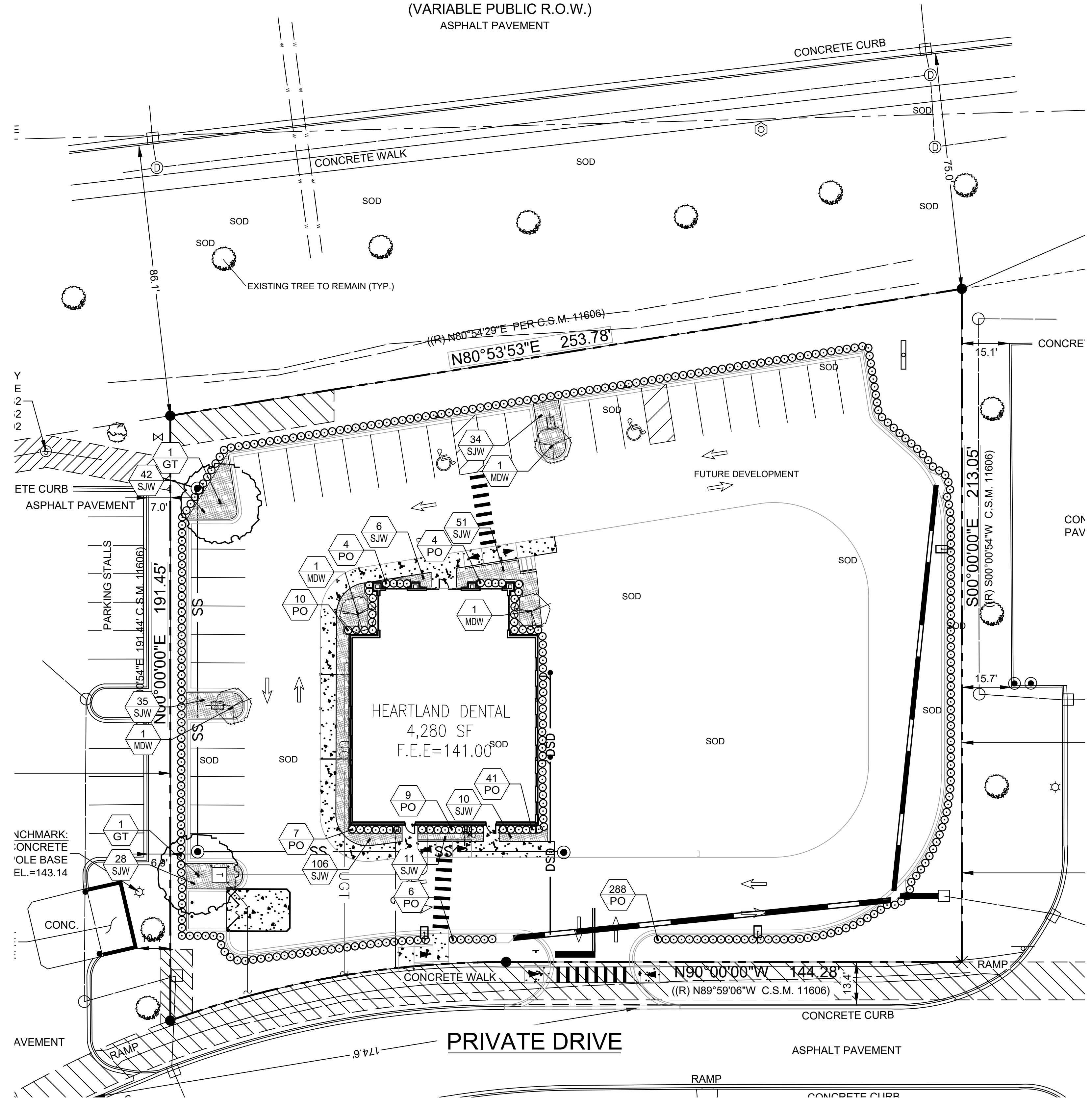
SITE LIGHTING PLAN

1"=20'



EAST SUNSET DRIVE

(VARIABLE PUBLIC R.O.W.)
ASPHALT PAVEMENT



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NO	DATE	REMARKS



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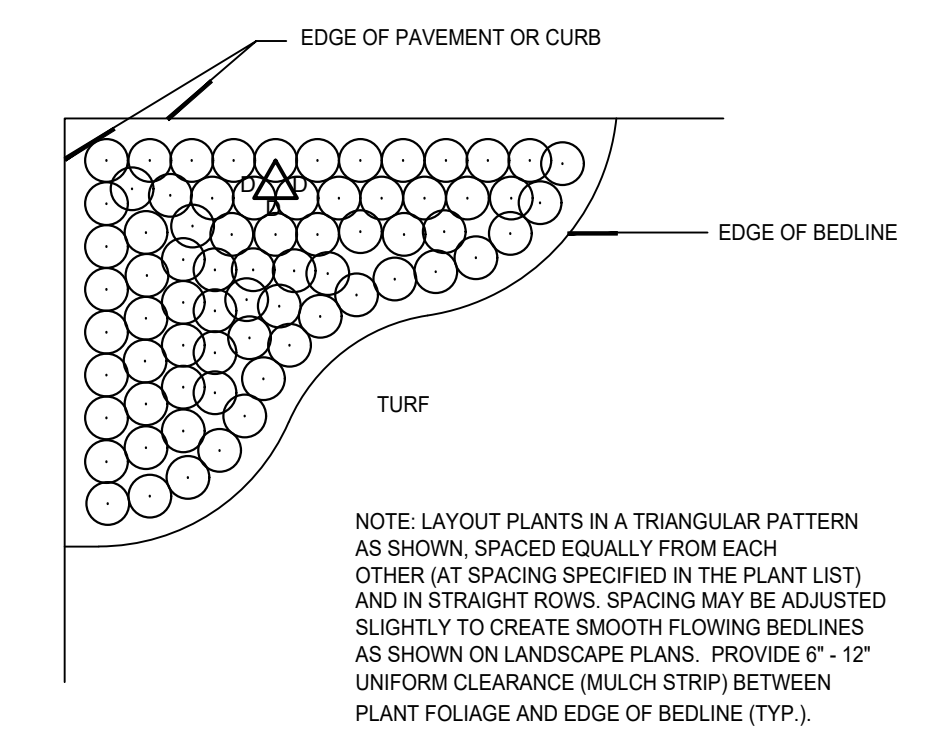
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DATE: 03-23-18

L-1
LANDSCAPE PLAN

CHECKED: JB DRAWN: JB

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SEAL:



SHRUB/GROUNDCOVER SPACING DETAIL
NOT TO SCALE

PROVIDE AGRIFORM (20-10-5) FERTILIZER TABLETS AT THE FOLLOWING RATES:
3 GAL / 2 TABLETS, 1 GAL / 1 TABLET.

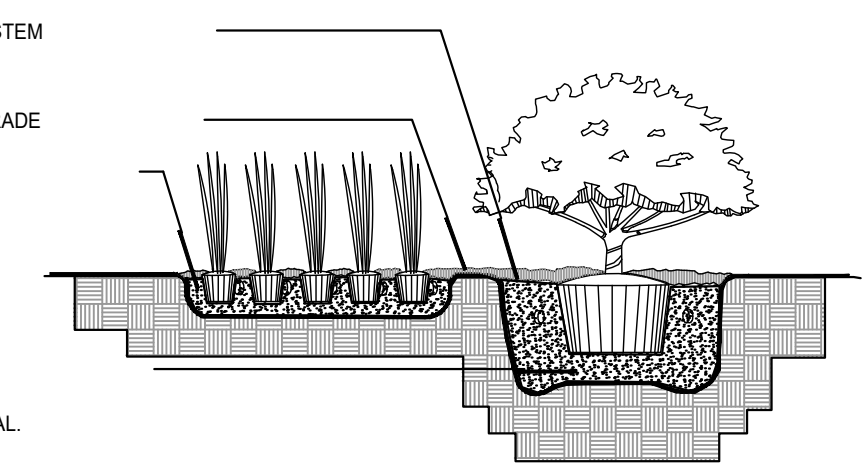
PROVIDE 6" MINIMUM CLEARANCE AROUND ROOT BALL (SIDES AND BOTTOM).

2" MULCH MINIMUM - DO NOT COVER MAIN STEM

SET TOP OF ROOTBALL 1" ABOVE FINISH GRADE

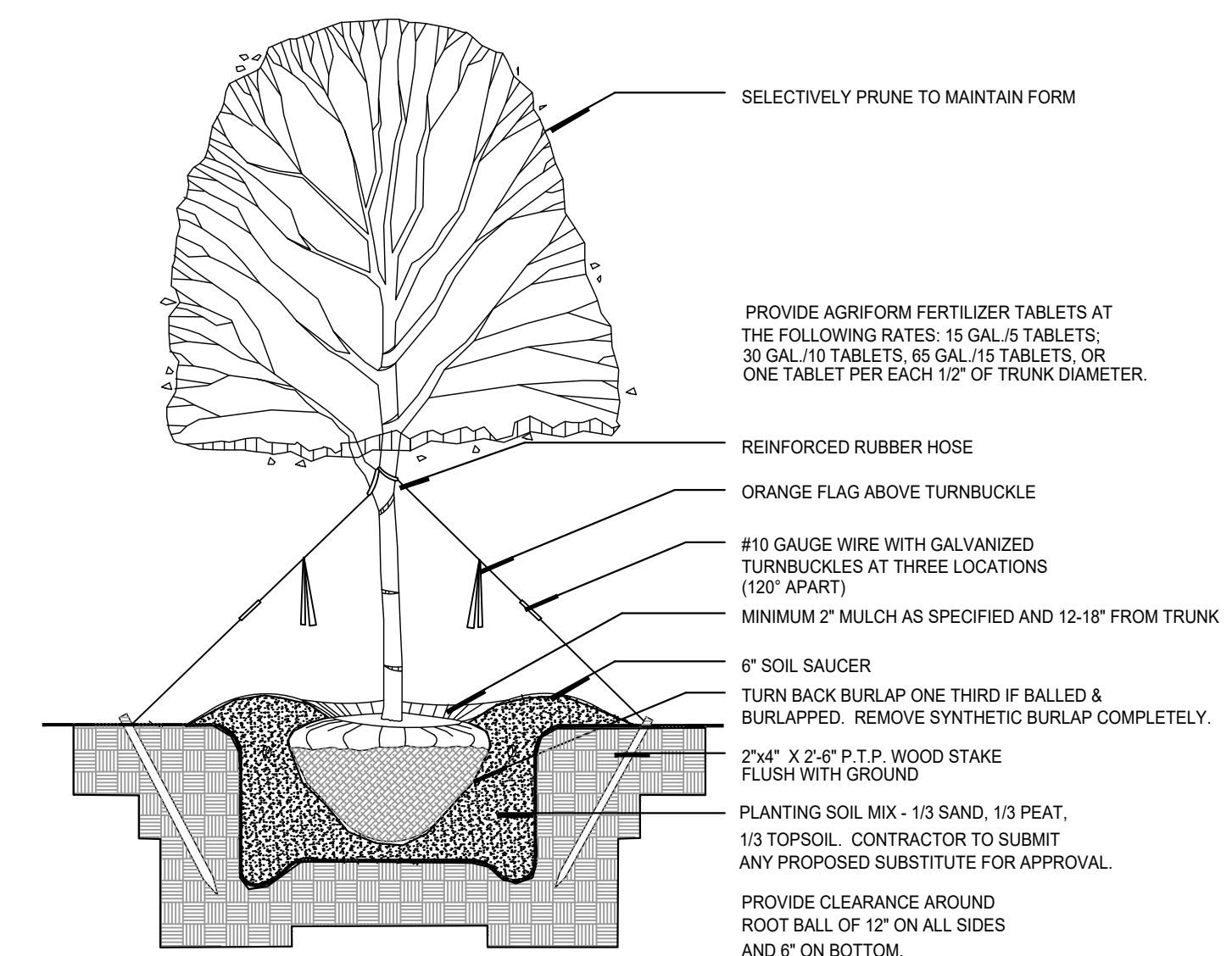
12" MINIMUM DEPTH OF PLANTING SOIL MIX IN SHRUB/GROUNDCOVER PLANTING BEDS.

PLANTING SOIL MIX - 1/3 SAND, 1/3 PEAT, 1/3 TOPSOIL. CONTRACTOR TO SUBMIT ANY PROPOSED SUBSTITUTE FOR APPROVAL.



SHRUB AND GROUNDCOVER PLANTING DETAIL
NOT TO SCALE

PLANT LIST					
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	DESCRIPTION	REMARKS
TREES					
GT	2	GLEDITSIA TRIACANTHOS	COMMON HONEY LOCUST	2-1/2" DBH	SPACE AS SHOWN GUY
MDW	4	MALUS DONALS WYMAN	DONALD WYMAN CRABAPPLE	1.5" DBH	SPACE AS SHOWN GUY
SHRUBS					
PO	369	PHYSOCARPUS OPULIFOLIUS	DIABOLO NINEBARK	18" HEIGHT	30" O.C.
GROUNDCOVER					
SJW	323	SPIREA JAPONICA WALBUMA	MAGIC CARPET SPIREA	1 GAL CAN, FULL	24" O.C.
SOD					
	SEE PLANS	POA PRATENSIS	KENTUCKY BLUE GRASS	SOLID, FREE OF PESTS AND DISEASES	FIELD VERIFY QTY.
MULCH					
	SEE PLANS	MINI PINE BARK NUGGETS	MINI PINE BARK NUGGETS	FREE OF DIRT AND DEBRIS	FIELD VERIFY QTY.



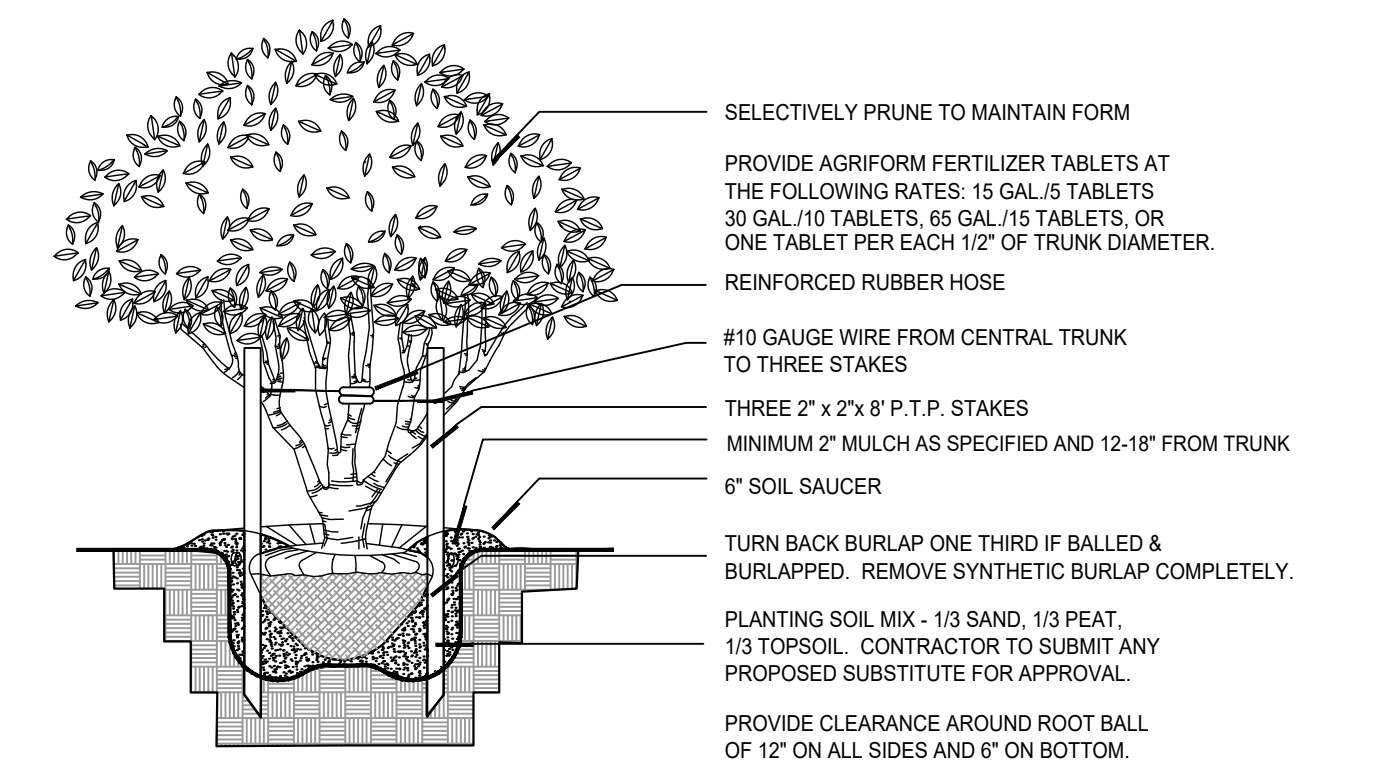
TREE PLANTING DETAIL
NOT TO SCALE

LANDSCAPE PLANTING NOTES:

1. ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL FREE OF PESTS AND DISEASES.
2. ALL PLANTS SHALL BE GRADE #1, AS GRADED IN GRADES AND STANDARDS FOR NURSERY PLANTS.
3. ALL PLANTS ARE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT AND OWNER BEFORE, DURING, AND AFTER INSTALLATION.
4. ALL SINGLE-TRUNKED TREES SHALL BE STRAIGHT TRUNKED WITH ONE CENTRAL LEADER AND HAVE A FULL, DENSE CROWN.
5. ALL TREES SHALL BE STAKED AND GUYED AS SHOWN IN PLANTING DETAILS.
6. ALL MULCH PLANTING AREAS SHALL BE A MINIMUM OF 2" IN DEPTH.
7. ALL PLANTING AREAS SHALL HAVE A MINIMUM OF 3" TOPSOIL.
8. ALL TREES SHALL BE FREE OF OPEN WOUNDS AND WOUND SCARS IN THE CLEAR TRUNK AREA.
9. ANY SYNTHETIC BURLAP AND/OR WIRE BASKETS MUST BE TOTALLY REMOVED PRIOR TO INSTALLATION OF PLANT MATERIAL. IF NATURAL BURLAP IS USED, IT MAY BE TURNED DOWN 1/3 OF THE ROOTBALL.

LANDSCAPE CONTRACTOR NOTES:

1. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING, IN FULL, ALL LANDSCAPE PLANTING AREAS, UNTIL THE JOB IS ACCEPTED IN FULL BY THE OWNER. "IN FULL" MEANS WATERING, PEST CONTROL, MULCHING, MOWING, FERTILIZING AND RESETTING TREES THAT ARE OUT OF PLUMB.
2. THE LANDSCAPE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL INSTALLED PLANT MATERIAL FOR A PERIOD OF ONE CALENDAR YEAR BEGINNING ON THE DATE OF 100% COMPLETION. ANY AND ALL REQUIRED PLANT REPLACEMENTS SHALL BE MADE PROMPTLY AND AT NO ADDITIONAL COST TO THE OWNER.
3. THE LANDSCAPE CONTRACTOR SHALL STAKE THE LOCATIONS OF ALL PLANT MATERIAL AND PLANTING BED LINES FOR REVIEW BY THE LANDSCAPE ARCHITECT AND OWNER.
4. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL WRITTEN PLANT QUANTITIES PRIOR TO INITIATION OF THE WORK. IN THE EVENT THAT THE PLANS CONTRADICT THE PLANT LIST, THE PLANS SHALL RULE.
5. THE LANDSCAPE CONTRACTOR SHALL BE FAMILIAR WITH AND ACCEPT THE EXISTING SITE CONDITIONS PRIOR TO INITIATION OF THE WORK. ANY VARIATION FROM THE SPECIFIED WORK SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
6. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES, DRAINAGE STRUCTURES, CURBS, SIDEWALKS, AND ANY OTHER OBJECTS WHICH MIGHT BE DAMAGED DURING THE WORK.
7. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ANY AND ALL NECESSARY REPAIRS TO DAMAGE CAUSED BY HIS WORK AT NO ADDITIONAL COST TO THE OWNER OR LANDSCAPE ARCHITECT.
8. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, AND FOLLOWING ALL APPLICABLE LOCAL CODES PERTAINING TO THE PROJECT DURING THE COURSE OF HIS WORK.
9. CONTRACTOR TO PROVIDE IRRIGATION WITH 100% COVERAGE USING AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH A RAIN SENSOR.



MULTI-TRUNK TREE PLANTING DETAIL
NOT TO SCALE

NO	DATE	REVISIONS	REMARKS



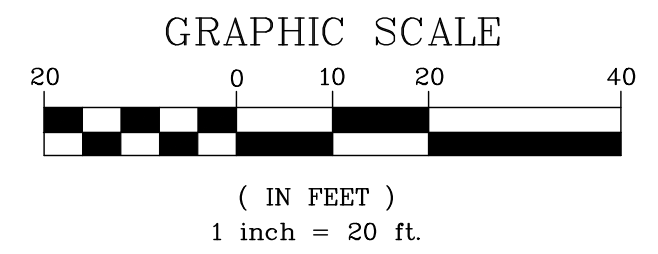
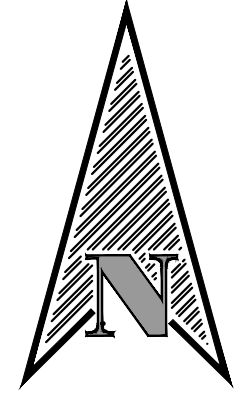
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WAUKESHA, WI 53189

PROJECT NO: 2017.0582
DATE: 03-23-18

L-2
LANDSCAPE DETAIL

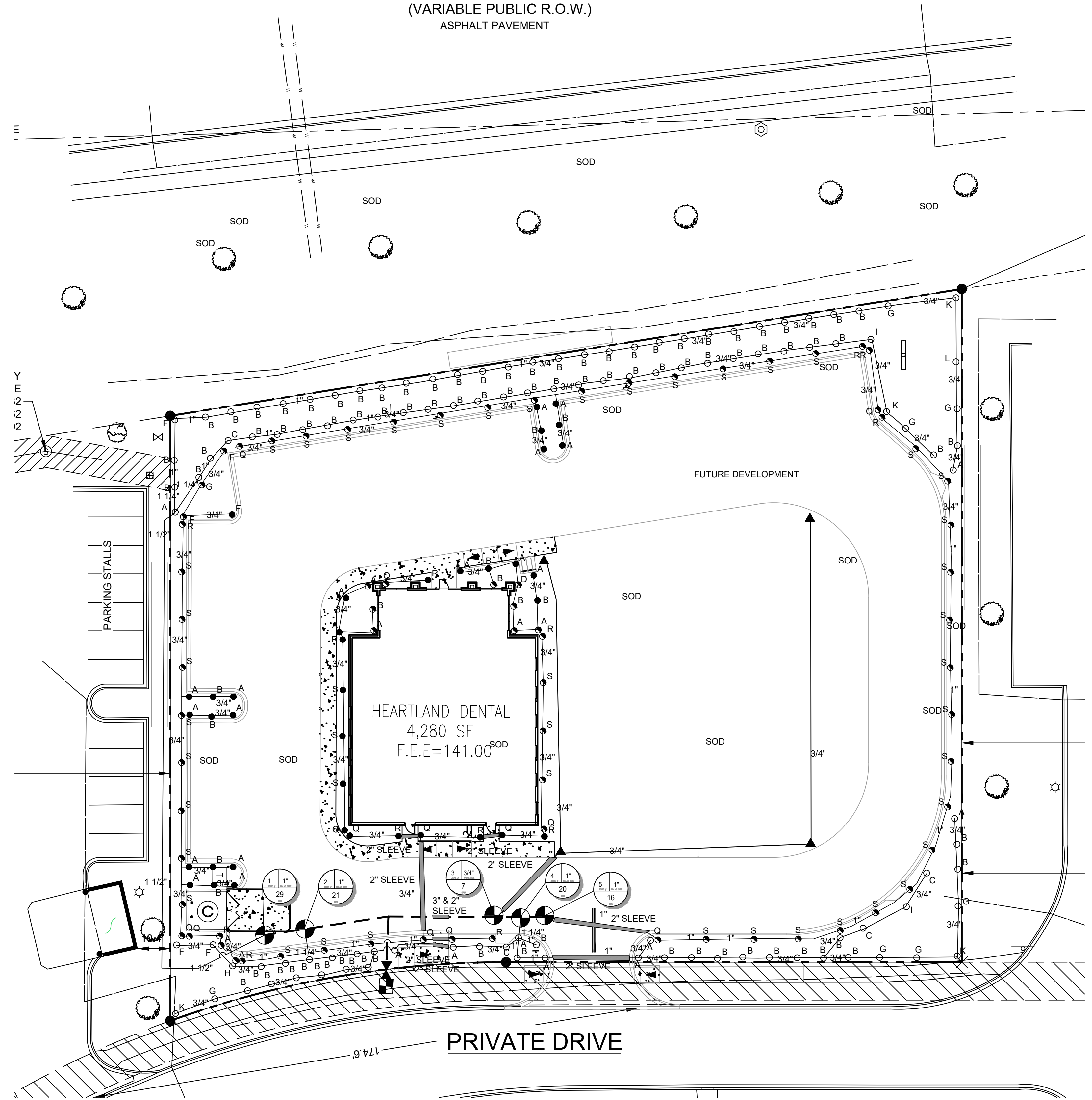
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EAST SUNSET DRIVE

(VARIABLE PUBLIC R.O.W.)
ASPHALT PAVEMENT



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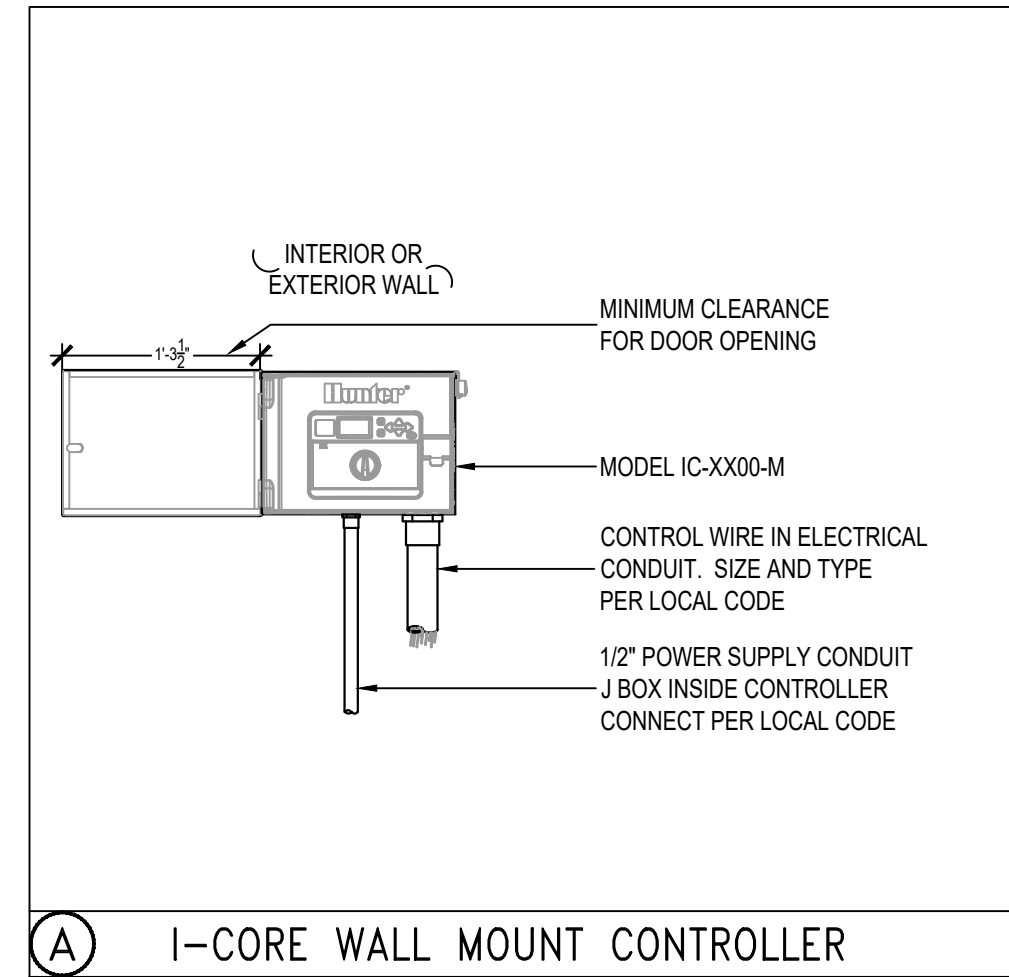
L-3

IRRIGATION PLAN

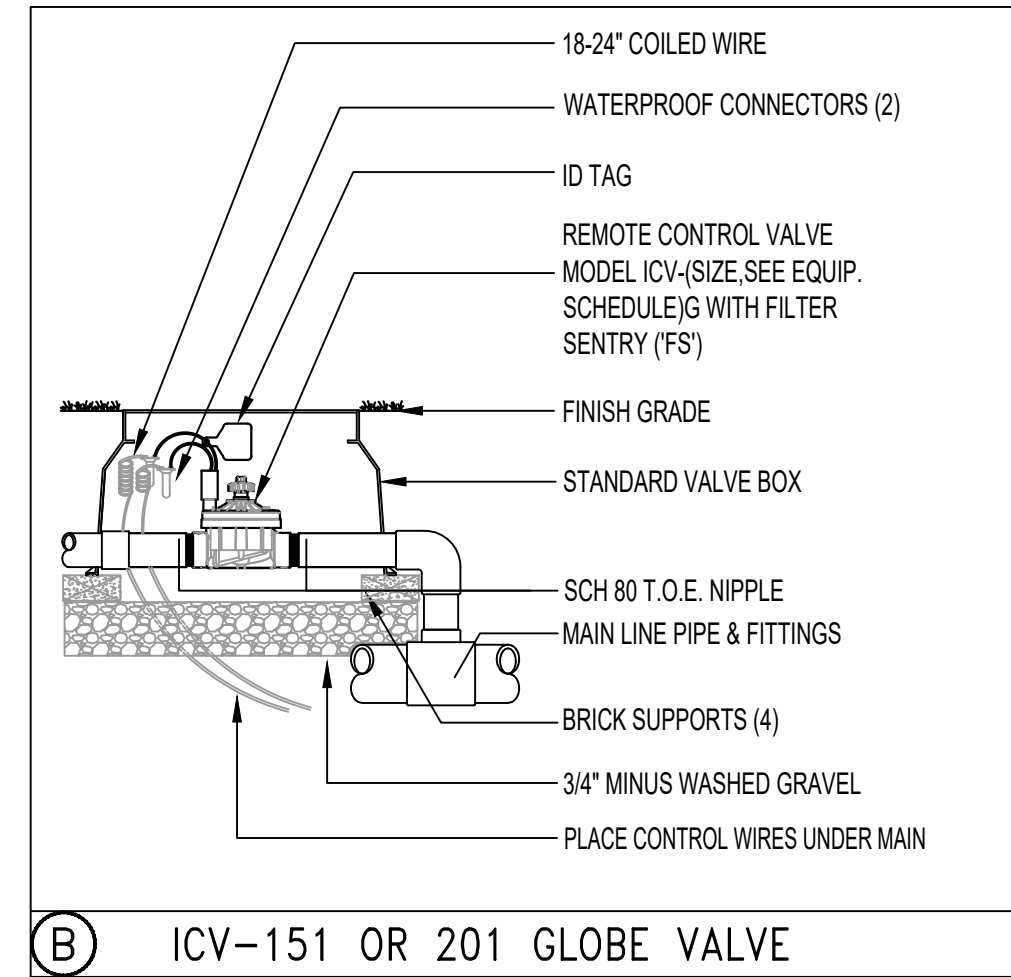
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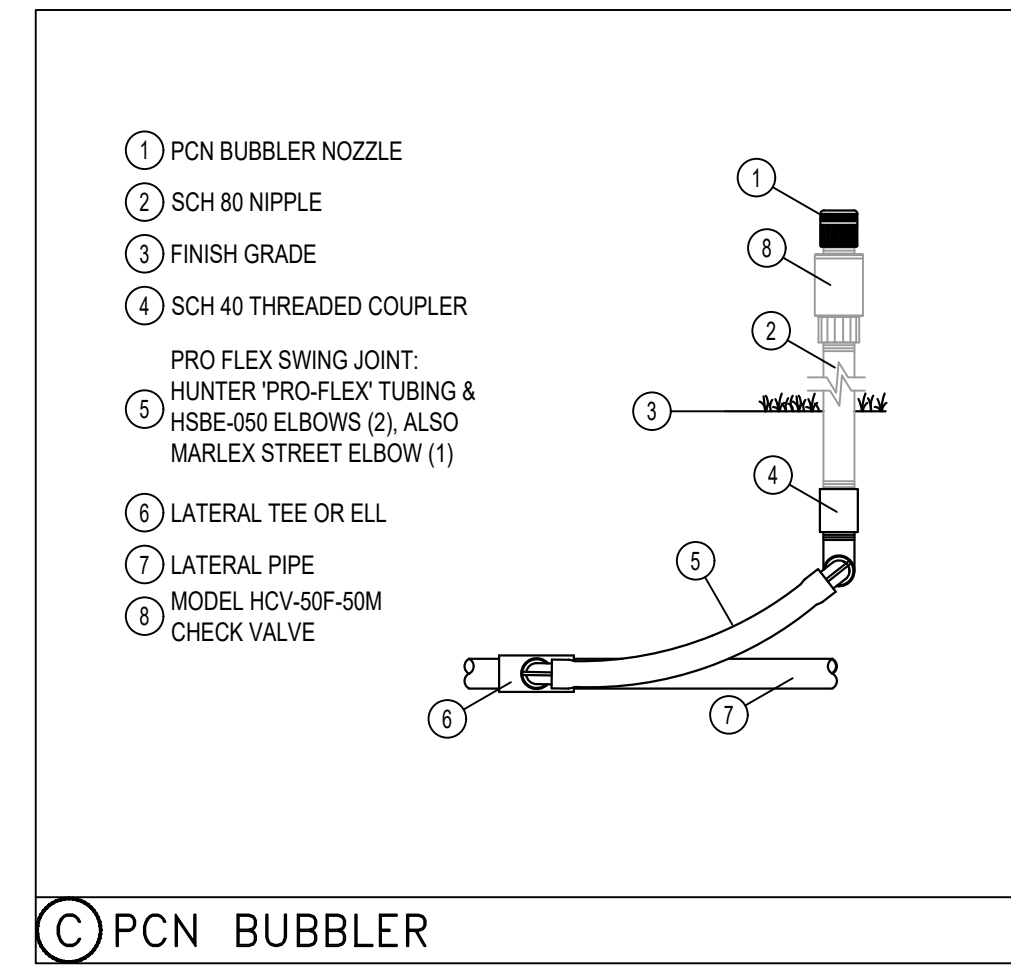
IRRIGATION DETAILS



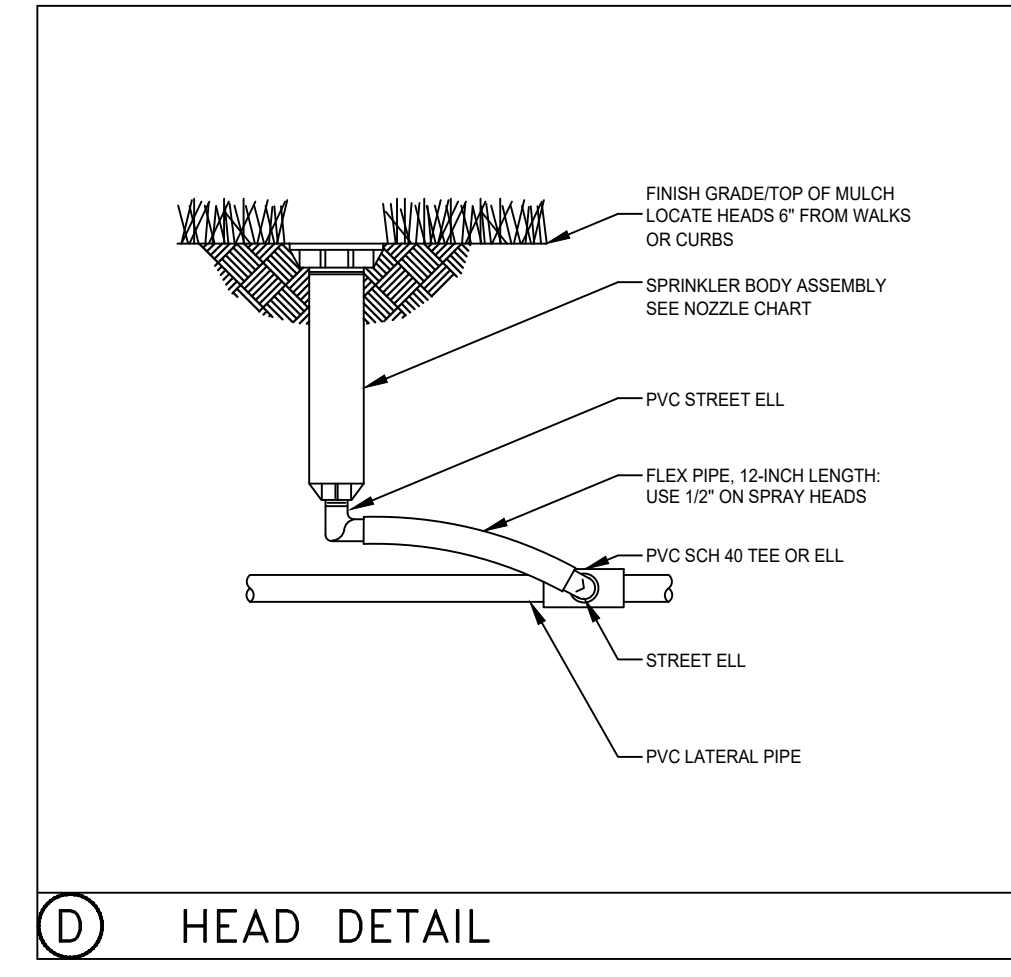
A I-CORE WALL MOUNT CONTROLLER



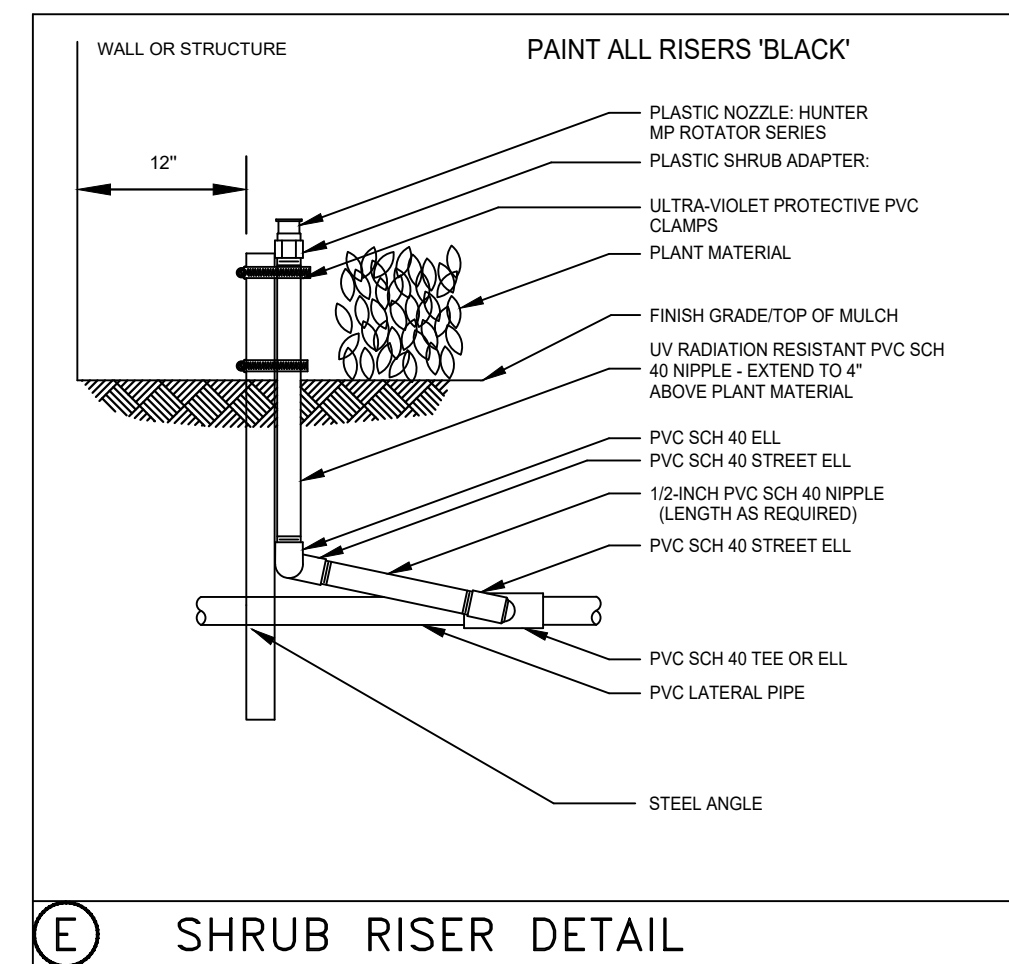
B ICV-151 OR 201 GLOBE VALVE



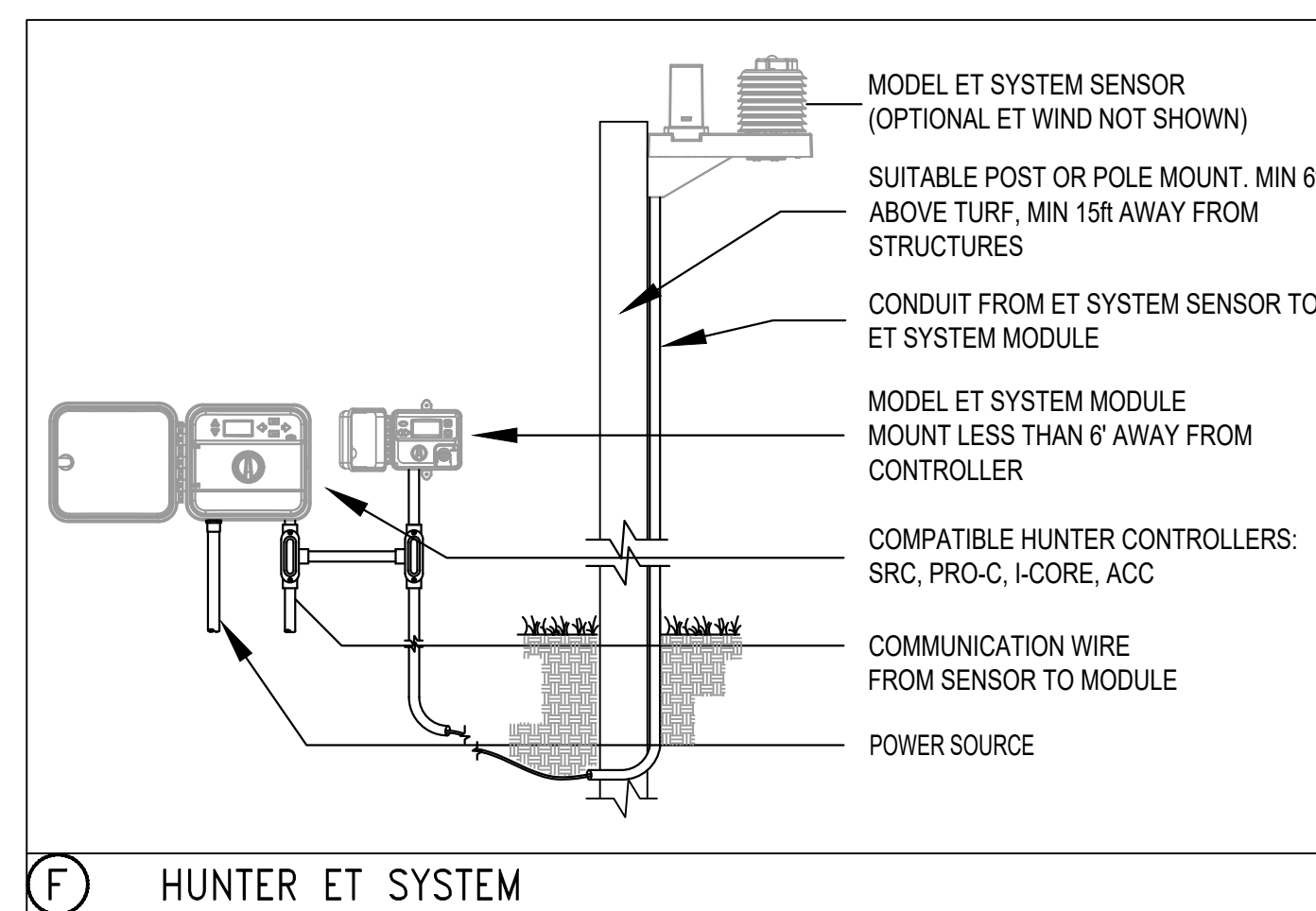
C PCN BUBBLER



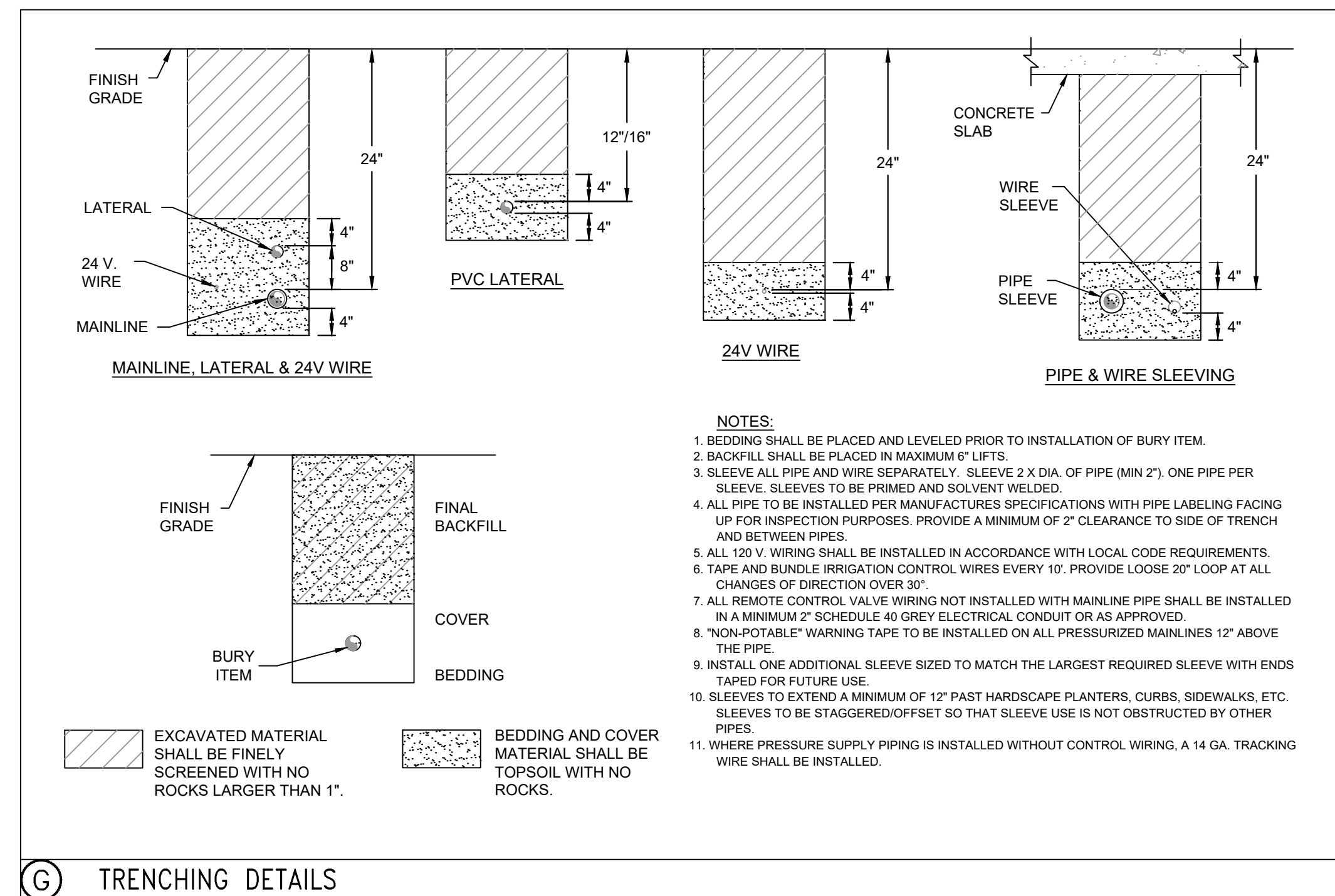
D HEAD DETAIL



E SHRUB RISER DETAIL



F HUNTER ET SYSTEM



G TRENCHING DETAILS

SPRAY NOZZLE CHART

	SYM	NOZZLE	NOZZLE PATTERN	GPM
MP1000 8'-15' radius	A	MAROON	90° ADJUSTABLE ARC	.19
	B	MAROON	180° ADJUSTABLE ARC	.37
	C	LT. BLUE	210° ADJUSTABLE ARC	.43
	D	LT. BLUE	270° ADJUSTABLE ARC	.57
	E	OLIVE	360° ARC	.75
MP2000 13'-21' radius	F	BLACK	90° ADJUSTABLE ARC	.40
	G	BLACK	180° ADJUSTABLE ARC	.74
	H	GREEN	210° ADJUSTABLE ARC	.86
	I	GREEN	270° ADJUSTABLE ARC	1.10
	J	RED	360° ARC	1.47
MP3000 22'-30' radius	K	BLUE	90° ADJUSTABLE ARC	.86
	L	BLUE	180° ADJUSTABLE ARC	1.82
	M	YELLOW	210° ADJUSTABLE ARC	2.12
	N	YELLOW	270° ADJUSTABLE ARC	2.73
	O	GRAY	360° ARC	3.64
STRIPS & CORNERS	P	TURQUOISE	45°-105° ADJUSTABLE ARC	.45
	Q	IVORY	5x15' LEFT STRIP	.22
	R	COPPER	5x15' RIGHT STRIP	.22
BUBBLERS AND MICRO-SPRAYS	S	BROWN	5x30' SIDE STRIP	.44
	T	PCN10	1.00 GPM FLOOD BUBBLER	1.00
	U	PCN50	.50 GPM FLOOD BUBBLER	.50
	V	SR-2Q	90° 2' RADIUS	.11
W	SR-2H	180° 2' RADIUS	.16	
X	MS-F	360° 5' RADIUS	.50	

IRRIGATION NOTES

- REFER TO THE LANDSCAPE PLANS WHEN TRENCHING TO AVOID TREES AND SHRUBS.
- ALL MAINLINE PIPING SHALL BE BURIED TO A MINIMUM DEPTH OF 18" OF COVER. ALL LATERAL PIPING SHALL BE BURIED TO A MINIMUM DEPTH OF 12" OF COVER.
- ALL POP-UP ROTORS AND SPRAY HEADS SHALL BE INSTALLED USING AN 18" P.V.C. FLEX PIPE CONNECTION. DO NOT USE FUNNY PIPE.
- ADJUST ALL NOZZLES TO REDUCE WATER WASTE ON HARD SURFACES AND BUILDING WALLS.
- THROTTLE ALL VALVES ON SHRUB LINES AS REQUIRED TO PREVENT FOGGING.
- ALL RISERS SHALL BE PAINTED BLACK.
- ALL RISERS SHALL BE STAKED WITH A STEEL ANGLE AND SECURED WITH ULTRA-VIOLET LIGHT PROTECTED P.V.C. CLAMPS.
- ALL CONTROL WIRE SPLICES SHALL BE MADE IN VALVE BOXES USING SNAP-TITE CONNECTORS AND SEALANT.
- THE CONTRACTOR SHALL PREPARE AN AS-BUILT DRAWING ON A REPRODUCIBLE PAPER (SEPIA OR MYLAR) SHOWING ALL INSTALLED IRRIGATION. A MYLAR OR SEPIA OF THE ORIGINAL PLAN MAY BE OBTAINED FROM THE LANDSCAPE ARCHITECT FOR A FEE. THE DRAWING SHALL LOCATE ALL MAINLINE AND VALVES BY SHOWING EXACT MEASUREMENTS FROM HARD SURFACES.
- ALL VALVES, GATE VALVES AND QUICK COUPLERS SHALL BE INSTALLED IN VALVE BOXES.
- ANY PIPING SHOWN OUTSIDE THE PROPERTY LINE OR RUNNING OUTSIDE A LANDSCAPE AREA IS SHOWN THERE FOR CLARITY ONLY. ALL LINES SHALL BE INSTALLED ON THE PROPERTY AND INSIDE THE LANDSCAPE AREAS.
- ALL RISERS SHALL BE INSTALLED 12" FROM ANY WALL AND A MINIMUM OF 36" FROM ANY SIDEWALK, PATIO OR ROAD.
- THE EXACT HEIGHT OF ANY 12" POP-UP THAT IS SHOWN IN A SHRUB BED SHALL BE DETERMINED BY THE LANDSCAPE ARCHITECT IN THE FIELD.
- THE CONTRACTOR SHALL EXERCISE CARE SO AS NOT TO DAMAGE ANY EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMMEDIATE REPAIRS AND COST OF ANY DAMAGE CAUSED BY HIS WORK.
- ALL WORK SHALL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE AGAINST ALL DEFECTS IN EQUIPMENT AND WORKMANSHIP.
- CONTRACTOR TO USE MIN. OF 12 GAUGE WIRE FOR ALL COMMON WIRES AND 14 GAUGE WIRE FOR ALL CONTROL WIRES. CONTRACTOR ALSO TO PROVIDE 3 SPARE CONTROL WIRES FOR ANY FUTURE USE.
- CONCRETE THRUST BLOCKS ARE TO BE UTILIZED AT ALL MAINLINE DIRECTION CHANGES.
- ALL IRRIGATION SHOWN ON PLANS IS SCHEMATIC AND DOES NOT REFLECT ALL FITTINGS AND APPURTENANCES WHICH SHALL BE INCLUDED TO PROVIDE A FULLY FUNCTIONAL IRRIGATION SYSTEM CAPABLE OF PROVIDING 100 PERCENT COVERAGE WITH A 50 PERCENT OVERLAP.

EQUIPMENT LIST

SYMBOL	DESCRIPTION	QUANTITY
■	0.50 GPM BUBBLER (2 PER TREE)	0
○	6" POP-UP SPRAY - HUNTER INDUSTRIES MPR40 WMP2000 NOZZELS	114
●	12" POP-UP SPRAY - HUNTER INDUSTRIES MPR40 WMP2000 NOZZELS	38
●	SPRAY ON RISER - HUNTER INDUSTRIES INST-00-CV-MP2000	73
▲	HUNTER INDUSTRIES - 4" POP-UP PGP ROTORS- PART RADIUS	4
▲	HUNTER INDUSTRIES - 4" POP-UP PGP ROTORS- FULL RADIUS	0
⊙	HUNTER '10V' SERIES ELECTRIC VALVE WITH ACCU-SET PRESSURE REGULATOR 1"	4
⊙	HUNTER '10V' SERIES ELECTRIC VALVE WITH ACCU-SET PRESSURE REGULATOR 3/4"	1
⊙	HUNTER ICC 8 STATION CONTROLLER. 120VOLT INSTALL WITH A ET SENSOR AND BY-PASS BOX. GROUND WITH AN 8' COPPER CLAD ROD.	1
■	1" POTABLE IRRIGATION METER TO PROVIDE 30 GPM AT 40 PSI	1
⊗	1" DOUBLE CHECK VALVE BACKFLOW PREVENTOR	1
—	LATERAL LINE SIZE PER PLAN	SEE PLAN
---	1-1/2" MAINLINE CLASS 200 P.V.C. SIZE PER PLAN	SEE PLAN
■	SLEEVING - SCH. 40 P.V.C. MIN. DEPTH OF 24" (ALL 3" SLEEVES TO HAVE ACCOMPANYING 2" SLEEVE FOR WIRES)	SEE PLAN

NO DATE REMARKS
REVISIONS



Heartland Dental

at Waukesha

LEGAL DESCRIPTION:

AS DESCRIBED IN CHICAGO TITLE INSURANCE COMPANY - FIDELITY NATIONAL TITLE INSURANCE COMPANY ORDER NUMBER CO-7016 NCS-MI-FILE NO. 17-111319 WITH AN EFFECTIVE DATE OF NOVEMBER 21, 2017 - REVISION A.

Lot 3 of Certified Survey Map No. 11606, recorded August 23, 2017 in Book 116 of Certified Survey Maps on Pages 94-97, as Document No. 4295767, being a division of Lots 2 and 3 in Certified Survey Map No. 11263, being a division of part of the Northeast 1/4 and Southeast 1/4 of Section 14, Township 6 North, Range 19 East, in the City of Waukesha, County of Waukesha, State of Wisconsin.

Tax Key No: WAKC 1350.256 (Lot 3) and part of WAKC 1350.255 (Lot 2)
Address: Situated on E. Sunset Drive

TABLE A

- Monuments placed at the corners of the boundary of the property.
- Address (as disclosed in title commitment): E. Sunset Drive.
- Flood Zone Classification: The property lies within in Zone "X" of the Flood Insurance Rate Map Community Panel No. 55133C0326G dated NOVEMBER 5, 2014. Zone "X" areas are determined to be outside the 0.2% annual chance floodplain.
- Land Area: 49,006 Square Feet (1.1250 Acres).
- Vertical Datum: City of Waukesha (City of Waukesha Vertical Datum conversion = National Geodetic Vertical Datum of 1929 minus (-) 780.55). Contours are shown at a 1' interval based on actual ground survey of the current ground terrain. Reference Benchmark: Concrete monument with brass cap at the northeast corner of the Northwest 1/4 Section 14, Town 6 North, Range 19 East, Elevation = 898.64 NGVD29 = 118.09 CITY.
- Letter / Zoning Report not supplied by client at time of survey.
- The subject property is vacant - No Buildings.
- Substantial features observed in the process of conducting the field work graphically shown on survey.
- There are no designated parking spaces on the subject property.
- Underground utility locations shown are based on field location markings by Digger's Hotline ticket #20174904724 with a clear date of DECEMBER 11, 2017. The location and size of underground structures and utilities shown hereon have been located based on a reasonable visual observation and are shown for informational purposes only. PINNACLE ENGINEERING GROUP, LLC. does not guarantee the location of utilities shown. Contact Digger's Hotline prior to the start of any activity.
- Names of adjoining owners according to current public records: Shown on Survey.
- The subject property is located 190 feet east of the intersection of East Sunset Drive and Tenny Avenue.
- No evidence of recent earth moving work, building construction or building additions observed in the process of conducting the fieldwork.
- No evidence of changes in street right of way lines and street or sidewalk construction or repairs observed in the process of conducting the fieldwork.
- No wetlands were delineated or observed in the process of conducting the fieldwork.
- Offsite easements as disclosed in the title are graphically shown on Survey.
- Certificate of Professional Liability Insurance furnished upon request and in effect throughout the contract term.
- Additional Items requested by the client: Location and type of any trees of significant note, 4" in diameter (at DBH) or greater. At the time of the survey, there were no trees on the subject property.

CERTIFICATION

To: Meijer Stores Limited Partnership, a Michigan limited partnership or their designee; Chicago Title Company; Fidelity National Title Insurance Company;

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS LAND TITLE SURVEYS, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 6(b), 7(a), 7(b)(1), 8, 9, 11, 13, 14, 16, 17, 18, 19, 20 and 21 of Table A thereof. The fieldwork was completed on DECEMBER 14, 2017 and JANUARY 4, 2018.

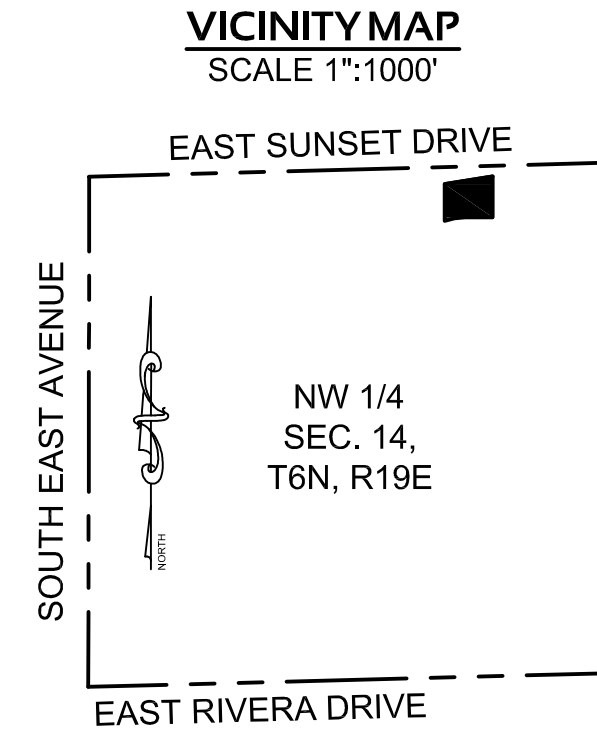
John P. Konopacki, PLS
License No. S-2461

WISCONSIN LAND SURVEYOR

JOHN P. KONOPACKI
S-2461
Waukesha, WI

Date of Plat or Map: JANUARY 29, 2018

PINNACLE ENGINEERING GROUP, LLC.
15850 West Bluemound Road Suite 210
Brookfield, WI 53005
Phone: 262-754-8888
Fax: 262-754-8850



LEGEND OF SYMBOLS & ABBREVIATIONS

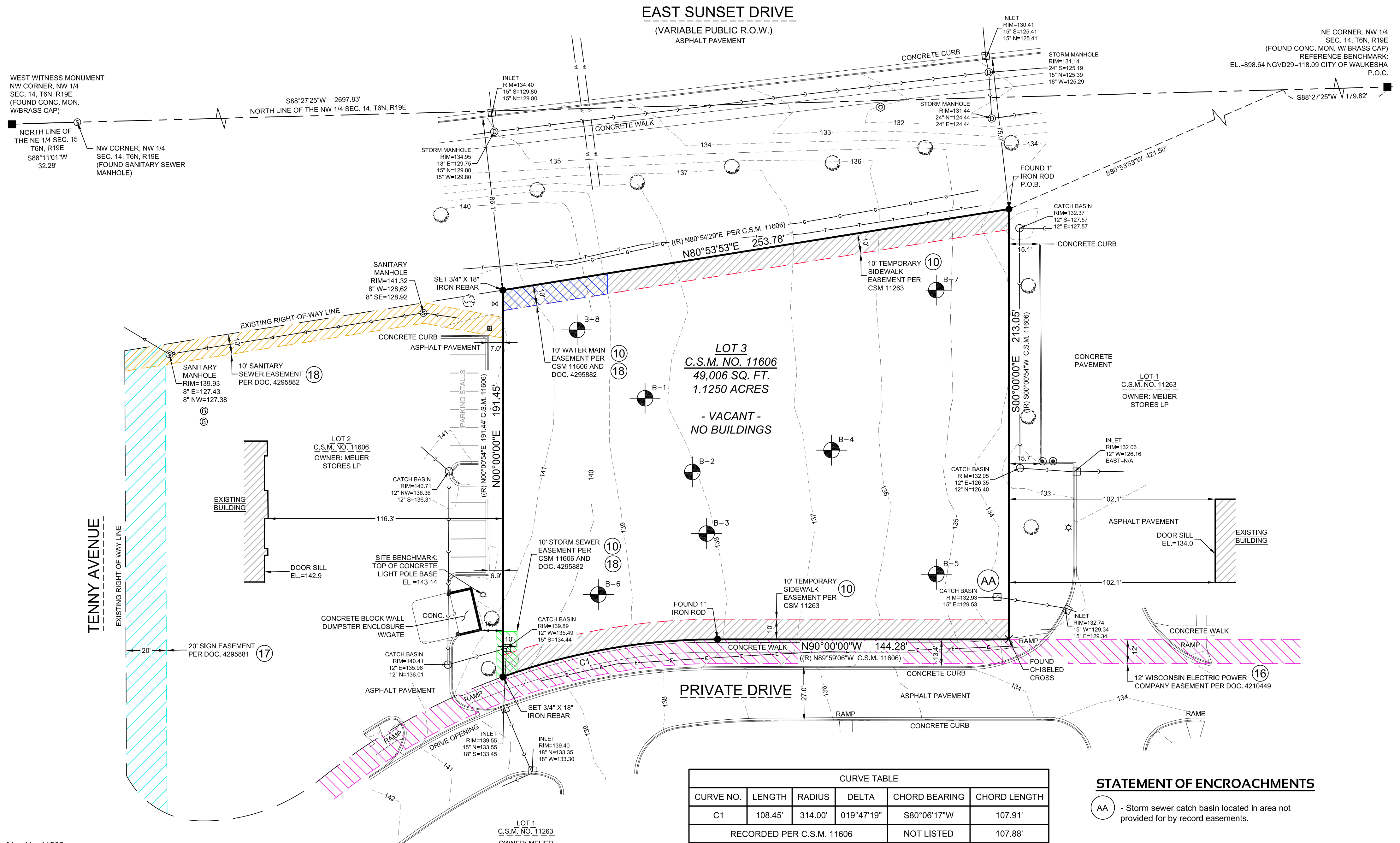
- | | | | | | |
|---|------------------|---|-----------------------|-------------|------------------------|
| ⊙ | SANITARY MANHOLE | △ | FIBER OPTIC MARKER | — | SIGN |
| ⊕ | STORM MANHOLE | ⊙ | FIBER OPTIC MANHOLE | ☐ | MAIL BOX |
| ⊖ | STORM INLET | ⊕ | TELEPHONE PEDESTAL | ⊕ | FLAG POLE |
| ⊗ | CLEANOUT | ⊕ | TELEPHONE MANHOLE | ⊕ | BASKETBALL HOOP |
| ⊙ | CATCH BASIN | ⊕ | TELEPHONE MARKER | ⊕ | BOLLARD |
| ⊕ | FORCE MAIN VALVE | ⊕ | TRANSFORMER | ⊕ | CROSS CUT |
| ⊕ | UNKNOWN MANHOLE | ⊕ | ELECTRIC METER | ⊕ | IRON PIPE |
| ⊕ | WELL | ⊕ | ELECTRIC MANHOLE | ⊕ | IRON REBAR/ROD |
| ⊕ | HYDRANT | ⊕ | CABLE TV RISER/BOX | ⊕ | MAG NAIL |
| ⊕ | WATER VALVE | ⊕ | GAS VALVE | ⊕ | SECTION MONUMENT |
| ⊕ | DOWN SPOUT | ⊕ | GAS METER | ⊕ | SOIL BORINGS |
| ⊕ | SPRINKLER VALVE | ⊕ | GAS MARKER | ⊕ | CONIFER TREE |
| ⊕ | WATER SHUT OFF | ⊕ | AIR CONDITIONING UNIT | ⊕ | DECIDUOUS TREE |
| ⊕ | STANDPIPE | ⊕ | VENT | ⊕ | BUSH |
| ⊕ | WATER MANHOLE | ⊕ | DIRECTIONAL ARROW | ⊕ | WETLAND SYMBOL |
| ⊕ | FLOOD LIGHT | ⊕ | DUMPSTER | CL. | =CENTERLINE |
| ⊕ | TRAFFIC SIGNAL | ⊕ | HANDICAP STALL | CONC. | =CONCRETE |
| ⊕ | UTILITY POLE | ⊕ | GREASE TRAP | EL. | =ELEVATION |
| ⊕ | GUY WIRE | ⊕ | SANITARY SEWER | EXT. | =EXISTING |
| — | — | — | STORM SEWER | INV. | =INVERT |
| — | — | — | WATER MAIN | MON. | =MONUMENT |
| — | — | — | FIBER OPTIC LINE | P.O.B. | =POINT OF BEGINNING |
| — | — | — | TELEPHONE LINE | P.O.C. | =POINT OF COMMENCEMENT |
| — | — | — | ELECTRIC LINE | R.O.W. | =RIGHT OF WAY |
| — | — | — | OVERHEAD WIRES | SEC. | =SECTION |
| — | — | — | CABLE TELEVISION | SQ. FT. | =SQUARE FEET |
| — | — | — | GAS MAIN | W/ | =WITH |
| — | — | — | WETLANDS | RECORDED AS | |
| — | — | — | NO ACCESS | (D) | =DEEDED AS |

GENERAL NOTES

- Right of Way widths and locations are based on Certified Survey Map No. 11263.
- Existing vehicular access to this subject property is via assumed private drive.
- At the time of this survey the subject property contained snow covered ground conditions. Pinnacle Engineering Group, LLC takes no responsibility for any improvements that can not be located based on a reasonable visual observation.

NOTES CORRESPONDING TO SCHEDULE B - II

- 1 - 4, 9 & 19 - 20 NOT SURVEY RELATED
- 5 - 8 VISIBLE EVIDENCE SHOWN IF ANY
10. Rectals as shown on Certified Survey Map No. 11263 recorded on December 23, 2014, as Document No. 4116220, and on Certified Survey Map No. 11606 recorded on August 23, 2017, as Document No. 4295767, which among other things rectifies utility restrictions and temporary 10' wide sidewalk slope easement. Temporary 10' Sidewalk Slope Easement, 10' Storm Sewer Easement and 10' Water Main Easement graphically shown on survey. Affidavit of Correction recorded May 8, 2017 as Document No. 4275860. Corrections to "Notes" and 30' Water Main Easement - does not affect subject property.
11. Annexation recorded July 3, 2013 as Document No. 4025639. Annexation of land from the Town of Waukesha to the City of Waukesha. Affects subject property but cannot be plotted.
12. Easements, restrictions, limitations and all other terms, conditions, covenants and provisions as set forth in Easement and Operation Agreement recorded December 23, 2014 as Document No. 4116493. Agreement affects subject property but cannot be plotted.
13. Easements, restrictions, limitations and all other terms, conditions, covenants and provisions of Site Development Agreement as disclosed by Memorandum of Agreement recorded December 23, 2014 as Document No. 4116494. Agreement affects subject property but cannot be plotted.
14. Easements, restrictions, limitations and all other terms, conditions, covenants and provisions as set forth in Commercial Planned Unit Development Agreement recorded January 2, 2015 as Document No. 4117441, as amended by Amendment 1 - Meijer PUD Agreement recorded July 23, 2015 as Document No. 4156086. Agreements affect subject property but cannot be plotted.
15. Easements, restrictions, limitations and all other terms, conditions, covenants and provisions as set forth in Developer's Agreement for Meijer's Store at Tenny Avenue and Sunset Drive recorded February 24, 2015 as Document No. 4125900, as amended by Amendment No. 1 to Developer's Agreement for Meijer's Store at Tenny Avenue and Sunset Drive recorded February 29, 2016 as Document No. 4193493. Agreements affect subject property but cannot be plotted.
16. Easement(s) for the purpose(s) and rights incidental thereto, as granted in a document, granted to Wisconsin Electric Power Company, a Wisconsin corporation doing business as We Energies, for utility purposes, recorded on June 6, 2016, as Document No. 4210449. 12' Wisconsin Electric Power Company Easement does not affect subject property as graphically shown on survey.
17. Nonexclusive Sign Easement Agreement by and between Meijer Stores Limited Partnership, a Michigan partnership and CFT NV Developments, LLC, a Nevada limited liability company, dated July 27, 2017, recorded August 23, 2017 as Document No. 4295881. Shared 20' Sign Easement for the benefit of the subject property located on Lot 2 of Certified Survey Map No. 11606 as graphically shown on survey.
18. Reciprocal Utility Easement Agreement by and between Meijer Stores Limited Partnership, a Michigan limited partnership and CFT NV Developments, LLC, a Nevada limited liability company, dated July 27, 2017, recorded August 23, 2017 as Document No. 4295882. Reciprocal Water Main Easement, Sanitary Sewer Easement and Storm Sewer Easement as graphically shown on survey.



CURVE TABLE					
CURVE NO.	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C1	108.45'	314.00'	019°47'19"	S80°06'17"W	107.91'
RECORDED PER C.S.M. 11606					NOT LISTED
					107.88'

STATEMENT OF ENCROACHMENTS

AA - Storm sewer catch basin located in area not provided for by record easements.

PLAN | DESIGN | DELIVER
www.pinnacle-engr.com

PINNACLE ENGINEERING GROUP
ENGINEERING | NATURAL RESOURCES | SURVEYING

WISCONSIN OFFICE:
15850 W. BLUEMOUND ROAD
BROOKFIELD, WI 53005
(262) 754-8888

CHICAGO | MILWAUKEE | NATIONAL WIDE

LOCATION: EAST SUNSET DRIVE
LOT 3, C.S.M. NO. 11606, PART OF THE NE 1/4 OF THE NW 1/4, SEC. 14, T6N, R19E, CITY OF WAUKESHA, WAUKESHA COUNTY, WISCONSIN

ALTA/NSPS LAND TITLE SURVEY

REVISIONS

NO.	DATE	DESCRIPTION

REG. JOB NO. 11721.00
REG. PM. 01/29/18
DATE. 01/29/18
SCALE. 1"=50'
SHEET 1
1 9 1
SURVEY

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF PINNACLE ENGINEERING GROUP, LLC. REVIEWED: BJK DESIGNED: ST

www.pinnacle-engr.com