

PROJECT DIRECTORY

OWNER
 CARROLL UNIVERSITY
 100 N. EAST AVE
 WAUKESHA, WI 53186
 (262) 524-7373

CONSTRUCTION MANAGER
 GILBANE BUILDING COMPANY
 SUITE 104
 101 WEST PLEASANT STREET
 MILWAUKEE, WI 53212
 UNITED STATES

ARCHITECT
 BWBR
 1241 JOHN Q. HAMMONS DRIVE
 SUITE 503
 MADISON, WI 53717
 T 608-829-3701

CIVIL ENGINEER
 BLOOM COMPANIES
 10501 WEST RESEARCH DRIVE
 SUITE 100
 MILWAUKEE, WISCONSIN 53226
 T 414-292-4515
 F 414-771-4490

LANDSCAPE ARCHITECT
 KEN SAIKI DESIGN, INC.
 303 SOUTH PATERSON
 SUITE 1
 MADISON, WISCONSIN 53703
 T 612-332-7522
 F 612-332-0936

STRUCTURAL ENGINEER
 HENNEMAN ENGINEERING, INC.
 1232 FOURIER DRIVE
 SUITE 101
 MADISON, WI 53717
 UNITED STATES
 T 608-833-7000

MECHANICAL ENGINEER
 HENNEMAN ENGINEERING, INC.
 1232 FOURIER DRIVE
 SUITE 101
 MADISON, WI 53717
 UNITED STATES
 T 608-833-7000

ELECTRICAL ENGINEER
 HENNEMAN ENGINEERING, INC.
 1232 FOURIER DRIVE
 SUITE 101
 MADISON, WI 53717
 UNITED STATES
 T 608-833-7000

CARROLL UNIVERSITY | SCIENCE BUILDING

PLAN COMMISSION REVIEW 05.14.2014



CARROLL UNIVERSITY
 SCIENCE BUILDING



CARROLL UNIVERSITY

B | W | B | R

1241 John Q. Hammons Drive
 Suite 503
 Madison, WI 53717
 T. 608.829.3701
 bwbr.com

Consultants

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I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Name _____ Reg. No. _____
 Date _____

Issued For _____

Item _____ Date _____

PLAN COMMISSION REVIEW 05/14/2014

FOR REFERENCE ONLY

This Sheet may be a Reduced Copy. Drawing Scales apply to Full Size Sheets.

Comm. No. _____ Drawn _____
 3.013251.00 JCA
 Sheet Title _____

TITLE SHEET

Sheet No. _____

100.2

GENERAL NOTES:

- THE ARCHITECTURAL DRAWINGS SHOW PRINCIPAL AREAS AND LIMITS OF CONSTRUCTION WHERE WORK MUST BE ACCOMPLISHED UNDER THIS CONTRACT. INCIDENTAL WORK MAY BE NECESSARY IN AREAS NOT SHOWN ON ARCHITECTURAL DRAWINGS DUE TO CHANGES AFFECTING ELECTRICAL, MECHANICAL AND PLUMBING ALONG WITH OTHER SYSTEMS. THIS INCIDENTAL WORK SHALL BE PART OF THIS CONTRACT, AND ALL TRADES SHALL INSPECT THESE AREAS, ASCERTAIN WORK REQUIRED AND DO THE WORK IN ACCORDANCE OF CONTRACT REQUIREMENTS AT NO ADDITIONAL COST.
- CONTRACTORS SHALL VISIT THE SITE DURING BIDDING TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS. THE GENERAL CONTRACTOR SHALL LOCATE, INSPECT AND FIELD VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND ELEVATIONS PRIOR TO DEMOLITION AND CONSTRUCTION. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
- DO NOT SCALE DRAWINGS. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
- WHEREVER OPENINGS ARE CUT THROUGH FIRE RATED PARTITIONS, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR FOR WHOM THE HOLE IS CUT TO PATCH AND REPAIR ANY OPENING TO MAINTAIN THE INTEGRITY OF THE FIRE RATING.
- GENERAL CONTRACTOR TO CHECK MECHANICAL DRAWINGS FOR EXISTING PIPES AND DUCTS FURRED IN WALLS. VERIFY SIZE AND LOCATION WITH MECHANICAL CONTRACTOR PRIOR TO PROCEEDING WITH REMODELING.
- FIREPROOFING SHALL BE UNIMPERCED. ANY SUBCONTRACTOR PENETRATING THE FIREPROOFING SHALL BE REQUIRED TO REPLACE FIREPROOFING TO THE ORIGINAL CONDITION AND FIRE RATING, AT THE SUBCONTRACTORS EXPENSE.
- EQUIPMENT UNIT DIMENSIONS ARE FOR PRODUCT DESCRIPTION ONLY. VERIFY SIZE WITH MANUFACTURER.
- ALL DIMENSIONS PERTAINING TO MECHANICAL OR ELECTRICAL SERVICES OR EQUIPMENT SHALL BE VERIFIED WITH THE RESPECTIVE TRADE.
- ALL CONTRACTORS THAT PENETRATE AND/OR DISTURB ANY AREAS AT EXISTING CONDITIONS SHALL PATCH AREA TO MATCH EXISTING ADJACENT AREA OR SURFACE AND PREPARE FOR SCHEDULED FINISH APPLICATION. COORDINATE WORK WITH GENERAL CONTRACTOR PRIOR TO PROCEEDING.
- VERIFY HEIGHTS AND LOCATIONS OF ACCESS PANELS (AP) AND COORDINATE TYPES WITH TRADES WHICH REQUIRE THEM.
- PROVIDE LINTELS AND FRAMING FOR GRILLES, LOUVERS, AND ROOF VENTS AS REQUIRED BY MECHANICAL CONTRACTOR, VERIFY SIZE AND LOCATION.
- STRUCTURAL, MECHANICAL, AND ELECTRICAL ABBREVIATIONS AND SYMBOLS MAY DIFFER FROM ARCHITECTURAL. SEE RESPECTIVE SECTIONS AND/OR DRAWINGS FOR DEFINITIONS.
- AT MECHANICAL AND ELECTRICAL EQUIPMENT ROOMS, PROVIDE 3/4" FRT PLYWOOD BACKING BEHIND ALL SURFACE MOUNTED FIXTURES AND EQUIPMENT, UNLESS NOTED OTHERWISE.
- HOUSEKEEPING PADS SHALL BE PROVIDED BY TRADES WHICH REQUIRE THEM.
- SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR SIZES AND LOCATIONS. DEMOLITION OF MAXON HALL IS NOT A PART OF THIS SCOPE OF WORK. LOWRY HALL CONTINUED OPERATIONS PLAN IS NOT A PART OF THIS SCOPE OF WORK.

SHEET NUMBERING AND ABBREVIATION EXPLANATION

BUILDING NUMBER	SHEET GROUPING	FLOOR LEVEL	ZONE NUMBER	PLAN TYPE	SHEET GROUPING	PLAN
1.402.1DE					300 D	DEMO PLANS
1.402.1DE					400 DE	DEMOLITION PLAN
					DI	DIMENSION PLAN
					EX	EXTERIOR PLAN
					FL	FLOOR PLAN
					FN	FINISH PLAN
					FP	FLOOR PATTERN PLAN
					QU	EQUIPMENT PLAN
					RC	REFLECTED CEILING PLAN
					SY	(SYSTEMS) FURNITURE PLAN
1.701.1DF					700 DF	DEMO FIRE PROTECTION
					DM	DEMO MED GAS
					DP	DEMO PLUMBING
					F	MECH FIRE PROTECTION
					M	MED MED GAS
					P	MECH PLUMBING
1.701.1DF					800 DH	DEMO HVAC
					DP	DEMO PIPING
					H	MECH HVAC
					P	MECH PIPING
200 AS					900 DL	DEMO ELEC LIGHTING
CD					DP	DEMO ELEC POWER
CG					DS	DEMO ELEC SYSTEMS
CU					L	ELEC LIGHTING
CP					P	ELEC POWER
LP					S	ELEC SYSTEMS

SHEET INDEX PLAN COMMISSION

SD Issue	DD Issue	Plan Commission	Sheet Number	Sheet Name
			100.2	TITLE SHEET
			200.AS1	SURVEY SHEET 1 OF 3
			200.AS2	SURVEY SHEET 2 OF 3
			200.AS3	SURVEY SHEET 3 OF 3
			200.CG	SITE GRADING PLAN
			200.CP	SITE PLAN
			200.CU	CIVIL UTILITY PLAN - SOUTH
			200.EC	EROSION CONTROL PLAN - SOUTH
			200.LP	LANDSCAPE PLAN
			200.SW	STORM WATER PLAN - SOUTH
			201.CU	CIVIL UTILITY PLAN - NORTH
			201.EC	EROSION CONTROL PLAN - NORTH
			201.SW	STORM WATER PLAN - NORTH
			210	EROSION CONTROL DETAILS
			211	CIVIL SITE DETAILS
			212	CIVIL UTILITY DETAILS
			220	LANDSCAPE DETAILS
			221	LANDSCAPE DETAILS
			222	LANDSCAPE DETAILS
			400.FL	FLOOR PLAN - LOWER LEVEL
			401.FL	FLOOR PLAN - FIRST LEVEL
			402.FL	FLOOR PLAN - SECOND LEVEL
			403.FL	FLOOR PLAN - THIRD LEVEL
			510	EXTERIOR ELEVATIONS
			511	REFERENCE PERSPECTIVES
			541	WALL SECTIONS
			542	WALL SECTIONS
			900.OT	ELECTRICAL SITE PLAN

NOT ISSUED
 ISSUED
 ISSUED FOR REFERENCE ONLY
 ISSUED AS NOTED



TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND UTILITIES BEFORE YOU DIG:

CALL DIGGERS HOTLINE
1-800-242-8811 TOLL FREE
WB STATELINE 242-8811 TOLL FREE
W. BRASS CAP FOUND
N#370.204.15
E#2471.007.44

NOTE: The location and size of the underground structures and utilities shown herein have been located to a reasonable degree of accuracy, but the Engineer and/or Surveyor does not guarantee their exact location or the location of others not shown. Contact Diggers Hotline, Inc., etc.

REFERENCE BEARING: THE SOUTH LINE OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 3, TOWN 6 NORTH, RANGE 19 EAST WAS USED AS THE REFERENCE BEARING AND HAS A BEARING OF SOUTH 87°57'27" WEST BASED ON WISCONSIN STATE PLANE COORDINATE SYSTEM (SOUTH ZONE).

BENCH MARKS:

- 48.44 (CITY DATUM) HYDRANT "OPEN" @ THE NORTHEAST CORNER OF W. COLLEGE AVE AT N. GRAND AVE.
- 46.99 (CITY DATUM) RAILROAD SPIKE IN POWERPOLE #57-14549 ± 300' NORTH OF W. COLLEGE AVE ON EAST SIDE OF N. GRAND AVE.
- 45.16 (CITY DATUM) HYDRANT "OPEN" @ THE NORTHEAST CORNER OF N. GRAND AVE AND MILLERS CT.

NOTES:

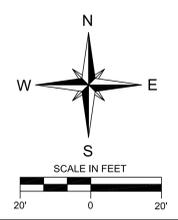
- SURVEY WAS PREPARED FOR CARROLL UNIVERSITY, INC. COLLEGE AVE AT N. GRAND AVE.
- UTILITIES SHOWN PER VISIBLE INSPECTIONS, MARKINGS BY DIGGERS HOTLINE (TICKET # 20130502078, 20130502080, 20141103361, 20141103378, 20141103384, 20141103390 AND 20141103398) AND PRIVATE LINES.
- SURVEY WAS COMPLETED DURING WINTER TIME WITH SNOW COVER.

SURVEYOR'S CERTIFICATE:
STATE OF WISCONSIN
COUNTY OF WAUKESHA } ss.
I, **JOHN R. STIGLER**,
DO HEREBY CERTIFY THAT WE HAVE MADE THIS SURVEY AND THAT THE INFORMATION AS SHOWN ON THE ABOVE PLAT OF SURVEY IS TRUE AND CORRECT REPRESENTATION THEREOF.

WE, **JAHNKE & JAHNKE ASSOCIATES INC.** DO HEREBY CERTIFY THAT WE HAVE MADE THIS SURVEY AND THAT THE INFORMATION AS SHOWN ON THE ABOVE PLAT OF SURVEY IS TRUE AND CORRECT REPRESENTATION THEREOF.

John R. Stigler
John R. Stigler - Wis. Reg. No. S-1820
Waukesha, WI
dated this 26th day of March, 2014

Jahnke & Jahnke Associates Inc.
dated this 9th day of April, 2014
Revised this 21st day of April, 2014
Revised this 12th day of May, 2014



LEGEND:

EX. MONUMENT FOUND	EX. LIGHT	EX. GUARD RAIL
EX. CHISELED CROSS	EX. FLAG POLE	EX. SWALE
EX. SANITARY MANHOLE	EX. VAULT	EX. TREE LINE
EX. STORM MANHOLE	EX. TRAFFIC SIGNAL POLE	EX. FIBER OPTIC
EX. CATCH BASIN ROUND	EX. SIGNAL BOX PEDESTAL	EX. TELEPHONE LINE
EX. CATCH BASIN SQUARE	EX. TELEPHONE PEDESTAL	EX. GAS LINE
EX. HYDRANT	EX. TELEPHONE MANHOLE	EX. ELECTRIC LINE
EX. WATER VALVE	EX. DETECTABLE METAL PLATE	EX. UNDERGROUND CABLE TV
EX. HOUSE VALVE	EX. RAILROAD SPIKE	EX. COMMUNICATIONS LINE
EX. SEPTIC COVER	EX. WOODEN POST	EX. BUREAU OF ELECTRICAL SERVICE LINE
EX. MONITORING WELL	EX. METAL POST	EX. SANITARY SEWER
EX. ELECTRIC MANHOLE	EX. SIGN	EX. STORM SEWER
EX. ELECTRICAL TRANSFORMER	EX. BORING LOCATION	EX. WATER MAIN
EX. FIBEROPTIC PEDESTAL	EX. DECIDUOUS TREE	EX. STEAM LINE
EX. ELECTRICAL METER	EX. CONIFEROUS TREE	EX. 1-FOOT CONTOUR LINE
EX. POWER POLE	EX. EVERGREEN BUSH	EX. 5-FOOT CONTOUR LINE
EX. POWERLIGHT POLE	EX. TREES AND BRUSH	
EX. GUY WIRE	EX. OVERHEAD WIRES	
EX. AIRCONDITIONER UNIT	EX. RETAINING WALLS	
EX. LIGHT POLE	EX. FENCE LINE	
EX. PULL BOX	EX. RAILING	
EX. PVC DRAIN/CLEANOUT		

LEGAL DESCRIPTION:
ALL THAT PART OF THE SOUTHEAST QUARTER (SE 1/4) OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 3, TOWN 6 NORTH, RANGE 19 EAST, CITY OF WAUKESHA, WAUKESHA COUNTY, WISCONSIN BOUNDED AND DESCRIBED AS FOLLOWS: BOUND ON THE EAST BY THE WEST RIGHT-OF-WAY LINE OF N. EAST AVENUE ON THE SOUTH BY THE NORTH RIGHT-OF-WAY LINE OF W. COLLEGE AVENUE, ON THE WEST BY THE EAST RIGHT-OF-WAY LINE OF N. BARSTOW STREET AND ON THE NORTH BY THE NORTH RIGHT-OF-WAY LINE OF THE CHICAGO & NORTHWESTERN RAILROAD RIGHT-OF-WAY LINE. EXCEPTING THEREFROM THE PROPERTY AT 304 N. EAST AVENUE KNOWN AS TAX KEY NO. WAKC 1308237

FOR: CARROLL UNIVERSITY, INC.

**PLAT OF SURVEY
RE: PHASE MP4**

**PART OF THE SE 1/4 OF SECTION 3, T6N, R19E
CITY OF WAUKESHA, WAUKESHA COUNTY, WI.**

JAHNKE & JAHNKE ASSOCIATES INC.
PLANNERS & PROFESSIONAL ENGINEERS
7111 W. MORELAND BLVD. - WAUKESHA, WI 53188
TEL: (262) 542-5777 FAX: (262) 542-7688

SCALE: 1" = 20'
DRAWN BY: B.L.
BOOK NO.: WAUKESHA 190

DATE: MARCH 26, 2014
CHECKED BY: A.S.Z.
JOB: S-8157

FILE NO.: WAUKESHA 1141
SHEET 1 OF 3

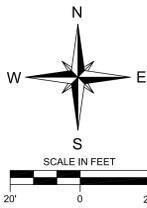
FILE NAME: PROJECTS\SURV\157\DWG\SURV157-2014.dwg

TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN



CALL DIGGERS HOTLINE
1-800-242-8511 TOLL FREE
WE WILL CALL YOU WITHIN 24 HOURS BEFORE YOU EXCAVATE
WORK DAYS NOTICE BEFORE YOU EXCAVATE
MILW. AREA 259-1181

NOTE: The location and size of the underground structures and utilities shown here have been located to a reasonable degree of accuracy, but the Engineer and/or Surveyor does not guarantee their exact location or the location of others not shown. Contact Diggers Hotline, Inc. Etc.



SCALE IN FEET
20' 0 20'



- LEGEND:**
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SURVEYOR'S CERTIFICATE:
STATE OF WISCONSIN)
COUNTY OF WAUKESHA) ss.
I, JOHN R. STIGLER, LICENSED SURVEYOR, DO HEREBY CERTIFY THAT I HAVE MADE THIS SURVEY AND THAT THE INFORMATION AS SHOWN ON THE ABOVE PLAT OF SURVEY IS TRUE AND CORRECT REPRESENTATION THEREOF.

John R. Stigler
John R. Stigler, Lic. Reg. No. S-1820
Revised this 26th day of March, 2014
Revised this 9th day of April, 2014
Revised this 21st day of April, 2014
Revised this 12th day of May, 2014



FOR: CARROLL UNIVERSITY, INC.

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JAHNKE & JAHNKE ASSOCIATES INC.
PLANNERS & PROFESSIONAL ENGINEERS
711 W. MORELAND BLVD.-WAUKESHA, WI 53188
TEL. NO. (262) 542-9797 FAX (262) 542-7699

SCALE: 1" = 20' DATE: MARCH 26, 2014
DRAWN BY: B.L. CHECKED BY: J.R.S. FILE NO.: WAUKESHA 1141
BOOK NO.: WAUKESHA 190 JOB: S-8157 SHEET 2 OF 3

FILE NAME: PROJECTS\SH157\DWG\SR157-2014.dwg

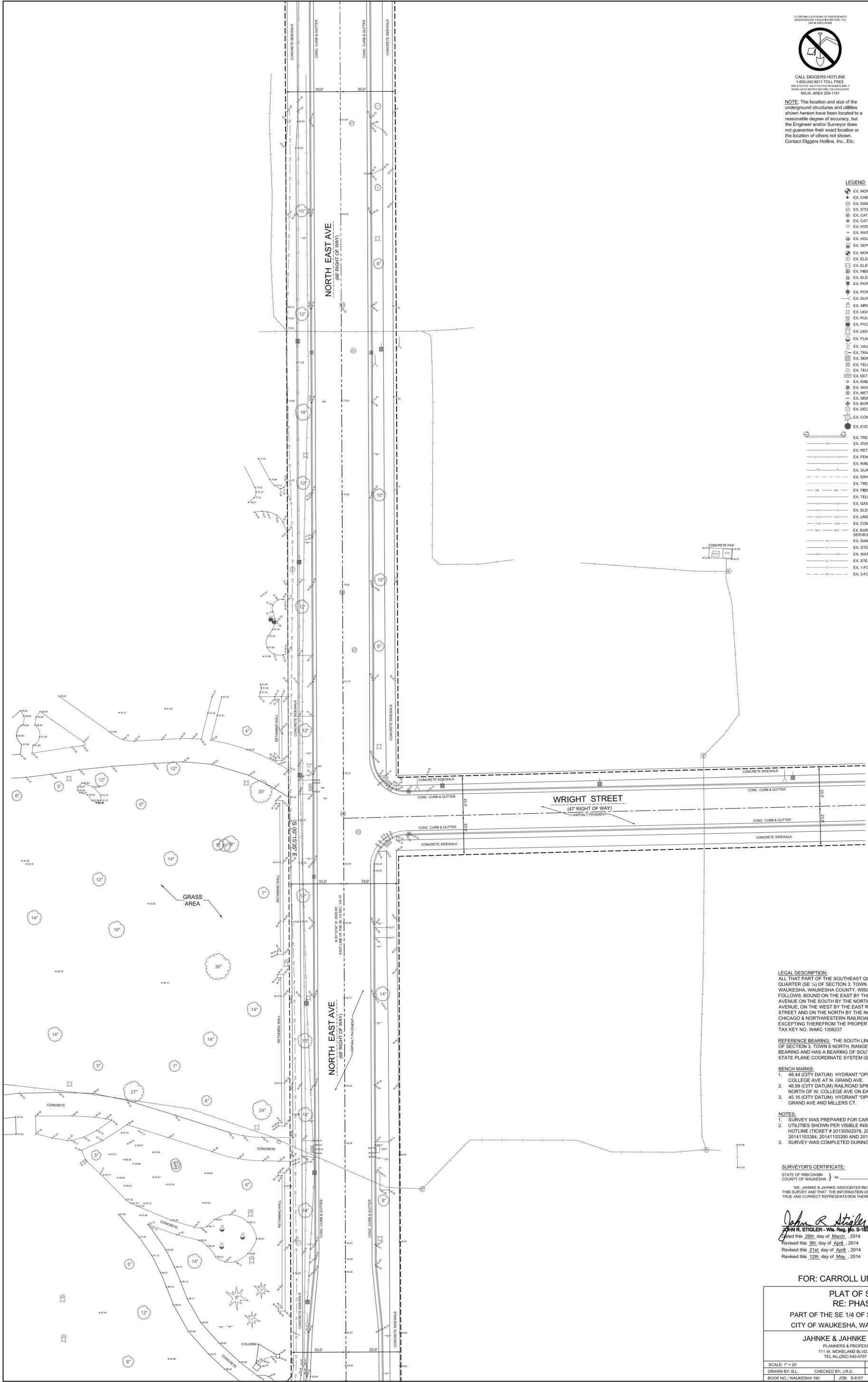


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 - SURVEY WAS COMPLETED DURING WINTER TIME WITH SNOW COVER.

SURVEYOR'S CERTIFICATE:
STATE OF WISCONSIN)
COUNTY OF WAUKESHA) ss.
WE, JAHNKE & JAHNKE ASSOCIATES INC. DO HEREBY CERTIFY THAT WE HAVE MADE THIS SURVEY AND THAT THE INFORMATION AS SHOWN ON THE ABOVE PLAT OF SURVEY IS TRUE AND CORRECT REPRESENTATION THEREOF.

John R. Stigler
JOHN R. STIGLER, Wis. Reg. No. S-1820
Signed this 26th day of March, 2014
Revised this 9th day of April, 2014
Revised this 21st day of April, 2014
Revised this 12th day of May, 2014



FOR: CARROLL UNIVERSITY, INC.

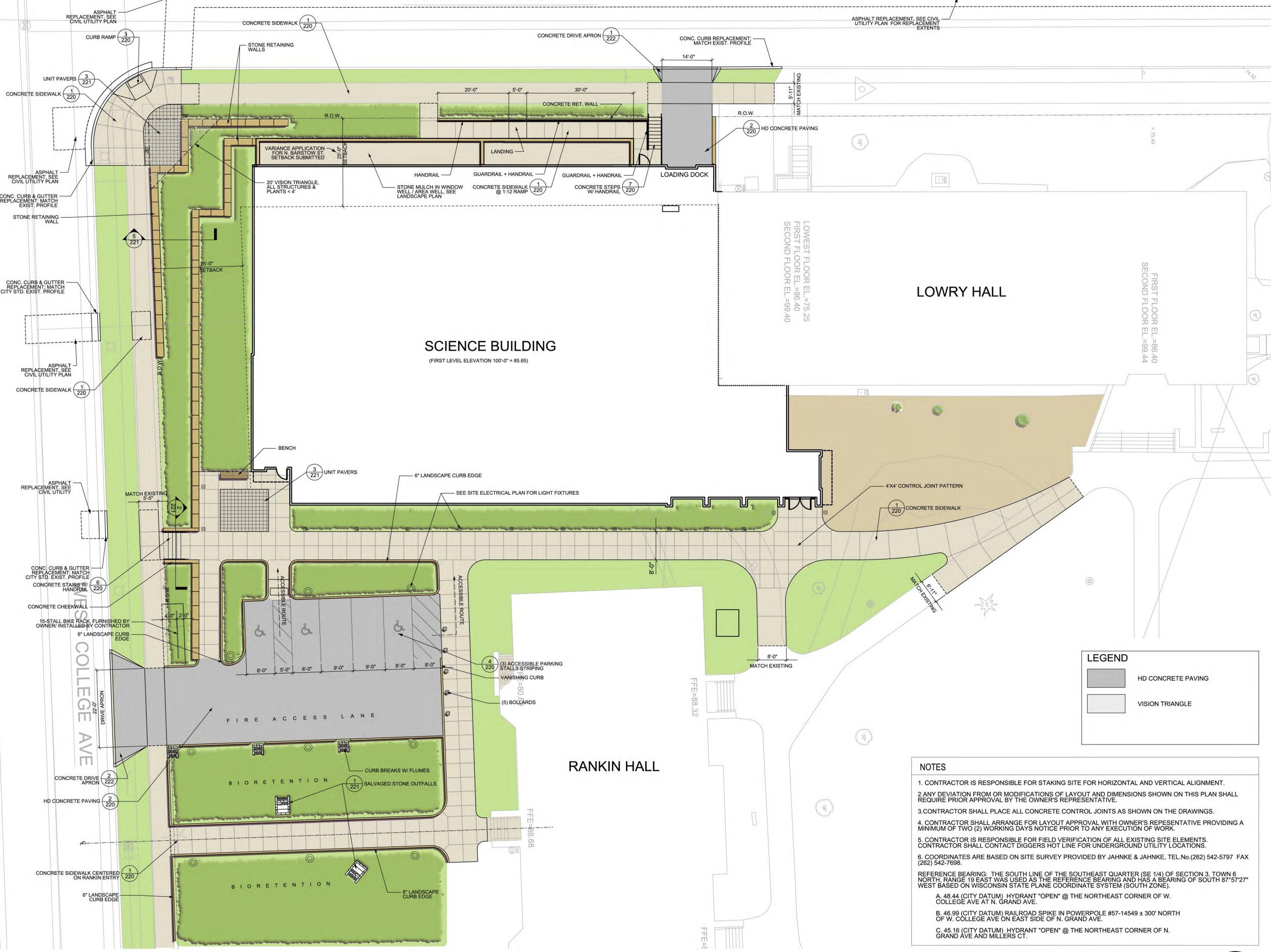
PLAT OF SURVEY
RE: PHASE MP4
PART OF THE SE 1/4 OF SECTION 3, T6N, R19E
CITY OF WAUKESHA, WAUKESHA COUNTY, WI.

JAHNKE & JAHNKE ASSOCIATES INC.
PLANNERS & PROFESSIONAL ENGINEERS
711 W. MORELAND BLVD - WAUKESHA, WI 53188
TEL. NO. (262) 542-9797 FAX (262) 542-7699

SCALE: 1" = 20'	DATE: MARCH 26, 2014
DRAWN BY: B.L.	CHECKED BY: J.R.S.
BOOK NO.: WAUKESHA 190	FILE NO.: WAUKESHA 1141
JOB: S-8157	SHEET 3 OF 3

FILE NAME: PROJECTS\SH157\DWG\SR157-2014.dwg

NORTH BARSTOW ST



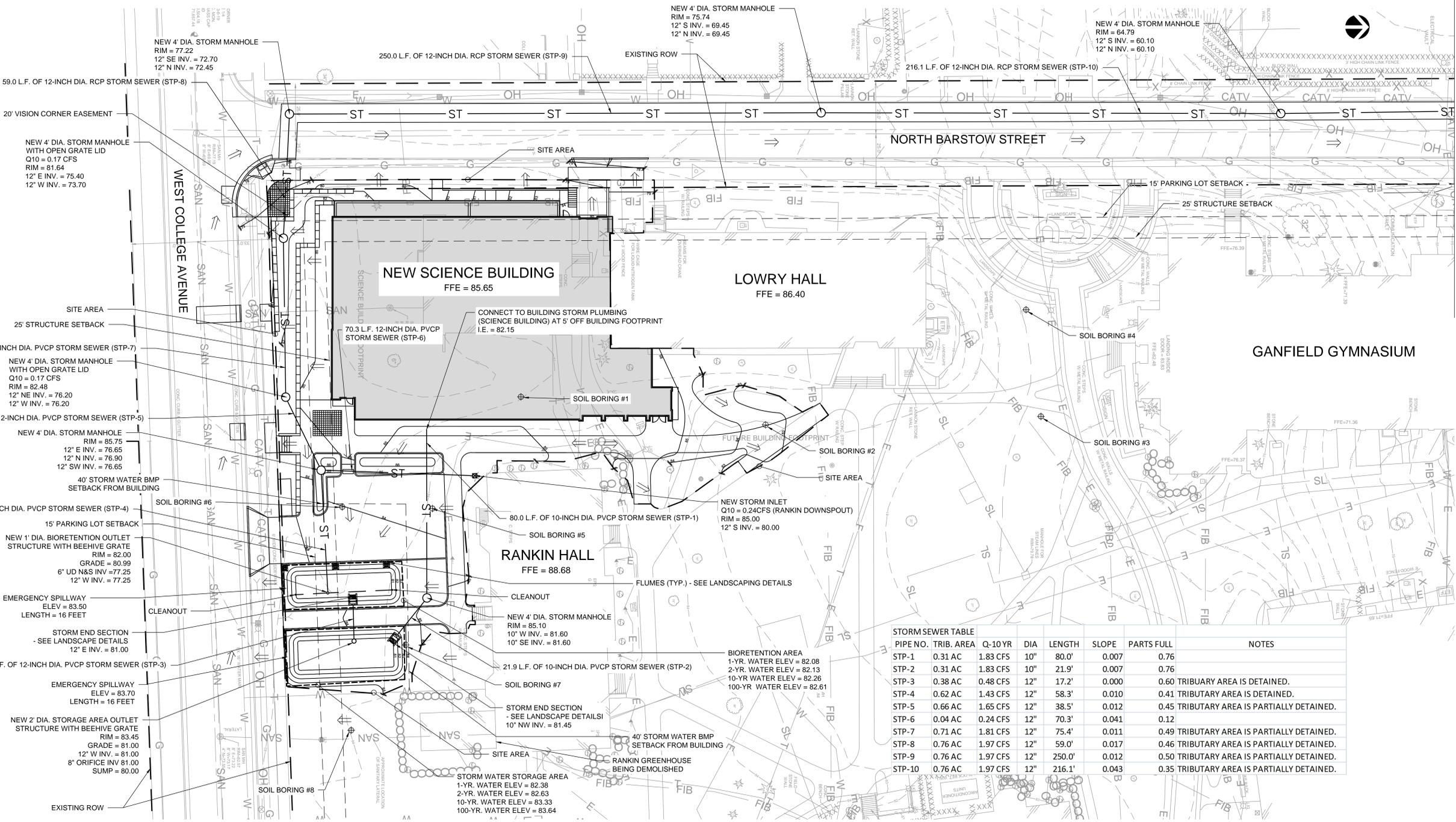
LEGEND

- HD CONCRETE PAVING
- VISION TRIANGLE

- NOTES**
- CONTRACTOR IS RESPONSIBLE FOR STAKING SITE FOR HORIZONTAL AND VERTICAL ALIGNMENT.
 - ANY DEVIATION FROM OR MODIFICATIONS OF LAYOUT AND DIMENSIONS SHOWN ON THIS PLAN SHALL REQUIRE PRIOR APPROVAL BY THE OWNER'S REPRESENTATIVE.
 - CONTRACTOR SHALL PLACE ALL CONCRETE CONTROL JOINTS AS SHOWN ON THE DRAWINGS.
 - CONTRACTOR SHALL ARRANGE FOR LAYOUT APPROVAL WITH OWNER'S REPRESENTATIVE PROVIDING A MINIMUM OF TWO (2) WORKING DAYS NOTICE PRIOR TO ANY EXECUTION OF WORK.
 - CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL EXISTING SITE ELEMENTS. CONTRACTOR SHALL CONTACT DIGGERS HOT LINE FOR UNDERGROUND UTILITY LOCATIONS.
 - COORDINATES ARE BASED ON SITE SURVEY PROVIDED BY JAHNKE & JAHNKE, TEL.No.(262) 542-5797 FAX (262) 542-7698.
- REFERENCE BEARING: THE SOUTH LINE OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 3, TOWN 6 NORTH, RANGE 19 EAST WAS USED AS THE REFERENCE BEARING AND HAS A BEARING OF SOUTH 87°57'27" WEST BASED ON WISCONSIN STATE PLANE COORDINATE SYSTEM (SOUTH ZONE).
- A. 48.44 (CITY DATUM) HYDRANT "OPEN" @ THE NORTHEAST CORNER OF W. COLLEGE AVE AT N. GRAND AVE.
 - B. 46.99 (CITY DATUM) RAILROAD SPIKE IN POWERPOLE #57-14549 ± 300' NORTH OF W. COLLEGE AVE ON EAST SIDE OF N. GRAND AVE.
 - C. 45.16 (CITY DATUM) HYDRANT "OPEN" @ THE NORTHEAST CORNER OF N. GRAND AVE AND MILLERS CT.



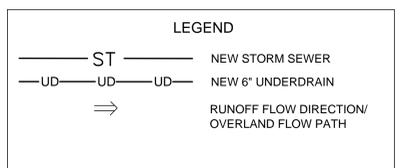
1 SITE LAYOUT PLAN
1"=10'-0" @ FULL SIZE SHEET (30X42)

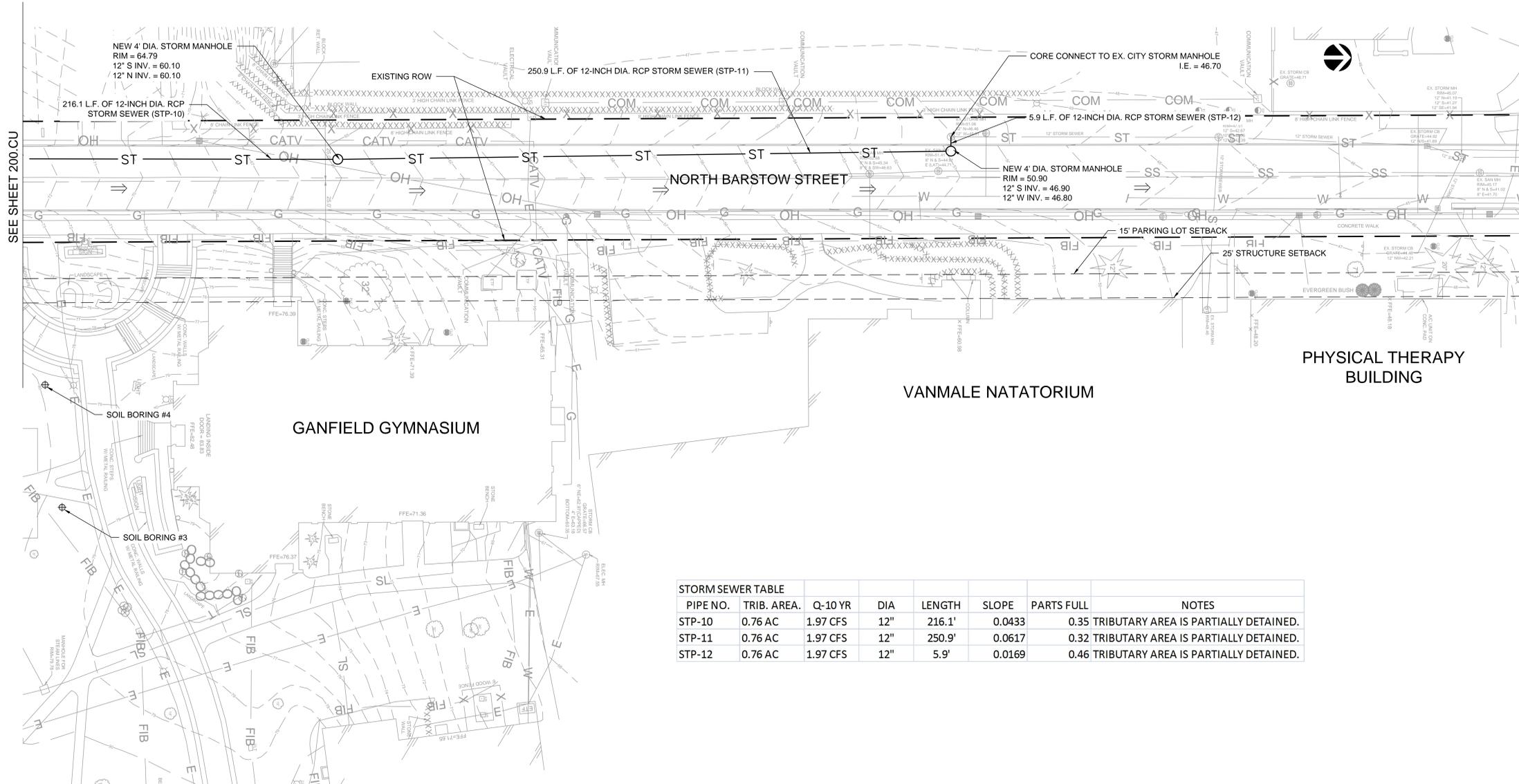


PIPE NO.	TRIB. AREA	Q-10 YR	DIA	LENGTH	SLOPE	PARTS FULL	NOTES
STP-1	0.31 AC	1.83 CFS	10"	80.0'	0.007	0.76	
STP-2	0.31 AC	1.83 CFS	10"	21.9'	0.007	0.76	
STP-3	0.38 AC	0.48 CFS	12"	17.2'	0.000	0.60	0.60 TRIBUTARY AREA IS DETAINED.
STP-4	0.62 AC	1.43 CFS	12"	58.3'	0.010	0.41	0.41 TRIBUTARY AREA IS DETAINED.
STP-5	0.66 AC	1.65 CFS	12"	38.5'	0.012	0.45	0.45 TRIBUTARY AREA IS PARTIALLY DETAINED.
STP-6	0.04 AC	0.24 CFS	12"	70.3'	0.041	0.12	
STP-7	0.71 AC	1.81 CFS	12"	75.4'	0.011	0.49	0.49 TRIBUTARY AREA IS PARTIALLY DETAINED.
STP-8	0.76 AC	1.97 CFS	12"	59.0'	0.017	0.46	0.46 TRIBUTARY AREA IS PARTIALLY DETAINED.
STP-9	0.76 AC	1.97 CFS	12"	250.0'	0.012	0.50	0.50 TRIBUTARY AREA IS PARTIALLY DETAINED.
STP-10	0.76 AC	1.97 CFS	12"	216.1'	0.043	0.35	0.35 TRIBUTARY AREA IS PARTIALLY DETAINED.

PEAK RUNOFF RATES	1-YR	2-YR	10-YR	100-YR
PRE-PROJECT	0.61 CFS	0.91 CFS	2.04 CFS	3.61 CFS
POST-PROJECT	0.30 CFS	0.57 CFS	1.99 CFS	3.53 CFS
TSS REMOVAL RATE: 48.6%				

- STORMWATER MANAGEMENT NOTES:
- NRCS SOIL MAPPING INDICATES ALL AREAS OF PROJECT THAT ARE ON CARROLL UNIVERSITY PROPERTY ARE HmB (HOTCHHEIM LOAM).
 - NO WETLANDS OR HYDRIC SOILS ARE SHOWN IN THE AREA OF PROJECT PER WDNR MAPPING.
 - PROJECT IS A REDEVELOPMENT SITE.
 - SITE AREA = 0.79 ACRES.
 - EXISTING SITE IMPERVIOUS AREA = 0.14 ACRES.
 - PROPOSED SITE IMPERVIOUS AREA = 0.50 ACRES.





SEE SHEET 200 CU

NEW 4' DIA. STORM MANHOLE
RIM = 64.79
12" S INV. = 60.10
12" N INV. = 60.10

EXISTING ROW

250.9 L.F. OF 12-INCH DIA. RCP STORM SEWER (STP-11)

CORE CONNECT TO EX. CITY STORM MANHOLE
I.E. = 46.70

216.1 L.F. OF 12-INCH DIA. RCP STORM SEWER (STP-10)

NORTH BARSTOW STREET

NEW 4' DIA. STORM MANHOLE
RIM = 50.90
12" S INV. = 46.90
12" W INV. = 46.80

15' PARKING LOT SETBACK

25' STRUCTURE SETBACK

PHYSICAL THERAPY BUILDING

VANMALE NATATORIUM

GANFIELD GYMNASIUM

SOIL BORING #4

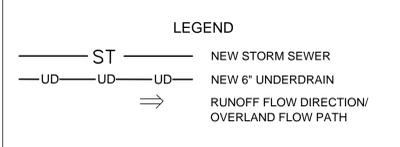
SOIL BORING #3

PIPE NO.	TRIB. AREA.	Q-10 YR	DIA	LENGTH	SLOPE	PARTS FULL	NOTES
STP-10	0.76 AC	1.97 CFS	12"	216.1'	0.0433	0.35	TRIBUTARY AREA IS PARTIALLY DETAINED.
STP-11	0.76 AC	1.97 CFS	12"	250.9'	0.0617	0.32	TRIBUTARY AREA IS PARTIALLY DETAINED.
STP-12	0.76 AC	1.97 CFS	12"	5.9'	0.0169	0.46	TRIBUTARY AREA IS PARTIALLY DETAINED.

PEAK RUNOFF RATES	1-YR	2-YR	10-YR	100-YR
PRE-PROJECT	0.61 CFS	0.91 CFS	2.04 CFS	3.61 CFS
POST-PROJECT	0.30 CFS	0.57 CFS	1.99 CFS	3.53 CFS

TSS REMOVAL RATE: 48.6%

- STORMW ATER MANAGEMENT NOTES:**
- NRCS SOIL MAPPING INDICATES ALL AREAS OF PROJECT THAT ARE ON CARROLL UNIVERSITY PROPERTY ARE HmB (HOTCHHEIM LOAM).
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 - PROJECT IS A REDEVELOPMENT SITE.
 - SITE AREA = 0.79 ACRES.
 - EXISTING SITE IMPERVIOUS AREA = 0.14 ACRES.
 - PROPOSED SITE IMPERVIOUS AREA = 0.50 ACRES.



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3.2013251.00

Sheet Title

STORMWATER PLAN - NORTH

Sheet No.

201.SW



Consultants



KEN SAKI DESIGN INC.
LANDSCAPE ARCHITECTS
303 S. PATERSON
SUITE 201
MADISON, WI 53703
Phone: 608.251.3600
Fax: 608.251.2330
www.kssd-la.com

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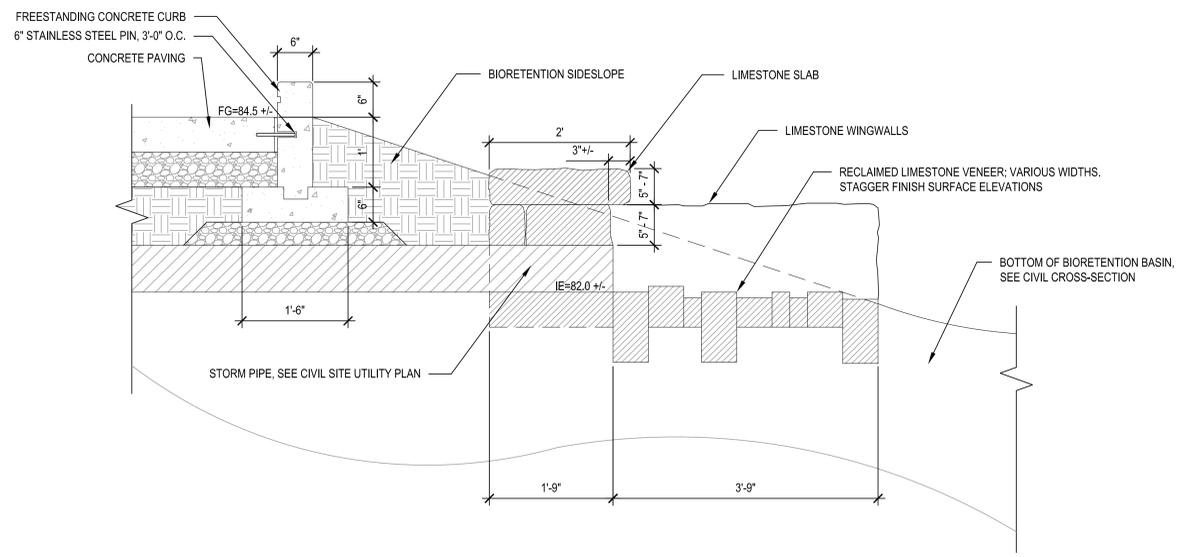
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Date _____ Reg. No. _____

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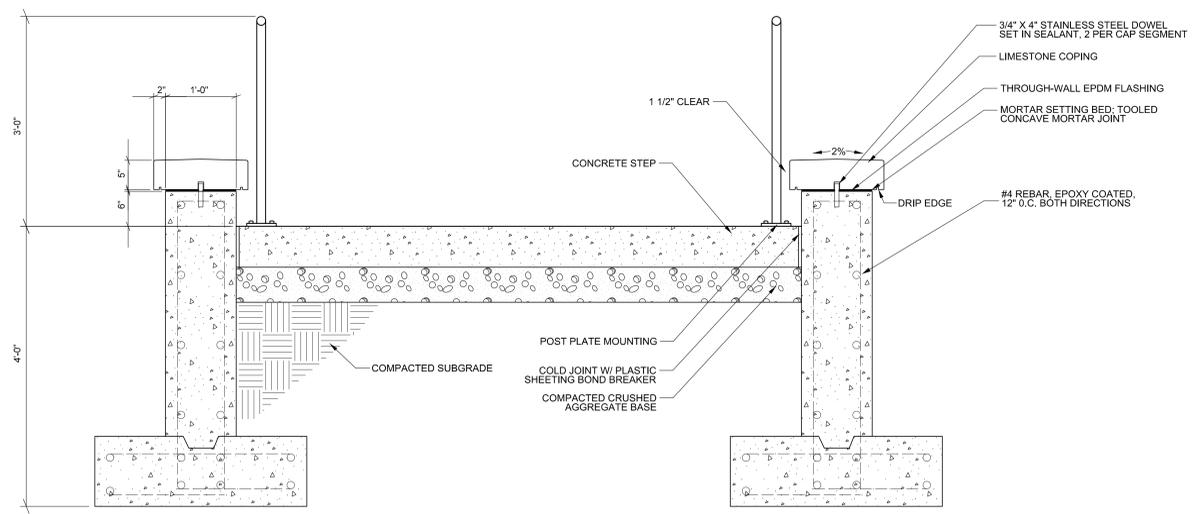
Item _____ Date _____

PLAN COMMISSION REVIEW 05/14/2014

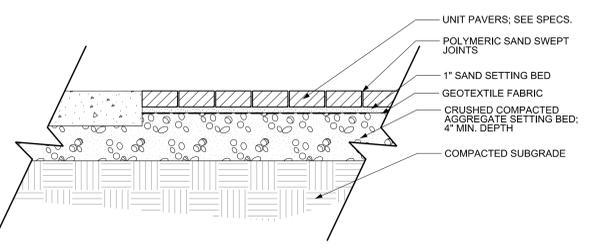
NOTE:
1. MINIMIZE COMPACTION IN BIORETENTION AREA PER SPECIFICATIONS



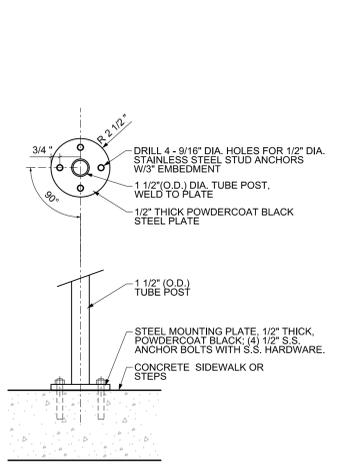
1 SALVAGED STONE OUTFALL @ BIORETENTION BASIN
221 1"=1'-0" @ FULL SIZE SHEET (30X42)



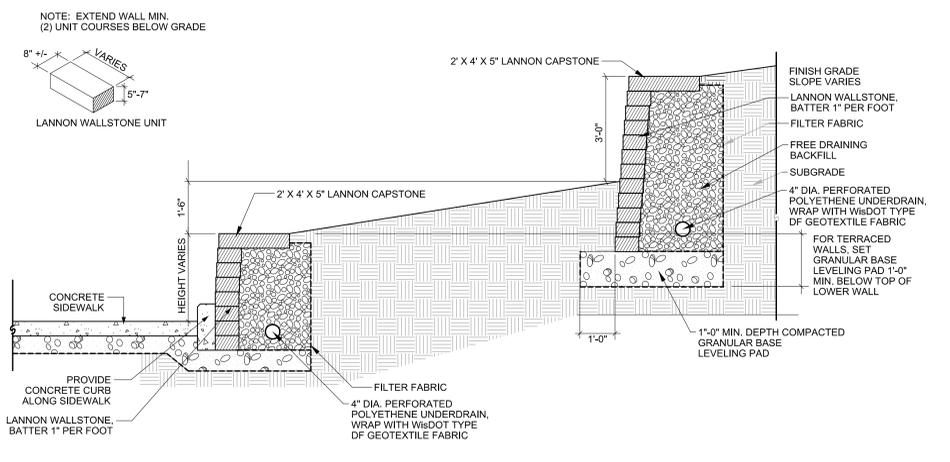
2 CONCRETE CHEEK WALLS
221 1"=1'-0" @ FULL SIZE SHEET (30X42)



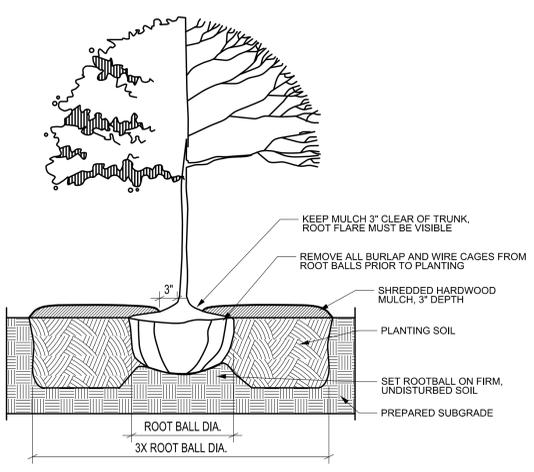
3 UNIT PAVER
221 1"=1'-0" @ FULL SIZE SHEET (30X42)



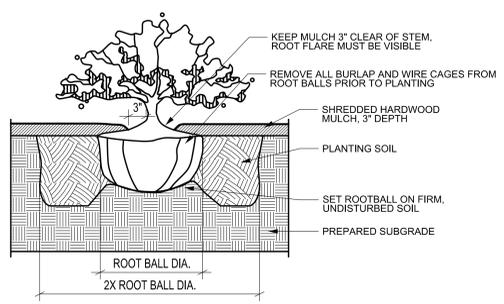
4 POST-PLATE MOUNTING
221 1"=1'-0" @ FULL SIZE SHEET (30X42)



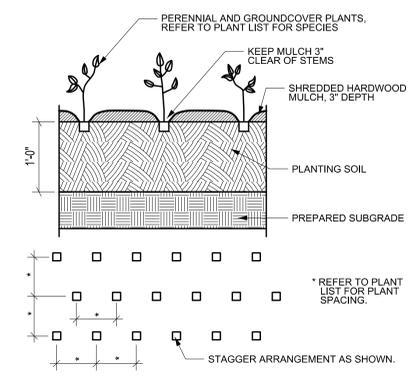
5 STONE RETAINING WALL
221 1/2"=1'-0" @ FULL SIZE SHEET (30X42)



6 TREE PLANTING
221 1"=1'-0" @ FULL SIZE SHEET (30X42)



7 SHRUB PLANTING
221 1"=1'-0" @ FULL SIZE SHEET (30X42)



8 PERENNIAL PLANTING
221 1"=1'-0" @ FULL SIZE SHEET (30X42)

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Drawn SB
Sheet Title LANDSCAPE DETAILS

Sheet No. 221



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DD ISSUE _____ 04/24/2014
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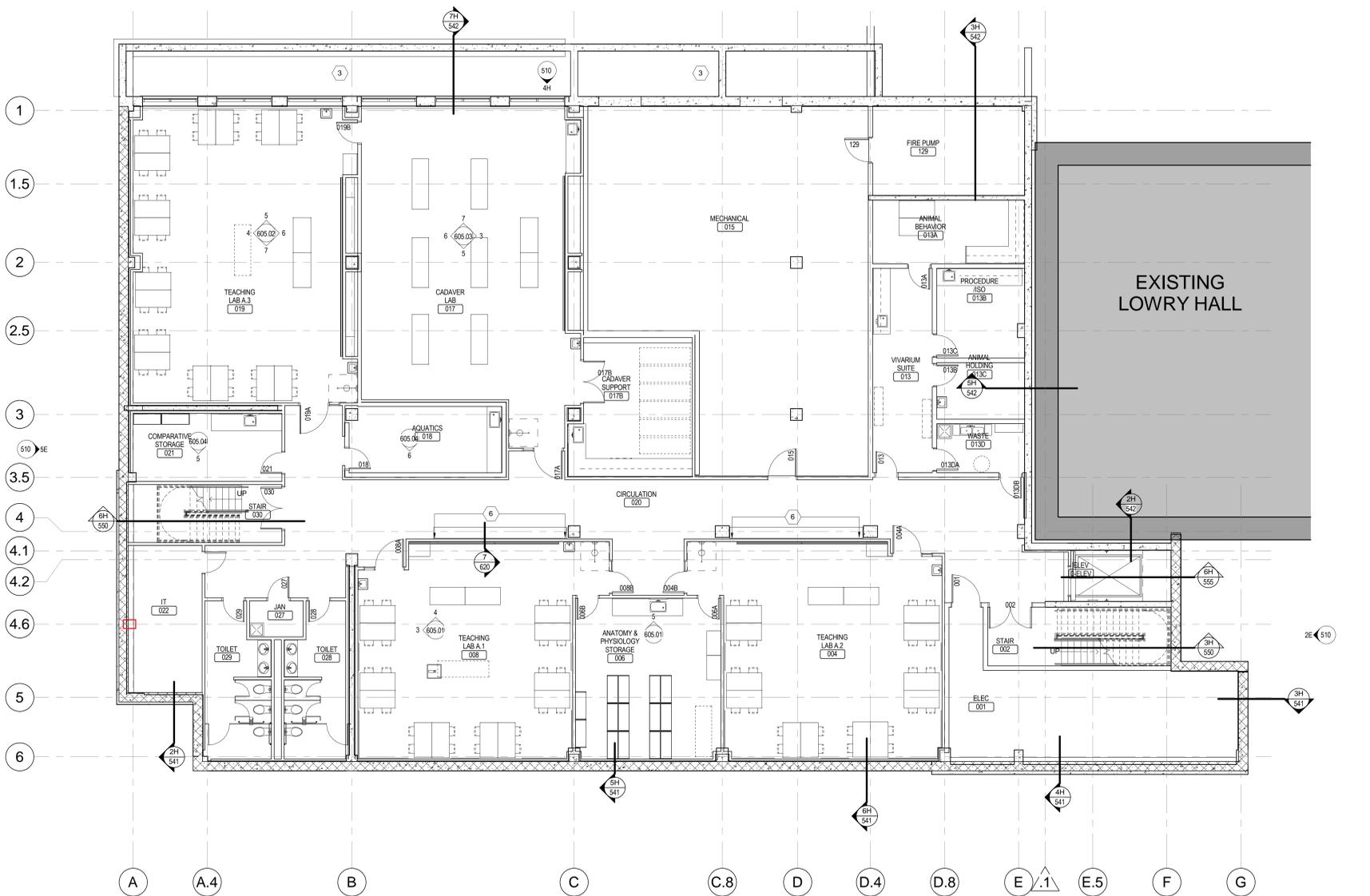
FLOOR PLAN - LOWER LEVEL

Sheet No. _____

400.FL

FLOOR PLAN SYMBOLS LEGEND			
	WALL	M100	EQUIPMENT NUMBER
	EXISTING WALL TO REMAIN		WORKING POINT
	DOOR	1A 500	INTERIOR SECTION REFERENCE TAG
	EXISTING DOOR AND FRAME TO REMAIN	1A 500	EXTERIOR SECTION REFERENCE TAG
	INTERIOR BORROWED LIGHT	1A 605 2A	INTERIOR ELEVATION REFERENCE TAG
	8'-0" DIMENSION LINE NOMINAL	1A 610	EXTERIOR ELEVATION REFERENCE TAG
	8'-0" EXTENDED DIMENSION LINE NOMINAL	1A 620	PLAN DETAIL REFERENCE TAG
	OFFICE	101	ROOM NAME AND NUMBER
	+100'-0" FLOOR ELEVATION	X	KEYED NOTE
	REVISION CLOUD		GROMMET
	A NEW GRIDLINE	A	REVISION REFERENCE TAG
			EXISTING GRIDLINE
<p>A HEAVY WING ON THE SYMBOL INDICATES AN UNBALANCED PARTITION. SEE THE PARTITION TYPE DETAIL.</p> <p>THE "HEAVY" WING PARTITION SYMBOL PARTITION TYPE</p> <p>(NOTE: NOT ALL SYMBOLS MAY BE USED ON EACH PLAN)</p>			

FLOOR PLAN KEYED NOTES	
1	INFILL EXISTING WINDOWS, PATCH AND PAINT ADJACENT MATERIALS.
2	RETAINING WALL
3	AREA WELL WITH PREFINISHED METAL GRATING OVER
4	EXISTING EXTERIOR STAIRS
5	GUARDRAIL AROUND OPENING TO MATCH STAIR
6	GLASS MARKERBOARDS: PROVIDE GLASS FACED MARKERBOARDS TO FILL THE IDENTIFIED WALL. BOARDS TO BE PUCK MOUNTED TO WALL.
7	SHEET STEEL MARKERBOARDS PROVIDE STEEL FACED MARKERBOARDS FULL HEIGHT AND WIDTH OF INDICATED WALL. BOARDS TO BE ADHEARED TO WALL SURFACE
8	
9	
10	
11	
12	
13	
14	
15	
(NOTE: NOT ALL KEYED NOTES MAY BE USED ON EACH PLAN)	



1E LOWER LEVEL FLOOR PLAN
400.FL 1/8" = 1'-0"



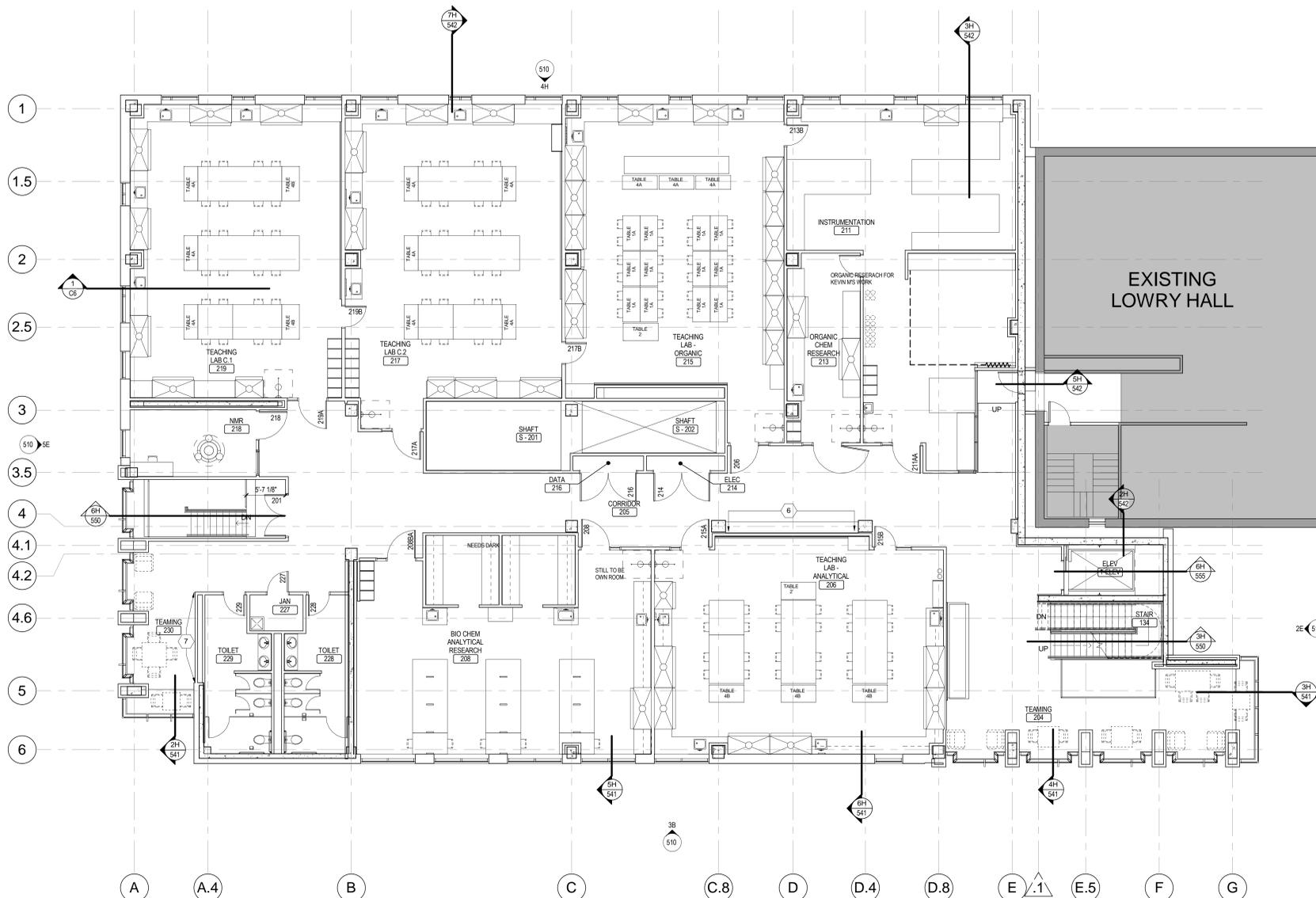
B | W | B | R

1241 John Q. Hammons Drive
Suite 503
Madison, WI 53717
T. 608.829.3701
bwbr.com

Consultants

FLOOR PLAN SYMBOLS LEGEND			
	WALL	(M100)	EQUIPMENT NUMBER
	EXISTING WALL TO REMAIN		WORKING POINT
	DOOR	1A 500	INTERIOR SECTION REFERENCE TAG
	EXISTING DOOR AND FRAME TO REMAIN	1A 500	EXTERIOR SECTION REFERENCE TAG
	INTERIOR BORROWED LIGHT	1A 605 2A	INTERIOR ELEVATION REFERENCE TAG
	DIMENSION LINE NOMINAL	1A 610	EXTERIOR ELEVATION REFERENCE TAG
	EXTENDED DIMENSION LINE, NOMINAL	1A 620	PLAN DETAIL REFERENCE TAG
	OFFICE	101	ROOM NAME AND NUMBER
	FLOOR ELEVATION	X	KEYED NOTE
	REVISION CLOUD		GROMMET
	NEW GRIDLINE	A	REVISION REFERENCE TAG
	EXISTING GRIDLINE		EXISTING GRIDLINE
<p>A HEAVY WING ON THE SYMBOL INDICATES AN UNBALANCED PARTITION. SEE THE PARTITION TYPE DETAIL.</p> <p>THE "HEAVY" WING INDICATES AN UNBALANCED PARTITION. SEE THE PARTITION TYPE DETAIL.</p> <p>NOTE: NOT ALL SYMBOLS MAY BE USED ON EACH PLAN.</p>			

FLOOR PLAN KEYED NOTES	
1	INFILL EXISTING WINDOWS, PATCH AND PAINT ADJACENT MATERIALS.
2	RETAINING WALL
3	AREA WELL WITH PREFINISHED METAL GRATING OVER
4	EXISTING EXTERIOR STAIRS
5	GUARDRAIL AROUND OPENING TO MATCH STAIR
6	GLASS MARKERBOARDS: PROVIDE GLASS FACED MARKERBOARDS TO FILL THE IDENTIFIED WALL. BOARDS TO BE PUCK MOUNTED TO WALL.
7	SHEET STEEL MARKERBOARDS PROVIDE STEEL FACED MARKERBOARDS FULL HEIGHT AND WIDTH OF INDICATED WALL. BOARDS TO BE ADHERED TO WALL SURFACE
8	
9	
10	
11	
12	
13	
14	
15	
NOTE: NOT ALL KEYED NOTES MAY BE USED ON EACH PLAN	



1E SECOND LEVEL FLOOR PLAN
402.FL
1/8" = 1'-0"

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ZONING BOARD OF APPEALS _____ 04/18/2014
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PLAN COMMISSION REVIEW _____ 05/14/2014

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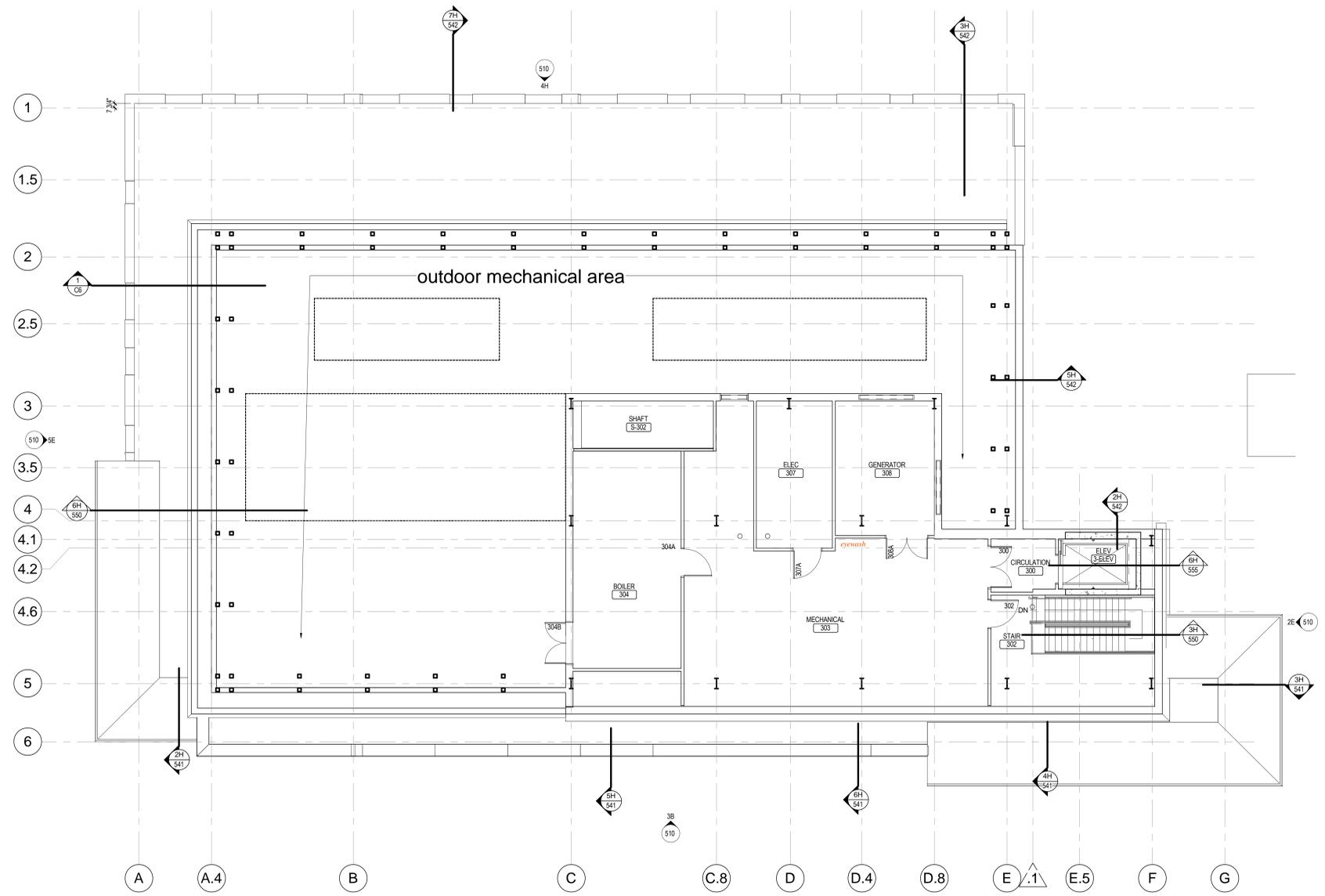
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FLOOR PLAN - SECOND LEVEL

Sheet No. _____

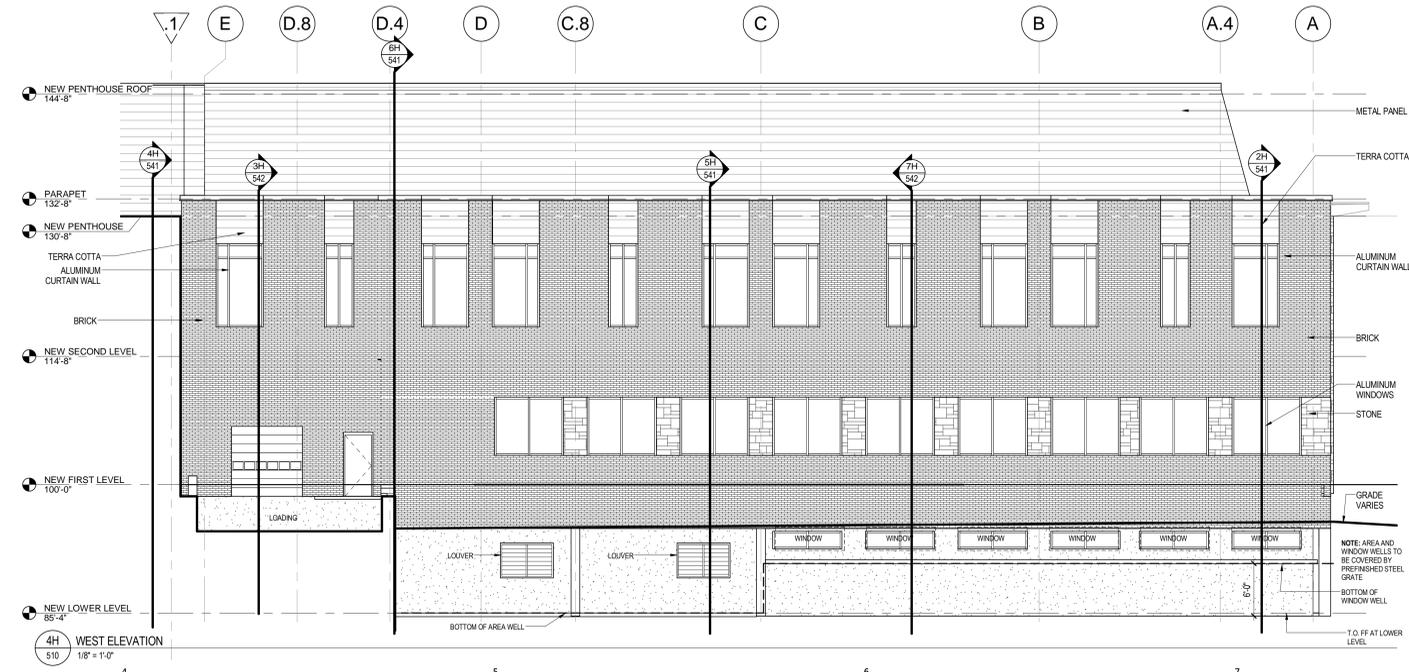
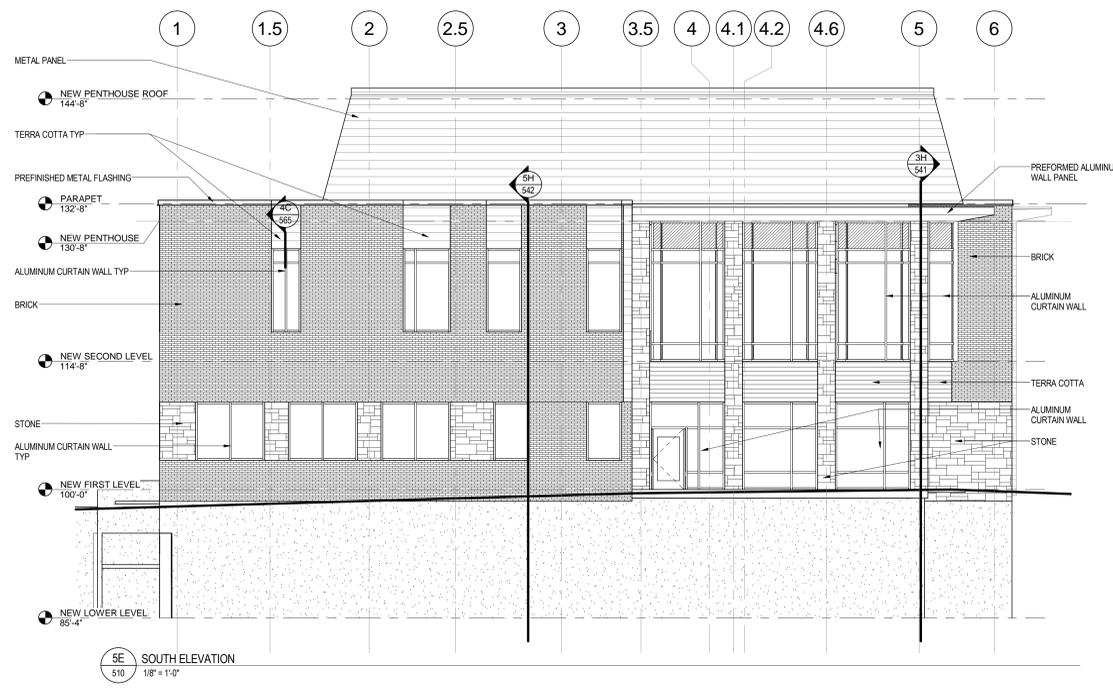
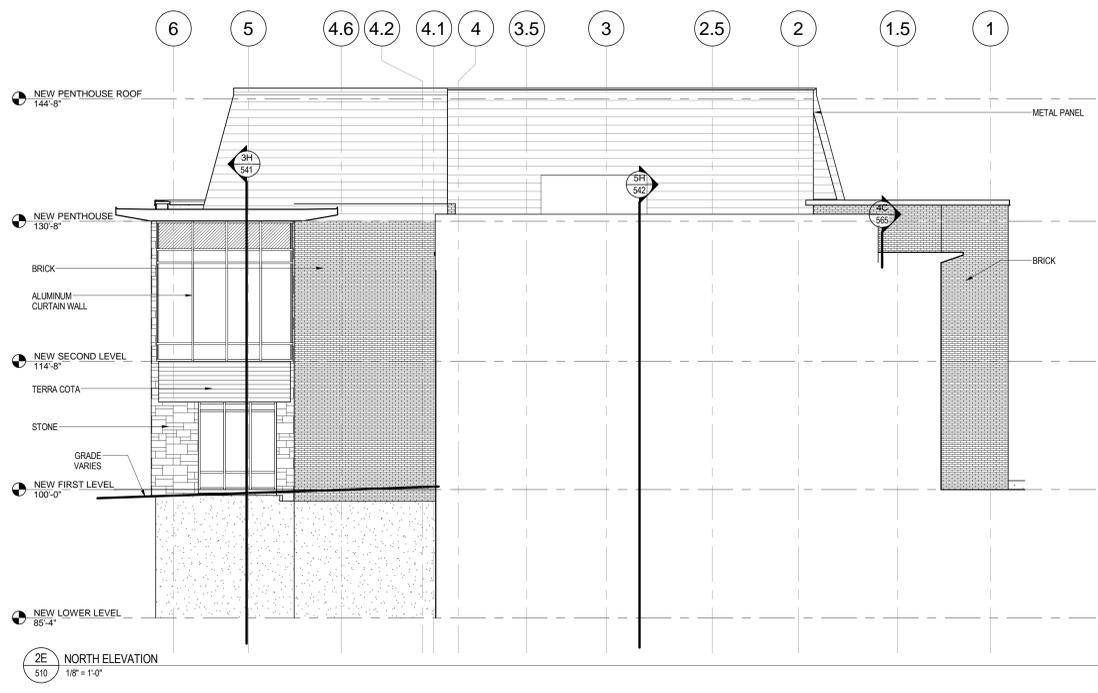
402.FL



1F THIRD LEVEL FLOOR PLAN
403.FL
1/8" = 1'-0"

FLOOR PLAN SYMBOLS LEGEND			
	WALL		EQUIPMENT NUMBER
	EXISTING WALL TO REMAIN		WORKING POINT
	DOOR		INTERIOR SECTION REFERENCE TAG
	EXISTING DOOR AND FRAME TO REMAIN		EXTERIOR SECTION REFERENCE TAG
	INTERIOR BORROWED LIGHT		INTERIOR ELEVATION REFERENCE TAG
	DIMENSION LINE NOMINAL		EXTERIOR ELEVATION REFERENCE TAG
	EXTENDED DIMENSION LINE, NOMINAL		PLAN DETAIL REFERENCE TAG
	OFFICE 101		ROOM NAME AND NUMBER
	FLOOR ELEVATION		KEYED NOTE
	REVISION CLOUD		GROMMET
	NEW GRIDLINE		REVISION REFERENCE TAG
	EXISTING GRIDLINE		PARTITION SYMBOL
A HEAVY WING ON THE SYMBOL INDICATES AN UNBALANCED PARTITION. SEE THE PARTITION TYPE DETAIL.		THE "HEAVY" WING INDICATES AN UNBALANCED PARTITION. SEE THE PARTITION TYPE DETAIL.	

FLOOR PLAN KEYED NOTES	
	1 INFILL EXISTING WINDOWS, PATCH AND PAINT ADJACENT MATERIALS.
	2 RETAINING WALL
	3 AREA WELL WITH PREFINISHED METAL GRATING OVER
	4 EXISTING EXTERIOR STAIRS
	5 GUARDRAIL AROUND OPENING TO MATCH STAIR
	6 GLASS MARKERBOARDS. PROVIDE GLASS FACED MARKERBOARDS TO FILL THE IDENTIFIED WALL. BOARDS TO BE PUCK MOUNTED TO WALL.
	7 SHEET STEEL MARKERBOARDS PROVIDE STEEL FACED MARKERBOARDS FULL HEIGHT AND WIDTH OF INDICATED WALL. BOARDS TO BE ADHERED TO WALL SURFACE
	8 -
	9 -
	10 -
	11 -
	12 -
	13 -
	14 -
	15 -



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Issued For	
Item	Date
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Drawn MDS
Sheet Title

EXTERIOR ELEVATIONS

Sheet No.

510



FROM SOUTHEAST



FROM NORTHEAST



FROM SOUTHWEST



TEAMING AREA/LOBBY PLAN VIEW



ENTRY LOBBY



TEAMING AREA

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Item	Date
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REFERENCE PERSPECTIVES



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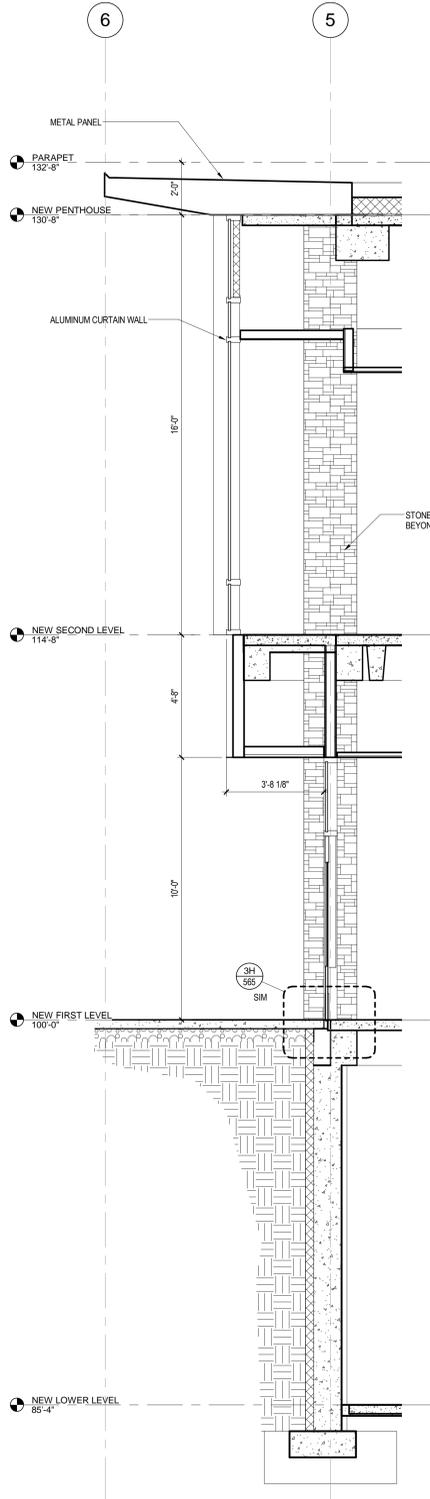
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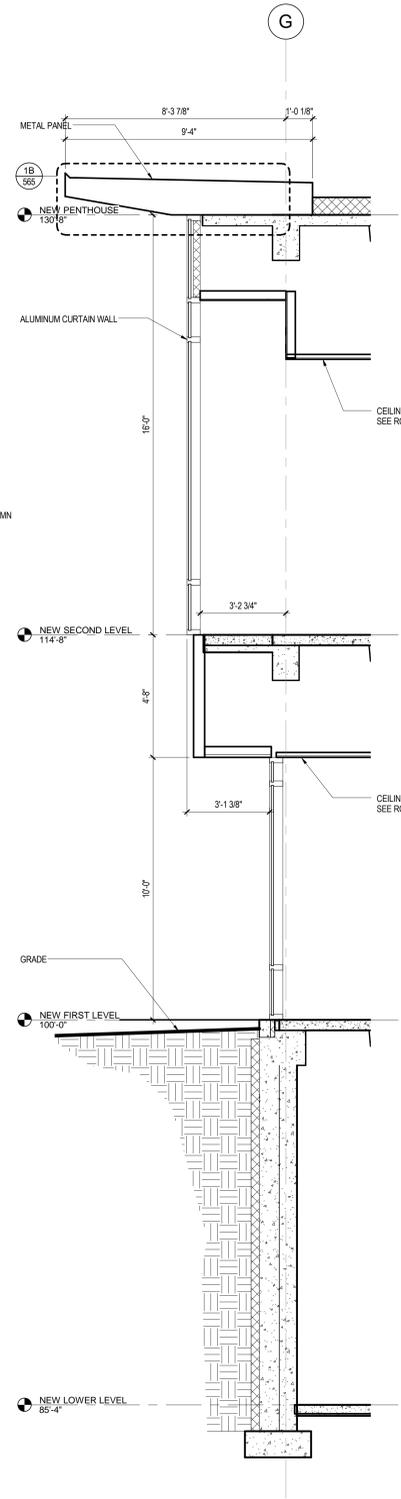
Comm. No.	Drawn
32013251.00	MDS
Sheet Title	

WALL SECTIONS

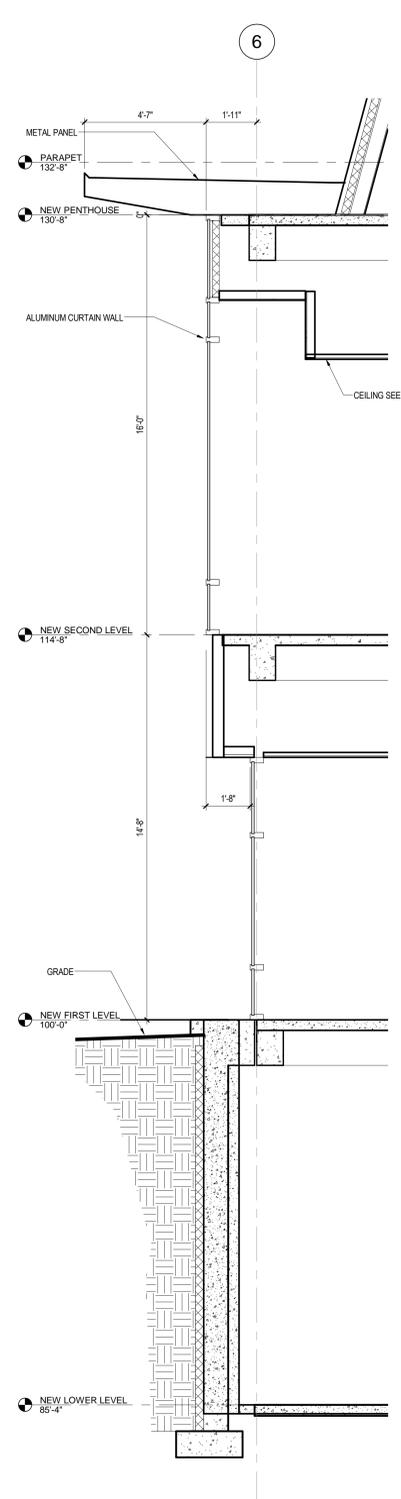
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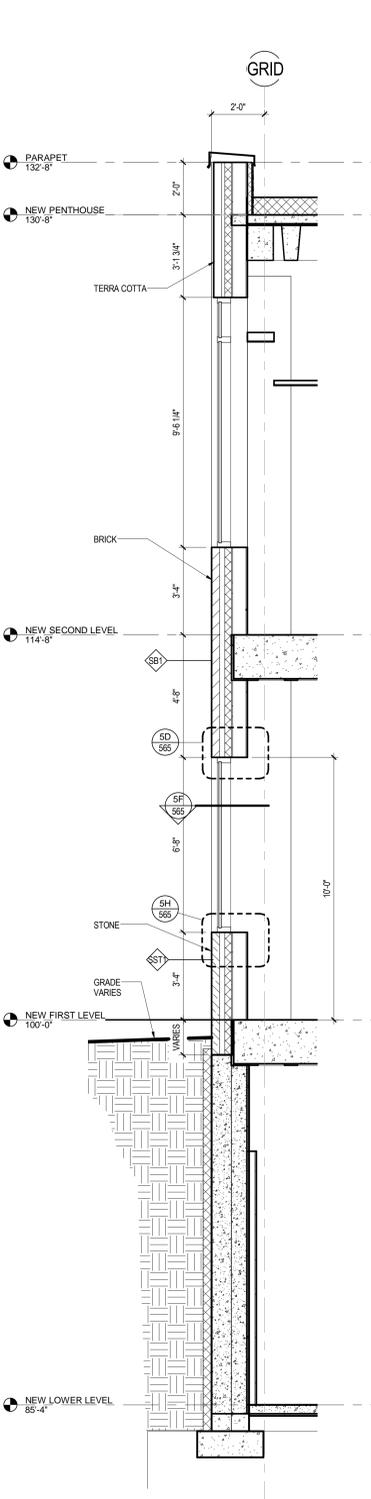
2H SECTION - WALL SECTION AT SOUTH VESTIBULE
3/8" = 1'-0"



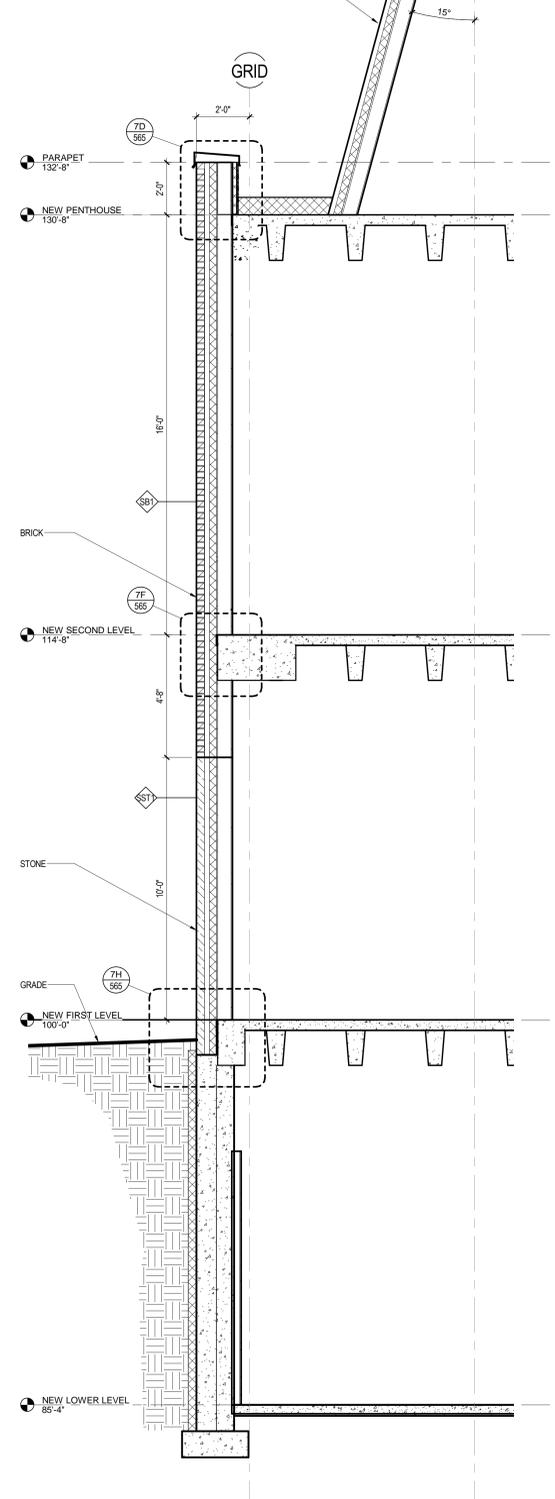
3H SECTION - WALL SECTION AT NORTH VESTIBULE
3/8" = 1'-0"



4H SECTION - WALL SECTION AT TEAMING
3/8" = 1'-0"



5H SECTION - TYP WALL SECTION THROUGH WINDOW AND CURTAIN WALL
3/8" = 1'-0"



6H SECTION - TYP WALL SECTION
3/8" = 1'-0"



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I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

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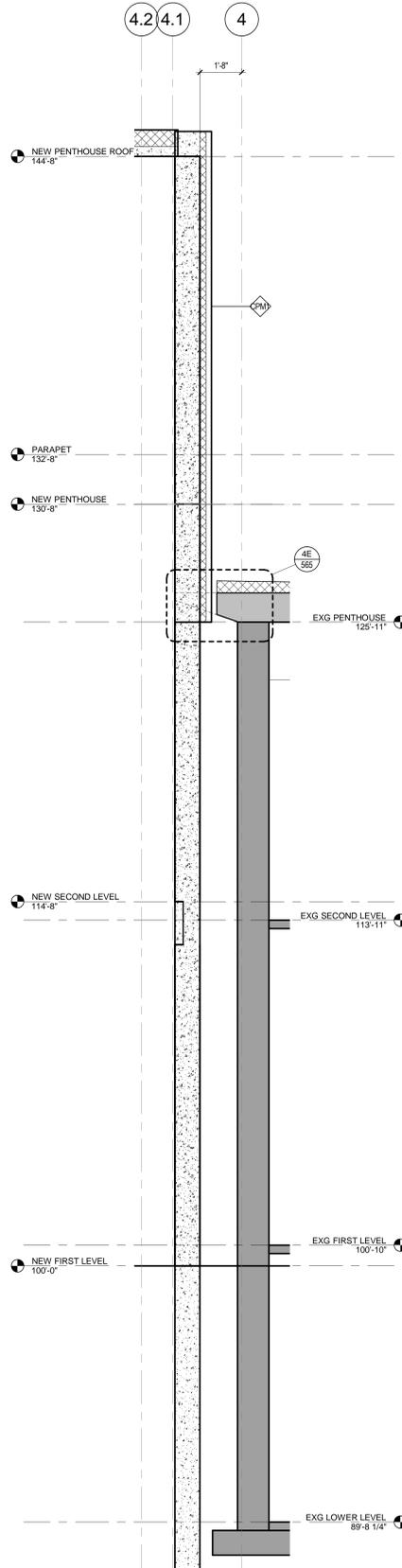
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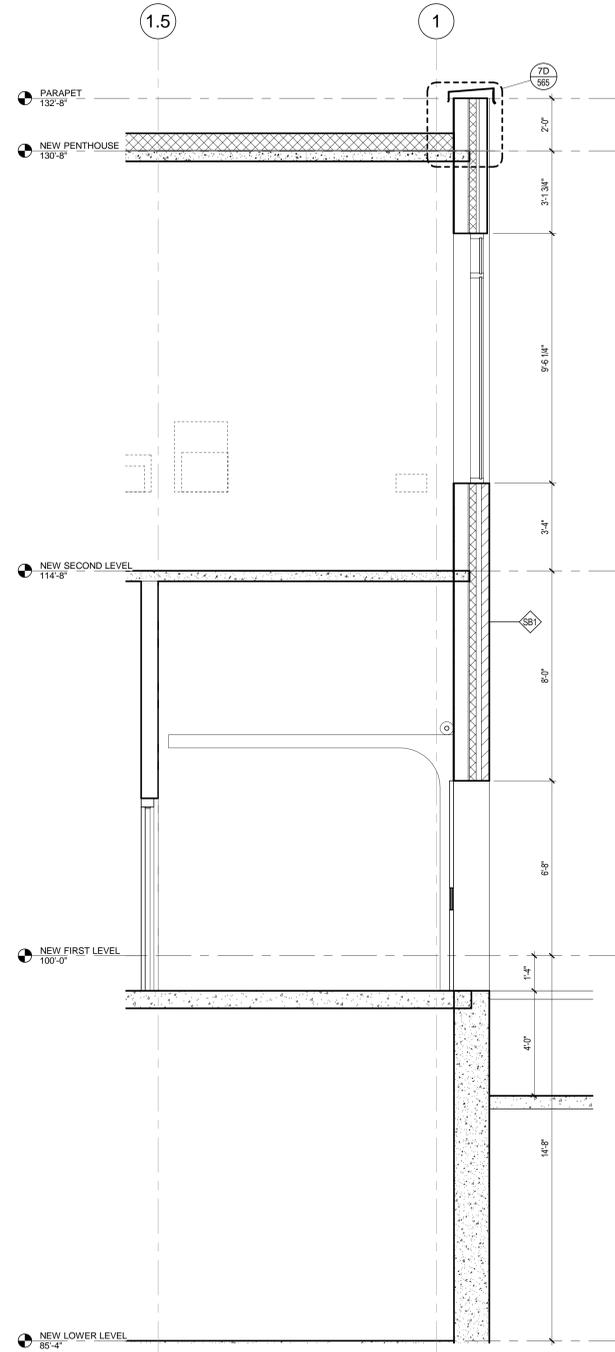
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WALL SECTIONS

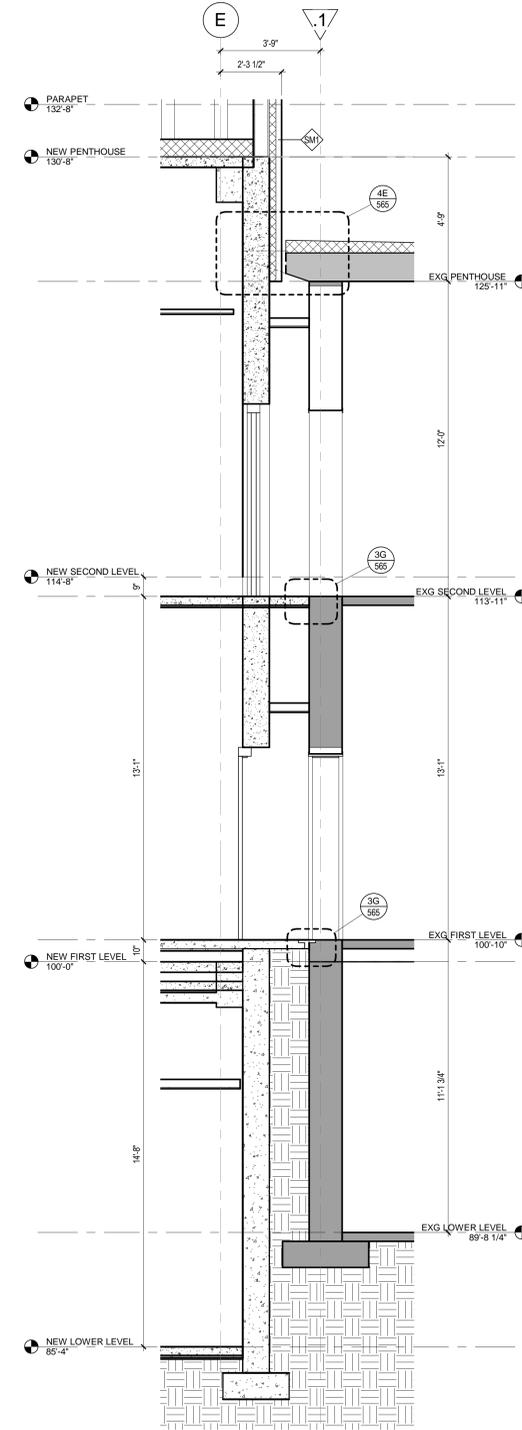
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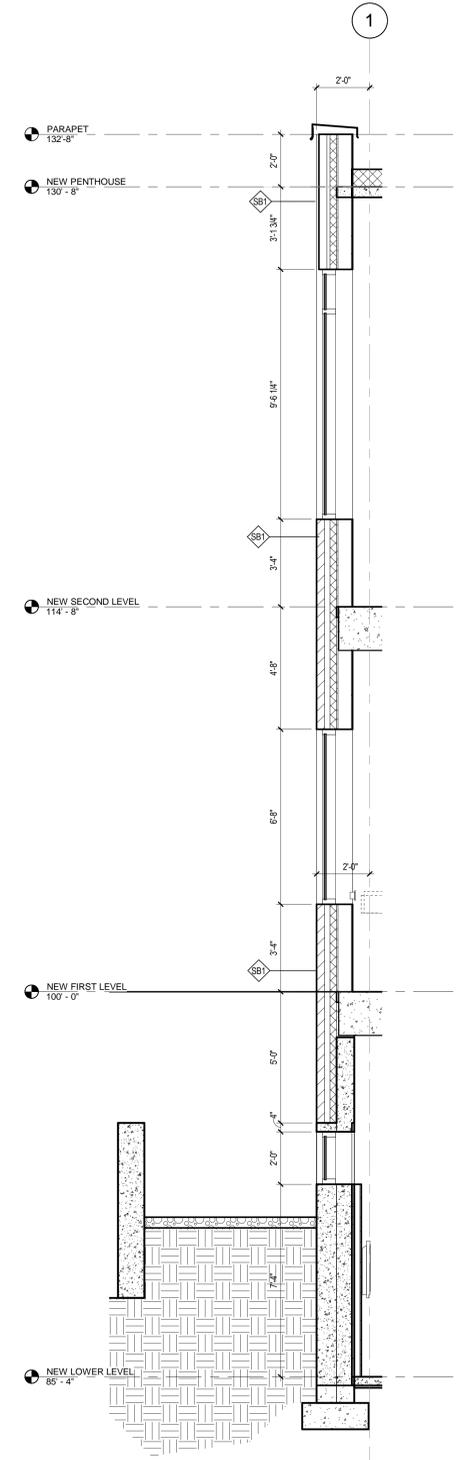
2H SECTION - SECTION NEW TO EXISTING
542 3/8" = 1'-0"



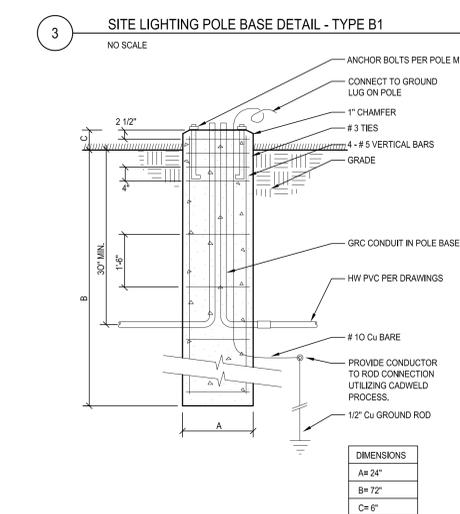
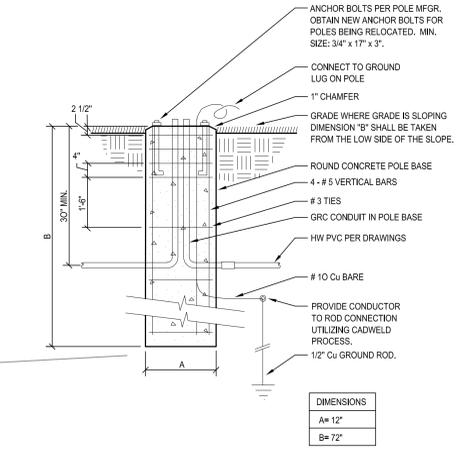
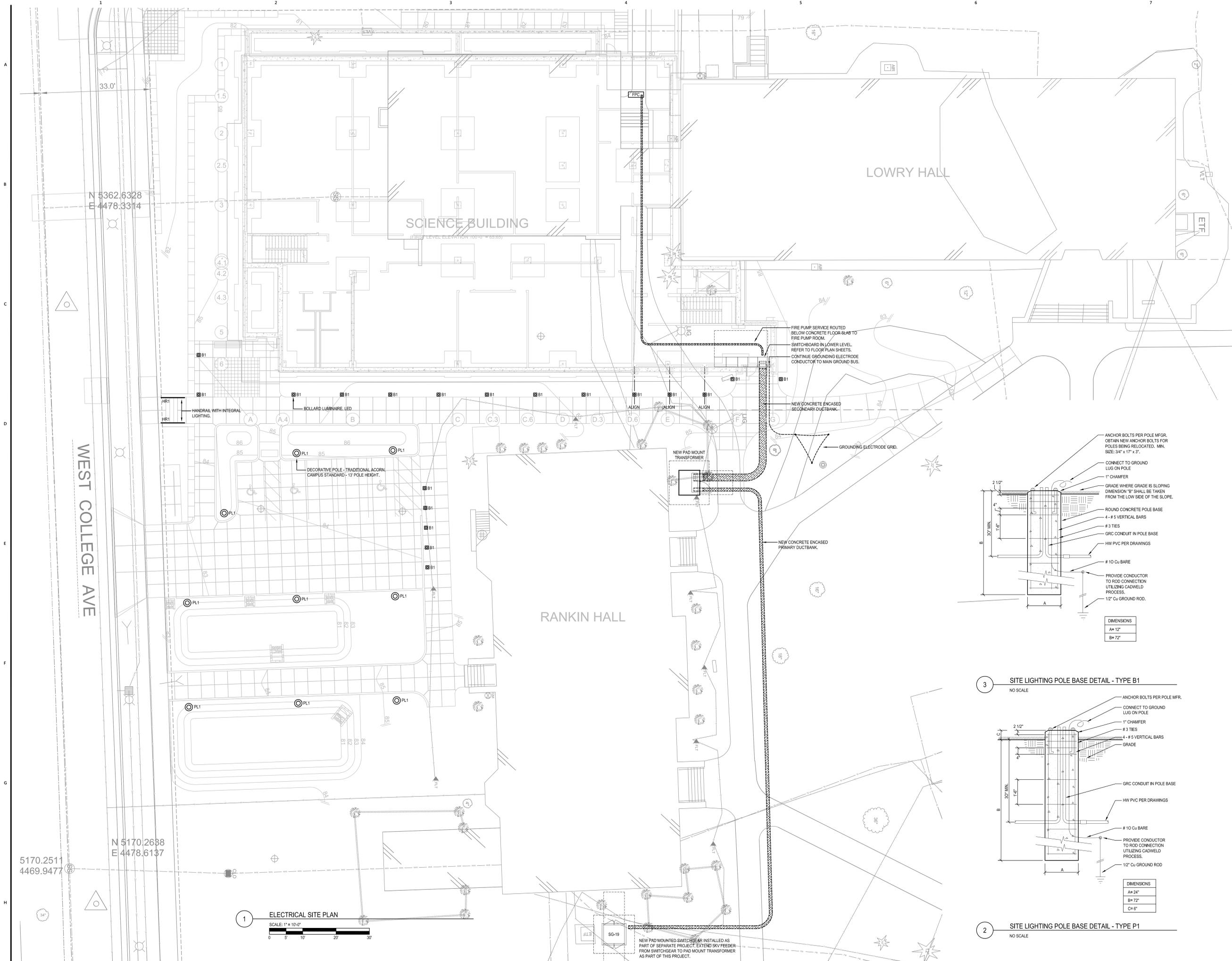
3H SECTION - LOADING DOCK
542 3/8" = 1'-0"



5H SECTION - WALL SECTION BETWEEN EXG AND NEW
542 3/8" = 1'-0"



7H SECTION - WALL SECTION THRU AREA WELL
542 3/8" = 1'-0"



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