

PROPOSED NEW CONSTRUCTION FOR :

# BRELIE GEAR

CORPORATE DRIVE  
WAUKESHA, WISCONSIN



5 EXTERIOR PERSPECTIVE LOOKING  
SOUTHWEST Copy 1 Copy 2

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**PROJECT BUILDING INFORMATION:**

CODE:	SPS 340-366 WISCONSIN COMMERCIAL BUILDING CODE (IBC 2015, IECC 2015, IEBC 2015, IMC 2015 AND IFGC 2015)	
	SPS 314 FIRE PREVENTION	
	SPS 316 ELECTRICAL	
	SPS 381-387 PLUMBING	
OCCUPANCY:	PRIMARY F-2 (MODERATE HAZARD FACTORY INDUSTRIAL)	
	SECONDARY S-1 (MODERATE HAZARD STORAGE)	
	SECONDARY B (OFFICE/BUSINESS)	
CLASS OF CONSTRUCTION:	TYPE 2B	
SPRINKLER SYSTEM:	FULL	
FLOOR LEVELS:	1	
NUMBER OF STORIES:	1	
BUILDING AREA:	36,546 SF	<b>NOTE:</b> ALL MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SPRINKLER ENGINEERING BY DESIGN-BUILD CONTRACTORS
ZONING:	M-3 LIMITED BUSINESS & INDUSTRIAL PARK	
SETBACKS:	40' STREET	
	10' SIDE	
	25' REAR	
PARKING:	29 PARKING STALLS	

PLAN COMMISSION SET  
DECEMBER 10, 2018

OWNER :

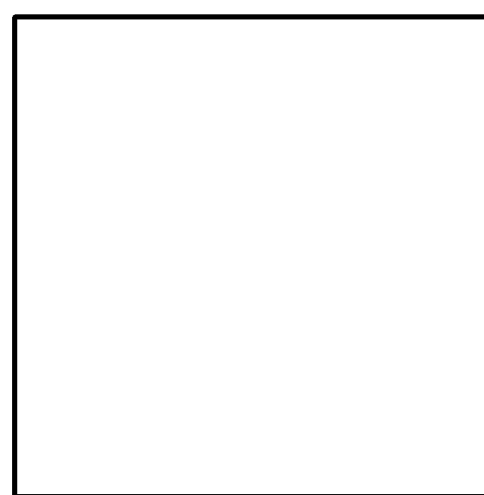
**BRELIE GEAR**  
OWNER REPRESENTATIVE:  
STEVE JANKE  
2715 S. GLADSTONE PLACE  
MILWAUKEE, WI 53207  
(414) 481-5488 PHONE

GENERAL CONTRACTOR :

**BRIOHN BUILDING CORPORATION**  
CARY BILICKI  
3885 N. BROOKFIELD RD., SUITE 200  
BROOKFIELD, WISCONSIN 53045  
(262) 790-0500 PHONE  
(262) 790-0505 FAX

CIVIL ENGINEER:

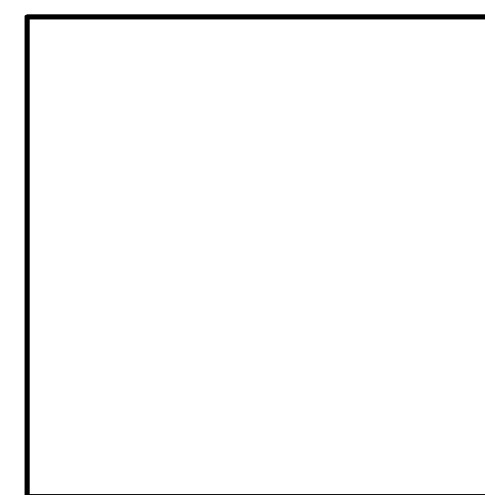
**CJ ENGINEERING, INC.**  
CHRISTOPHER A. JACKSON, PE PLS  
9205 W. CENTER STREET, SUITE 214  
MILWAUKEE, WI 53222  
PH: (414) 443-1312 X222  
CELL: (414) 940-4450



SUPERVISING PROFESSIONAL

ARCHITECT :

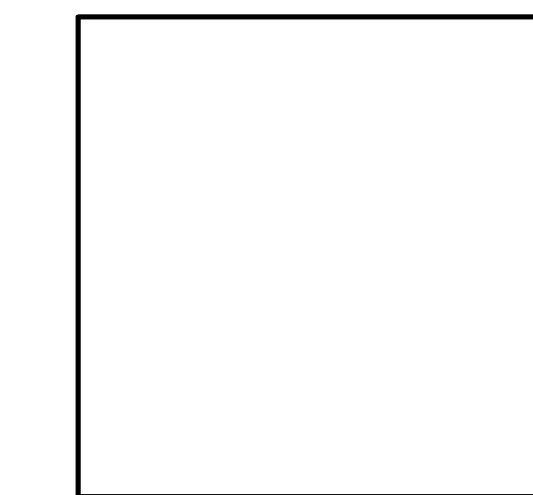
**BRIOHN DESIGN GROUP LLC**  
CHRISTOPHER WENZLER, AIA  
DOMENICO FERRANTE, AIA  
3885 N. BROOKFIELD RD., SUITE 200  
BROOKFIELD, WISCONSIN 53045  
(262) 790-0500 PHONE  
(262) 790-0505 FAX



SUPERVISING PROFESSIONAL

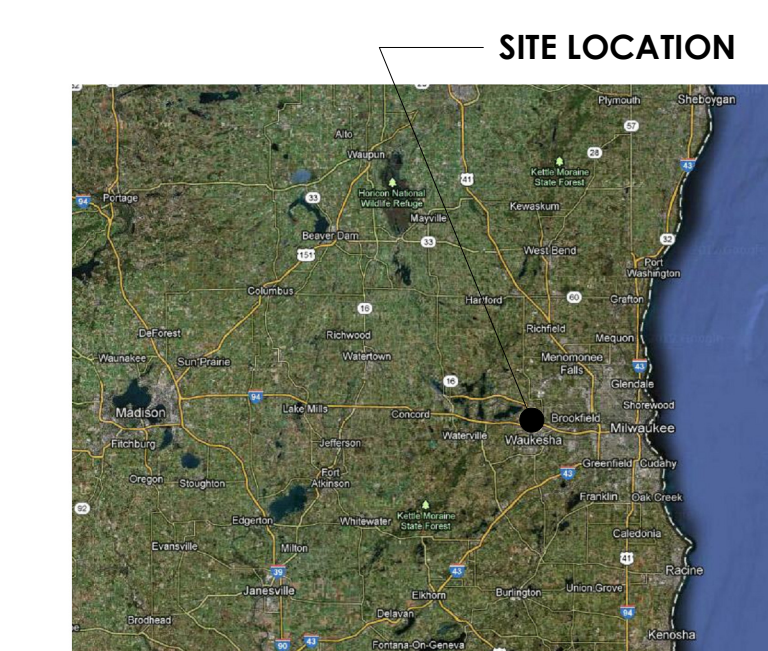
STRUCTURAL ENGINEER:

**BRIOHN DESIGN GROUP LLC**  
KEVIN JANKOWSKI, PE  
3885 N. BROOKFIELD RD., SUITE 200  
BROOKFIELD, WISCONSIN 53045  
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SUPERVISING PROFESSIONAL

LOCATION MAPS:



REGION LOCAITON MAP



SITE LOCATION MAP



TITLE SHEET

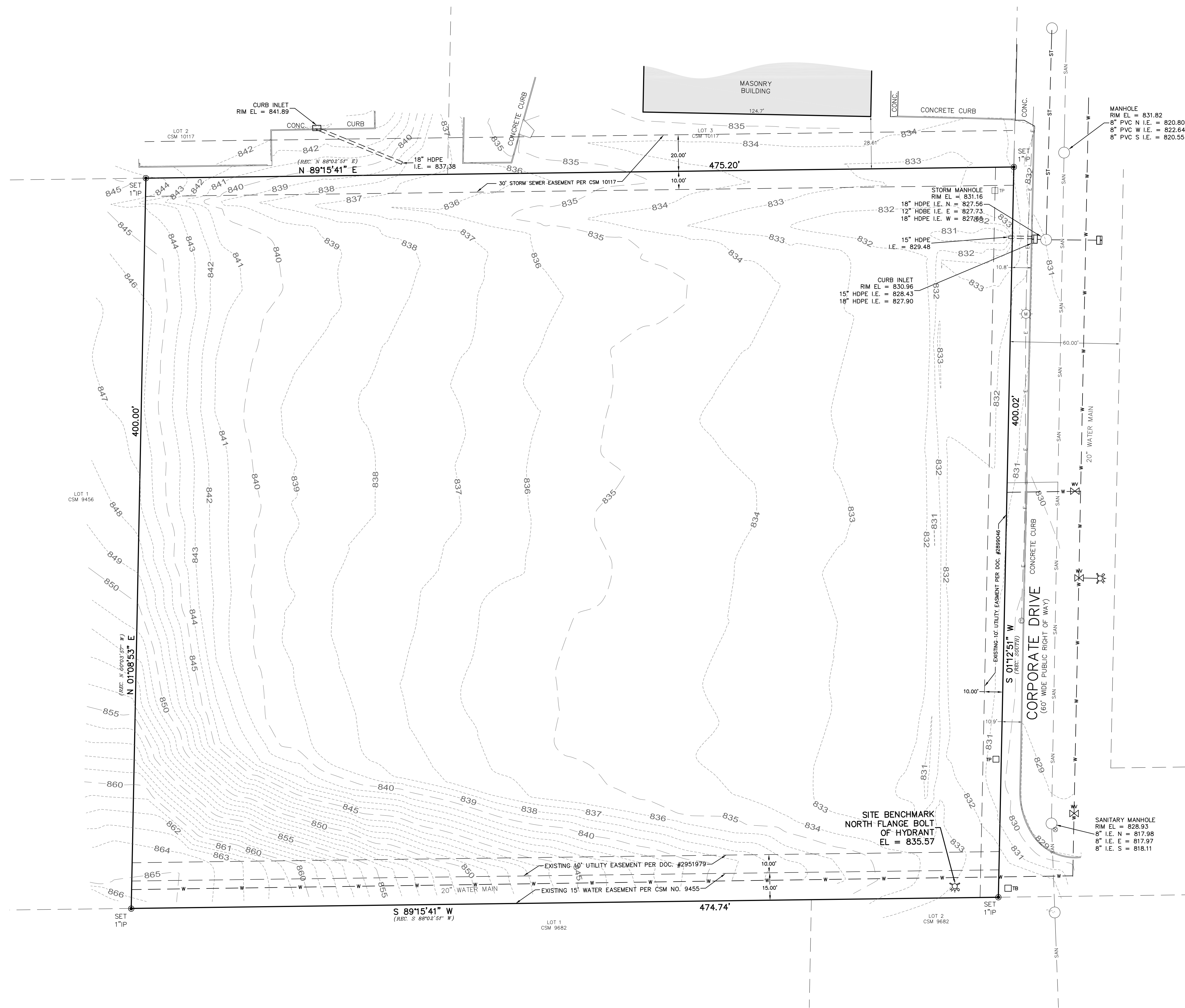
SHEET TITLE

BRELIE GEAR  
CORPORATE ROAD  
WAUKESHA WI

JOB: 3123  
DRAWN: CJR  
CHECKED: JJI  
DATE: 12-10-18  
SHEET:

T1.1





LEGAL DESCRIPTION:  
 LOT 4 OF CERTIFIED SURVEY MAP NO. 10,117, BEING A REDIVISION OF LOT 3 OF CSM NO. 9458 AND LOCATED IN THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 15, AND THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 22, TOWN 6 NORTH, RANGE 19 EAST, CITY OF WAUKESHA, WAUKESHA COUNTY, WISCONSIN.  
 CONTAINING: 169,885 SQUARE FEET OR 4.3591 ACRES.

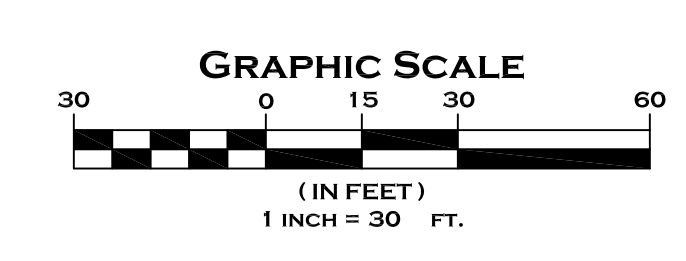
- NOTES
- LEGAL DESCRIPTION FROM CSM 10117.
  - THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, ON INFORMATION FURNISHED BY THE UTILITY COMPANIES, DIGGERS, HOTLINE AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
  - SUBJECT PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION X. AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN PER INFORMATION FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 50133C02036G, WITH A DATE OF IDENTIFICATION OF 11/05/2014, IN COMMUNITY NO. 550491, THE CITY OF WAUKESHA, WHICH IS THE COMMUNITY IN WHICH THE SUBJECT PROPERTY IS SITUATED.
  - PROJECT BENCHMARK - CHISELED CROSS FOUND IN TOP OF NW SIDE OF HYD. FLANGE OF HYDRANT 27.55 FEET SE OF THE WEST CORNER OF SECTION 22-6-19, EL = 857.384.
  - SITE BENCHMARK - NORTH FLANGE BOLT OF HYDRANT AS SHOWN HEREON.
  - ELEVATIONS BASED ON INFORMATION FROM SEWRPC AND ARE AT NGVD 29 DATUM.
  - SURVEY DATUM: COORDINATES ARE BASED ON THE WISCONSIN COUNTY COORDINATE SYSTEM (WCCS), WAUKESHA COUNTY, NORTH AMERICAN DATUM OF 1983, 2011 ADJUSTMENT (NAD83(2011)).
  - ZONING: M-3 LIMIT BUSINESS AND INDUSTRIAL PARK DISTRICT  
 SETBACKS: FRONT = 40'  
 SIDE = 10'  
 REAR = 25'

LEGEND			
— SAN —	SANITARY SEWER	⊠	ELECTRIC TRANSFORMER
— ST —	STORM SEWER	⊠	ELECTRIC PEDESTAL
— W —	WATER MAIN	⊠	ELECTRIC BOX AT GRADE
— G —	BURIED GAS LINE	⊠	TELEPHONE BOX AT GRADE
— TEL —	BURIED TELEPHONE LINE	⊠	TELEPHONE PEDESTAL
— E —	BURIED ELECTRIC LINE	⊠	TV PEDESTAL
— FO —	BURIED FIBER OPTIC LINE	⊠	GAS METER
— CATV —	BURIED CABLE TELEVISION LINES	⊠	AIR CONDITIONER
— COMB —	COMBINATION SEWER	⊠	UTILITY POLE
— WOOD FENCE —	WOOD FENCE	⊠	WOOD SIGN
— METAL FENCE —	METAL FENCE	⊠	FLAG POLE
— EDGE OF TREES AND BRUSH —	EDGE OF TREES AND BRUSH	⊠	BOLLARD
— 994.32 954 —	DOOR SILL ELEVATION	⊠	BOLLARD LIGHT
— # —	FIRE DEPARTMENT CONNECTION	⊠	YARD LIGHT
		⊠	HYDRANT
		⊠	WATER VALVE
		⊠	GAS VALVE
		⊠	MANHOLE
		⊠	STORM MANHOLE
		⊠	CATCH BASIN
		⊠	CURB INLET
		⊠	METAL LIGHT POLE
		⊠	CONCRETE LIGHT POLE
		⊠	WOOD LIGHT POLE
		⊠	MAL BOX
		⊠	FIBER OPTIC MARKER
		⊠	SOIL NAIL

I CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY, AND THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION AND DIMENSIONS OF ALL VISIBLE STRUCTURES THEREON, BOUNDARY FENCES, APPARENT EASEMENTS AND ROADWAYS AND VISIBLE ENCROACHMENTS, IF ANY.  
 THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERETO, WITHIN ONE (1) YEAR FROM DATE THEREOF.

NOVEMBER 14, 2018  
 DATE

*Michael J. Berry*  
 MICHAEL J. BERRY, R.L.S.  
 REGISTERED LAND SURVEYOR 2-2545

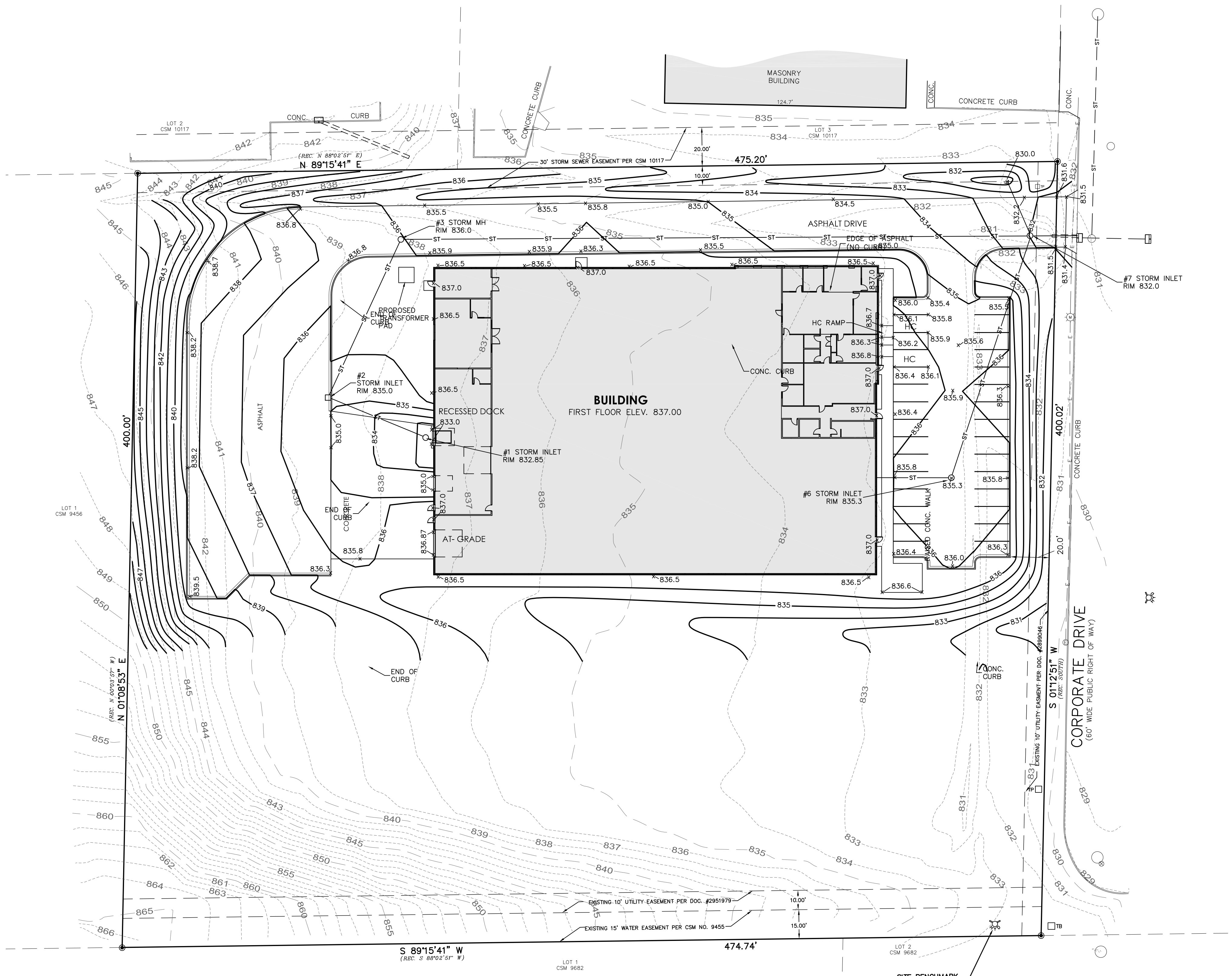
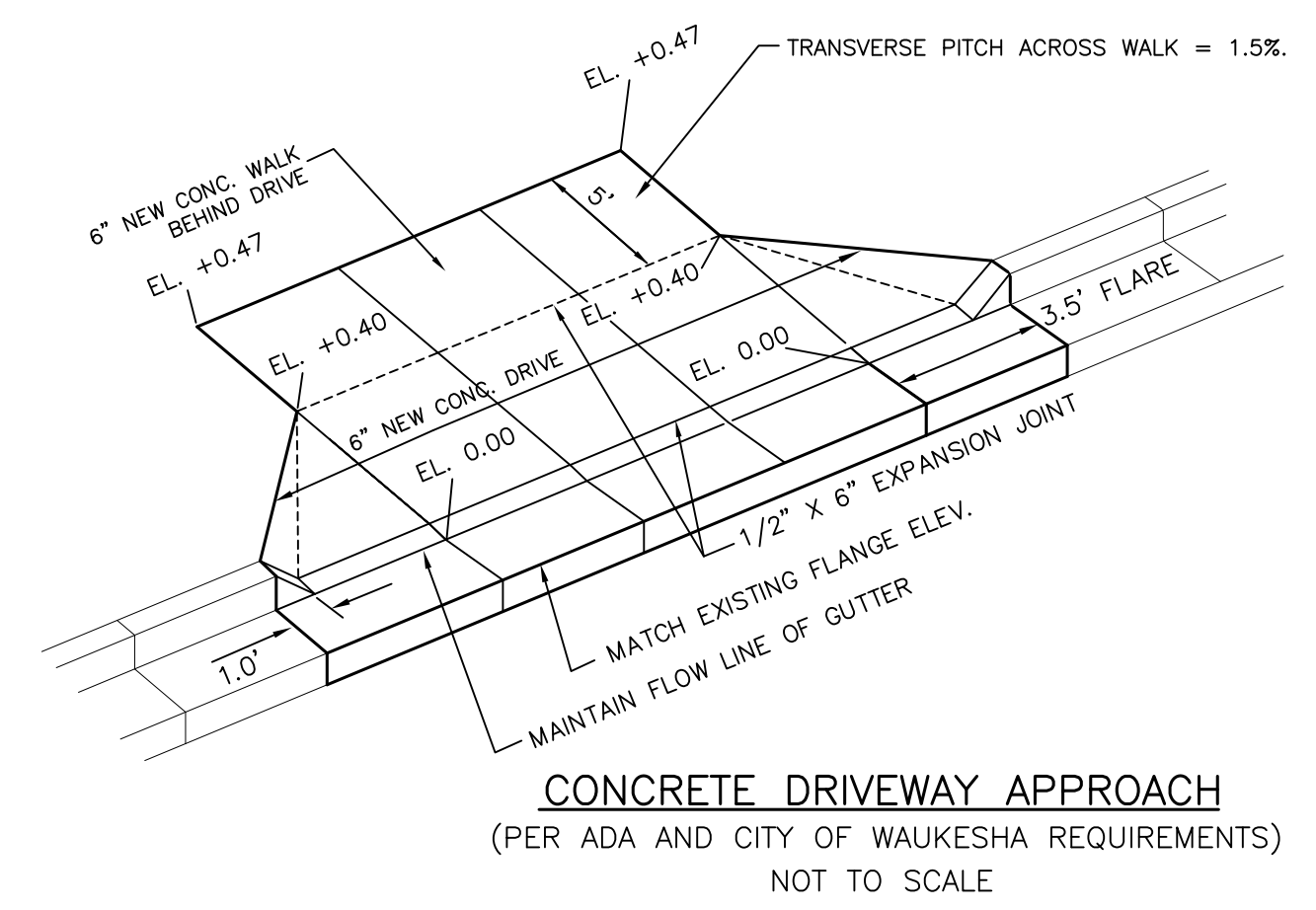
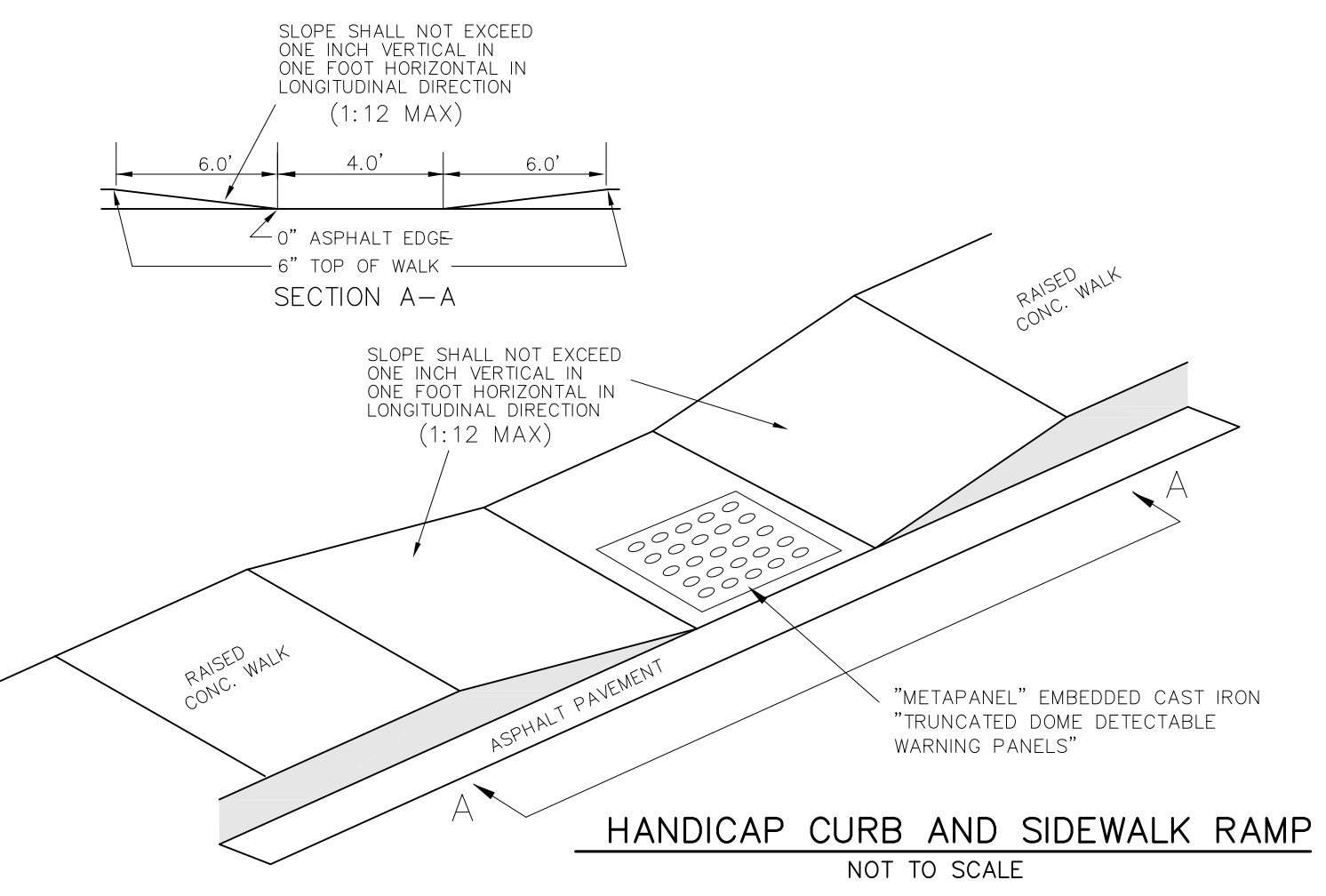
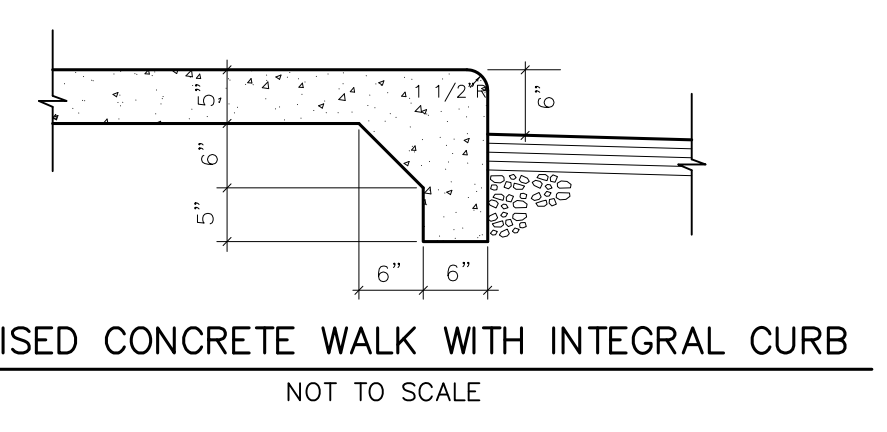
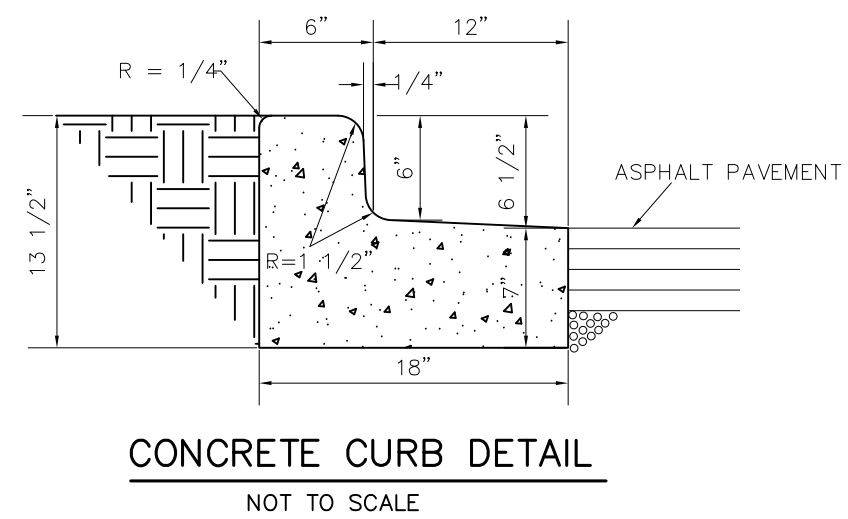
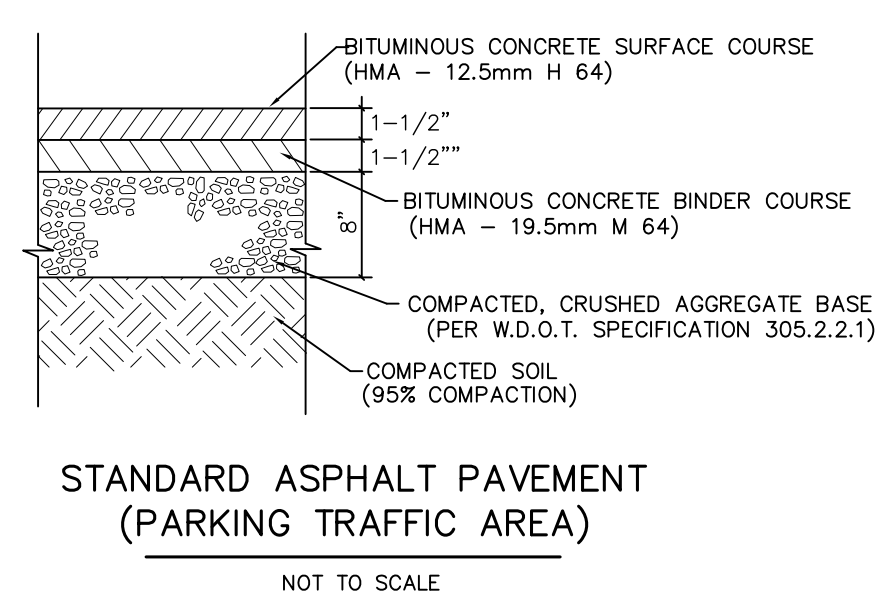
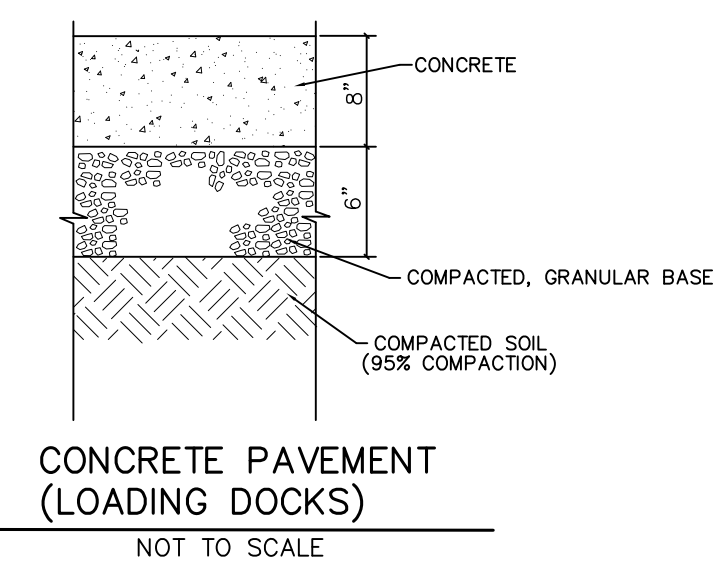
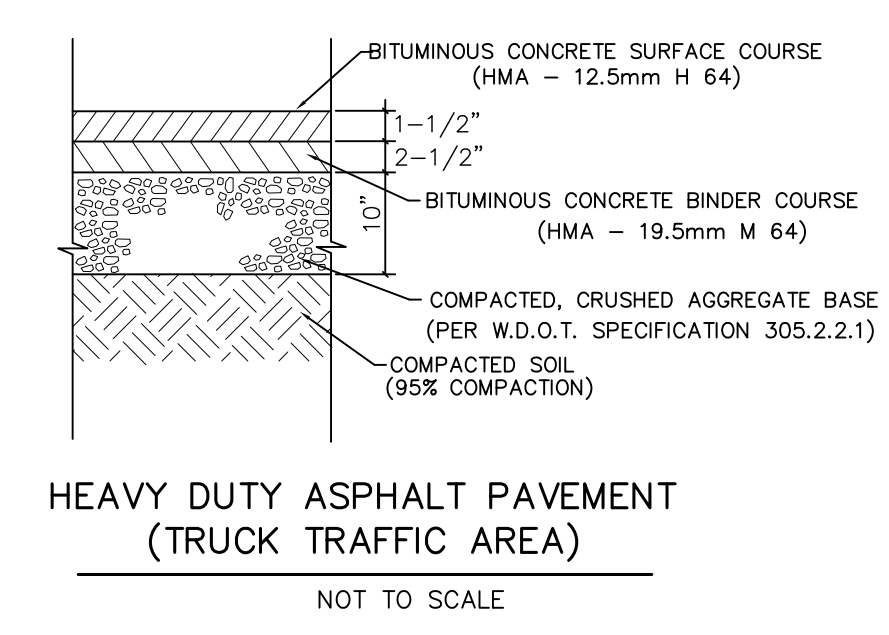
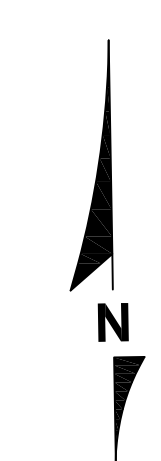


**PLAT OF SURVEY WITH TOPOGRAPHY**

FOR  
**BRIELE GEAR**  
 CORPORATE DRIVE  
 WAUKESHA, WI

DRAWN BY:	NJF	DATE:	NOV. 14, 2018
CHECKED BY:	MJB	DRAWING NO.:	P-0
CSE JOB NO.:	18-096	SHEET	1 OF 1





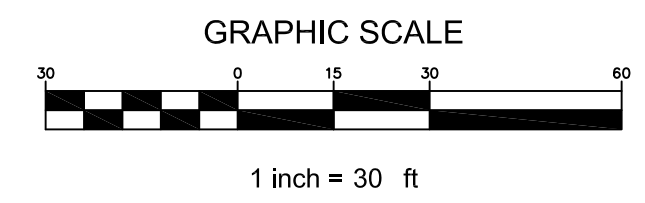
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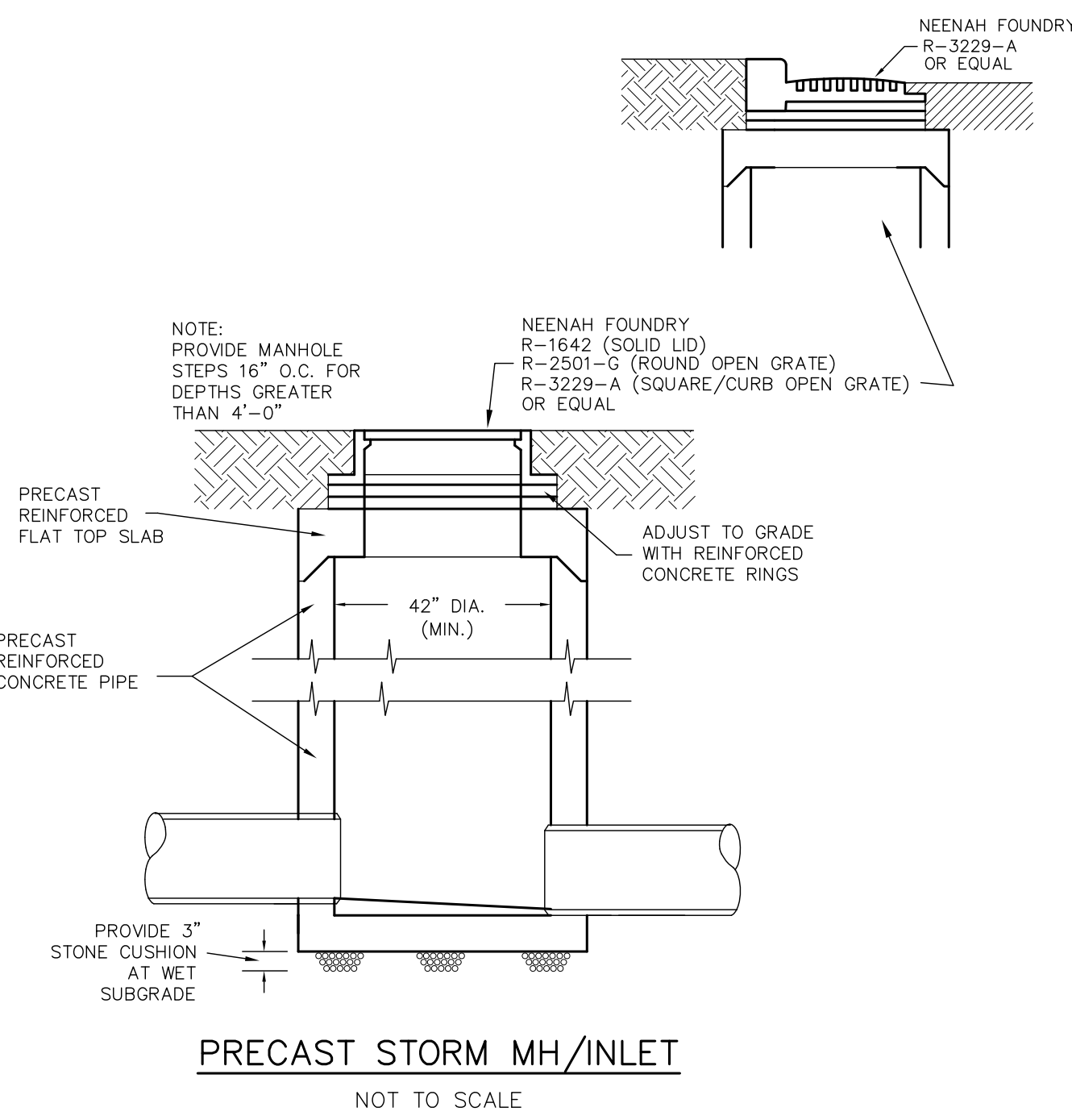
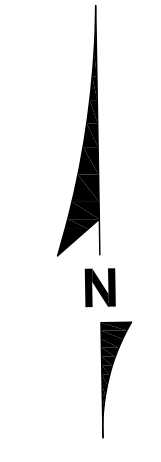
--- 84.1 ---	EXISTING CONTOUR
— 836.5 —	PROPOSED CONTOUR
x 836.5	PROPOSED ELEVATION
— ST —	EXISTING STORM SEWER
— ST —	PROPOSED STORM SEWER
□	PROPOSED SILT FENCE

- NOTES:**
- GRADES ALONG THE CURB OR RAISED WALK ARE AT THE BOTTOM OF CURB OR WALK.
  - DISTURBED AREA = 120,000 S.F. (2.75 ACRES)
  - STORM WATER MANAGEMENT IS PROVIDED BY A REGIONAL OFF SITE STORM WATER POND.
  - CURRENT CITY STANDARD SPECIFICATIONS SHALL BE FOLLOWED FOR ALL WORK IN THE PUBLIC RIGHT OF WAY.

**SITE AREAS:**

PROPERTY AREA = 189,885 S.F. (4.359 ACRES)  
 BUILDING FOOTPRINT = 36,546 S.F.  
 PAVEMENT = 38,008 S.F.  
 TOTAL IMPERVIOUS AREA = 74,552 S.F. (1.711 ACRES)  
 GREEN SPACE = 115,333 (2.648 ACRES) 60.7%





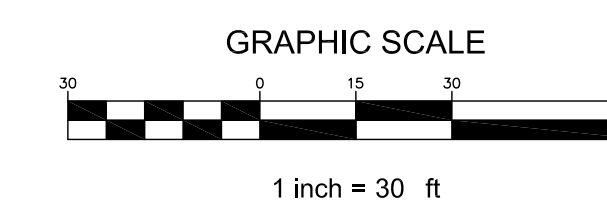
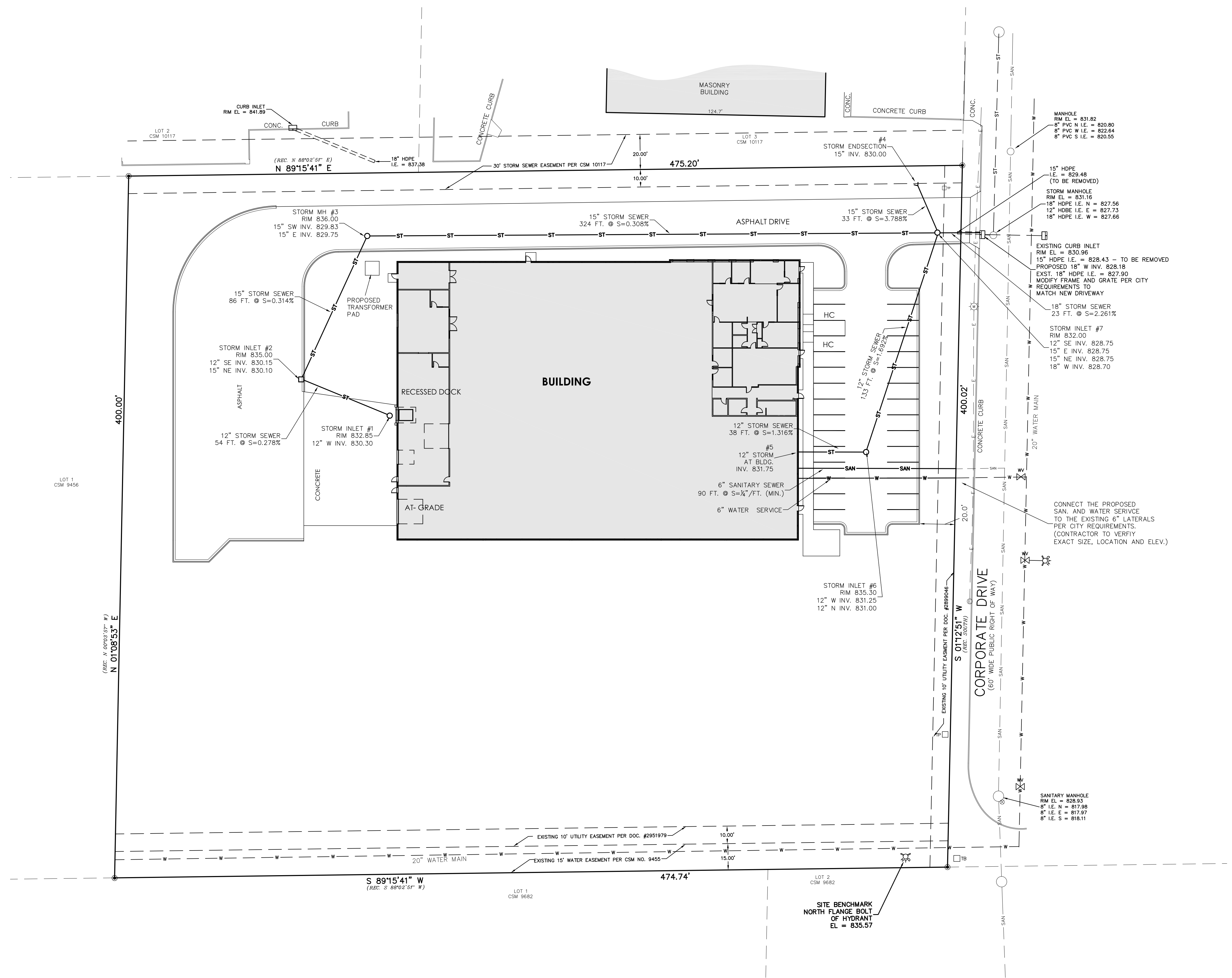
**PRECAST STORM MH/INLET**  
 NOT TO SCALE

**NOTES:**

1. ALL STORM SEWER, SANITARY SEWER, AND WATER MAIN MATERIALS AND INSTALLATION PER APPLICABLE SECTIONS OF THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, WISCONSIN ADMINISTRATIVE PLUMBING CODE AND THE CITY OF WAUKESHA REQUIREMENTS.
2. ALL TRENCHES IN PAVEMENT AREAS SHALL HAVE GRAVEL BACKFILL.
3. EXACT SIZE AND LOCATION OF SANITARY AND WATER SERVICE TO PROPOSED BUILDINGS BY PLUMBING CONSULTANT/CONTRACTOR.
4. PROPOSED WATER SERVICE SHALL HAVE A MINIMUM 6 FEET OF COVER.
5. THE CONTRACTOR SHALL VERIFY ALL SEWER AND WATER CONNECTIONS PRIOR TO UTILITY CONSTRUCTION. NOTIFY THE ENGINEER WITH ANY DISCREPANCIES.
6. THE PROPOSED STORM SEWER HAS BEEN DESIGN FOR THE 10-YEAR STORM EVENT.
7. STORM SEWER: ADS CORRUGATED HOPE N-12 OR PVC ASTM D3034  
 SANITARY SEWER: PVC ASTM D3034, SDR 35  
 WATER MAIN: PVC ASTM D1785 OR AWMA C900
8. DISTURBED AREA = 120,000 S.F. (2.75 ACRES)
9. STORM WATER MANAGEMENT IS PROVIDED BY A REGIONAL OFF SITE STORM WATER POND.
10. CURRENT CITY STANDARD SPECIFICATIONS SHALL BE FOLLOWED FOR ALL WORK IN THE PUBLIC RIGHT OF WAY.

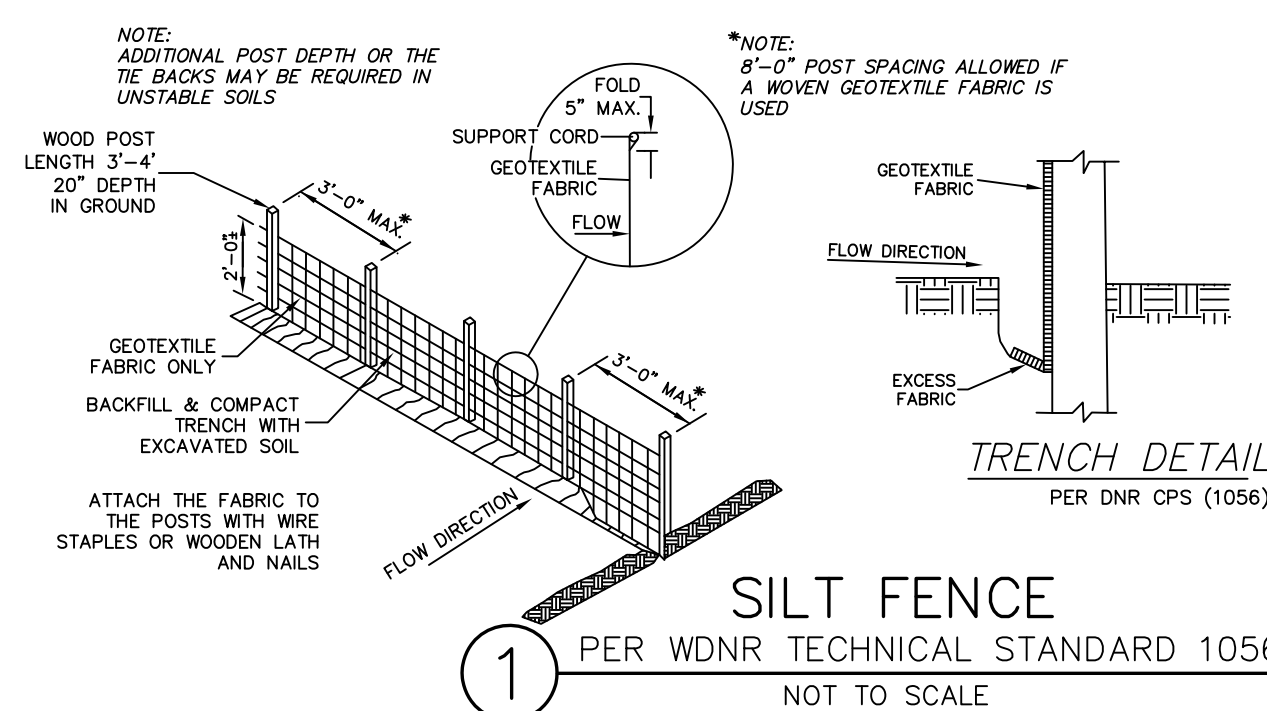
**LEGEND**

- ST — EXISTING STORM SEWER
- ST — PROPOSED STORM SEWER
- SAN — EXISTING SANITARY SEWER
- SAN — PROPOSED SANITARY SEWER
- W — EXISTING WATER MAIN
- W — PROPOSED WATER MAIN
- G — BURIED GAS MAIN
- // — OVER HEAD WIRE
- E — BURIED ELECTRIC

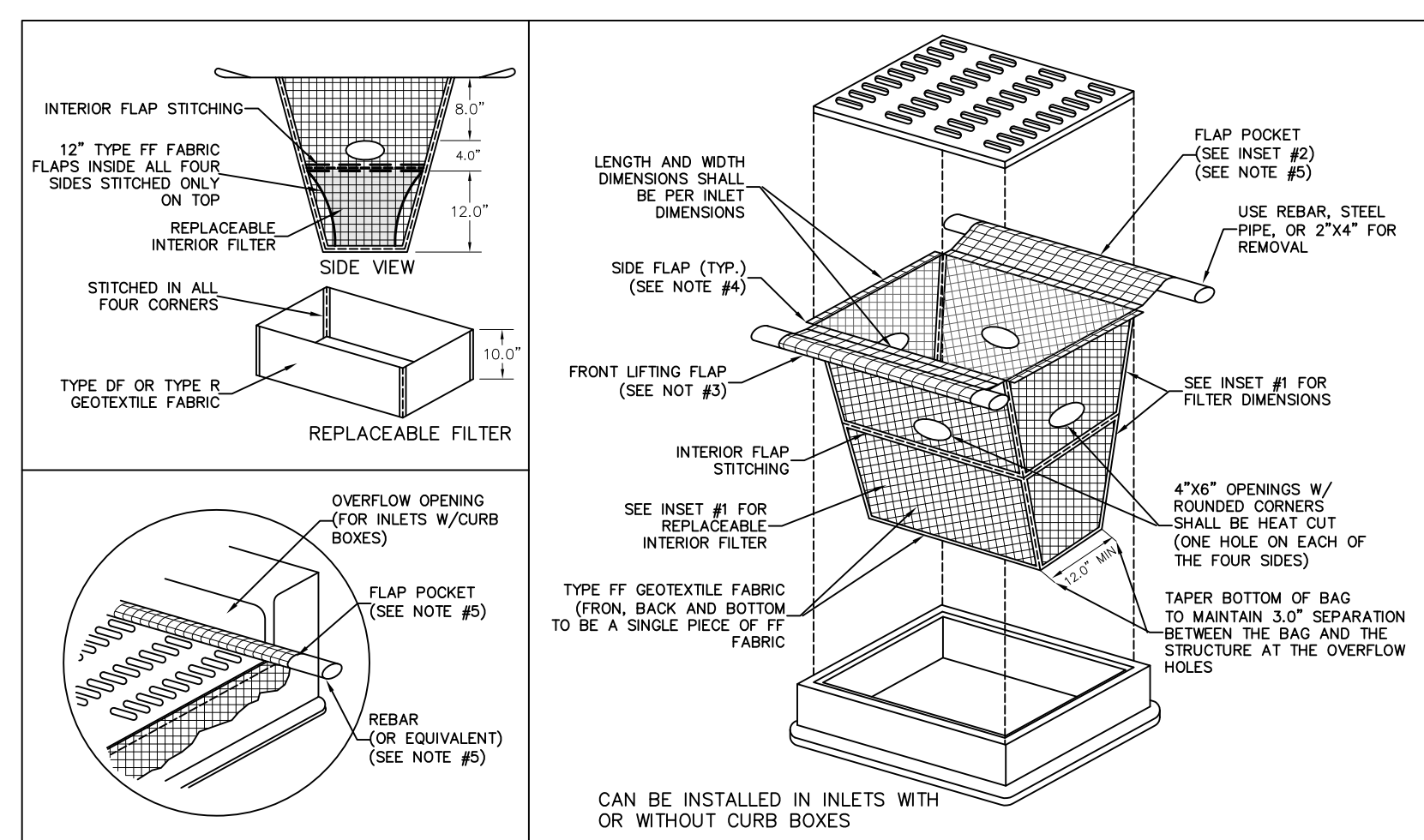


**BRELIE GEAR**  
 WAUKESHA, WI  
 CORPORATE ROAD

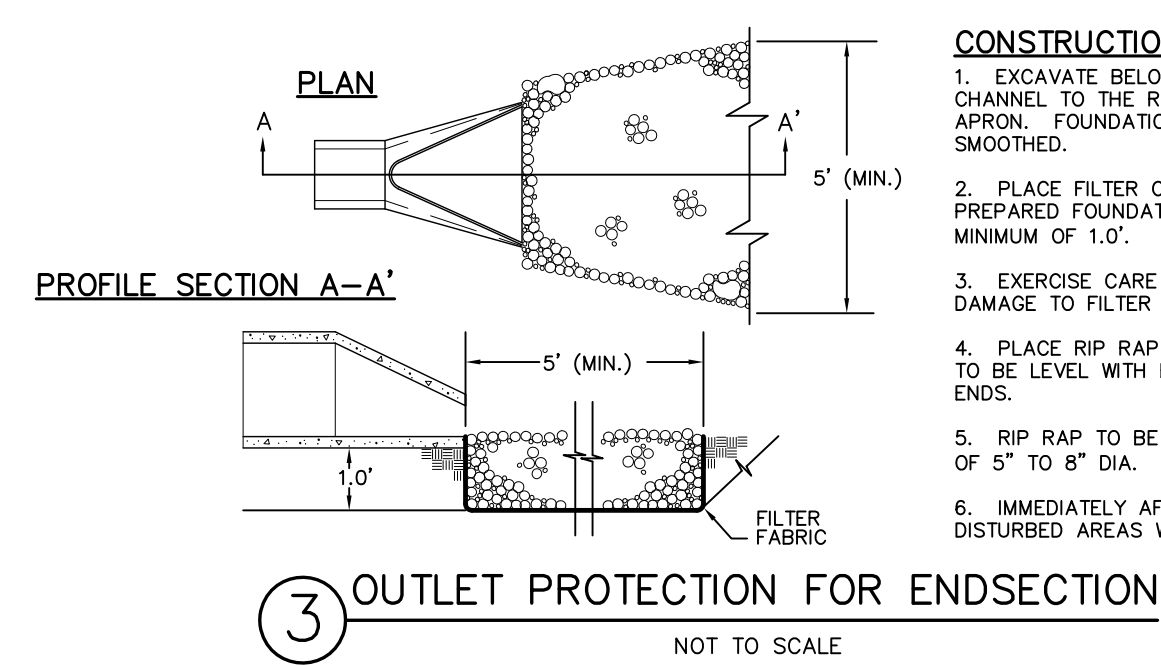




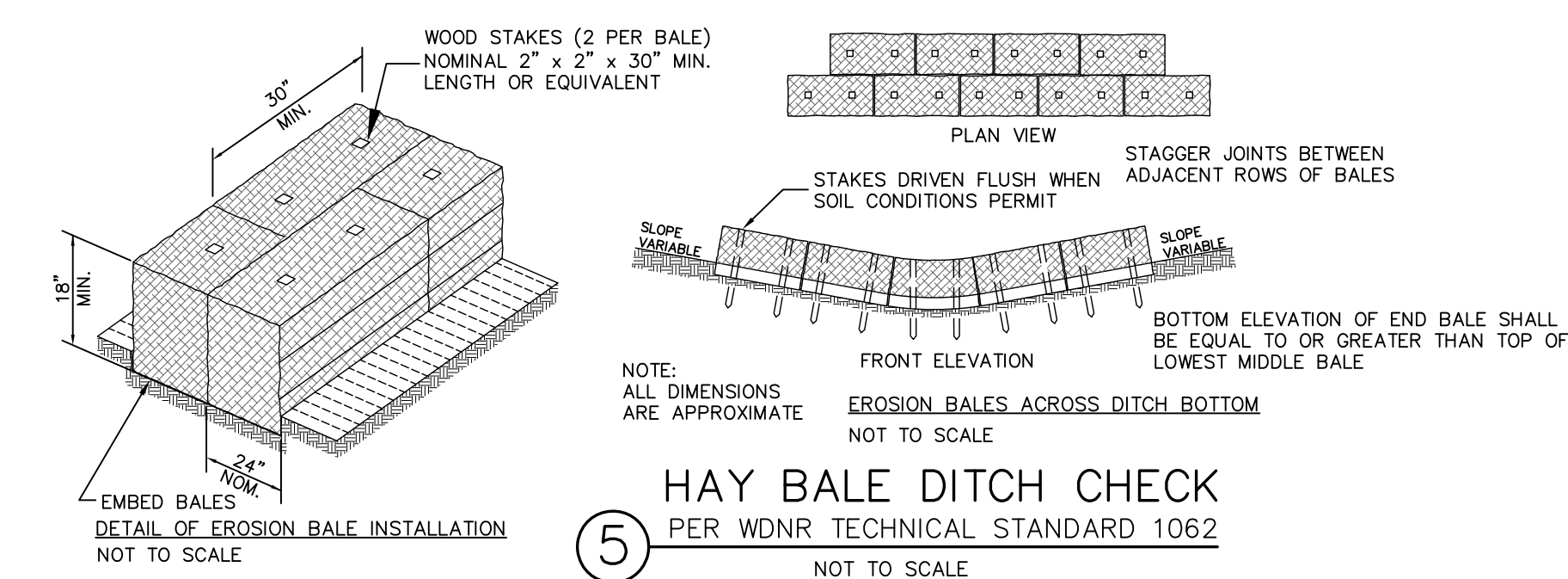
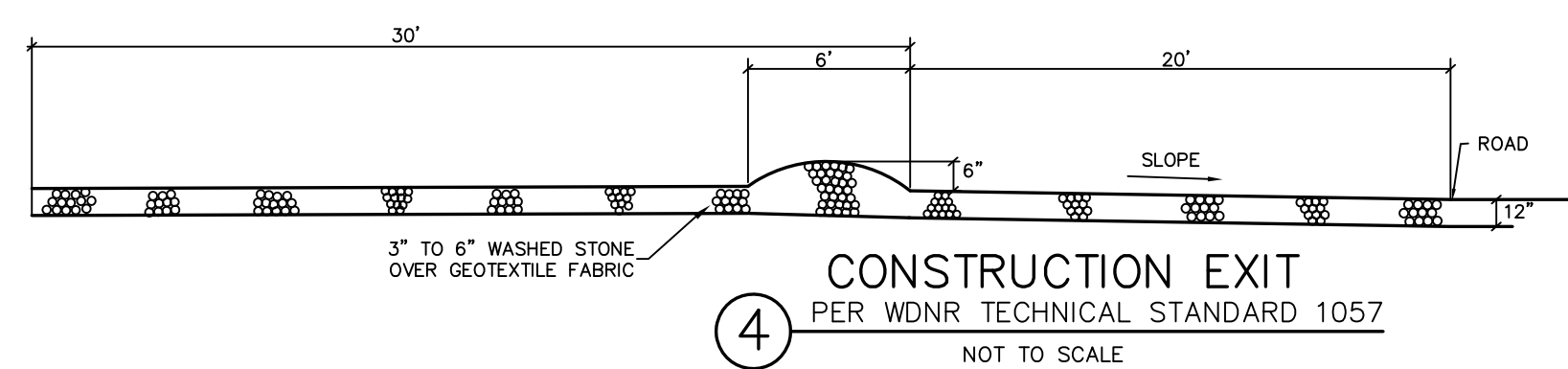
- SILT FENCE CONSTRUCTION SPECIFICATIONS**  
 PER DNR CPS (1056)
- Construction silt fence around the disturbed area shall be in accordance with Erosion Control Plan, to prevent sediment from being washed into the drainage system.
  - Locate posts per DNR CPS (1056)
  - When joints are necessary, refer to DNR CPS (1056)
  - Filter fabric to be nylon, polyester, polypropylene or ethylene vinyl acetate with a minimum strength of 50 lb./in. (Minimum) and a pore size with a flow rate of at least 0.5 gal./sq. ft./min. and contain ultraviolet ray inhibitors and stabilizers.
  - The filter fabric shall be anchored by spreading at least 8 inches of fabric in a 4" x 4" trench.
  - The filter fabric shall be stapled and/or nailed to the upside side of the posts.
  - Posts to be 1 1/2" x 1 1/2" heavy oak, 3 feet long, spaced a maximum of 5 feet apart.
  - Use wire reinforcement in unstabilized minor swales, ditches or ditches.
  - Use WSDOT approved silt fence.



- NOTES:**
- TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO GHT STRUCTURE WALL.
  - GEOTEXTILE FABRIC TYPE FF FOR FLAPS, TOP AND BOTTOM OF OUTSIDE OF FILTER BAG, FRONT, BACK AND BOTTOM OF FILTER BAG BEING ONE PIECE.
  - FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
  - SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG, FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
  - FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2"x4", REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.
- MAINTENANCE NOTES:**
- WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.



- CONSTRUCTION SPECIFICATIONS**
- EXCAVATE BELOW CHANNEL, OUTLET AND WEDEN CHANNEL TO THE REQUIRED RIP RAP THICKNESS FOR EACH APPROX. FOUNDATION TO BE CUT TO ZERO GRADE AND SMOOTHED.
  - PLACE FILTER CLOTH ON BOTTOM AND SIDES OF PREPARED FOUNDATION. ALL JOINTS TO OVERLAP A MINIMUM OF 1.0'.
  - EXERCISE CARE IN RIP RAP PLACEMENT TO AVOID DAMAGE TO FILTER FABRIC.
  - PLACE RIP RAP ON ZERO GRADE - TOP OF RIP RAP TO BE LEVEL WITH EXISTING OUTLET - NO OVERFALL AT ENDS.
  - RIP RAP TO BE HARD, ANGULAR, WELL GRADE STONE OF 5" TO 8" DIA.
  - IMMEDIATELY AFTER CONSTRUCTION, STABILIZE ALL DISTURBED AREAS WITH VEGETATION.



- NOTES:**
- GRADES ALONG THE CURB OR RAISED WALK ARE AT THE BOTTOM OF CURB OR WALK.
  - DISTURBED AREA = 120,000 S.F. (2.75 ACRES)
  - STORM WATER MANAGEMENT IS PROVIDED BY A REGIONAL OFF SITE STORM WATER POND.
  - CURRENT CITY STANDARD SPECIFICATIONS SHALL BE FOLLOWED FOR ALL WORK IN THE PUBLIC RIGHT OF WAY.

**TEMPORARY STABILIZATION METHODS**

TEMPORARY SEEDING:  
 DURING GROWING SEASON (MAY 2 - OCTOBER 31) TEMPORARY SEEDING (COVER CROP) TO BE USED FOR TEMPORARY STABILIZATION DURING SITE CONSTRUCTION.

Species	Lbs/Acre	Percent Purity
Oats	131*	98
Cereal Rye	131*	97
Winter Wheat	131*	95
Annual Ryegrass	80*	97

\* Fall Seeding

LAND APPLICATION OF ADDITIVES:  
 DURING NONGROWING SEASON (NOVEMBER 1 - MAY 1) CONTRACTOR TO PROVIDE TYPE B SOIL STABILIZER DURING SITE CONSTRUCTION. STABILIZER TO BE POLYACRYLAMIDE (PAM) PER LATEST WDOT PAL (UPDATED 11/2/2017) - SEE WDNR TECHNICAL STANDARD 1050.

STABILIZATION SHOULD BE COMPLETED WITHIN 7 DAYS OF ESTABLISHING FINAL GRADE OR THAT WILL OTHERWISE EXIST FOR MORE THAN 14 DAYS.

**WINTER CONDITIONS**

DURING WINTER CONSTRUCTION (NOVEMBER 1 TO MAY 1), CONTRACTOR TO PROVIDE TYPE B SOIL STABILIZER, POLYACRYLAMIDE (PAM) PER LATEST WDOT PAL (UPDATED 11/2/2017) ON ALL DISTURBED AREAS THAT ARE NOT TO BE DISTURBED BEYOND 7 DAYS. CONTRACTOR TO INSTALL PAM PER WDNR TECHNICAL STANDARD 1050 AND THE MANUFACTURERS SPECIFICATIONS.

**CONSTRUCTION SCHEDULE**

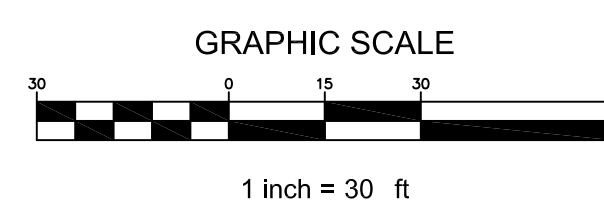
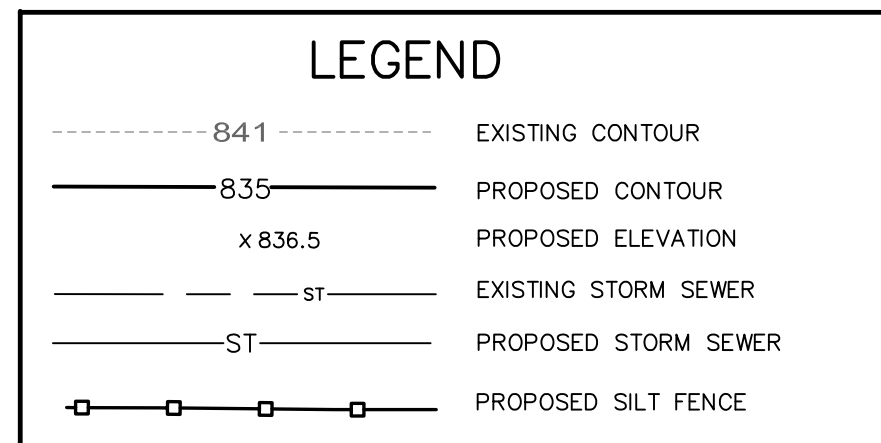
- OBTAIN PLAN APPROVAL AND OTHER APPLICABLE PERMITS.
- INSTALL INLET PROTECTION IN THE EXISTING INLETS.
- INSTALL SILT FENCE.
- INSTALL / RELOCATE THE NORTH DRAINAGE SWALE AND STORM SEWER OUTLET. PROVIDE TEMPORARY OR PERMANENT STABILIZATION ALONG WITH HAYBALE DITCH CHECKS.
- INSTALL CONSTRUCTION EXIT / TRACKING PAD. EXACT LOCATION TO BE DETERMINE BY CONTRACTOR.
- STRIP AND STOCKPILE TOP SOIL SURROUND WITH SILT FENCE AND PROVIDE TEMPORARY STABILIZATION.
- ROUGH GRADE SITE.
- BEGIN BUILDING CONSTRUCTION.
- INSTALL PROPOSED UTILITIES. INSTALL INLET GRATE SCREENS AND OUTLET PROTECTION.
- INSTALL BASE COURSE OF PAVEMENT.
- FINAL GRADING OF SLOPES, TOPSOIL, CRITICAL SLOPES; VEGETATE AND MULCH/MAT ALL FINAL DISTURBED AREAS.
- ALL EROSION CONTROL PRACTICES WILL BE INSPECTED WEEKLY AND AFTER RAINFALL, NEEDED REPAIRS WILL BE PERFORMED IMMEDIATELY.
- AFTER SITE IS STABILIZED, REMOVE ALL TEMPORARY MEASURES AND VEGETATE THE DISTURBED AREAS.
- ESTIMATED TIME BEFORE FINAL STABILIZATION - 6 MONTHS.

**MAINTENANCE PLAN**

- ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY 1/2" RUNOFF-PRODUCTION RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
- SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE WHEN IT BECOMES ABOUT 0.5 FT. DEEP AT THE FENCE. THE SILT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARBER.
- ALL SEEDED AREAS WILL BE WATERED, FERTILIZED, SEEDDED AS NECESSARY, AND MULCHED TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
- ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY STREET CLEANING BEFORE THE END OF EACH DAY.

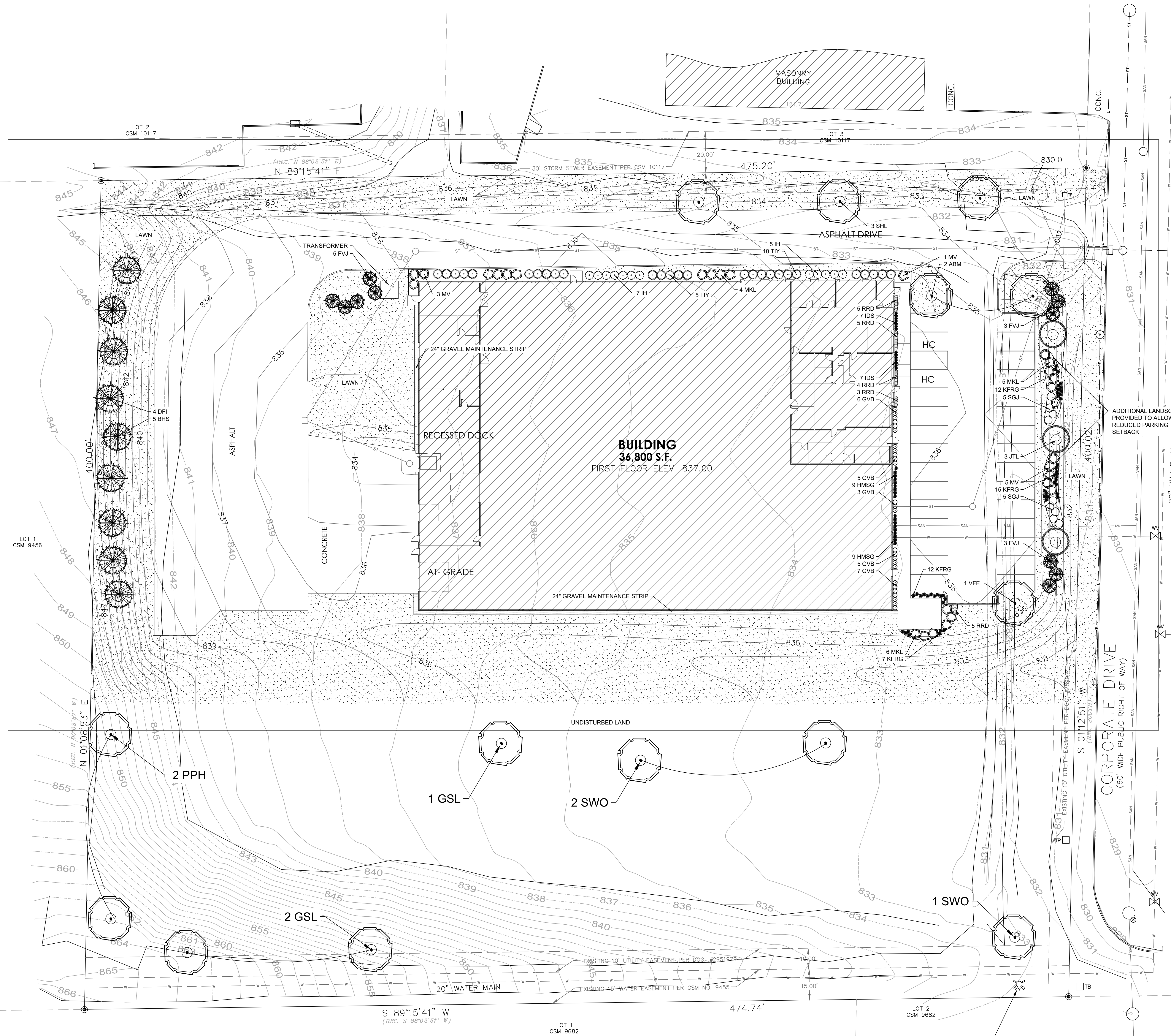
**EROSION CONTROL PRACTICES SCHEDULE**

- SILT FENCE
- INLET GRATE SCREEN
- OUTLET PROTECTION
- CONSTRUCTION EXIT
- HAYBALE DITCH CHECK
- EROSION MATTING

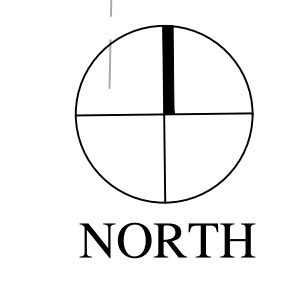




TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN  
**DIGGERS HOTLINE**  
 CALL DIGGERS HOTLINE  
 811 or 1-800-342-8811  
 MILW. AREA 259-1189  
 MS. STATELINE 852-0751(974)  
 REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE



- SHADE TREES (DECIDUOUS)**
- ABM Autumn Blaze Maple
  - PPH Prairie Pride Hackberry
  - SHL Skyline Honeylocust
  - SWO Swamp White Oak
  - GSL Greenspire Linden
  - VFE Valley Forge American Elm
- ORNAMENTAL TREES (DECIDUOUS)**
- JTL Ivory Silk Japanese Tree Lilac
- EVERGREEN TREES**
- FVJ Fairview Upright Juniper (upright)
  - BHS Black Hills Spruce
  - DFI Douglas Fir
- EVERGREEN SHRUBS**
- GVB Green Velvet Boxwood
  - SGJ Sea Green Juniper
  - TIY Taunton Intermediate Yew
- DECIDUOUS SHRUBS**
- IH Incrediball Hydrangea
  - MKL Miss Kim Dwarf Lilac
  - MV Mohican Viburnum
- ORNAMENTAL GRASSES**
- KFRG Karl Foerster Feather Reed Grass
  - IDS Ice Dance Sedge
  - HMSG Heavy Metal Switch Grass
- HERBACEOUS PERENNIALS**
- RRD Rosy Returns Daylily
- PLANT ABBREVIATIONS**







- Contractor responsible for contacting Diggers Hotline (811 or 800-242-8511) to have site marked prior to excavation or planting.
- Contractor to verify all plant quantities shown on Plant & Material List and landscape planting symbols and report any discrepancies to Landscape Architect or General Contractor.
- All plantings shall comply with standards as described in American Standard of Nursery Stock - Z60.1 ANSI (latest version). Landscape Architect reserves the right to inspect, and potentially reject any plants that are inferior, compromised, undersized, diseased, improperly transported, installed incorrectly or damaged. No sub-standard "B Grade" or "Park Grade" plant material shall be accepted. Plant material shall originate from nursery(ies) with a similar climate as the planting site.
- Any potential plant substitutions must be approved by Landscape Architect or Owner. All plants must be installed as per sizes indicated on Plant & Material Schedule, unless approved by Landscape Architect. Any changes to sizes shown on plan must be submitted in writing to the Landscape Architect prior to installation.
- Topsoil in Packed Lot Islands (if applicable): All parking lot islands to be backfilled with topsoil to a minimum depth of 18" to insure long-term plant health. Topsoil should be placed within 3" of finish grade by General Contractor / Excavation Contractor during rough grading operations/activity. The landscape contractor shall be responsible for the fine grading of all disturbed areas, planting bed areas, and lawn areas. Crown all parking lot islands a minimum of 6" to provide proper drainage, unless otherwise specified.
- Tree Planting: Plant all trees slightly higher than finished grade at the root flare. Remove excess soil from the top of the root ball, if needed. Remove and discard non-biodegradable ball wrapping and support wire. Removed biodegradable burlap and wire cage (if present) from the top 1/3 of the rootball and carefully bend remaining wire down to the bottom of the hole. Once the tree has been placed into the hole and will no longer be moved, score the remaining 2/3 of the burlap and remove the twine. Provide one slow release fertilizer packets (per 1" caliper) for each tree planted.
- Tree Planting: Backfill tree planting holes 80% existing soils removed from excavation and 20% Soil Amendments (see Note 11). Avoid air pockets and do not tamp soil down. Discard any gravel, rocks, heavy clay, or concrete pieces. When hole is 1/2 full, trees shall be watered thoroughly, and water left to soak in before proceeding to fill the remainder of the hole. Water again to full soak in the new planting. Each tree shall receive a 3" deep, 4-5" diameter (see planting details or planting plan) shredded hardwood bark mulch ring / saucer around all trees. Do not build up any mulch onto the trunk of any tree. Trees that are installed incorrectly will be replaced at the time and expense of the Landscape Contractor.
- Shrub Planting: All shrubs to be planted in groupings as indicated on the Landscape Plan. Install with the planting of shrubs a 90% mix of Soil Amendments with blended, pulverized topsoil. Install topsoil into all plant beds as needed to achieve proper grade and displace undesirable soils (see planting detail). Remove all excessive gravel, clay and stones from plant beds prior to planting. When hole(s) are 1/2 full, shrubs shall be watered thoroughly, and water left to soak in before proceeding. Provide slow-release fertilizer packets at the rate of 1 per 24" height/diameter of shrub at planting.
- Mulching: All tree rings to receive a 3" deep layer of high quality shredded hardwood bark mulch (not pigment dyed or enviro-mulch). All shrub planting and perennial planting bed areas (groupings) shall receive a 2-3" layer of shredded hardwood bark mulch, and groundcover areas a 1-2" layer of the same mulch. Do not mulch annual flower beds (if applicable). Do not allow mulch to contact plant stems and tree trunks.
- Edging: All planting beds shall be edged with a 4" deep spade edge using a flat landscape spade or a mechanical edger. Bedlines are to be cut crisp, smooth as per plan. A clean definition between landscape beds and lawn is required. Pack mulch against lawn edge to hold in place.
- Plant bed preparation/Soil Amendment composition: All perennial, groundcover and annual areas (if applicable) are required to receive a blend of organic soil (Soil Amendments) amendments prior to installation. Roto-till the following materials at the following ratio, into existing soil beds or installed topsoil beds to a depth of approximately 8"-10". Containerized and balled & burlapped plant material should be back-filled with amended soil:
  - Per 100 SF of bed area (Soil Amendment composition):
    - 3/4 CY Peat Moss or Mushroom Compost
    - 3/4 CY blended/pulverized Topsoil
    - 1/4 CY composted manure
  - In roto-tilled beds only, also include in above mixture:
    - 2 lbs Starter Fertilizer
- Installation preparation for all seeded areas: remove/kill off any existing unwanted vegetation prior to seeding. Prepare the topsoil (if adequate or provide as in item #6 above) and seed bed by removing all surface stones 1" or larger. Apply a starter fertilizer (20-10-5, or approved comparable) and specified seed uniformly at the specified rate, and provide mulch covering suitable to germinate and establish turf. Provide seed and fertilizer specifications to Landscape Architect and Owner prior to installation. Erosion control measures are to be used in swales and on slopes in excess of 1:3 and where applicable (see Civil Engineering Drawings). Methods of installation may vary at the discretion of the Landscape Contractor on his/her responsibility to establish and guarantee a smooth, uniform, quality turf. A minimum of 2" of blended, prepared and non-compacted topsoil is required for all lawn areas. If straw mulch is used as a mulch covering, a tackifier may be necessary to avoid wind dispersal of mulch covering. Marsh hay containing red canary grass is NOT acceptable as a mulch covering.
 

An acceptable quality seed installation is defined as having:

  - No bare spots larger than one (1) square foot
  - No more than 10% of the total area with bare areas larger than one (1) square foot
  - A uniform coverage through all turf areas
- Warranty and Replacements: All plantings are to be watered thoroughly at the time of planting, through construction and upon completion of project as required. Trees, Evergreens, and Shrubs (deciduous and evergreen) shall be guaranteed (100% replacement) for a minimum of one (1) year from the date of project completion. Perennials, groundcovers, and ornamental grasses shall be guaranteed for a minimum of one (1) growing season. Perennials, groundcovers, and ornamental grasses planted after September 15th shall be guaranteed through May 31st of the following year. Only one replacement per plant will be required during the warranty period, except for losses or replacements due to failure to comply with specified requirements. Watering and general ongoing maintenance instructions are to be supplied by the Landscape Contractor to the Owner upon completion of the project.
- The Landscape Contractor is responsible for the watering and maintenance of all landscape areas for a period of 45 days after the substantial completion of the landscape installation. This shall include all trees, shrubs, evergreens, perennials, ornamental grasses, turf grass, no-mow grass, and native prairie seed mix / stormwater seed mix. Work also includes weeding, edging, mulching (only if required), fertilizing, trimming, sweeping up grass clippings, pruning and deadheading.
- Project Completion: Landscape Contractor is responsible to conduct a final review of the project, upon completion, with the Landscape Architect, Client or Owner / Client Representative, and the General Contractor to answer questions, provide written care instructions for new plantings and turf, and insure that all specifications have been met.

## LANDSCAPE GENERAL NOTES

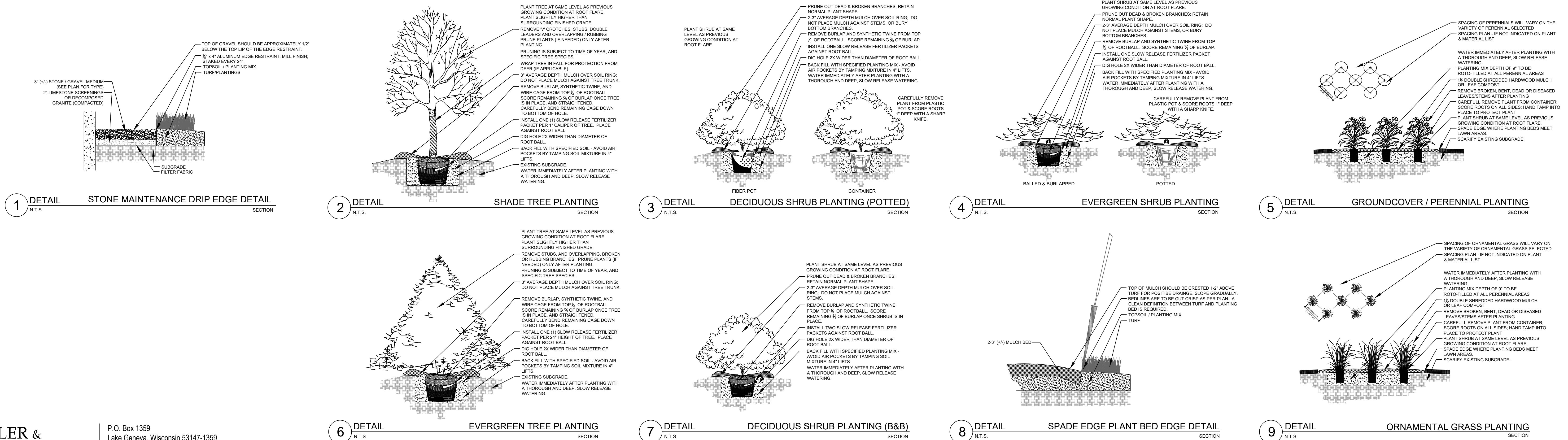
PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED		CALIPER/HEIGHT	ROOT	SPECIFICATION / NOTES	PLANT SPACING
		BOTANICAL NAME	COMMON NAME	SIZE			
<b>Proposed Landscape Materials</b>							
<b>SHADE TREES (DECIDUOUS)</b>							
ABM	2	Acer xfreemanii 'Autumn Blaze'	Autumn Blaze Maple	2.5"	B&B	Straight central leader, full and even crown. Prune only after planting	
PPH	2	Celtis occidentalis 'Prairie Pride'	Prairie Pride Hackberry	2.5"	B&B	Straight central leader, full and even crown. Prune only after planting	
SHL	3	Gleditsia triacanthos 'Skyline'	Skyline Honeylocust	2.5"	B&B	Straight central leader, full and even crown. Prune only after planting	
SWO	3	Quercus bicolor	Swamp White Oak	2.5"	B&B	Straight central leader, full and even crown. Prune only after planting	
GSL	3	Tilia cordata 'Greenspire'	Greenspire Linden	2.5"	B&B	Straight central leader, full and even crown. Prune only after planting	
VFE	1	Ulmus americana 'Valley Forge'	Valley Forge American Elm	2.5"	B&B	Straight central leader, full and even crown. Prune only after planting	
PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED		CALIPER/HEIGHT	ROOT	SPECIFICATION / NOTES	PLANT SPACING
		BOTANICAL NAME	COMMON NAME	SIZE			
<b>ORNAMENTAL TREES (DECIDUOUS)</b>							
JTL	3	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	6'	B&B	Well balanced multi-stemmed tree with minimum four canes, and full appearance	
PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED		HEIGHT	ROOT	SPECIFICATION / NOTES	PLANT SPACING
		BOTANICAL NAME	COMMON NAME	SIZE			
<b>EVERGREEN TREES</b>							
FVJ	11	Juniperus scopulorum 'Fairview'	Fairview Upright Juniper (upright)	6'	B&B	Evenly shaped tree with branching to the ground	60"
BHS	5	Picea glauca 'densata'	Black Hills Spruce	6'	B&B	Evenly shaped tree with branching to the ground	15'
DFI	4	Pseudotsuga menziesii	Douglas Fir	6'	B&B	Evenly shaped tree with branching to the ground	17'
PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED		SHRUB SIZE (HEIGHT)	ROOT/CONT.	SPECIFICATION / NOTES	PLANT SPACING
		BOTANICAL NAME	COMMON NAME				
<b>EVERGREEN SHRUBS</b>							
GVB	26	Buxus 'Green Velvet'	Green Velvet Boxwood	15" HT	Cont.	Full rounded well branched shrub	24-30"
SGI	15	Juniperus chinensis 'Sea Green'	Sea Green Juniper	#5	Cont.	Full rounded well branched shrub	54"
TIV	17	Taxus xmedia 'Tautou'	Taunton Intermediate Yew	24"	B&B	Full rounded well branched shrub	42"
PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED		SHRUB SIZE (HEIGHT)	ROOT/CONT.	SPECIFICATION / NOTES	PLANT SPACING
		BOTANICAL NAME	COMMON NAME				
<b>DECIDUOUS SHRUBS</b>							
IH	12	Hydrangea arborescens 'Abetwo'	Incrediball Hydrangea	#5	Cont.	Full, well rooted plant, evenly shaped	48"
MKL	14	Syringa patula 'Miss Kim'	Miss Kim Dwarf Lilac	24-30"	Cont.	Full, well rooted plant, evenly shaped	60"
MV	9	Viburnum lantana 'Mohican'	Mohican Viburnum	42"	B&B	Full, well rounded plant with moist rootball and healthy appearance	60"
PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED		CONTAINER SIZE		SPECIFICATION / NOTES	PLANT SPACING
		BOTANICAL NAME	COMMON NAME				
<b>ORNAMENTAL GRASSES</b>							
KFRG	46	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	#1	Cont.	Full, well rooted plant	15-18"
JDS	14	Carex morrowii 'Ice Dance'	Ice Dance Sedge	#1	Cont.	Full, well rooted plant	15"
HMSG	18	Panicum virgatum 'Heavy Metal'	Heavy Metal Switch Grass	#1	Cont.	Full, well rooted plant	18"
PLANT KEY	QUANTITY	PLANT MATERIAL PROPOSED		CONTAINER SIZE		SPECIFICATION / NOTES	PLANT SPACING
		BOTANICAL NAME	COMMON NAME				
<b>HERBACEOUS PERENNIALS</b>							
RRD	22	Hemerocallis 'Rosy Returns'	Rosy Returns Daylily	#1	Cont.	Full, well rooted plant, evenly shaped	18"
PLAN KEY	QUANTITY	PLANT MATERIAL PROPOSED		CONTAINER SIZE		SPECIFICATION / NOTES	PLANT SPACING
		SPECIFIED SEED MIX / SOD					
LAWN	4829	Lawn Establishment Area / Grading Area			5Y	Reinder's Deluxe 50 Seed Mix (800-785-3301)	
	43460	Erosion Matting for sloped seeded areas	see plan for area delineation		SF	EroTex D575 Erosion Control Blanket (or approved equal)	
<b>Hardscape Materials</b>							
	6	Heritage River Gravel Mulch (1.0-1.5" pieces)	Area: 630 SF		TN	2" depth	
	310	Aluminum Edge Restraint (gravel areas)	Permaloc ProSlide 3/16"x5.5" Black Duraflex Finish		LF		
	630	Landscape Fabric	SF		SF		
	35	Shredded Hardwood Mulch (3" depth)	Area: 3,750 SF		CY	Bark Mulch; apply Preemergent after installation of mulch	
	23	Soil Amendments (2" depth)	Area: 3,750 SF		CY		
	134	Pulverized Topsoil (Lawn Area)	Area: 43,460 SF		CY		
	23	Pulverized Topsoil (2" over bed areas)	Area: 3,750 SF		CY		

\*Landscape counts & quantities are provided as a service to the Landscape Contractor; Landscape Contractor is responsible for verifying these counts and quantities in order to provide a complete landscape installation as outlined on this Landscape Master Plan. In the event that a discrepancy occurs between this schedule and the Landscape Master Plan, the Landscape Master Plan including the graphics and notations depicted therein shall govern.

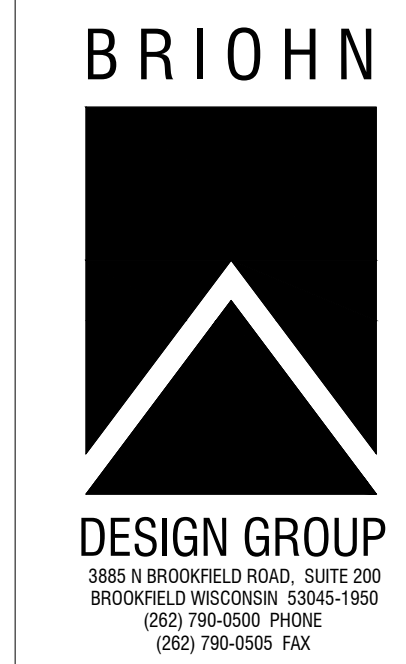
**Seed Compositions:**  
 Reinder's Deluxe 50 Seed Mix (800-785-3301):  
 20% Kentucky Bluegrass (Sod Quality)  
 15% Newport Kentucky Bluegrass  
 15% Ken Blue Kentucky Bluegrass  
 25% Creeping Red Fescue  
 15% Quebec Perennial Ryegrass  
 10% Fiesta III Perennial Ryegrass

Seed at rate of 150-200# per acre

## PLANT & MATERIAL SCHEDULE



P.O. Box 1359  
 Lake Geneva, Wisconsin 53147-1359  
 ph 262.639.9733  
 david@wdavidheller.com  
 www.wdavidheller.com



LANDSCAPE DETAILS, NOTES, AND SCHEDULES

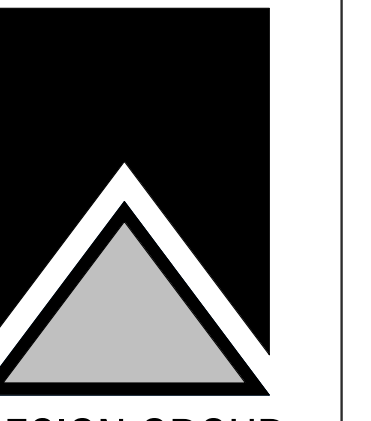
A NEW FACILITY FOR:  
 BRELIE GEAR  
 CORPORATE DRIVE  
 WAUKESHA, WISCONSIN

JOB: 18-095  
 DRAWN: PCA/WDH  
 CHECKED: WDH  
 DATE: 12.07.2018  
 SHEET:

L 1.1

## PLANTING & HARDSCAPE DETAILS





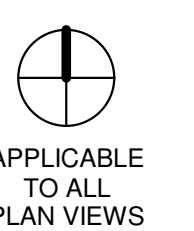
ARCHITECTURAL SITE PLAN

SHEET TITLE

BRELIE GEAR  
CORPORATE ROAD  
WAUKESHA WI



1 ARCHITECTURAL SITE PLAN  
1" = 30'-0"



APPLICABLE TO ALL PLAN VIEWS

JOB: 3123  
DRAWN: CEW  
CHECKED: CEW  
DATE: 12-10-18

SHEET:  
**A1.0**



KEYNOTE LEGEND	
VALUE	FLOOR PLAN CODED NOTES
F02	ROOF ACCESS LADDER PER OSHA 1926.1053.
F12	7' X 8' AIR POWERED DOCK LEVELERS- COORDINATE WITH ELECTRICAL
F23	FLOOR DRAIN - SEE PLUMBING DRAWINGS
G01	ALIGN SURFACES
G02	CENTER PARTITION ON GRID
G03	ALIGN DOOR CENTERS
G04	CENTER PARTITION ON MULLION

FLOOR PLAN LEGEND			
ROOM	ROOM NAME	---	PARTITION TO BE DEMOLISHED
ROOM NUMBER	ROOM NUMBER	---	DOOR AND FRAME TO BE REMOVED
100	DOOR NUMBER	---	EXISTING PARTITION TO REMAIN
1	PARTITION TYPE	---	EXISTING DOOR TO REMAIN
1	PLAN NOTES	---	NEW CONSTRUCTION
F.E.	SURFACE MOUNTED FIRE EXTINGUISHER	---	NEW DOOR & FRAME
F.E.C.	RECESSED EXTINGUISHER CABINET & FIRE EXTINGUISHER	---	

GENERAL NOTES - NEW FLOOR PLAN	
No.	Comments
1	SEE MEP DRAWINGS BY OTHERS FOR FURTHER INFORMATION.
2	FURNITURE, APPLIANCES AND EQUIPMENT ARE BY OWNER AND ARE SHOWN IN THESE DRAWINGS FOR REFERENCE ONLY.
3	DURING CONSTRUCTION, AREA TO BE KEPT BROOM SWEEP AND DEBRIS FREE.
4	SEE EXTERIOR ELEVATIONS FOR EXTERIOR WINDOW TYPES
5	SEE SHEET A1.2 FOR PARTITION TYPES LEGEND



FLOOR PLAN

SHEET TITLE

BREILIE GEAR  
CORPORATE ROAD  
WAUKESHA WI

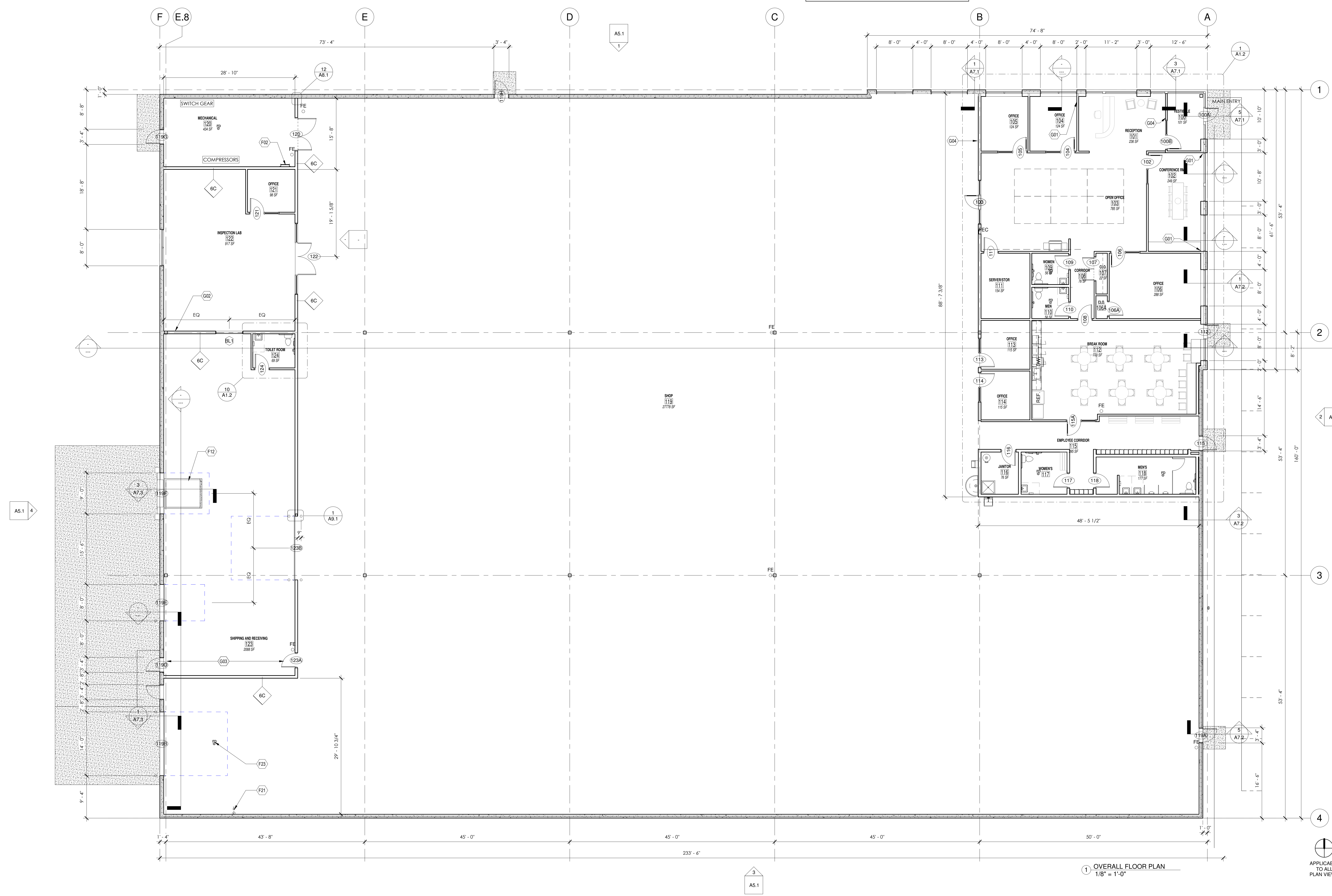
JOB: 3123  
DRAWN: CJR  
CHECKED: JJI  
DATE: 12-10-18  
SHEET:

A1.1



APPLICABLE TO ALL PLAN VIEWS

1 OVERALL FLOOR PLAN  
1/8" = 1'-0"





**ROOF PLAN**

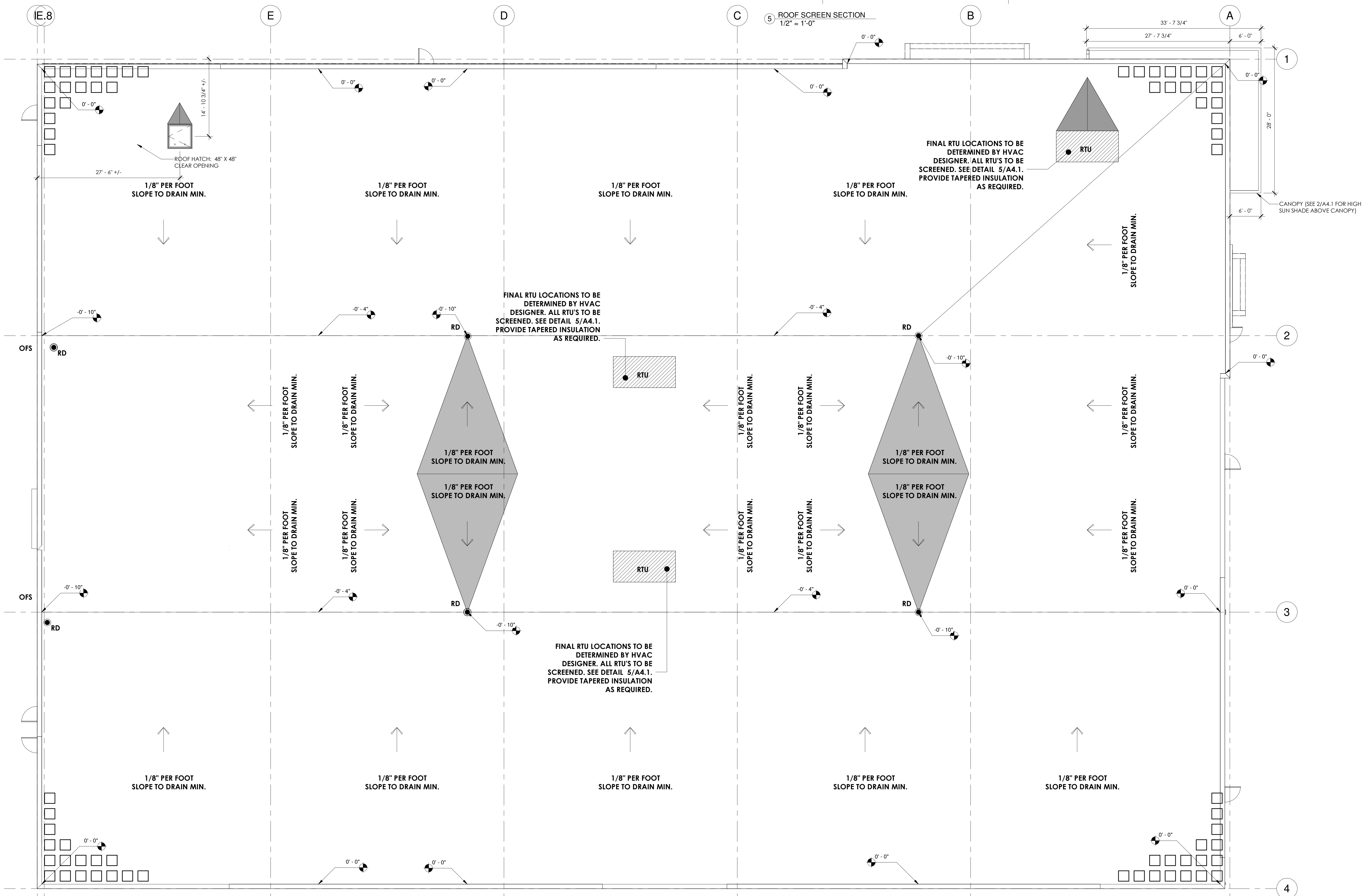
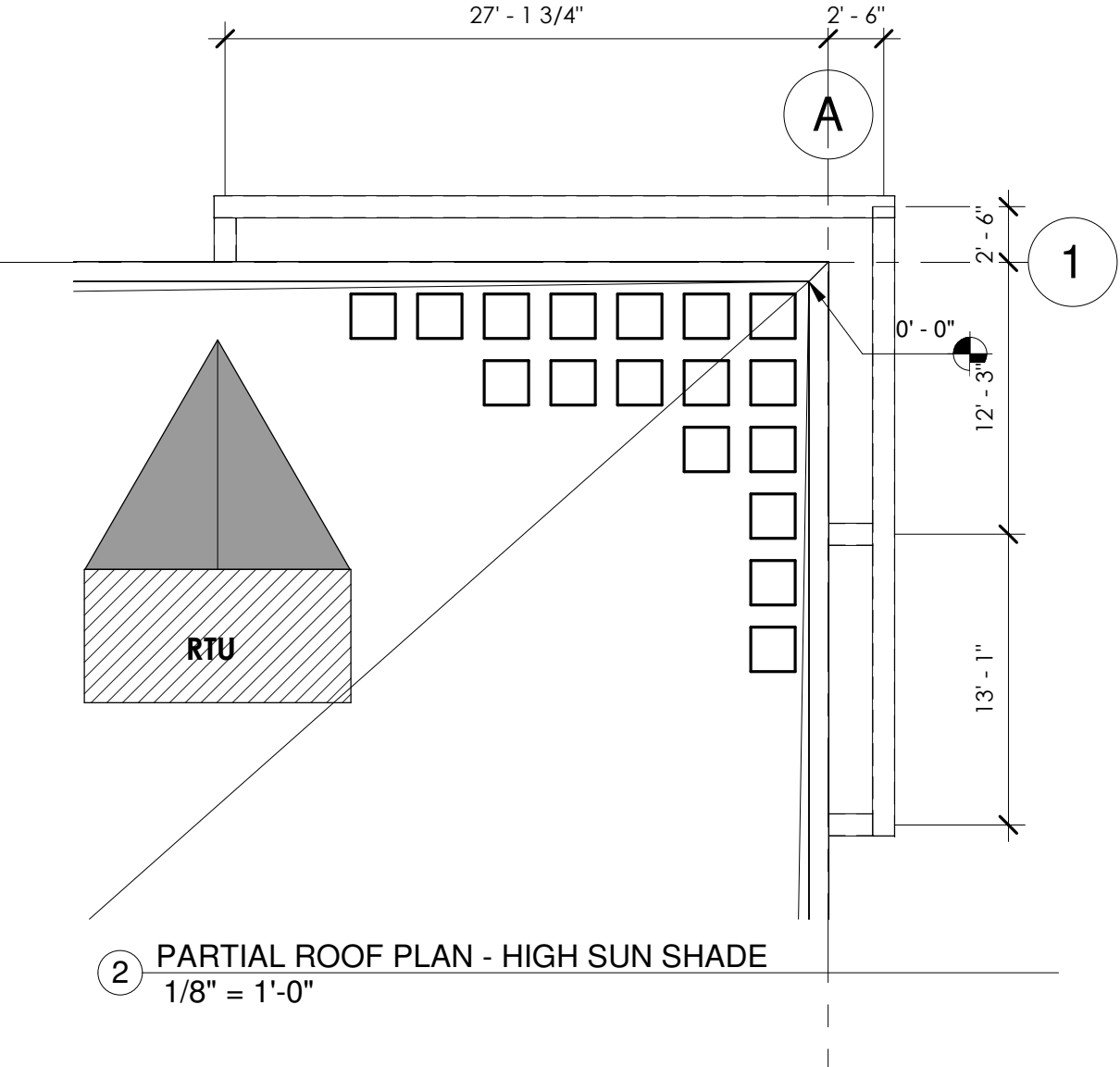
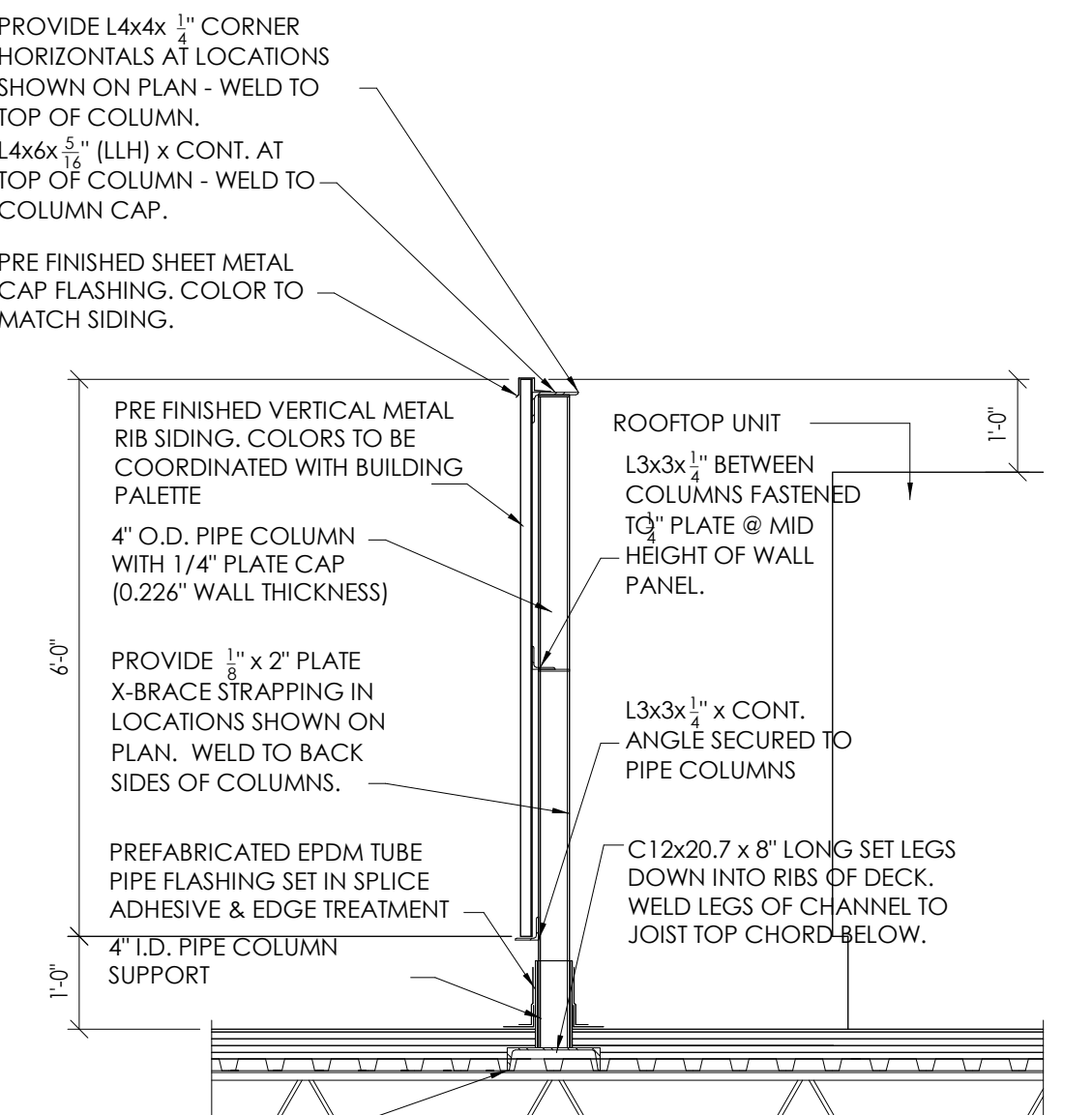
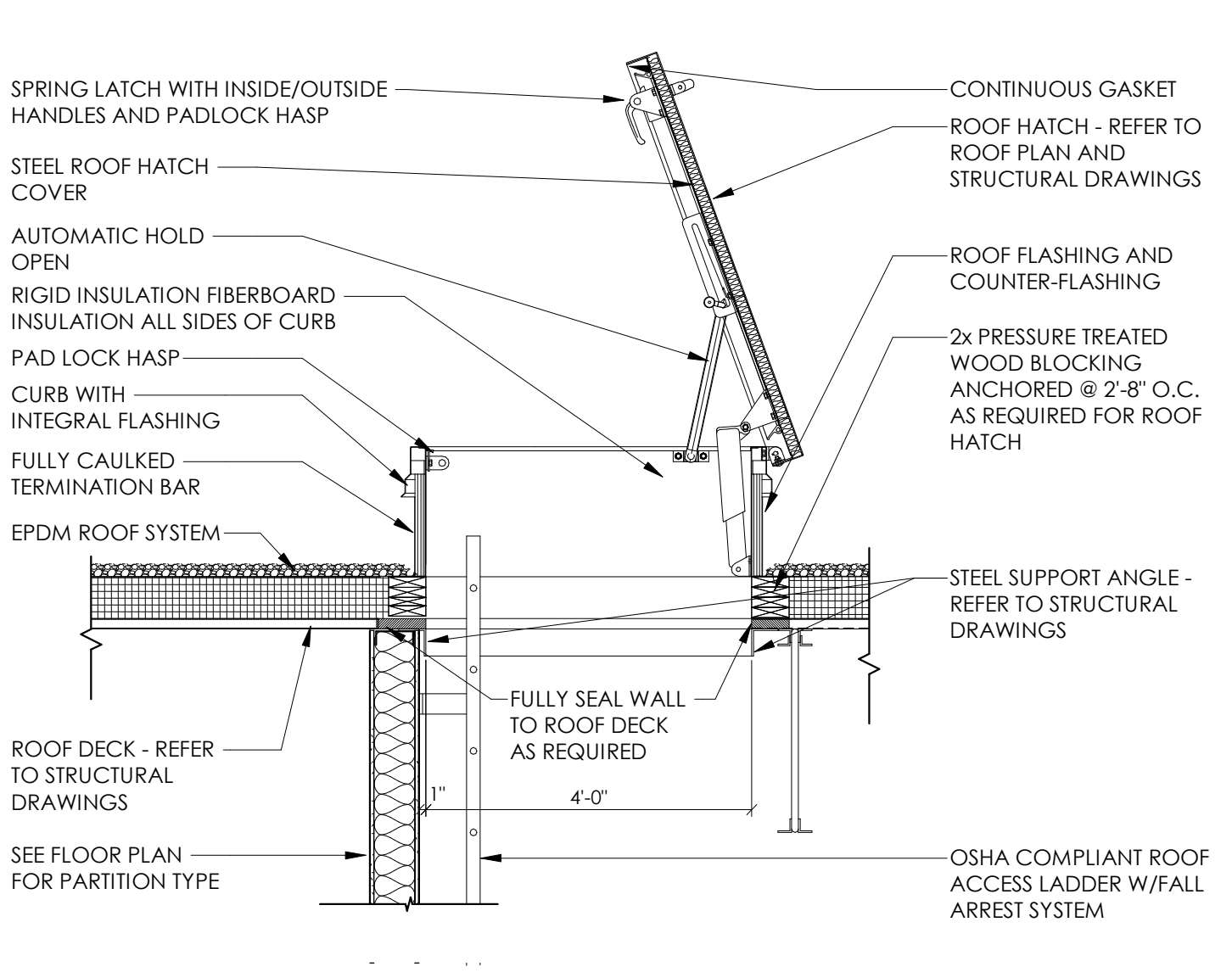
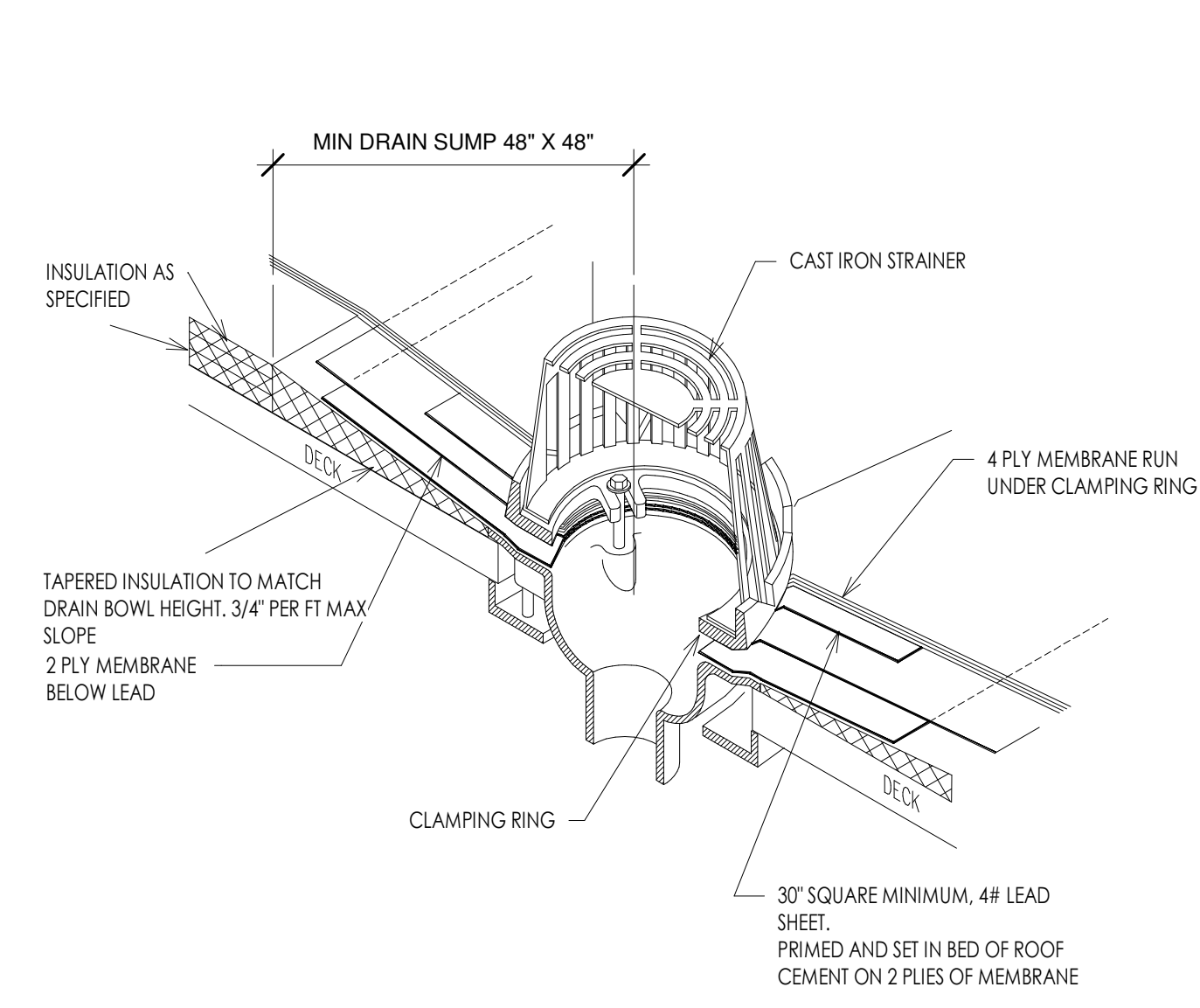
SHEET TITLE

**BRELIE GEAR**  
 CORPORATE ROAD  
 WAUKESHA WI

JOB: 3123  
 DRAWN: Author  
 CHECKED: Checker  
 DATE: 12-10-18

SHEET:  
**A4.1**

APPLICABLE  
 TO ALL  
 PLAN VIEWS

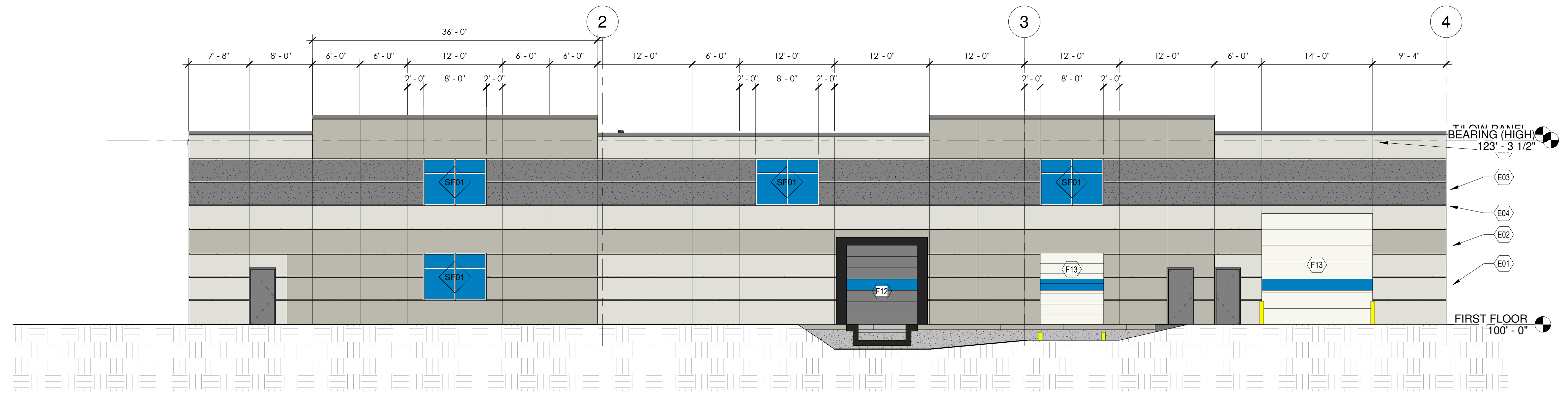


**1 ROOF PLAN**  
 1/8" = 1'-0"

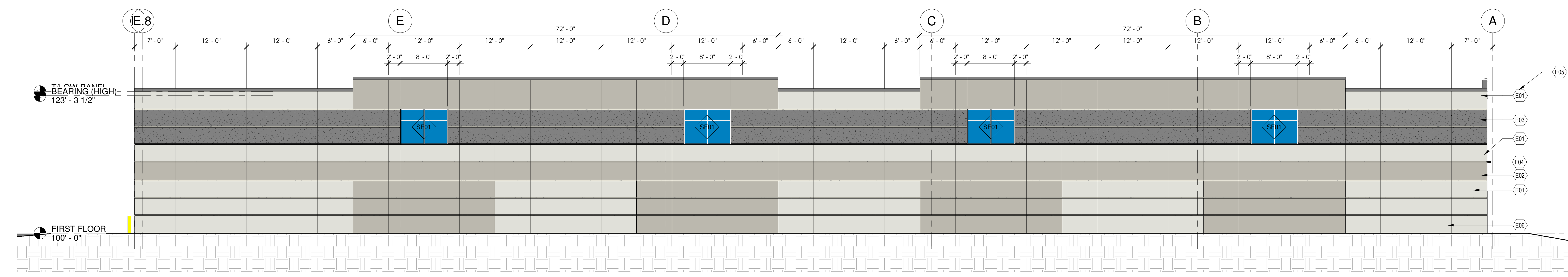




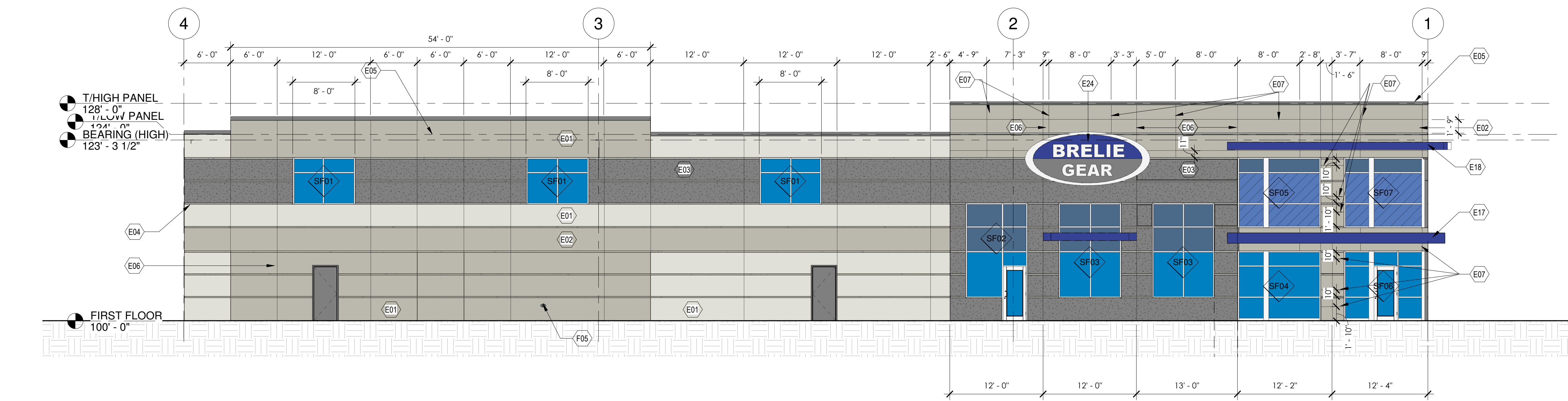
KEYNOTE LEGEND	
VALUE	FLOOR PLAN CODED NOTES
E01	EXTERIOR PRE CAST CONCRETE WALL PANEL SHALL BE INSULATED WITH PAINTED FINISH - COLOR 1
E02	EXTERIOR PRE CAST CONCRETE WALL PANEL SHALL BE INSULATED WITH PAINTED FINISH - COLOR 2
E03	EXTERIOR PRE CAST CONCRETE WALL PANEL SHALL BE INSULATED WITH PAINTED FINISH - COLOR 3
E04	REVEAL - COLOR 4
E05	PRE-FINISHED METAL 24 GA. COPING COLOR SHALL BE "XXXXXX".
E06	PANEL VERTICAL JOINT SEAL
E07	PANEL HORIZONTAL AND VERTICAL 'V' REVEAL
E17	STEEL FRAMED, PRE-FINISHED BREAK METAL CLAD CANOPY, COLOR 5
E18	PAINTED TUBE STEEL SUN SHADES, SEE STRUCTURAL DRAWINGS, COLOR 5
E24	SIGNAGE BY OWNER
F05	FIRE DEPARTMENT CONNECTION
F12	7' X 8' AIR POWERED DOCK LEVELERS- COORDINATE WITH ELECTRICAL
F13	DOCK LEVELER CONTROL PANEL



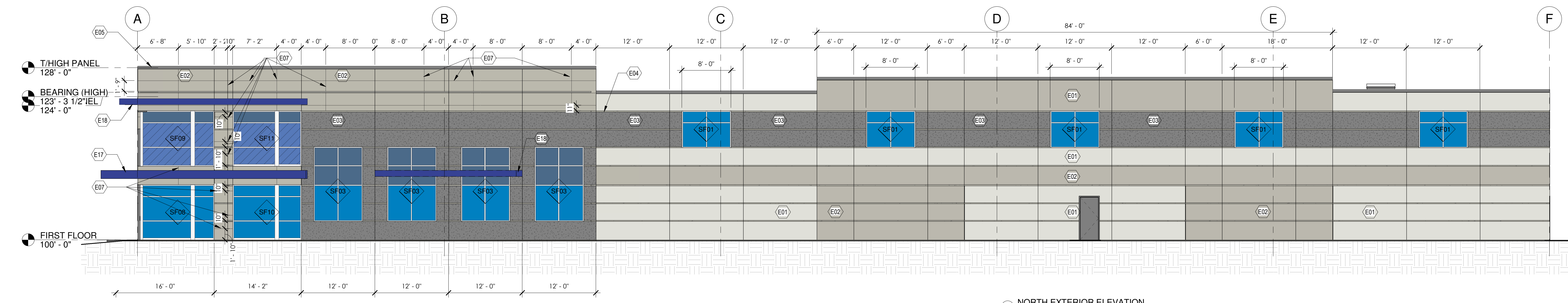
4 WEST EXTERIOR ELEVATION  
1/8" = 1'-0"



3 SOUTH EXTERIOR ELEVATION  
1/8" = 1'-0"



2 EAST EXTERIOR ELEVATION  
1/8" = 1'-0"



1 NORTH EXTERIOR ELEVATION  
1/8" = 1'-0"

THE PROPOSED COMMERCIAL NON-RESIDENTIAL BUILDING TO BE LOCATED IN CLIMATE ZONE 6 (PER IECC SECTION 502.2 PER TABLE 502.2 (1) BUILDING ENVELOPE REQUIREMENTS - OPAQUE ASSEMBLIES.

ROOFS - PROPOSED ROOF INSULATION ENTIRELY ABOVE DECK R-20ci REQUIRED AND R-25ci PROVIDED MEETS OR EXCEEDS CODE MINIMUM.

WALLS ABOVE GRADE PROPOSED EXTERIOR WALL - MASS (PRECAST INSULATED CONCRETE) R-13.3ci REQUIRED AND R-16ci PROVIDED MEETS OR EXCEEDS CODE MINIMUM.

SLAB-ON-GRADE FLOORS - PROPOSED UNHEATED SLABS R-10 FOR 24 INCHES BELOW REQUIRED AND R-10 FOR 24 INCHES OR MORE PROVIDED MEETS OR EXCEEDS CODE MINIMUM.

PER TABLE 502.3 BUILDING ENVELOPE REQUIREMENTS: FENESTRATION  
VERTICAL FENESTRATION (40% MAXIMUM ALLOWED ABOVE GRADE) 5% ACTUAL PROVIDED REQUIRED U - FACTOR .40 ACTUAL PROVIDED .29 AND SHGC .41

PER 2015 IECC:

C402.5 AIR LEAKAGE THERMAL ENVELOPE. PROPOSED BUILDING COMPLIES.

C402.5.1 AIR BARRIER PER C402.5.1.2.1 MATERIALS SEE EXCEPTION 13 CAST-IN-PLACE AND PRECAST CONCRETE. PROPOSED BUILDING COMPLIES.

C402.5.2 AIR LEAKAGE FENESTRATION SEE EXCEPTION 1. FIELD FABRICATED FENESTRATION ASSEMBLIES THAT ARE SEALED IN ACCORDANCE WITH SECTION C402.5.1. PROPOSED BUILDING COMPLIES.

C402.5.3 ROOMS CONTAINING FUEL - BURNING APPLIANCES EXCEPTION 1. DIRECT VENT APPLIANCES WITH BOTH INTAKE AND EXHAUST PIPES INSTALLED CONTINUOUS TO OUTSIDE. PROPOSED BUILDING COMPLIES.

C402.5.4 DOORS AND ACCESS OPENINGS TO SHAFTS, CHUTES, STAIRWAYS AND ELEVATOR LOBBIES. NOT APPLICABLE TO PROPOSED BUILDING.

C402.5.5 AIR INTAKES, EXHAUST OPENINGS, STAIRWAYS AND SHAFTS, IF REQUIRED TO BE DAMPERED. PROPOSED BUILDING COMPLIES.

C402.5.6 LOADING DOCK WEATHER SEALS TO BE PROVIDED FOR LOADING DOCK DOORS. PROPOSED BUILDING COMPLIES.

C402.5.7 VESTIBULES EXCEPTION 2. DOORS NOT INTENDED TO BE USED BY THE PUBLIC, SUCH AS DOORS TO MECHANICAL OR ELECTRICAL EQUIPMENT ROOMS, ON INTENDED SOLELY FOR EMPLOYEE USE. EXCEPTION 4 DOORS THAT OPEN DIRECTLY FROM A SPACE LESS THAN 3,000 SQUARE FEET IN AREA. EXCEPTION 6 DOORS USED PRIMARILY TO FACILITATE VEHICULAR MOVEMENT OR MATERIAL HAND LINE AND ADJACENT PERSONAL DOORS. PROPOSED BUILDING COMPLIES.

C402.5.8 RECESSED LIGHTING. NOT APPLICABLE TO PROPOSED BUILDING.



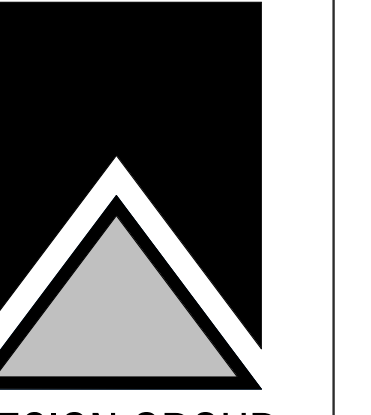


EXTERIOR PERSPECTIVE LOOKING  
 ① SOUTHWEST



EXTERIOR PERSPECTIVE LOOKING  
 ② NORTHEAST

BRIORN



DESIGN GROUP  
 3805 N BRIDGEMOOR ROAD, SUITE 200  
 BROOKFIELD, WISCONSIN 53005-1900  
 (262) 780-6200 PHONE  
 (262) 780-6205 FAX

EXTERIOR PERSPECTIVES

SHEET TITLE

BRELLIE GEAR  
 CORPORATE ROAD  
 WAUKESHA, WI

JOB: 3123  
 DRAWN: CW  
 CHECKED: CW  
 DATE: 12-10-18

SHEET:

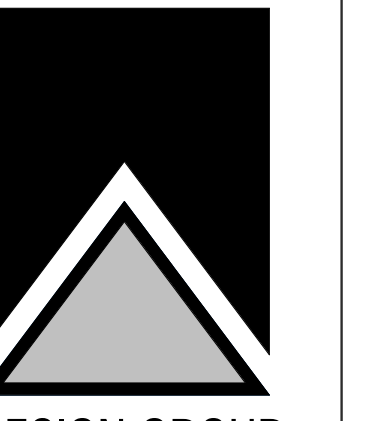
A5.2







BRIORN



DESIGN GROUP  
3800 N. BROOKFIELD ROAD, SUITE 200  
BROOKFIELD, WISCONSIN 53005-1950  
(262) 780-5200 PHONE  
(262) 780-5205 FAX

SHEET TITLE  
**AERIAL PERSPECTIVE  
LOOKING SOUTHWEST**

**BRELE GEAR**  
CORPORATE ROAD  
WAUKESHA WI

JOB:	3123
DRAWN:	CW
CHECKED:	CW
DATE:	12-10-18
SHEET:	

**A5.3**

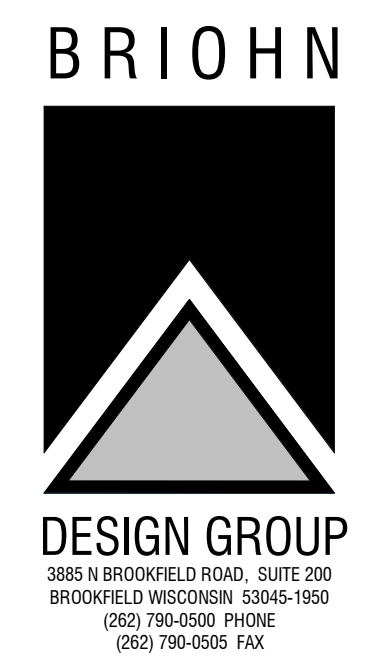
1 AERIAL PERSPECTIVE LOOKING  
SOUTHWEST  
1/8" = 1'-0"

APPLICABLE  
TO ALL  
PLAN VIEWS





Google Earth  
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SHEET TITLE  
**AERIAL PERSPECTIVE  
LOOKING NORTHWEST**

**BRELIE GEAR**  
CORPORATE ROAD  
WAUKESHA, WI

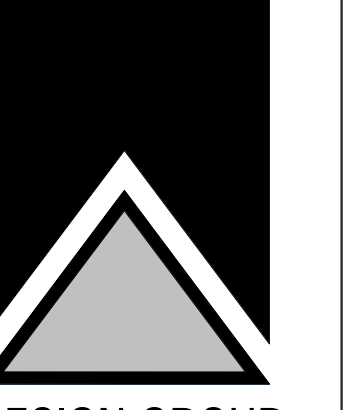

JOB: 3123  
DRAWN: CEW  
CHECKED: CEW  
DATE: 12-10-18  
SHEET:

① AERIAL VIEW 2  
1/8" = 1'-0"



**A5.4**

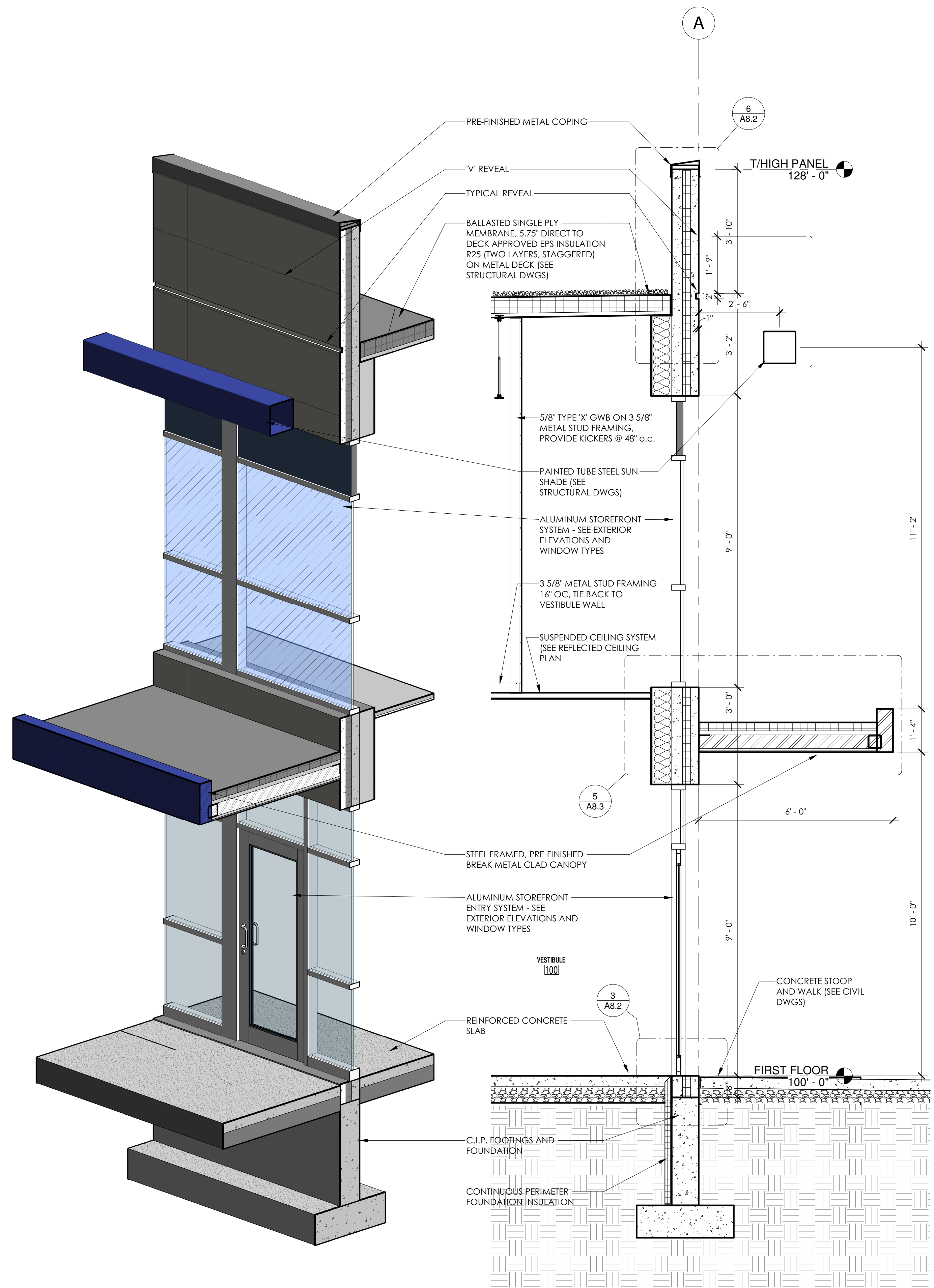




WALL SECTIONS

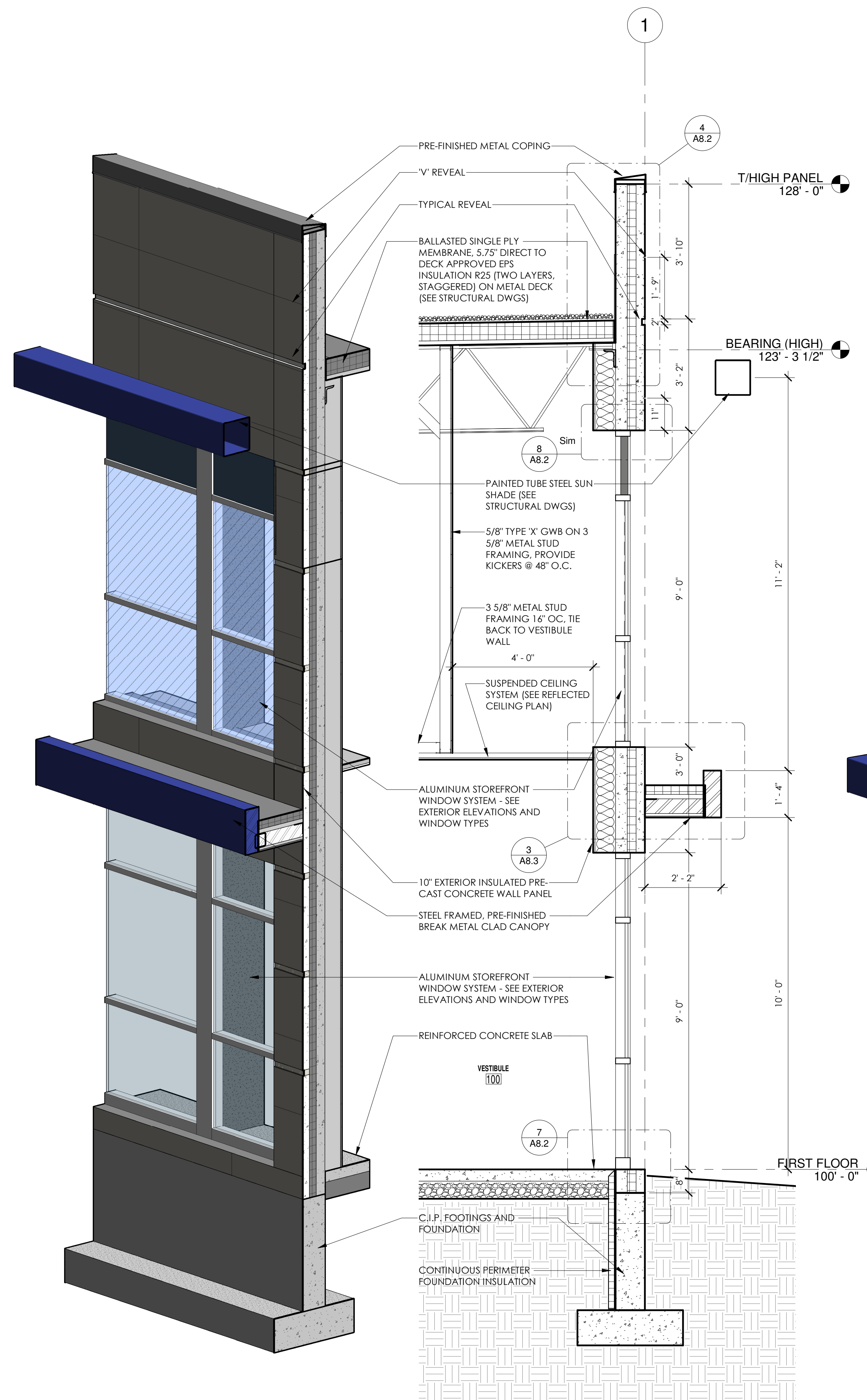
SHEET TITLE

BRELIE GEAR  
CORPORATE ROAD  
WAUKESHA WI



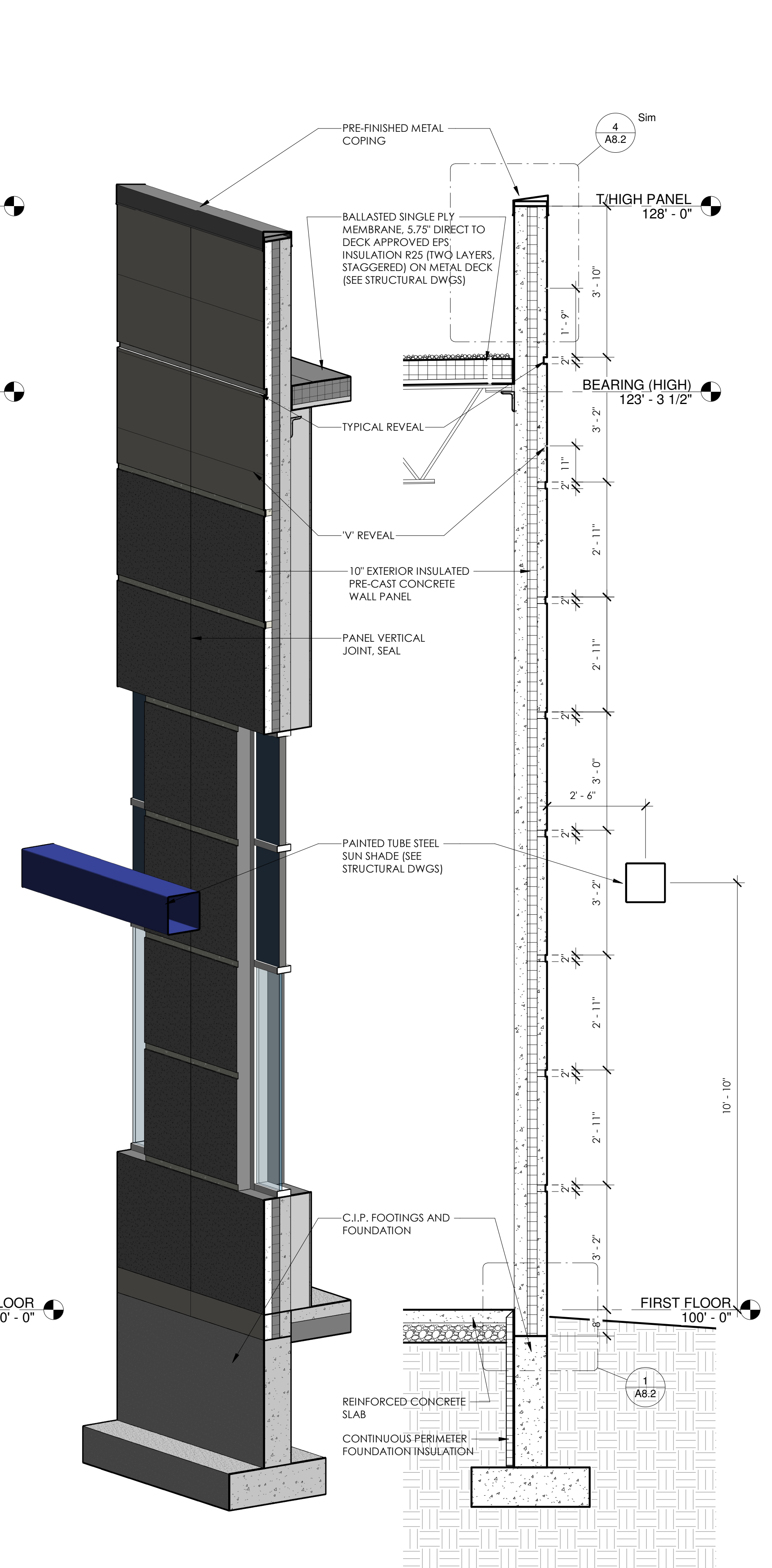
6 WALL SECTION @ EAST CANOPY (3D)

5 WALL SECTION @ EAST CANOPY  
1/2" = 1'-0"



4 WALL SECTION @ NORTH CANOPY (3D)

3 WALL SECTION @ NORTH CANOPY  
1/2" = 1'-0"



2 HIGH WALL TYP. (3D)

1 WALL SECTION @ HIGH WALL TYP.  
1/2" = 1'-0"

JOB: 3123  
DRAWN: Author  
CHECKED: Checker  
DATE: 12-10-18  
SHEET:

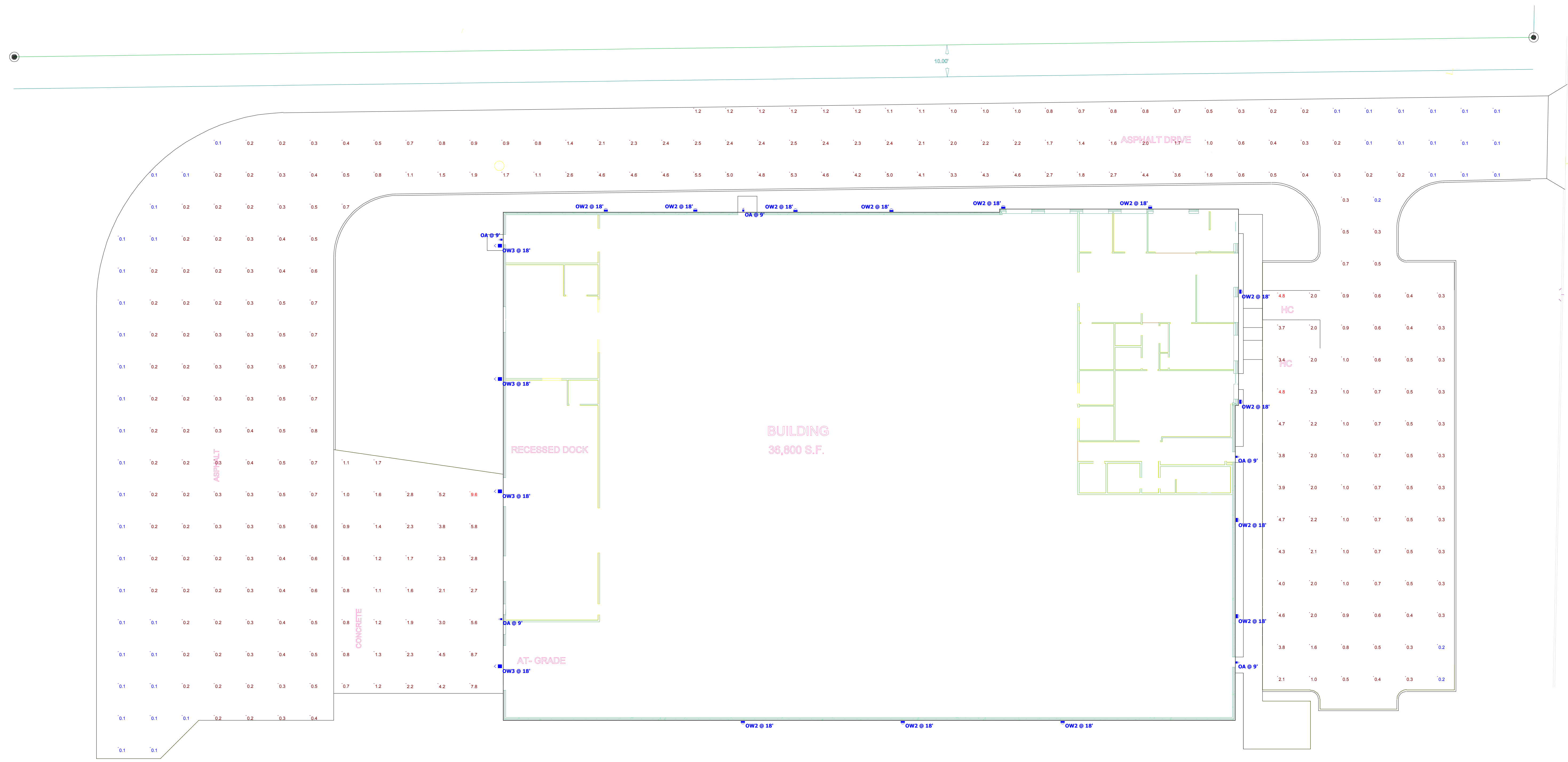
A7.1



Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	OA	5	RAB LIGHTING, INC.	ENTRA12	SMALL WALLPACK	LED 5000K	9	rl76948.ies	143	1	14.4
	OW2	13	RAB LIGHTING, INC.	WP3LED55 (STANDARD CUTOFF - PRISMATIC GLASS LENS)	LARGE WALLPACK WITH ALUMINUM PRECISION DIE CAST CONSTRUCTION AND TEMPERED GLASS REFRACTOR. REPLACES UP TO 250W MH	LED 5000K	144	rab03125.ies	49	1	57
	OW3	4	RAB LIGHTING, INC.	WP3LED110 (STANDARD CUTOFF - PRISMATIC GLASS LENS)	LARGE WALLPACK WITH ALUMINUM PRECISION DIE CAST CONSTRUCTION AND TEMPERED GLASS REFRACTOR. REPLACES UP TO 400W MH	LED 5000K	216	rab03331mod50.ies	70	1	107.1

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Drive and Dock	+	1.1 fc	9.6 fc	0.1 fc	96.0:1	11.0:1
Parking Lot	+	1.3 fc	4.8 fc	0.2 fc	24.0:1	6.5:1

**Note**  
FC Measured at 0' AFG



**Plan View**  
Scale - 1" = 16ft

BRELLIE GEAR SITE

Designer	TDL
Date	11/30/2018
Scale	1" = 16ft
Drawing No.	
Summary	