

PROJECT:

# Clearwater Apartments - Phase 2

## Waukesha, WI



PURE architecture studio, llc  
735 N Water Street, Suite 1228  
Milwaukee, WI 53202  
www.pure-arch.com

**PROJECT**

Clearwater  
Apartments  
Phase 2

**OWNER**

A-Squared  
Development LLC

This drawing, its design concept, and its detail are the sole property of PURE architecture studio, llc and shall not be copied in any form or manner, or used on any other projects, without written authorization of its designer/creator.

**REVISIONS**

NO.	DESCRIPTION	DATE
-----	-------------	------

**INFORMATION**

PROJECT ARCHITECT	PA
PROJECT MANAGER	
PROJECT NUMBER	19112
ISSUED FOR	MUNICIPAL REVIEW
DATE	06.10.2019

**SHEET**

TITLE PAGE

# G000



ISSUED FOR: **Municipal Review**

ARCHITECT:

# PURE architecture studio, llc

Milwaukee, WI

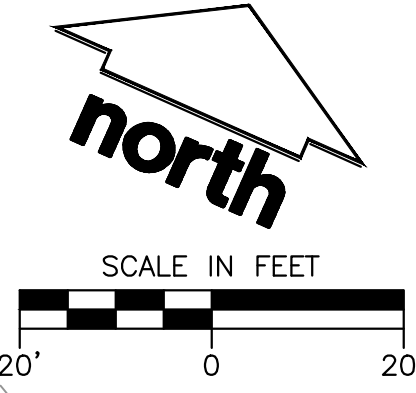
**SHEET INDEX**

G000	TITLE PAGE	A101	BUILDING A PLANS
C0.0	EXISTING CONDITIONS	A102	BUILDING B PLANS
C1.0	SITE PLAN	A401	BUILDING A ELEVATIONS
C2.0	EROSION CONTROL PLAN	A402	BUILDING B ELEVATIONS
C3.0	GRADING PLAN		BUILDING B - NORTH PERSPECTIVE
C4.0	UTILITY PLAN		BUILDING B - SOUTH PERSPECTIVE
C4.1	PUBLIC WATERMAIN PLAN AND PROFILE		BUILDING B - WEST PERSPECTIVE
C5.0	DETAILS		BUILDING A - NORTH PERSPECTIVE
C5.1	DETAILS		BUILDING B - SOUTH PERSPECTIVE
C5.2	DETAILS		
C5.3	DETAILS		
C5.4	DETAILS		
C5.5	DETAILS		
C5.6	DETAILS		
L1.0	LANDSCAPE PLAN		
L2.0	LANDSCAPE DETAILS, NOTES AND SPECIFICATIONS		
10f1	SITE LIGHTING PLAN		



**SITE PLAN SHEET INDEX**

- C0.0 EXISTING CONDITIONS
- C1.0 SITE PLAN
- C2.0 EROSION CONTROL PLAN
- C3.0 GRADING PLAN
- C4.0 UTILITY PLAN
- C4.1 PUBLIC WATERMAIN PLAN AND PROFILE
- C5.0 DETAILS
- C5.1 DETAILS
- C5.2 DETAILS
- C5.3 DETAILS
- C5.4 DETAILS
- C5.5 DETAILS
- C5.6 DETAILS



CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE  
KENOSHA | APPLETON | WAUSAU

MILWAUKEE REGIONAL OFFICE  
W238N1610 BUSSE ROAD, SUITE 100  
WAUKESHA, WISCONSIN 53188  
P. 262.513.0666

CLIENT:  
**PURE ARCHITECTURE  
STUDIO, LLC**

CLIENT ADDRESS:  
**735 N. WATER STREET, SUITE 1228  
MILWAUKEE, WI 53202**

PROJECT:  
**CLEARWATER  
APARTMENT PHASE 2**

PROJECT LOCATION:  
**CITY OF WAUKESHA  
WAUKESHA COUNTY, WISCONSIN**

**PLAN MODIFICATIONS:**

#	Date:	Description:
1	03/22/19	Municipal Review
2	05/20/19	Common Council Submittal
3	06/10/19	Planning Commission Submittal
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

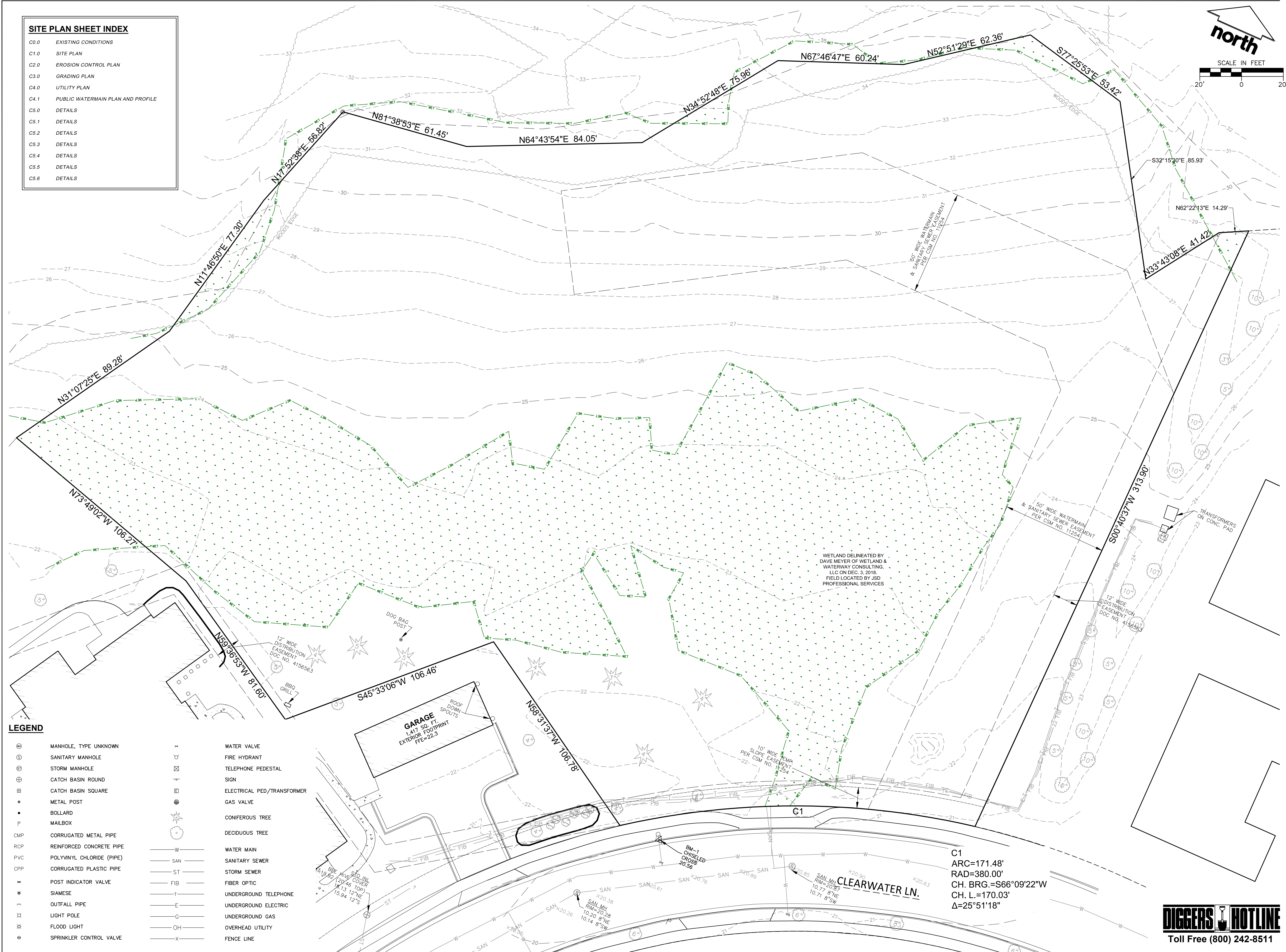
Design/Drawn: **APM**  
Approved: **RWI**

SHEET TITLE:  
**EXISTING CONDITIONS**

**NOT FOR  
CONSTRUCTION**

SHEET NUMBER:  
**C0.0**

JSD PROJECT NO: 18-8890



- LEGEND**
- MANHOLE, TYPE UNKNOWN
  - SANITARY MANHOLE
  - STORM MANHOLE
  - CATCH BASIN ROUND
  - CATCH BASIN SQUARE
  - METAL POST
  - BOLLARD
  - MAILBOX
  - CMP CORRUGATED METAL PIPE
  - RCP REINFORCED CONCRETE PIPE
  - PVC POLYVINYL CHLORIDE (PIPE)
  - CPP CORRUGATED PLASTIC PIPE
  - POST INDICATOR VALVE
  - SIAMESE
  - OUTFALL PIPE
  - LIGHT POLE
  - FLOOD LIGHT
  - SPRINKLER CONTROL VALVE
  - WATER VALVE
  - FIRE HYDRANT
  - TELEPHONE PEDESTAL
  - SIGN
  - ELECTRICAL PED/TRANSFORMER
  - GAS VALVE
  - CONIFEROUS TREE
  - DECIDUOUS TREE
  - WATER MAIN
  - SANITARY SEWER
  - STORM SEWER
  - FIBER OPTIC
  - UNDERGROUND TELEPHONE
  - UNDERGROUND ELECTRIC
  - UNDERGROUND GAS
  - OVERHEAD UTILITY
  - FENCE LINE

File: R:\2019\18-8890 Clearwater Apartments\Drawings\18-8890 C0.0 - Existing Conditions.dwg Layout: C0.0 User: pmanentes Plotdate: Jun 10, 2019 9:08am Xref's:

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.





SITE INFORMATION BLOCK	
SITE ADDRESS	2900 CLEARWATER LANE
PROPERTY AREA	(349,709 SF) 8.03 ACRES
PHASE II AREA	(141,362 SF) 3.25 ACRES
NUMBER OF PHASE II BUILDINGS	2
TOTAL PHASE II BUILDING SQUARE FOOTAGE	18,270 SF
NUMBER OF EXTERIOR PARKING STALLS	37
STANDARD	35
ACCESSIBLE	2
EXISTING VS. PROPOSED PHASE II SITE COVERAGE	
EXISTING IMPERVIOUS SURFACE AREA	0 SF
EXISTING PERVIOUS SURFACE AREA	141,362 SF
EXISTING IMPERVIOUS SURFACE AREA RATIO	0.00
PROPOSED IMPERVIOUS SURFACE AREA	53,236 SF
PROPOSED PERVIOUS SURFACE AREA	87,965 SF
PROPOSED IMPERVIOUS SURFACE AREA RATIO	0.39



CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE  
KENOSHA | APPLETON | WAUSAU

MILWAUKEE REGIONAL OFFICE  
W238N1610 BUSSE ROAD, SUITE 100  
WAUKESHA, WISCONSIN 53188  
P. 262.513.0666

CLIENT:  
**PURE ARCHITECTURE  
STUDIO, LLC**

CLIENT ADDRESS:  
**735 N. WATER STREET, SUITE 1228  
MILWAUKEE, WI 53202**

PROJECT:  
**CLEARWATER  
APARTMENT PHASE 2**

PROJECT LOCATION:  
**CITY OF WAUKESHA  
WAUKESHA COUNTY, WISCONSIN**

PLAN MODIFICATIONS:	
#	Description:
1	03/22/19 Municipal Review
2	05/20/19 Common Council Submittal
3	06/10/19 Planning Commission Submittal
4	
5	
6	
7	
8	
9	
10	
11	
12	
13	
14	
15	

Design/Drawn: APM  
Approved: RWI

SHEET TITLE:  
**SITE PLAN**

SHEET NUMBER:  
**C1.0**

JSD PROJECT NO: 18-8890



LEGEND	
⊙	MANHOLE, TYPE UNKNOWN
⊙	SANITARY MANHOLE
⊙	STORM MANHOLE
⊕	CATCH BASIN ROUND
⊕	CATCH BASIN SQUARE
●	METAL POST
●	BOLLARD
⊖	MAILBOX
CMP	CORRUGATED METAL PIPE
RCP	REINFORCED CONCRETE PIPE
PVC	POLYVINYL CHLORIDE (PIPE)
CPP	CORRUGATED PLASTIC PIPE
+	POST INDICATOR VALVE
⊙	SIAMASE
⊕	OUTFALL PIPE
⊕	LIGHT POLE
⊕	FLOOD LIGHT
⊕	SPRINKLER CONTROL VALVE
⊕	WATER VALVE
⊕	FIRE HYDRANT
⊕	TELEPHONE PEDESTAL
⊕	SIGN
⊕	ELECTRICAL PED/TRANSFORMER
⊕	GAS VALVE
⊕	ASPHALT DEMO
⊕	CONCRETE SIDEWALK
⊕	HEAVY DUTY ASPHALT PAVEMENT
⊕	STANDARD DUTY ASPHALT PAVEMENT
⊕	WETLAND DISTURBANCE

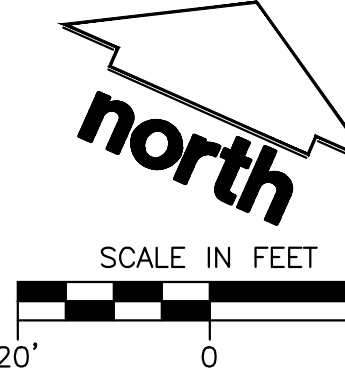
File: R:\2019\18-8890 Clearwater Apartments\Drawings\18-8890 C1.0 - Site Plan.dwg Layout: C1.0 User: pmurphy Date: Jun 07, 2019 - 2:38pm Xrefs:



Toll Free (800) 242-8511

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.





CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE  
KENOSHA | APPLETON | WAUSAU

MILWAUKEE REGIONAL OFFICE  
W238N1610 BUSSE ROAD, SUITE 100  
WAUKESHA, WISCONSIN 53188  
P. 262.513.0666

CLIENT:  
**PURE ARCHITECTURE  
STUDIO, LLC**

CLIENT ADDRESS:  
**735 N. WATER STREET, SUITE 1228  
MILWAUKEE, WI 53202**

PROJECT:  
**CLEARWATER  
APARTMENT PHASE 2**

PROJECT LOCATION:  
**CITY OF WAUKESHA  
WAUKESHA COUNTY, WISCONSIN**

PLAN MODIFICATIONS:

#	Date:	Description:
1	03/22/19	Municipal Review
2	05/20/19	Common Council Submittal
3	06/10/19	Planning Commission Submittal
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Design/Drawn: APM  
Approved: RWI

SHEET TITLE:  
**EROSION CONTROL  
PLAN**

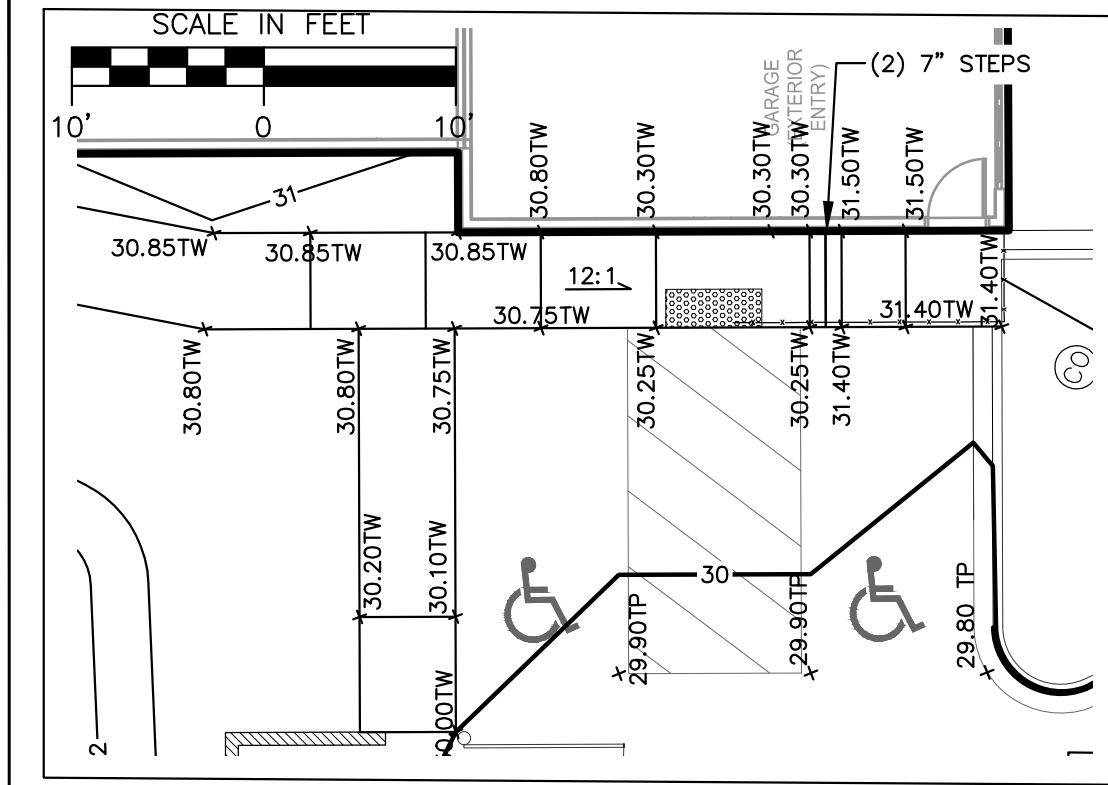
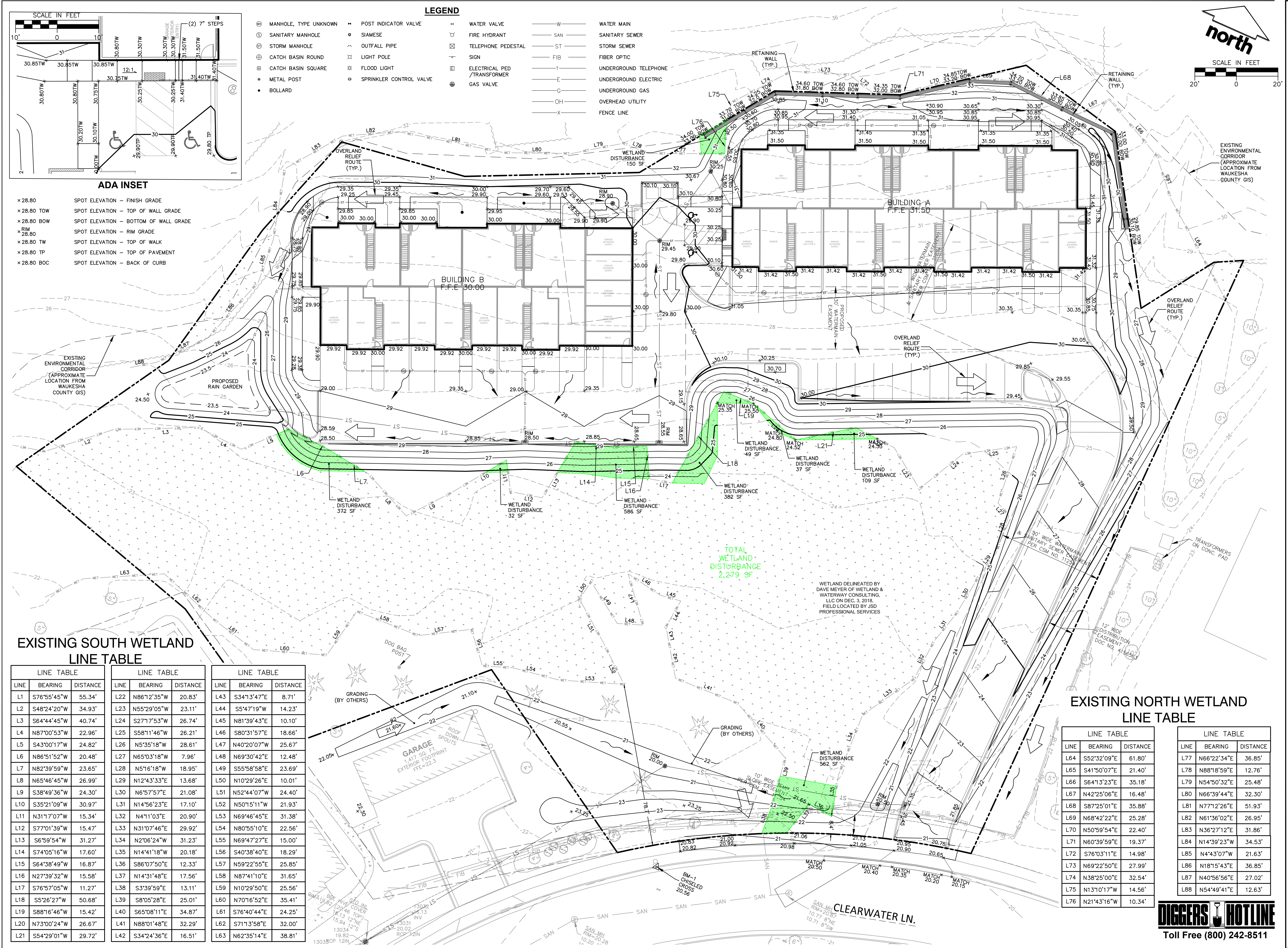
SHEET NUMBER:  
**C2.0**

JSD PROJECT NO: 18-8890



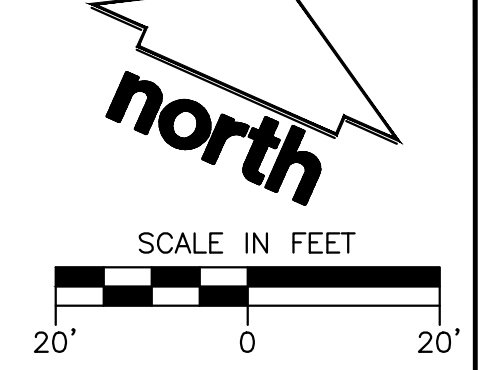
File: R:\201818-8890 Clearwater Apartments\Drawings\18-8890 C2.0 - Erosion Control Plan.dwg Layout: C2.0 User: pmartone Plotted: Jun 07, 2019 - 2:37pm Xref(s):





- × 28.80 SPOT ELEVATION - FINISH GRADE
- × 28.80 TOW SPOT ELEVATION - TOP OF WALL GRADE
- × 28.80 BOW SPOT ELEVATION - BOTTOM OF WALL GRADE
- × 28.80 RIM SPOT ELEVATION - RIM GRADE
- × 28.80 TW SPOT ELEVATION - TOP OF WALK
- × 28.80 TP SPOT ELEVATION - TOP OF PAVEMENT
- × 28.80 BOC SPOT ELEVATION - BACK OF CURB

- LEGEND**
- MANHOLE, TYPE UNKNOWN
  - SANITARY MANHOLE
  - STORM MANHOLE
  - CATCH BASIN ROUND
  - CATCH BASIN SQUARE
  - METAL POST
  - BOLLARD
  - ⊥ POST INDICATOR VALVE
  - ⊥ SIAMASE
  - ⊥ OUTFALL PIPE
  - ⊥ LIGHT POLE
  - ⊥ FLOOD LIGHT
  - ⊥ SPRINKLER CONTROL VALVE
  - ⊥ WATER VALVE
  - ⊥ FIRE HYDRANT
  - ⊥ TELEPHONE PEDESTAL
  - ⊥ SIGN
  - ⊥ ELECTRICAL PED / TRANSFORMER
  - ⊥ GAS VALVE
  - W — WATER MAIN
  - SAN — SANITARY SEWER
  - ST — STORM SEWER
  - FIB — FIBER OPTIC
  - T — UNDERGROUND TELEPHONE
  - E — UNDERGROUND ELECTRIC
  - G — UNDERGROUND GAS
  - OH — OVERHEAD UTILITY
  - X — FENCE LINE



**JSD**  
Professional Services, Inc.  
Engineers • Surveyors • Planners

---

CREATE THE VISION TELL THE STORY

---

MADISON | MILWAUKEE  
KENOSHA | APPLETON | WAUSAU

---

MILWAUKEE REGIONAL OFFICE  
W238N1610 BUSSE ROAD, SUITE 100  
WAUKESHA, WISCONSIN 53188  
P. 262.513.0666

---

CLIENT:  
**PURE ARCHITECTURE STUDIO, LLC**

---

CLIENT ADDRESS:  
**735 N. WATER STREET, SUITE 1228  
MILWAUKEE, WI 53202**

---

PROJECT:  
**CLEARWATER APARTMENT PHASE 2**

---

PROJECT LOCATION:  
**CITY OF WAUKESHA  
WAUKESHA COUNTY, WISCONSIN**

---

PLAN MODIFICATIONS:

#	Date:	Description:
1	03/22/19	Municipal Review
2	05/20/19	Common Council Submittal
3	06/10/19	Planning Commission Submittal
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

---

Design/Drawn: **APM**  
Approved: **RWI**

---

SHEET TITLE:  
**GRADING PLAN**

---

SHEET NUMBER:  
**C3.0**

---

JSD PROJECT NO: 18-8890

**EXISTING SOUTH WETLAND LINE TABLE**

LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L1	S76°55'45"W	55.34'	L22	N86°12'35"W	20.83'	L43	S34°13'47"E	8.71'
L2	S48°24'20"W	34.93'	L23	N55°29'05"W	23.11'	L44	S5°47'19"W	14.23'
L3	S64°44'45"W	40.74'	L24	S27°17'53"W	26.74'	L45	N81°39'43"E	10.10'
L4	N87°00'53"W	22.96'	L25	S58°11'46"W	26.21'	L46	S80°31'57"E	18.66'
L5	S43°00'17"W	24.82'	L26	N5°35'18"W	28.61'	L47	N40°20'07"W	25.67'
L6	N86°51'52"W	20.48'	L27	N65°03'18"W	7.96'	L48	N69°30'42"E	12.48'
L7	N82°39'59"W	23.65'	L28	N5°16'18"W	18.95'	L49	S55°58'58"E	23.69'
L8	N65°46'45"W	26.99'	L29	N12°43'33"E	13.68'	L50	N10°29'26"E	10.01'
L9	S38°49'36"W	24.30'	L30	N6°57'57"E	21.08'	L51	N52°44'07"W	24.40'
L10	S35°21'09"W	30.97'	L31	N14°56'23"E	17.10'	L52	N50°51'11"W	21.93'
L11	N31°17'07"W	15.34'	L32	N4°11'03"E	20.90'	L53	N69°46'45"E	31.38'
L12	S77°01'39"W	15.47'	L33	N31°07'46"E	29.92'	L54	N80°55'10"E	22.56'
L13	S6°59'54"W	31.27'	L34	N2°06'24"W	31.23'	L55	N69°47'27"E	15.00'
L14	S74°05'16"W	17.60'	L35	N14°41'18"W	20.18'	L56	S40°38'40"E	18.29'
L15	S64°38'49"W	16.87'	L36	S86°07'50"E	12.33'	L57	N59°22'55"E	25.85'
L16	N27°39'32"W	15.58'	L37	N14°31'48"E	17.56'	L58	N87°41'10"E	31.65'
L17	S76°57'05"W	11.27'	L38	S3°39'59"E	13.11'	L59	N10°29'50"E	25.56'
L18	S5°26'27"W	50.68'	L39	S8°05'28"E	25.01'	L60	N70°16'52"E	35.41'
L19	S88°16'46"W	15.42'	L40	S65°08'11"E	34.87'	L61	S76°40'44"E	24.25'
L20	N73°00'24"W	26.67'	L41	N88°01'48"E	32.29'	L62	S71°13'58"E	32.00'
L21	S54°29'01"W	29.72'	L42	S34°24'36"E	16.51'	L63	N62°35'14"E	38.81'

**EXISTING NORTH WETLAND LINE TABLE**

LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L64	S52°32'09"E	61.80'	L77	N66°22'34"E	36.85'
L65	S41°50'07"E	21.40'	L78	N88°18'59"E	12.76'
L66	S64°13'23"E	35.18'	L79	N54°50'32"E	25.48'
L67	N42°25'06"E	16.48'	L80	N66°39'44"E	32.30'
L68	S87°25'01"E	35.88'	L81	N77°12'26"E	51.93'
L69	N68°42'22"E	25.28'	L82	N61°36'02"E	26.95'
L70	N50°59'54"E	22.40'	L83	N36°27'12"E	31.86'
L71	N60°39'59"E	19.37'	L84	N14°39'23"W	34.53'
L72	S76°03'11"E	14.98'	L85	N4°43'07"W	21.63'
L73	N69°22'50"E	27.99'	L86	N18°15'43"E	36.85'
L74	N38°25'00"E	32.54'	L87	N40°56'56"E	27.02'
L75	N13°10'17"W	14.56'	L88	N54°49'41"E	12.63'
L76	N21°43'16"W	10.34'			

**DIGGERS HOTLINE**  
Toll Free (800) 242-8511

File: R:\2018\18-8890 Clearwater Apartments\Drawings\18-8890 C3.0 - Grading Plan.dwg Layout: C3.0 User: pmartens Plotter: Jun 07, 2019 - 2:38pm Xref's:



PLAN MODIFICATIONS:

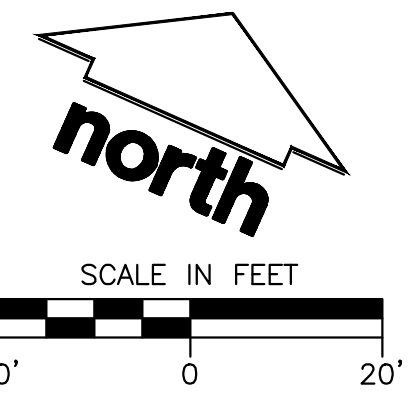
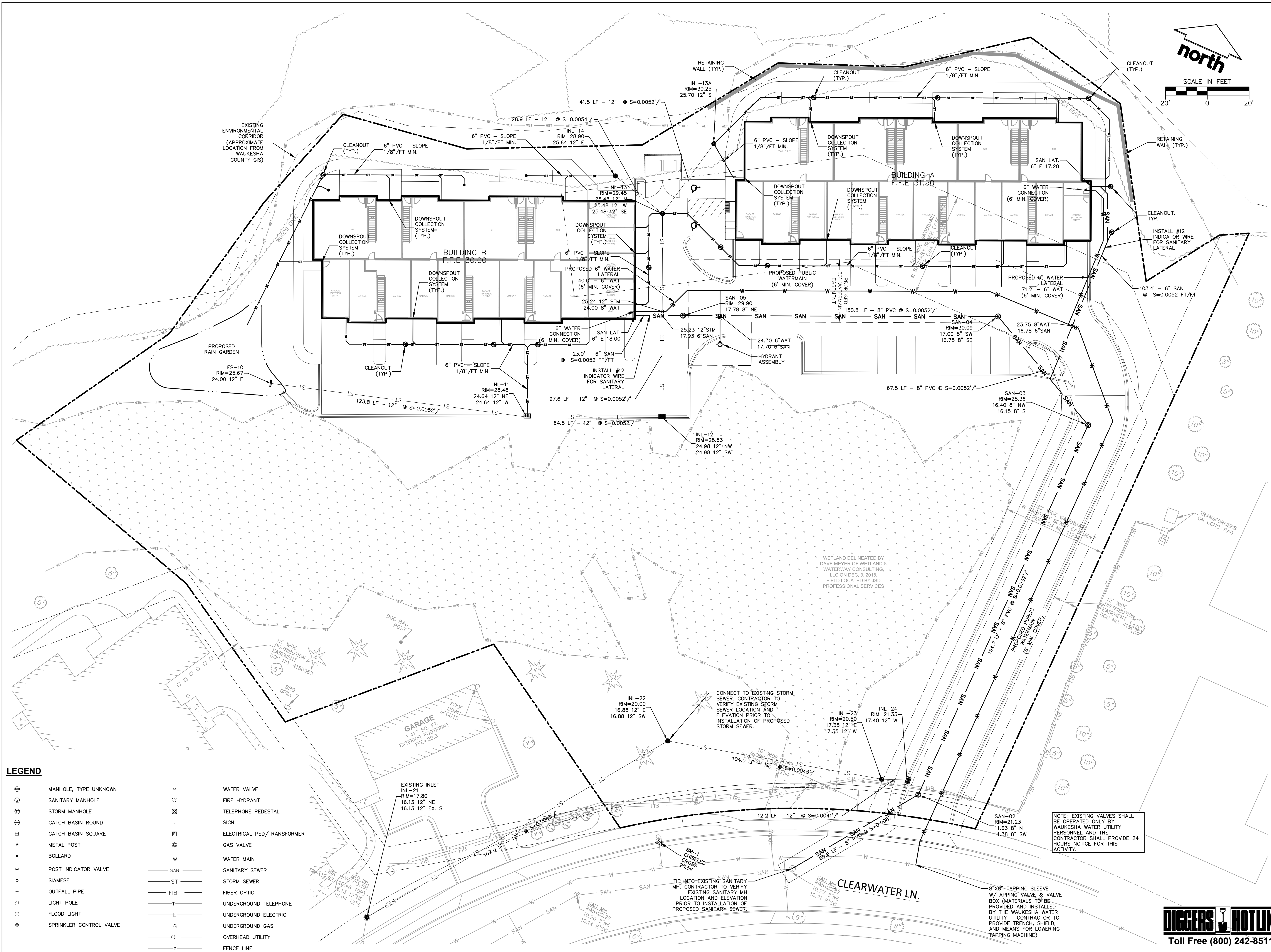
#	Date:	Description:
1	03/22/19	Municipal Review
2	05/20/19	Common Council Submittal
3	06/10/19	Planning Commission Submittal
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Design/Drawn:  
Approved:

SHEET TITLE:  
**UTILITY PLAN**

SHEET NUMBER:

**C4.0**



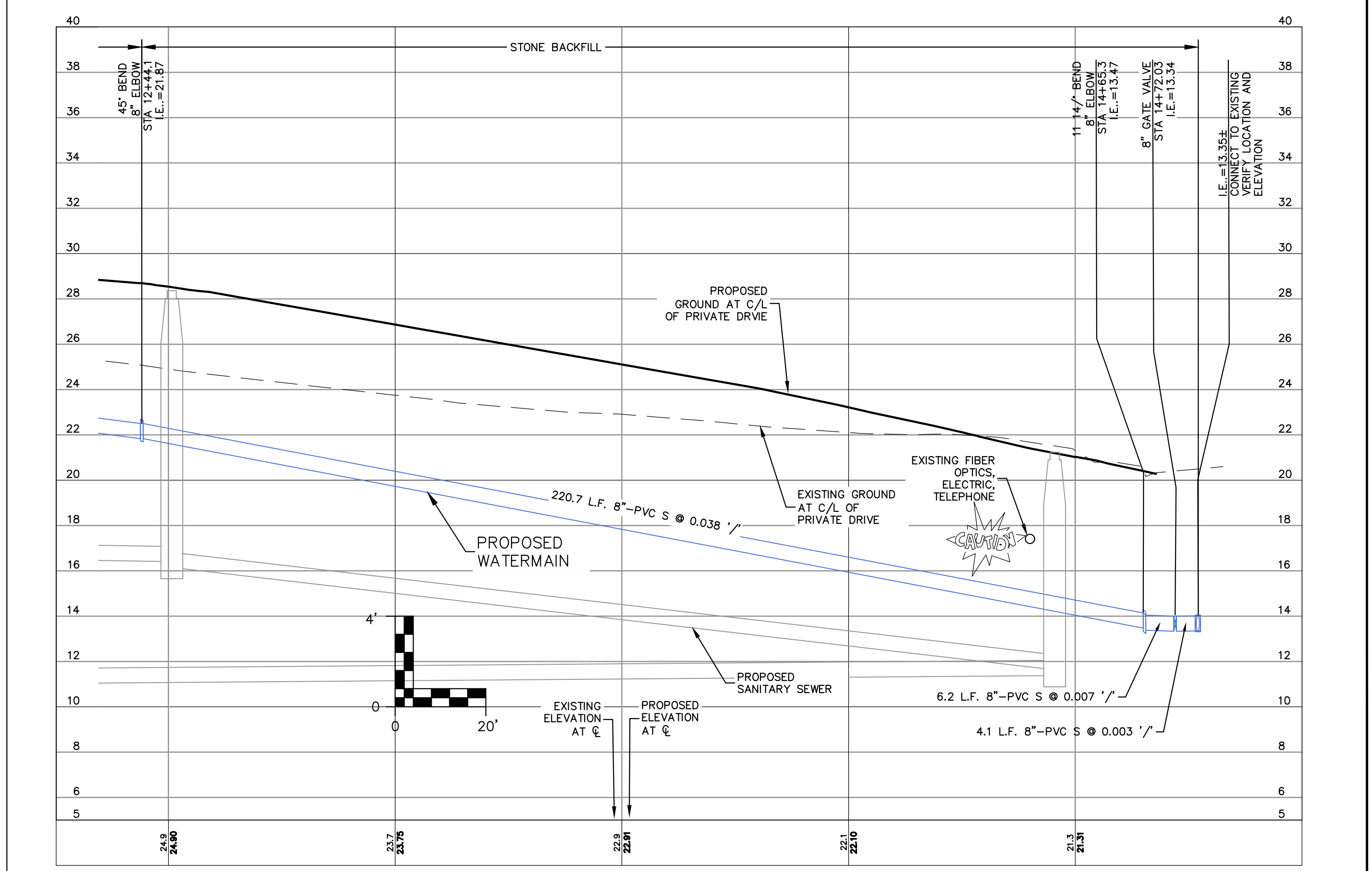
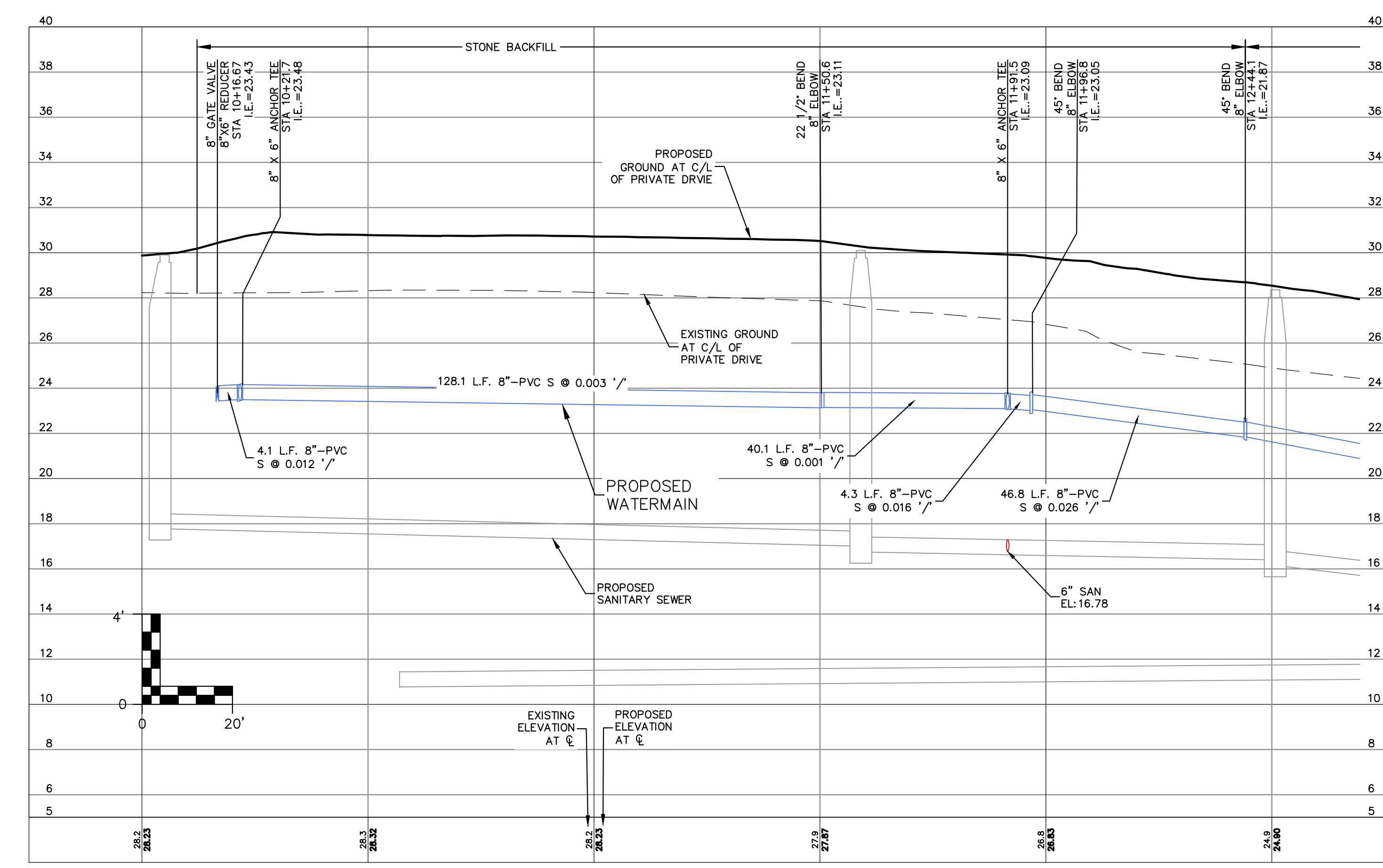
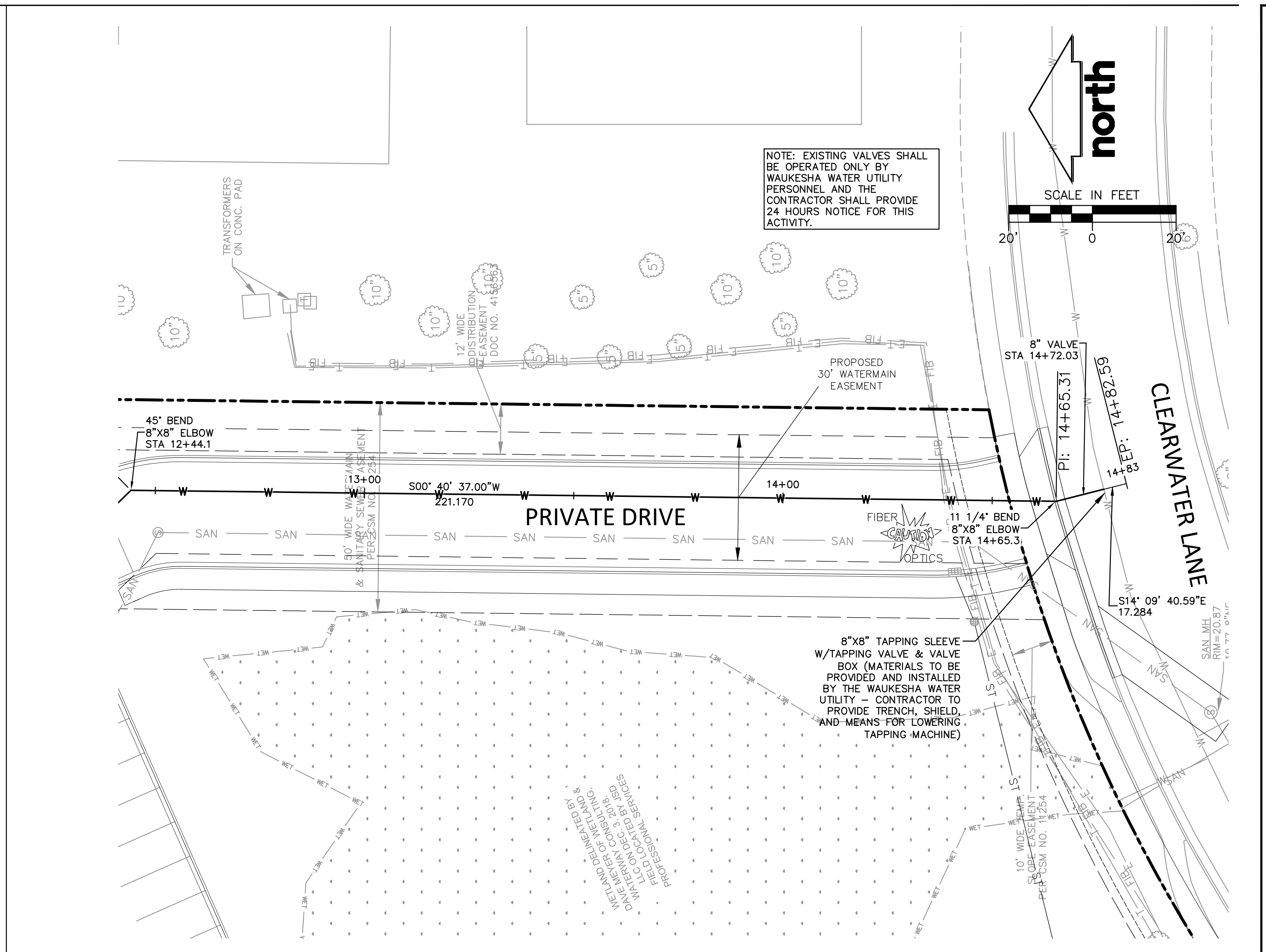
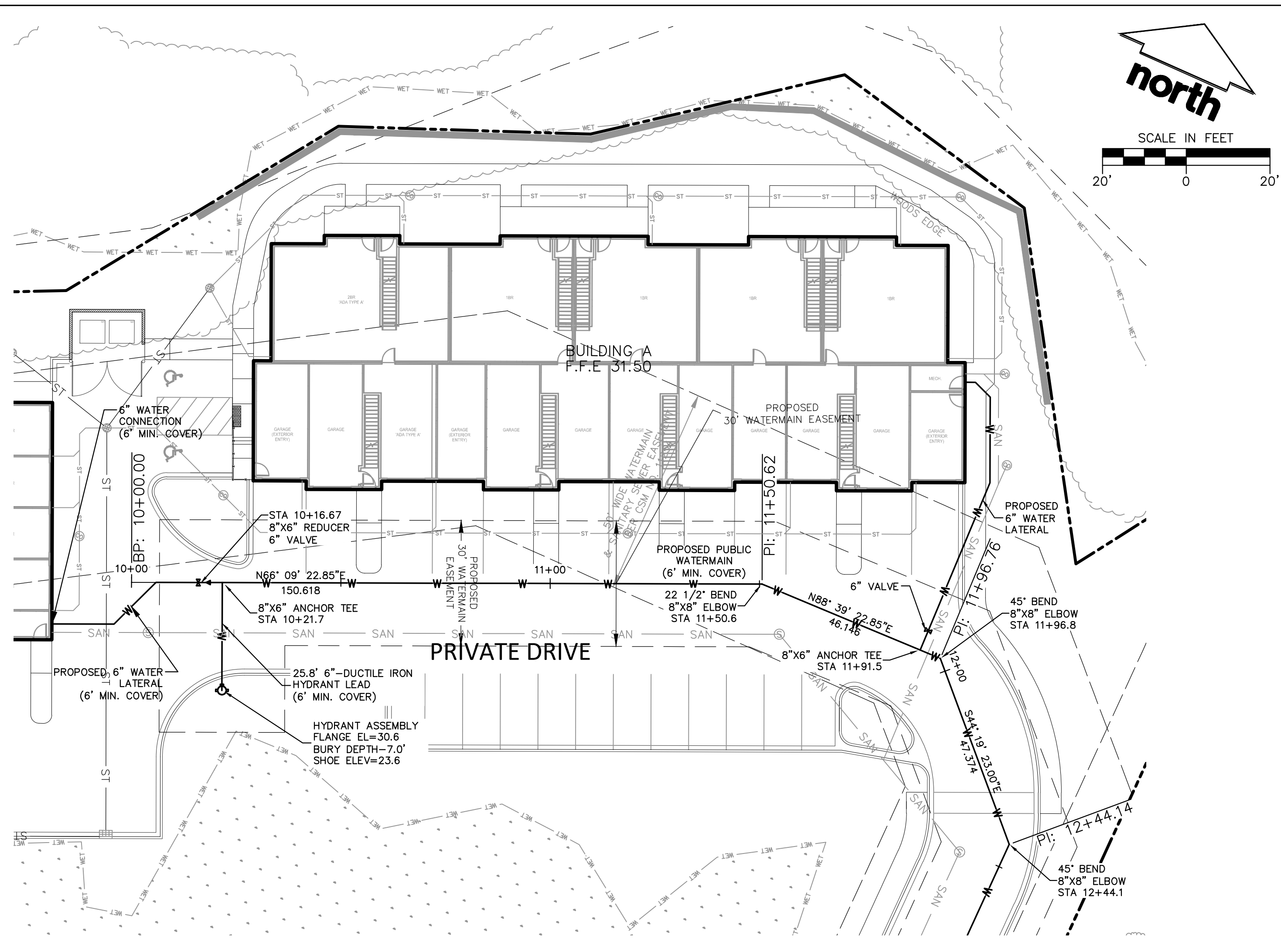
**LEGEND**

⊕	MANHOLE, TYPE UNKNOWN	⊕	WATER VALVE
⊙	SANITARY MANHOLE	⊕	FIRE HYDRANT
⊕	STORM MANHOLE	⊕	TELEPHONE PEDESTAL
⊕	CATCH BASIN ROUND	⊕	SIGN
⊕	CATCH BASIN SQUARE	⊕	ELECTRICAL PED/TRANSFORMER
⊕	METAL POST	⊕	GAS VALVE
⊕	BOLLARD	— W —	WATER MAIN
⊕	POST INDICATOR VALVE	— SAN —	SANITARY SEWER
⊕	SIAMASE	— ST —	STORM SEWER
⊕	OUTFALL PIPE	— FIB —	FIBER OPTIC
⊕	LIGHT POLE	— T —	UNDERGROUND TELEPHONE
⊕	FLOOD LIGHT	— E —	UNDERGROUND ELECTRIC
⊕	SPRINKLER CONTROL VALVE	— G —	UNDERGROUND GAS
		— OH —	OVERHEAD UTILITY
		— X —	FENCE LINE


NOTE: EXISTING VALVES SHALL BE OPERATED ONLY BY WAUKESHA WATER UTILITY PERSONNEL AND THE CONTRACTOR SHALL PROVIDE 24 HOURS NOTICE FOR THIS ACTIVITY.

**DIGGERS HOTLINE**  
Toll Free (800) 242-8511





File: R:\101618-8890 Clearwater Apartments\Drawings\18-8890-C4.1 - Public water main Profile.dwg Layout: C4.1 User: pmanone Plotted: Jun 07, 2019 - 4:07pm Xref's:



**JSD**  
Professional Services, Inc.  
Engineers • Surveyors • Planners

---

CREATE THE VISION TELL THE STORY

---

MADISON | MILWAUKEE  
KENOSHA | APPLETON | WAUSAU

---

MILWAUKEE REGIONAL OFFICE  
W238N1610 BUSSE ROAD, SUITE 100  
WAUKESHA, WISCONSIN 53188  
P. 262.513.0666

---

CLIENT:  
**PURE ARCHITECTURE  
STUDIO, LLC**

---

CLIENT ADDRESS:  
**735 N. WATER STREET, SUITE 1228  
MILWAUKEE, WI 53202**

---

PROJECT:  
**CLEARWATER  
APARTMENT PHASE 2**

---

PROJECT LOCATION:  
**CITY OF WAUKESHA  
WAUKESHA COUNTY, WISCONSIN**

---

**PLAN MODIFICATIONS:**

#	Date:	Description:
1	03/22/19	Municipal Review
2	05/20/19	Common Council Submittal
3	06/10/19	Planning Commission Submittal
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

---

Design/Drawn:  
Approved:


---

SHEET TITLE:  
**PUBLIC WATERMAIN  
PLAN AND PROFILE**

---

SHEET NUMBER:  
**C4.1**

---



**Toll Free (800) 242-8511**

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.



GENERAL NOTES AND SPECIFICATIONS

- 1. THE INTENTION OF THE PLANS AND SPECIFICATIONS IS TO SET FORTH PERFORMANCE AND CONSTRUCTION MATERIAL STANDARDS FOR THE PROPER EXECUTION OF WORK...

CONSTRUCTION SITE SEQUENCING

- 1. INSTALL PERIMETER SILT FENCE, EXISTING INLET PROTECTION, AND TEMPORARY CONSTRUCTION ENTRANCE.

CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM 1 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.

PAVING NOTES

- 1. ALL PAVING SHALL CONFORM TO "STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION AND APPLICABLE CITY OF WAUKESHA ORDINANCES."

GRADING NOTES

- 1. CONTRACTOR SHALL VERIFY ALL GRADES, ENSURE ALL AREAS DRAIN PROPERLY AND REPORT ANY DISCREPANCIES TO JSD PROFESSIONAL SERVICES, INC. PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.

UTILITY NOTES

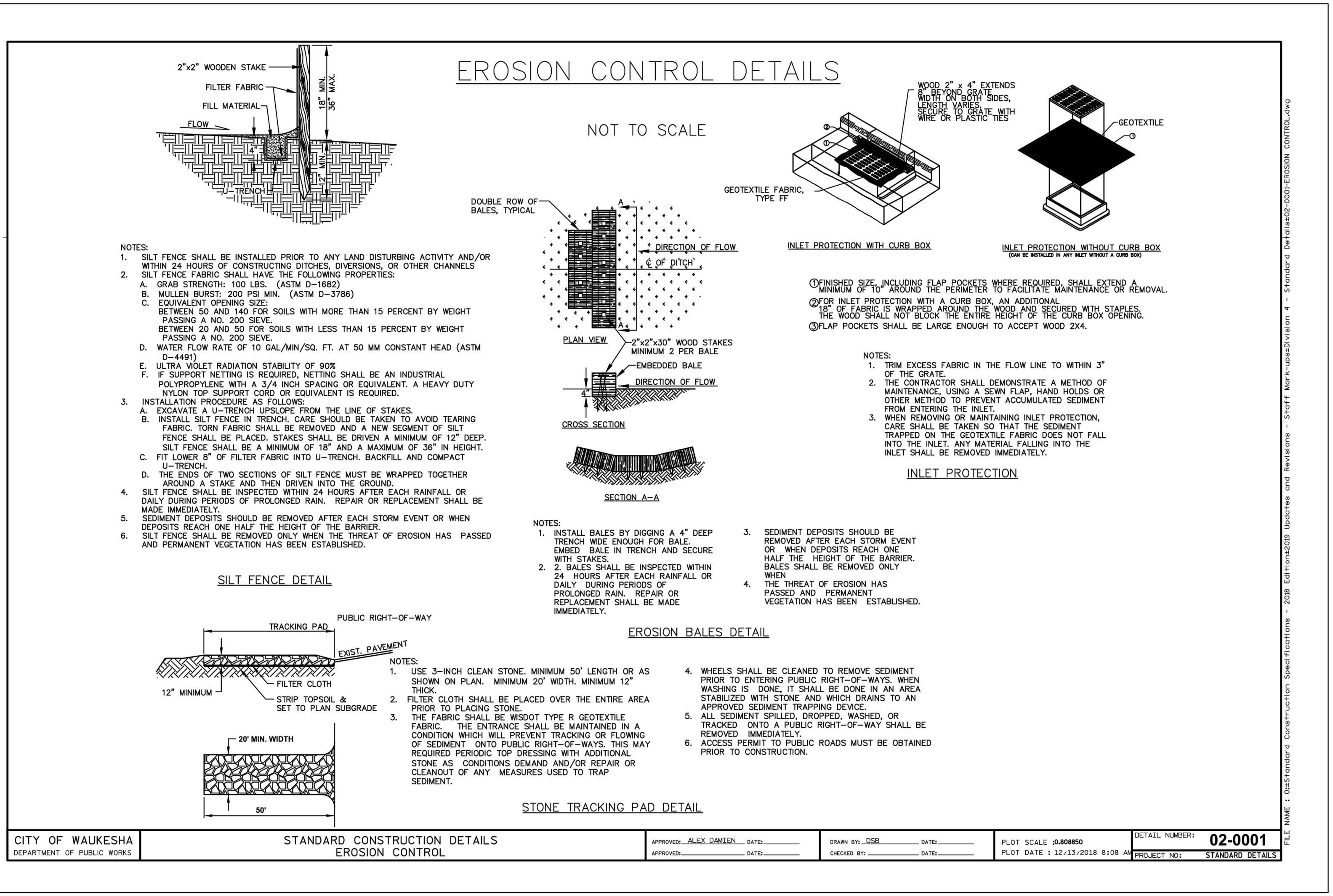
- 1. EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE.

PAVEMENT STRIPING NOTES

- 1. STRIPING SHALL BE WHITE.

DRAIN TILE GENERAL SPECIFICATIONS

- 1. THE DRAIN TILE CONDUIT AND FITTINGS SHALL MEET STRENGTH AND DURABILITY REQUIREMENTS FOR THE SITE.



CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE KENOSHA | APPLETON | WAUSAU

MILWAUKEE REGIONAL OFFICE W239N1610 BUSSE ROAD, SUITE 100 WAUKESHA, WISCONSIN 53188 P. 262.513.0666

PURE ARCHITECTURE STUDIO, LLC

PROJECT LOCATION: 735 N. WATER STREET, SUITE 1228 MILWAUKEE, WI 53202

CLEARWATER APARTMENT PHASE 2

CITY OF WAUKESHA WAUKESHA COUNTY, WISCONSIN

Table with 2 columns: #, Date, Description. Includes dates like 03/22/19 and 05/20/19.

Design/Drawn: APM Approved: RWI

SHEET TITLE: DETAILS

SHEET NUMBER:

C5.0

JSD PROJECT NO: 18-8890



CITY OF WAUKESHA EROSION CONTROL GENERAL PROJECT INFORMATION

GENERAL PROJECT INFORMATION

PROJECT LOCATION AND NARRATIVE

THIS EROSION CONTROL PROJECT AND SITE IS CURRENTLY A HOTEL COMMERCIAL SITE. IT IS LOCATED IN PART OF THE NW 1/4 OF THE SW 1/4 OF SECTION 20, TOWNSHIP TOSN , RANGE R19E, CITY OF WAUKESHA, WAUKESHA COUNTY, WISCONSIN.

RESPONSIBLE PARTIES

THE CONTRACTOR AND OWNER ARE REQUIRED TO APPLY FOR A GENERAL PERMIT TO DISCHARGE UNDER THE WISCONSIN POLLUTANT DISCHARGE ELIMINATION SYSTEM WPDES PERMIT NO. WI-5067831-5 AT LEAST 14 DAYS PRIOR TO THE START OF THE WORK.

THE CONTRACTOR AND OWNER SHALL IDENTIFY A PERSON KNOWLEDGEABLE AND EXPERIENCED IN THE APPLICATION OF EROSION PREVENTION AND SEDIMENT CONTROL BMPs WHO WILL OVERSEE THE IMPLEMENTATION OF THE WRAPP.

Table with 3 columns: OWNER, PLAN PREPARER, CONTRACTOR, PERSON RESPONSIBLE FOR INSPECTIONS, STATE REGULATION ENTITY, LOCAL REGULATING ENTITY. Each row lists 'CONTACT PERSON' and 'PHONE'.

PROJECT AREAS

TOTAL PROJECT SIZE (DISTURBED AREA) = 3.245 ACRES
MINIMUM AREA REQUIRING A WRAPP PERMIT = 1.0 ACRES
EXISTING AREA OF IMPERVIOUS SURFACE = 0.00 ACRES
POST-CONSTRUCTION AREA OF IMPERVIOUS SURFACE = 1.222 ACRES

STORMWATER MANAGEMENT

- WET DETENTION POND
VEGETATED SWALES
BIORETENTION FOR INFILTRATION
SITE EVALUATION
RAIN GARDENS
INFILTRATION BASIN

RECEIVING WATERS

SURFACE WATERS AND WETLANDS THAT WILL RECEIVE STORMWATER RUNOFF FROM THE SITE ARE WITHIN (1) MILE OF THE SITE AREA INDICATED. IN ADDITION, IMPAIRED WATERS (STATE'S 303d LIST) WITHIN (1) MILE OF THE SITE AND COULD BE RECEIVING RUNOFF FROM THE SITE ARE LISTED BELOW:

Table with 2 columns: NAME OF WATER BODY, TYPE OF IMPACTMENT

CONSTRUCTION ACTIVITY NOTES

ALL CONSTRUCTION ACTIVITIES SHALL MEET THE REQUIREMENTS OF THE WISCONSIN POLLUTANT DISCHARGE ELIMINATION SYSTEM.

EROSION PREVENTION

THE CONTRACTOR SHALL USE PHASED CONSTRUCTION WHENEVER POSSIBLE OR PRACTICAL TO MINIMIZE DISTURBED AREAS. ALL DISTURBED SOIL AREAS MUST BE STABILIZED AS SOON AS POSSIBLE TO LIMIT SOIL EROSION, AND SHALL BE STABILIZED NO LATER THAN 7 (SEVEN) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT AREA OF THE SITE HAS BEEN TEMPORARILY OR PERMANENTLY COMPLETED.

THE FOLLOWING EROSION PREVENTION ITEMS SHALL BE INSTALLED WITHIN 24 HOURS AFTER INSTALLATION OF NOTED CONVEYANCE:

- ENERGY DISSIPATION (RIPRAP) AT APRON ENDWALLS.
STABILIZATION OF TEMPORARY OR PERMANENT DRAINAGE SWALES WITHIN 200 FEET OF THE PROPERTY LINES, OR CONNECTION TO SURFACE STORMWATER DRAINAGE INCLUDING INLETS.

CONSTRUCTION SEQUENCE, SCHEDULE AND PHASING

ALL SILT FENCE AND CONSTRUCTION ENTRANCE/EXIT(S) AND OTHER NECESSARY EROSION CONTROL BMPs SHALL BE IN PLACE PRIOR TO THE START OF ANY CONSTRUCTION-RELATED ACTIVITIES.

REMOVE TOPSOIL NECESSARY AND STOCKPILE IN DESIGNATED AREA(S). STOCKPILES SHALL BE STABILIZED BY TEMPORARY SEEDING AND MULCHING IF THEY ARE TO REMAIN FOR MORE THAN 10 (TEN) DAYS.

DISTURBED SOIL OUTSIDE OF THE DAY-TO-DAY CONSTRUCTION AREAS SHALL BE STABILIZED BY MULCHING, TEMPORARY SEEDING, COVERING WITH TARPS OR EQUIVALENT CONTROL MEASURES.

COMPLETE TANK (UST) REMOVALS, EQUIPMENT AND ASSOCIATED PIPING AND SOILS.

REMOVE CONCRETE AND ASPHALT PAVING, AND REMOVE AS SPECIFIED.

WITHIN 7 DAYS OF COMPLETION OF THE REQUIRED FACILITIES AND PAVEMENT, THE ENTIRE SITE SHALL BE GRADED AS DESCRIBED IN THE WORK PLAN AND SPECIFICATIONS. CONTRACTOR SHALL STABILIZE THE SITE FOR THE FUTURE DEVELOPMENT BY OTHERS.

CONTRACTOR SHALL REMOVE ALL INLET PROTECTION ONLY AFTER THE SITE IS STABILIZED, OR AS DIRECTED BY THE ENGINEER.

RECORD RETENTION

THE WRAPP, ALL CHANGES TO IT, AND INSPECTIONS AND MAINTENANCE RECORDS ARE THE RESPONSIBILITY OF THE PERMITEE AND MUST BE KEPT AT THE SITE DURING CONSTRUCTION.

ALL OWNER(S) SHALL RETAIN THE FOLLOWING FOR THREE (3) YEARS AFTER SUBMITTAL OF THE NOTICE OF TERMINATION:

- WRAPP
ANY OTHER PERMITS REQUIRED FOR THE PROJECT.
INSPECTION AND MAINTENANCE LOGS/REPORTS.
ALL PERMANENT OPERATION AND MAINTENANCE AGREEMENTS FOR SURFACE WATER FACILITIES.
ALL DESIGN CALCULATIONS FOR TEMPORARY AND PERMANENT STORM WATER

INSPECTIONS AND MAINTENANCE

CONTRACTOR IS SOLELY RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND REMOVAL OF ALL EROSION CONTROL DEVICES AND SHALL COMPLY WITH ALL REQUIREMENTS SHOWN ON THE PLANS, IN THE PROJECT SPECIFICATIONS, AND AS MANDATED BY LOCAL, STATE AND FEDERAL REGULATIONS.

INSPECT THE EROSION CONTROL MEASURES WITHIN 24 HOURS AFTER EACH RAIN OF 0.5 INCHES OR MORE AND AT LEAST ONCE EACH WEEK. MAKE NEEDED REPAIRS AND DOCUMENT THE FINDINGS OF THE INSPECTIONS IN A SITE EROSION CONTROL LOG WITH THE DATE OF INSPECTION, THE NAME OF THE PERSON CONDUCTING THE INSPECTION, AND A DESCRIPTION OF THE PRESENT PHASE OF THE CONSTRUCTION AT THE SITE.

ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY STREET CLEANING (NOT FLUSHING) BEFORE END OF WORK EACH DAY.

FOR MORE EROSION CONTROL REQUIREMENTS, REFER TO STANDARD SPECIFICATION SECTION 02.

CONTRACTOR TO OBTAIN APPLICABLE PERMITS.

IF DEWATERING IS NEEDED, CONTRACTOR SHALL PROVIDE FOR SEDIMENT REMOVAL AND SHALL OBTAIN ALL APPLICABLE DNR PERMITTING.

BUILT-UP SEDIMENT SHALL BE REMOVED FROM SILT FENCE WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF THE FENCE.

THE CONTRACTOR SHALL ROUTINELY INSPECT THE CONSTRUCTION SITE ONCE EVERY SEVEN (7) DAYS DURING ACTIVE CONSTRUCTION, AND WITHIN 24 HOURS OF A RAINFALL EVENT GREATER THAN 0.5 INCHES IN A 24-HOUR PERIOD.

ALL INSPECTIONS MUST BE RECORDED AND RECORDS MUST BE RETAINED WITH THE EOP ON SITE. COPIES SHALL BE MADE AVAILABLE TO THE ENGINEER OR UPON REQUEST.

IF TEMPORARY SEDIMENT BASINS ARE REQUIRED, THEY SHALL BE DRAINED AND CLEANED OF EXCESS SEDIMENT WHEN THE DEPTH OF THE SEDIMENT IN THE BASIN IS EQUAL TO THE ORIGINAL STORAGE VOLUME INTENDED. FOR THIS SITE, IT SHALL BE WHEN THE FOREBAY ACCUMULATES TWO (2) FEET OF SEDIMENT AND WHEN THE MAIN POND ACQUIRES SIX (6) INCHES OF SEDIMENT. DRAINAGE AND REMOVAL SHALL BE COMPLETED WITHIN 72 HOURS OF DISCOVERY.

ALL NON-FUNCTIONAL BMPs SHALL BE REPAIRED, REPLACED OR SUPPLEMENTED WITH ADDITIONAL BMPs WITHIN A 24-HOUR PERIOD OF DISCOVERY, OR AS SOON AS FIELD CONDITIONS ALLOW.

CITY OF WAUKESHA EROSION CONTROL GENERAL PROJECT INFORMATION

POLLUTION PREVENTION

ALL SOLID WASTE GENERATED BY / COLLECTED FROM THE CONSTRUCTION SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE STATE, FEDERAL AND LOCAL REGULATIONS.

ALL HAZARDOUS MATERIALS (OILS, GASOLINE, FUEL, PAINT, ETC.) MUST BE PROPERLY AND SECURELY STORED AND CONTAINED TO PREVENT SPILLS, LEAKS OR OTHER DISCHARGE.

VEHICLE OR EQUIPMENT WASHING OR TEMPORARY MAINTENANCE AREAS MUST BE LIMITED TO A DEFINED AREA OF THE SITE. RUNOFF CONTAINING ANY HAZARDOUS WASTES MUST BE PROPERLY AND LAWFULLY COLLECTED AND DISPOSED OF. NO ENGINE DEGREASING IS ALLOWED ON THE SITE.

THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MONITORING AIR POLLUTION AND ENSURING THAT IT DOES NOT EXCEED LEVELS SET BY LOCAL, STATE OR FEDERAL LEVELS. THIS INCLUDES DUST BEING CREATED BY WORK BEING PERFORMED ON THE SITE. DUST CONTROL MEASURES ARE CONSIDERED INCIDENTAL TO THE CONTRACTOR'S RESPONSIBILITIES. ADDITIONAL DUST CONTROL MEASURES OR OTHER AIR POLLUTION CONTROL MEASURES MAY BE REQUIRED BY THE ENGINEER.

FINAL STABILIZATION

THE CONTRACTOR SHALL ENSURE FINAL STABILIZATION OF THE SITE. THE PERMITEES SHALL SUBMIT A NOTICE OF TERMINATION WITHIN 30 DAYS AFTER FINAL STABILIZATION IS COMPLETE.

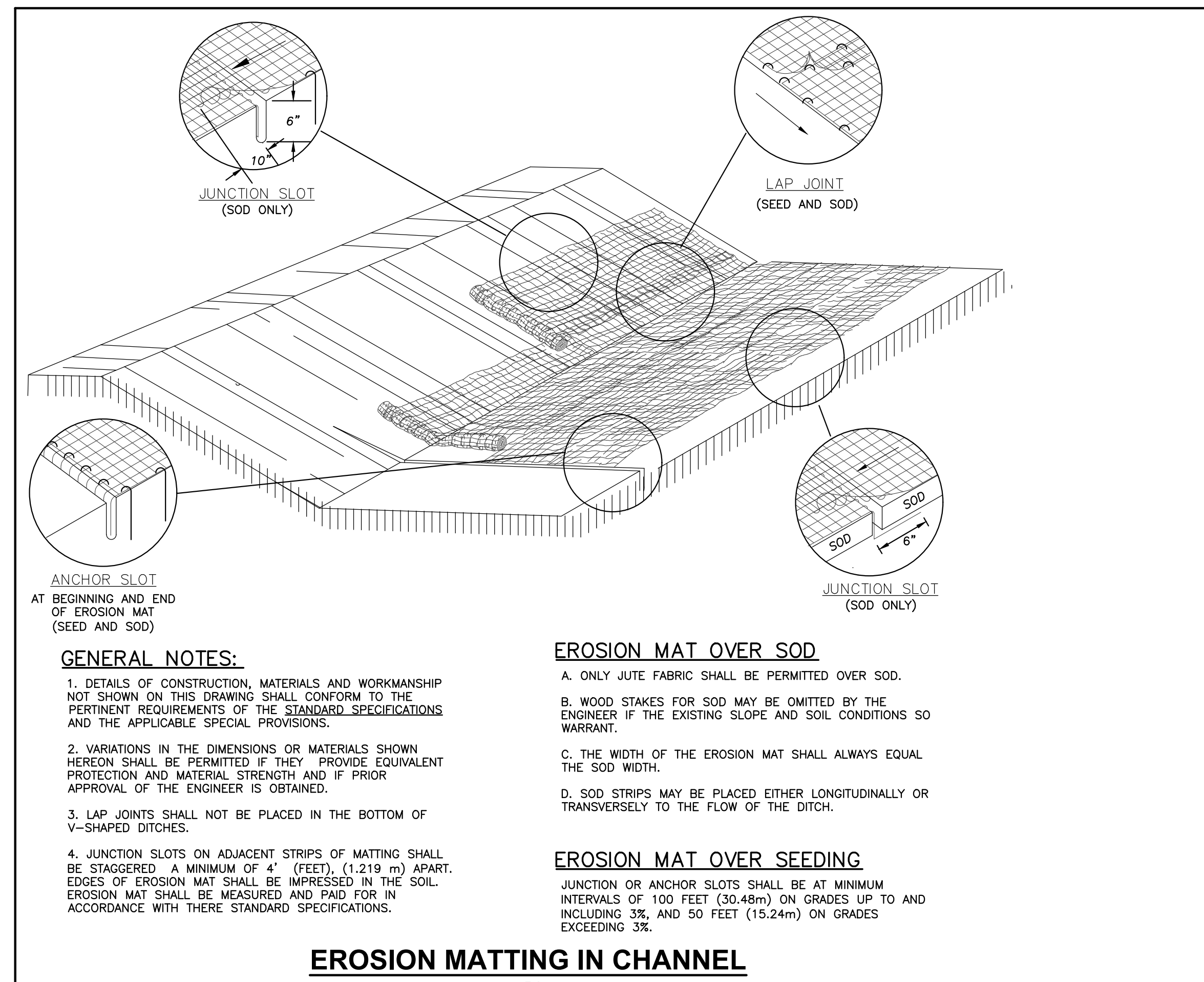
ALL TEMPORARY EROSION CONTROL MEASURES AND BMPs MUST BE REMOVED AS PART OF THE FINAL SITE STABILIZATION.

THE GENERAL PERMIT FURTHER DEFINES FINAL STABILIZATION AND ITS REQUIREMENTS.

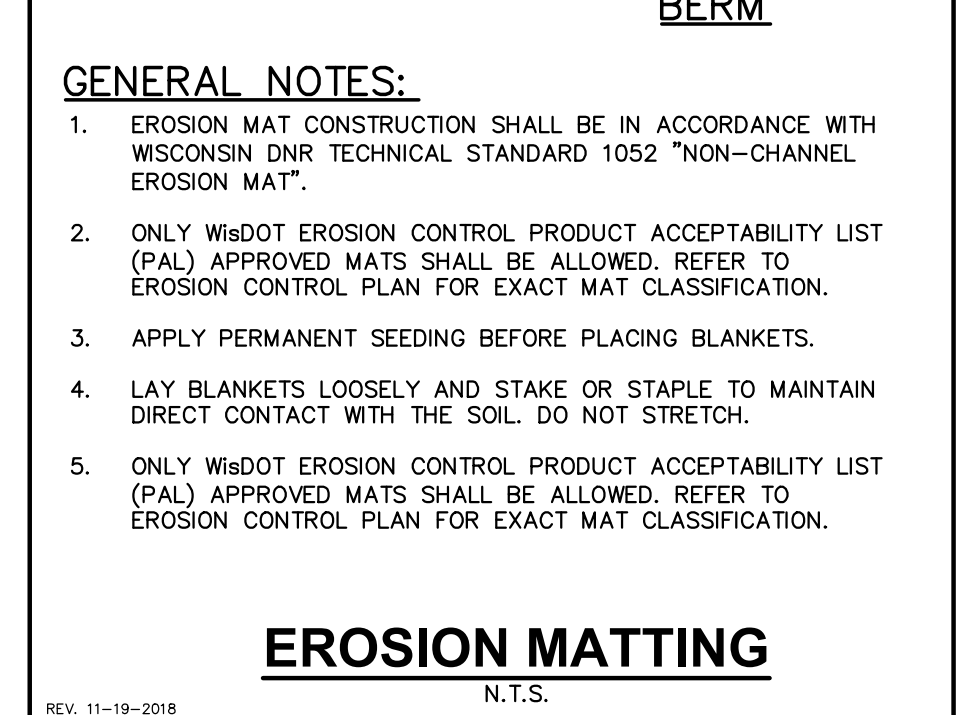
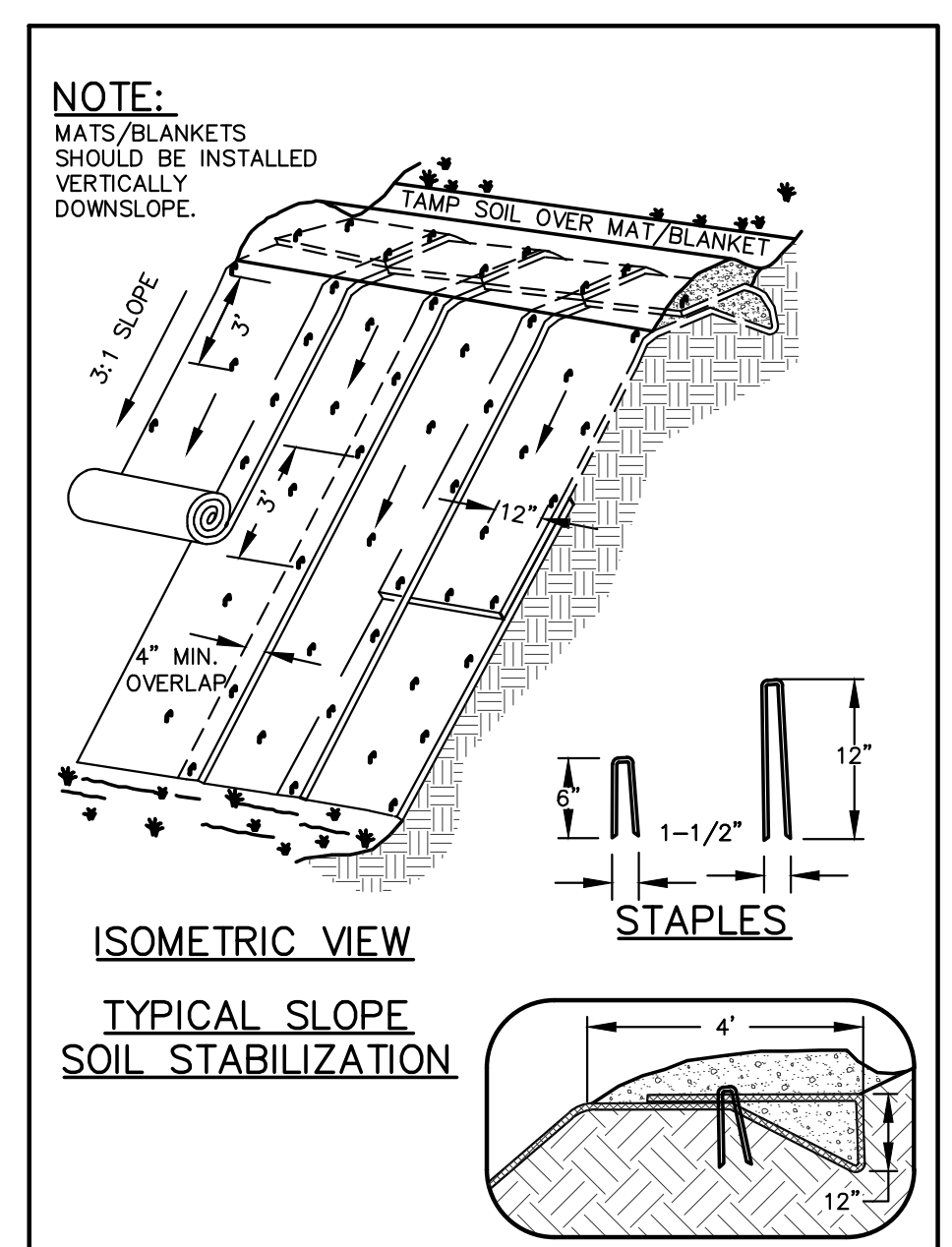
EROSION AND SEDIMENT CONTROL NOTES

- 1. ALL CONSTRUCTION SHALL ADHERE TO THE REQUIREMENTS SET FORTH IN WISCONSIN'S NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) STORMWATER GENERAL PERMIT FOR CONSTRUCTION SITE LAND DISTURBANCE ACTIVITIES...
2. THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS...
3. MODIFICATIONS TO THE APPROVED SWPPP IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS ARE ALLOWED IF MODIFICATIONS CONFORM TO BMP'S...
4. INSTALL PERIMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION) PRIOR TO ANY SITE WORK...
5. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS...
6. PAVED SURFACES ADJACENT TO CONSTRUCTION ENTRANCES SHALL BE SWEEPED AND/OR SCRAPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST...
7. ALL EXISTING STORM SEWER FACILITIES THAT WILL COLLECT RUNOFF FROM DISTURBED AREAS SHALL BE PROTECTED TO PREVENT SEDIMENT DEPOSITION WITHIN STORM SEWER SYSTEMS...
8. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.) OUTSIDE OF THE PERIMETER CONTROLS SHALL INCORPORATE THE FOLLOWING...
9. AT A MINIMUM, SEDIMENT BASINS AND NECESSARY TEMPORARY DRAINAGE PROVISIONS SHALL BE CONSTRUCTED AND OPERATIONAL BEFORE BEGINNING OF SIGNIFICANT MASS GRADING OPERATIONS...
10. ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES MUST BE MAINTAINED AND REPAIRED AS NEEDED...
11. TOPSOIL STOCKPILES SHALL HAVE A BERM OR TRENCH AROUND THE CIRCUMFERENCE AND PERIMETER SILT FENCE TO CONTROL SILT...
12. EROSION CONTROL MEASURES TEMPORARILY REMOVED FOR UNAVOIDABLE CONSTRUCTION ACTIVITIES SHALL BE IN WORKING ORDER PRIOR TO THE COMPLETION OF EACH WORK DAY...
13. MAINTAIN SOIL EROSION CONTROL DEVICES THROUGH THE DURATION OF THIS PROJECT...
14. PUMPS MAY BE USED AS BYPASS DEVICES. IN NO CASE SHALL PUMPED WATER BE DIVERTED OUTSIDE THE PROJECT LIMITS...
15. GRADING EFFORTS SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION...
16. ALL DISTURBED SLOPES EXCEEDING 4:1 YET LESS THAN 3:1, SHALL BE STABILIZED WITH NORTH AMERICAN GREEN S75BN EROSION MATTING...
17. DURING PERIODS OF EXTENDED DRY WEATHER, THE CONTRACTOR SHALL KEEP A WATER TRUCK ON SITE...
18. DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE VISUALLY INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM ON A DAILY BASIS...
19. QUALIFIED PERSONNEL (PROVIDED BY THE GENERAL/PRIME CONTRACTOR) SHALL INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE...
20. THE FOLLOWING MAINTENANCE PRACTICES SHALL BE USED TO MAINTAIN, IN GOOD AND EFFECTIVE OPERATING CONDITIONS, VEGETATION, EROSION AND SEDIMENT CONTROL MEASURES...

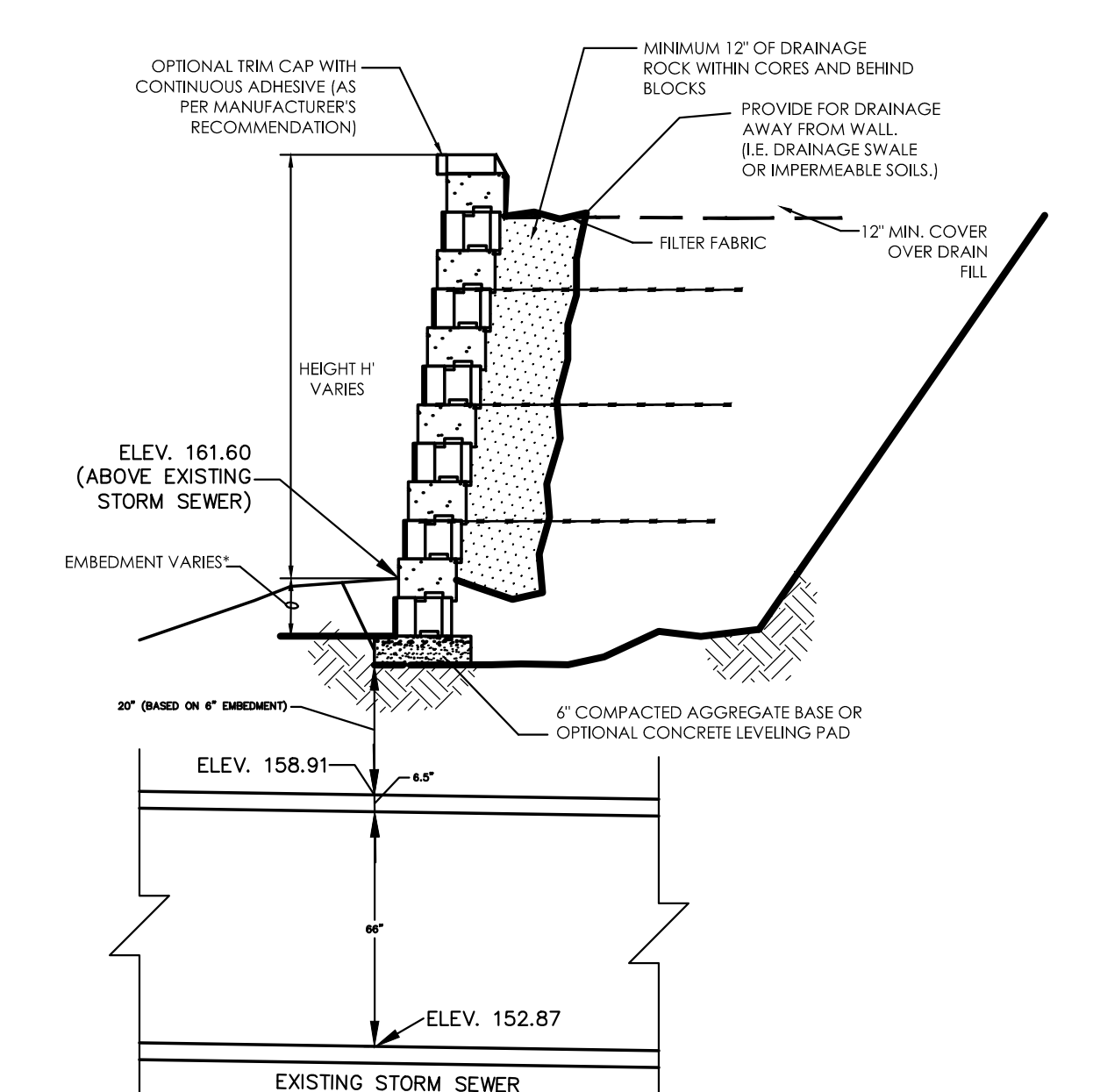
- SILT FENCE - REPAIR OR REPLACE ANY DAMAGED FILTER FABRIC AND/OR STAKES. REMOVE ACCUMULATED SEDIMENT WHEN IT HAS REACHED ONE-HALF THE ABOVE GROUND HEIGHT OF THE FENCE.
CONSTRUCTION ENTRANCE - AS NEEDED, ADD STONE TO MAINTAIN CONSTRUCTION ENTRANCE DIMENSIONS AND EFFECTIVENESS.
DITCH CHECK (STRAW BALES) - RE-SECURE STAKES; ADJUST OR REPOSITION BALES TO ADDRESS PROPER FLOW OF STORMWATER; AND REMOVE ACCUMULATED SEDIMENT WHEN IT HAS REACHED ONE-HALF THE HEIGHT OF THE BALE.
EROSION CONTROL MATTING - REPAIR MATTING IMMEDIATELY IF INSPECTION REVEALS BREACHED OR FAILED CONDITIONS. REPAIR AND RE-GRADE SOIL WHERE CHANNELIZATION HAS OCCURRED.
DIVERSION BERM/SWALE - REPLACE OR RE-COMPACT THE CONSTRUCTION MATERIALS AS NECESSARY.
INLET PROTECTION - CLEAN, REPAIR OR REPLACE FILTER FABRIC AND/OR STONE WHEN CONTROL MEASURE IS CLOGGED. INLET FILTER BAGS SHALL BE REPLACED ONCE BAG BECOMES ONE-HALF FULL OF SEDIMENT.
ADDITIONAL POLLUTANT CONTROL MEASURES TO BE IMPLEMENTED DURING CONSTRUCTION ACTIVITIES SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:
CONSTRUCTION WASTE SHALL BE PROPERLY DISPOSED OF. THIS INCLUDES ALL CONSTRUCTION SITE WASTE MATERIAL, SANITARY WASTE, AND WASTE FROM VEHICLE TRACKING OF SEDIMENTS.
DUST CONTROL SHALL BE ACCOMPLISHED BY ONE OR MORE OF THE FOLLOWING METHODS:
COVERING 30% OR MORE OF THE SOIL SURFACE WITH A NON-ERODIBLE MATERIAL.
ROUGHENING THE SOIL TO PRODUCE RIDGES PERPENDICULAR TO THE PREVAILING WIND. RIDGES SHALL BE AT LEAST SIX (6) INCHES IN HEIGHT.
FREQUENT WATERING OF EXCAVATION AND FILL AREAS.
PROVIDING GRAVEL OR PAVING AT ENTRANCE/EXIT DRIVES, PARKING AREAS AND TRANSIT PATHS.
STREET SWEEPING SHALL BE PERFORMED TO IMMEDIATELY REMOVE ANY SEDIMENT TRACKED ON PAVEMENTS.



EROSION MATTING IN CHANNEL



- GENERAL NOTES:
1. DETAILS OF CONSTRUCTION, MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND THE APPLICABLE SPECIAL PROVISIONS.
2. VARIATIONS IN THE DIMENSIONS OR MATERIALS SHOWN HEREON SHALL BE PERMITTED IF THEY PROVIDE EQUIVALENT PROTECTION AND MATERIAL STRENGTH AND IF PRIOR APPROVAL OF THE ENGINEER IS OBTAINED.
3. LAP JOINTS SHALL NOT BE PLACED IN THE BOTTOM OF V-SHAPED DITCHES.
4. JUNCTION SLOTS ON ADJACENT STRIPS OF MATTING SHALL BE STAGGERED A MINIMUM OF 4' (FEET), (1.219 m) APART. EDGES OF EROSION MAT SHALL BE IMPRESSED IN THE SOIL. EROSION MAT SHALL BE MEASURED AND PAID FOR IN ACCORDANCE WITH THESE STANDARD SPECIFICATIONS.



- GENERAL NOTES:
1. \* MINIMUM 6" EMBEDMENT. EMBEDMENT INCREASES WITH INCREASED WALL HEIGHTS, SLOPING FILLS IN FRONT AND BEHIND WALL OR POOR FOUNDATION SOILS. CONTACT LOCAL ENGINEER FOR GUIDANCE.
2. DETAIL FOR GENERAL REFERENCE ONLY. INSTALLER SHALL PREPARE NECESSARY DESIGN DRAWINGS AND CALCULATIONS. CALCULATIONS SHALL BE PREPARED BY AN ENGINEER LICENSED IN THE STATE OF WISCONSIN.
SEGMENTAL BLOCK RETAINING WALL NOTES:
1. SEGMENTAL BLOCK RETAINING WALLS SHALL BE KEYSTONE COMPAC II RETAINING WALL SYSTEMS. THE STYLE SHALL BE STRAIGHT FACE WITH A SOFT SILT TEXTURE AND A GREY COLOR.
2. CONTRACTOR SHALL PREPARE NECESSARY CONSTRUCTION DRAWINGS AND DESIGN CALCULATIONS FOR THE WALL SYSTEM. DRAWINGS AND CALCULATIONS SHALL BE PREPARED BY AN ENGINEER LICENSED IN THE STATE OF WISCONSIN.
3. SUBMIT SAMPLES OF BLOCK UNITS TO BE USED FOR APPROVAL BY OWNER.
4. INSTALL UNITS IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.

RETAINING WALL DETAILS



CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE KENOSHA | APPLETON | WAUSAU
MILWAUKEE REGIONAL OFFICE
W238N1610 BUSSE ROAD, SUITE 100
WAUKESHA, WISCONSIN 53188
P. 262.513.0666

CLIENT: PURE ARCHITECTURE STUDIO, LLC

CLIENT ADDRESS: 735 N. WATER STREET, SUITE 1228 MILWAUKEE, WI 53202

PROJECT: CLEARWATER APARTMENT PHASE 2

PROJECT LOCATION: CITY OF WAUKESHA WAUKESHA COUNTY, WISCONSIN

PLAN MODIFICATIONS table with columns: #, Date, Description.

Design/Drawn: APM
Approved: RWI

SHEET TITLE: DETAILS

SHEET NUMBER:

C5.1



PLAN MODIFICATIONS:

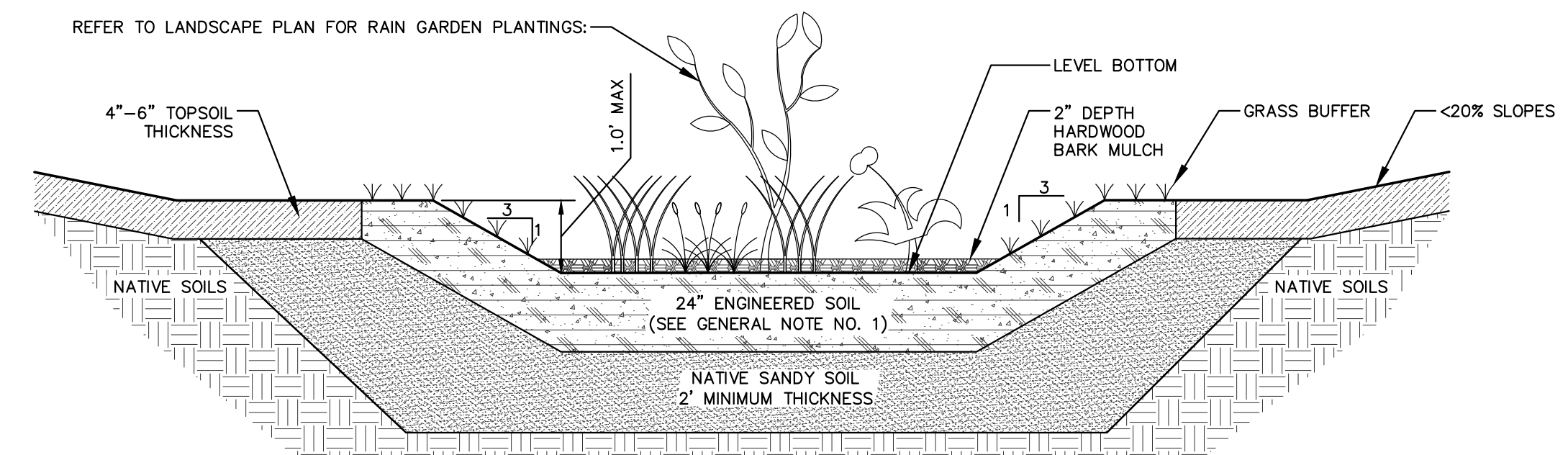
#	Date:	Description:
1	03/22/19	Municipal Review
2	05/20/19	Common Council Submittal
3	06/10/19	Planning Commission Submittal
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Design/Drawn: **APM**  
Approved: **RWI**

SHEET TITLE:  
**DETAILS**

SHEET NUMBER:

**C5.2**



**CONSTRUCTION NOTES:**

- CONTRACTOR SHALL OVER EXCAVATE RAIN GARDENS TO A MINIMUM DEPTH OF 2- FEET BELOW FINISH GRADE AND 4" OF COMPOST SHALL BE FILLED IN AT THAT DEPTH UNTIL WELL-MIXED.
- IF CLAY IS ENCOUNTERED DURING RAIN GARDEN CONSTRUCTION (CLAY BEING DEFINED AS ANY SOIL THAT HAS >40% FINES PASSING A NO. 200 SIEVE ANALYSIS), THE CONTRACTOR SHALL EXCAVATE, REMOVE AND REPLACE WITH CLEAN ON-SITE SAND/TOPSOIL MIX TO A DEPTH OF 5 FEET BELOW THE LOWEST ELEVATION OF THE RAIN GARDEN, OR AS APPROVED BY THE ENGINEER SO THAT THE RAIN GARDEN IS HYDRAULICALLY CONNECTED TO ACCEPTABLE PERMEABLE LAYER.
- RAIN GARDEN SUBBASE SHALL BE INSPECTED AND APPROVED BY THE ENGINEER PRIOR TO PLACEMENT OF SANDY AND ENGINEERED SOIL BASES.
- CONTRACTOR SHALL USE CONSTRUCTION MEANS AS NOT TO COMPACT RAIN GARDEN AREAS.
- RAIN GARDEN WORKING DEPTH SHALL BE DEFINED ON GRADING DETAIL PLAN SHEET AS ESTABLISHED BY ENGINEER.

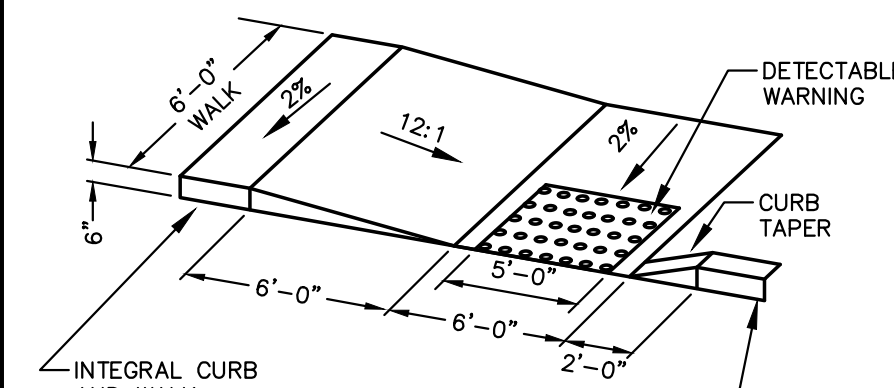
**GENERAL NOTES:**

- OWNER MUST CONSULT LANDSCAPE ARCHITECT OR ECOLOGICAL PLANNING AGENCY FOR APPROPRIATE PLANTS AND PLANTING CONFIGURATIONS.
- CONTRACTOR SHALL INSTALL 24" OF ENGINEERED SOIL CONSISTING OF: 50% CLEAN SAND, 30% CERTIFIED COMPOST (SEE GENERAL NOTE 3), AND 20% REGIONAL NATIVE SOIL (SANDY LOAM, LOAMY SAND, OR SAND).
- CERTIFIED COMPOST SHALL CONSIST OF: >40% ORGANIC MATTER, <6% ASH CONTENT, pH OF 6-8, AND MOISTURE CONTENT OF 35-50% BY WEIGHT.
- RAIN GARDEN WATER MUST INFILTRATE WITHIN 48-HOURS\*. RAIN GARDENS UNABLE TO MAINTAIN THESE RATES MUST BE DEEP TILLED, REGRADED, AND REPLANTED BY OWNER TO RESTORE ORIGINAL INFILTRATION RATES.
- REFER TO THE LANDSCAPE PLAN THE SEED MIX IN THE AREAS SURROUNDING RAIN GARDEN, ON SIDE SLOPES OF RAIN GARDEN, AND OVER ANY LAND THAT DISCHARGES INTO THE RAIN GARDEN FOR EROSION CONTROL.
- STRAW MULCH SHALL BE PLACED IN THE RAIN GARDEN AREAS THAT HAVE BEEN NEWLY SEEDED USING WISCONSIN DOT SPECIFICATION 627.3.2.1 (METHOD A) LOCATED IN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION.
- ALL WORK TO BE CONDUCTED IN CONFORMANCE WITH THE STORM WATER MANAGEMENT PLAN FOR THE PROJECT SITE AS APPROVED BY THE LOCAL REVIEW AGENCY'S ENGINEER. \*CITY OF WAUKESHA REQUIRES INFILTRATION WITHIN 36-HOURS

(REFERENCES: THE WISCONSIN STORM WATER MANUAL; INFILTRATION BASINS; ROGER BANNERMAN-WDNR WATER RESOURCES MANAGEMENT SPECIALIST; MADISON PROVISIONAL RAIN GARDEN SPECS.; WDNR POST CONSTRUCTION STORM WATER MANAGEMENT SPECS.; WDNR RAIN GARDEN DESIGN MANUAL)

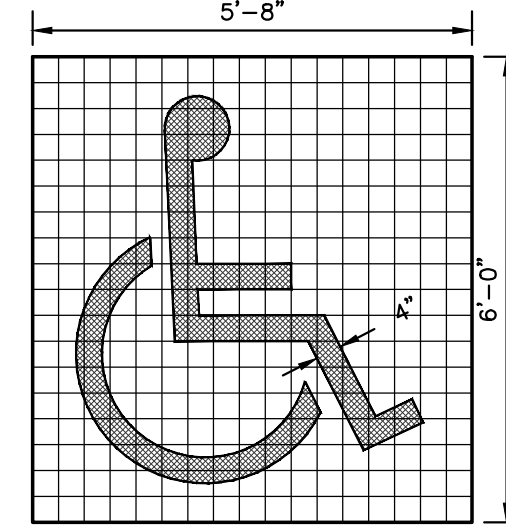
**RAIN GARDEN CROSS SECTION**

N.T.S.



**ADA ACCESSIBLE RAMP**

N.T.S.



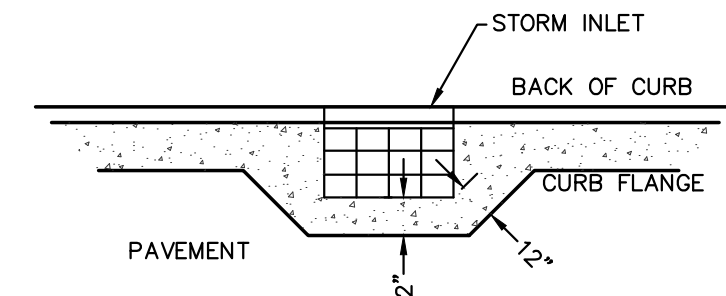
4'x4' GRID FOR LAYOUT PURPOSES ONLY FOR ALL ACCESSIBLE AND VAN ACCESSIBLE SPACES

**NOTE:**

SYMBOL DETAILS ARE SHOWN FOR INTENT ONLY. CONTRACTOR SHALL VERIFY EXACT REQUIREMENTS PRIOR TO CONSTRUCTION.

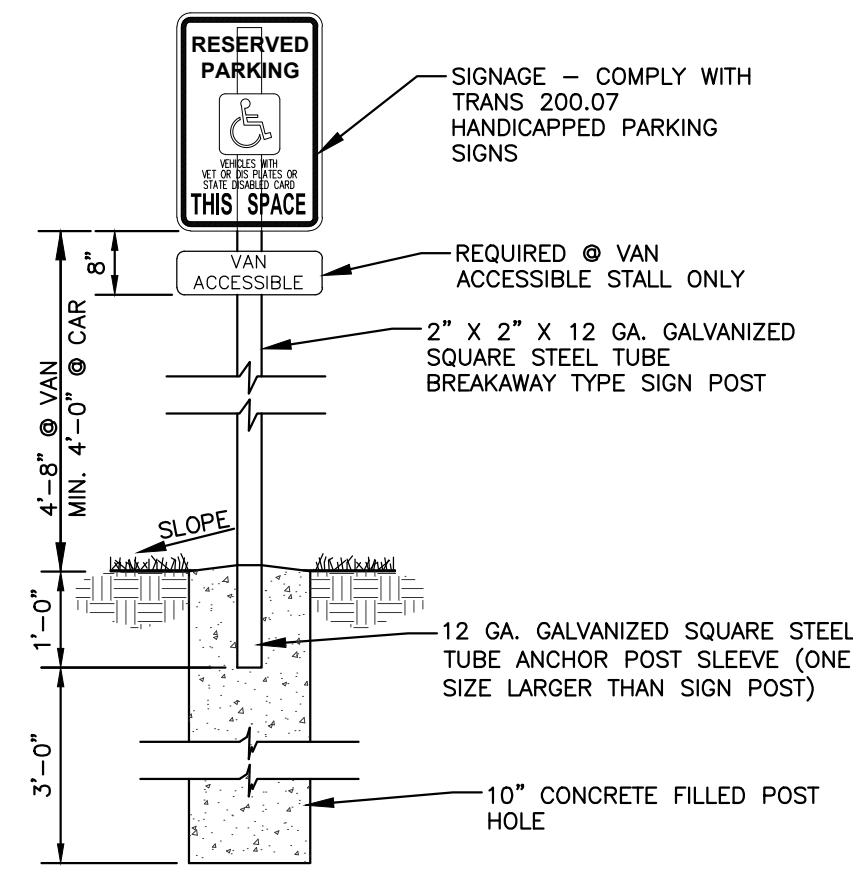
**ADA PARKING STALL MARKING**

N.T.S.



**CONCRETE INLET COLLAR**

N.T.S.

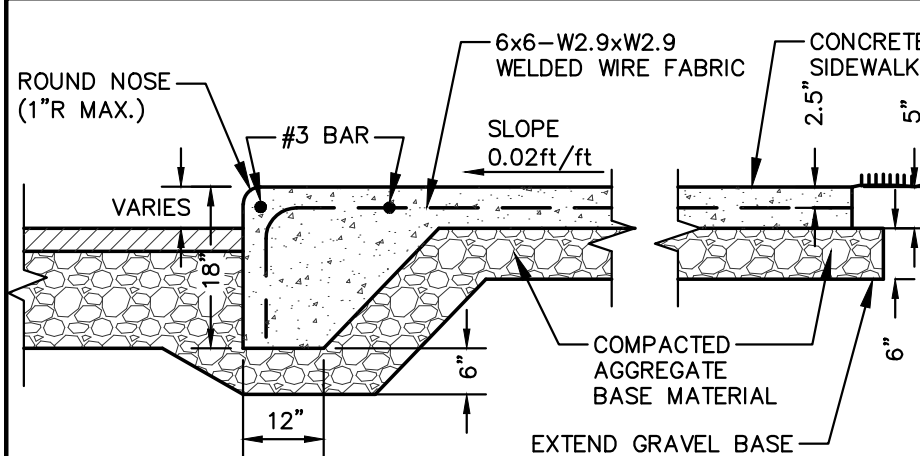


**NOTE:**

OPTION: DRIVEN POST MAY BE UTILIZED IN LIEU OF CONCRETE BASE. PROVIDE MIN. 3'-0" LONG ANCHOR POST SLEEVE.

**ADA SIGN**

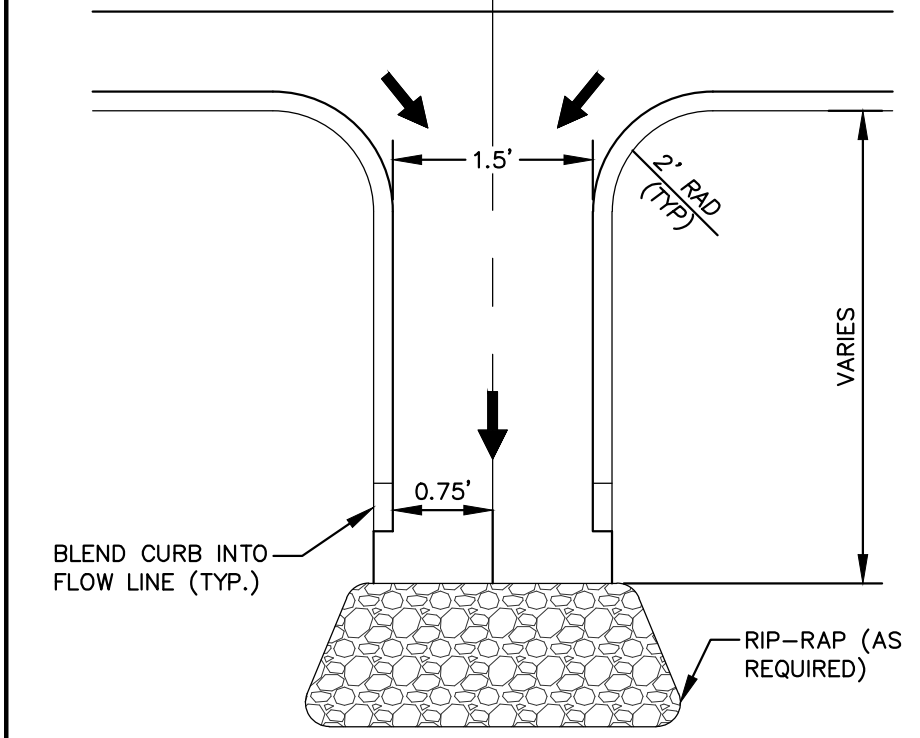
N.T.S.



**INTEGRAL CONCRETE CURB & WALK**

N.T.S.

REV. 11-20-2018



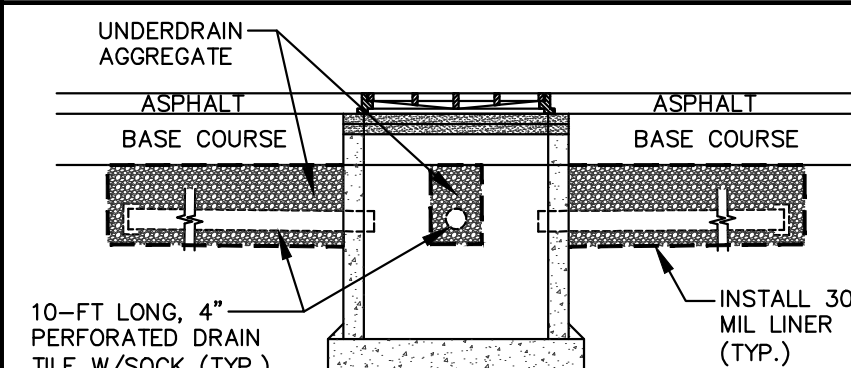
**GENERAL NOTES:**

- PITCH CONCRETE/ASPHALT AT 2% FROM FLOW LINE OF GUTTER SECTION TO C/L OF FLUME
- REFER TO C1.0 FOR GEOMETRY AND LENGTH OF FLUMES

**FLUME DETAIL**

N.T.S.

REV. 11-20-2018



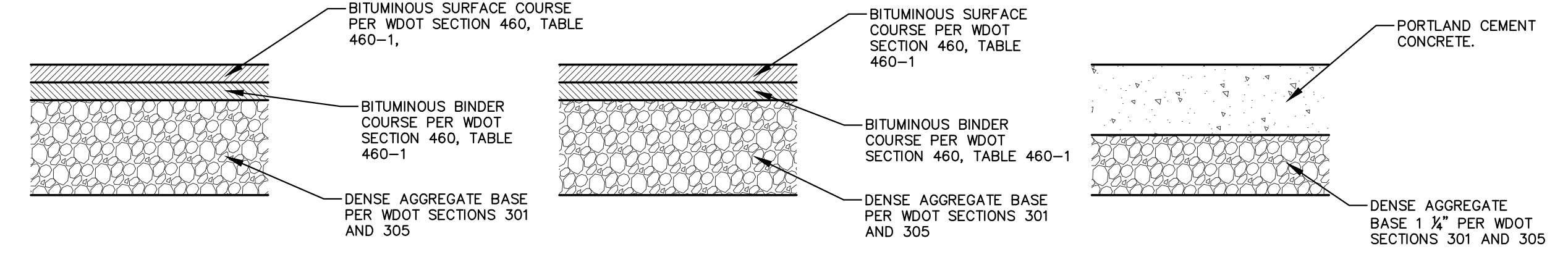
**GENERAL NOTES:**

- UNDERDRAINS SHALL BE INSTALLED ON ALL INLET/CATCH BASINS LOCATED WITHIN IMPERVIOUS PAVEMENTS.
- UNDERDRAIN CONNECTIONS SHALL BE CORED ONSITE.
- UNDERDRAIN VERTICAL LOCATION MAY VARY DEPENDING ON STORM SEWER PIPE LOCATION.
- ALTERNATIVE DESIGN MAY BE SUBSTITUTED IF SHOP DRAWINGS ARE SUBMITTED AND APPROVED BY THE CITY OF WAUKESHA.

**CATCH BASIN/INLET UNDERDRAIN**

N.T.S.

REV. 12-7-2018



**STANDARD ASPHALT PAVEMENT SECTION**

**HEAVY DUTY ASPHALT PAVEMENT SECTION**

**CONCRETE SIDEWALK SECTION**

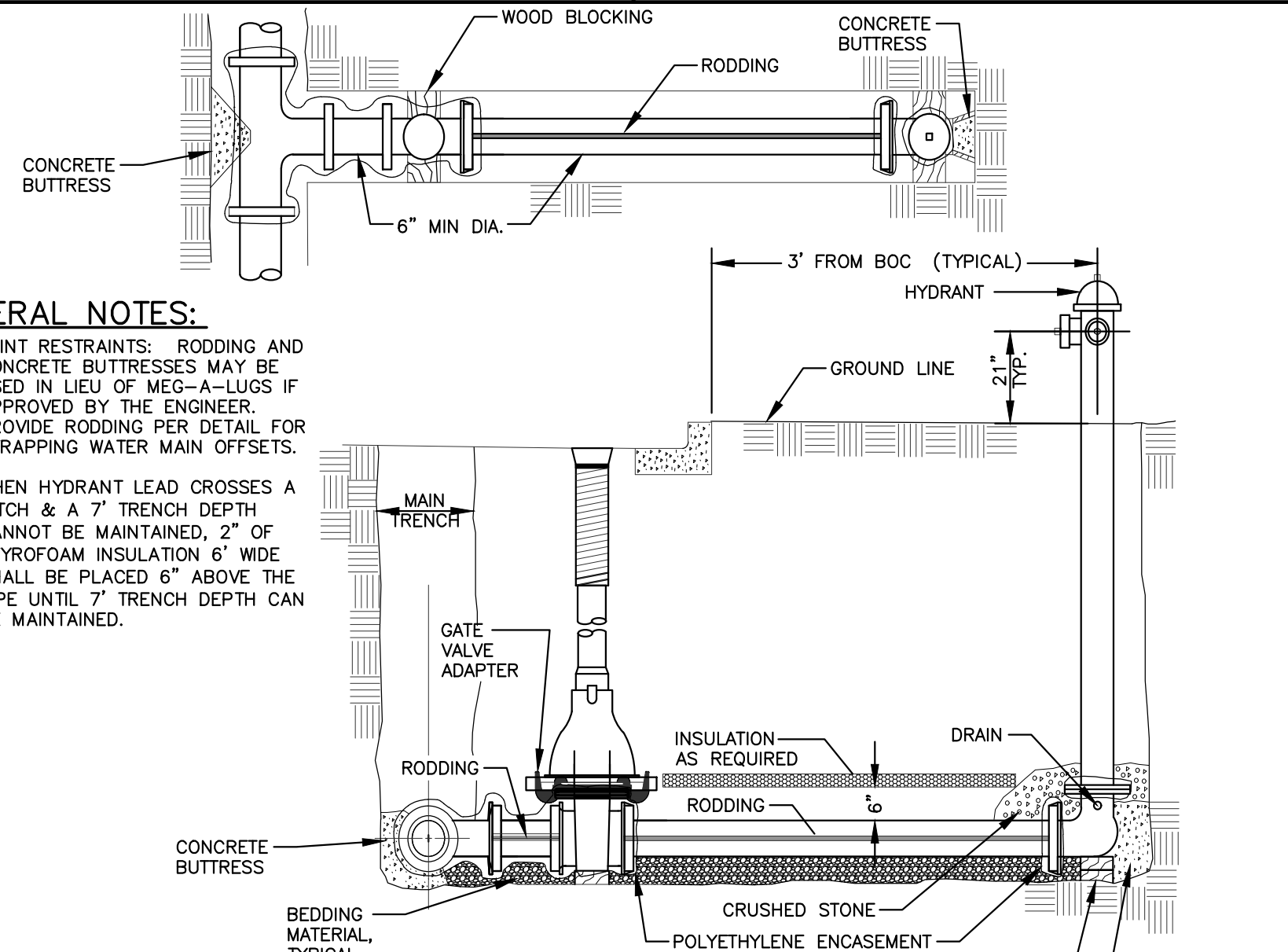
**GENERAL NOTES:**

- REFER TO PAVEMENT RECOMMENDATIONS IN THE GEOTECHNICAL INVESTIGATION REPORT. IF THERE ARE ANY DISCREPANCIES BETWEEN THIS DETAIL AND THE PAVEMENT RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL INVESTIGATION REPORT, THE GEOTECHNICAL REPORT SHALL GOVERN.
- WSDOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, INCLUDING SUPPLEMENTAL SPECIFICATIONS, COMPACTION REQUIREMENTS: - BITUMINOUS CONCRETE: REFER TO SECTION 460-3.3 - BASE COURSE: REFER TO SECTION 301.3.4.2, STANDARD COMPACTION.
- CONCRETE EQUIPMENT PADS SHALL HAVE PORTLAND CEMENTER CONCRETE OVER COMPACTED DENSE GRADED BASE WITH REINFORCEMENT FOR CRACK CONTROL.

**PAVEMENT SECTIONS**

N.T.S.

REV. 12-17-2018



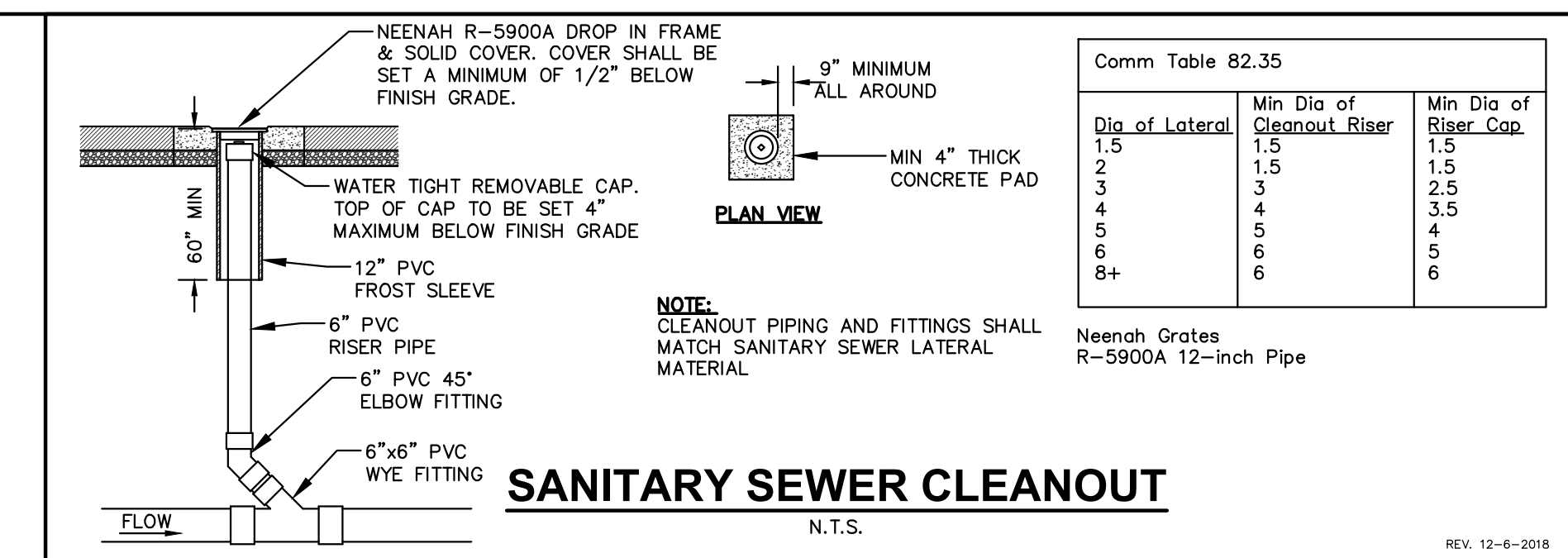
**GENERAL NOTES:**

- JOINT RESTRAINTS: RODDING AND CONCRETE BUTTRESSES MAY BE USED IN LIEU OF MEQ-A-LUGS IF APPROVED BY THE ENGINEER. PROVIDE RODDING PER DETAIL FOR STRAPPING WATER MAIN OFFSETS.
- WHEN HYDRANT LEAD CROSSES A DITCH & A 7' TRENCH DEPTH CANNOT BE MAINTAINED, 2" OF STYROFOAM INSULATION 6" WIDE SHALL BE PLACED 6" ABOVE THE PIPE UNTIL 7' TRENCH DEPTH CAN BE MAINTAINED.

**FIRE HYDRANT AND VALVE ASSEMBLY**

N.T.S.

REV. 12-7-2018



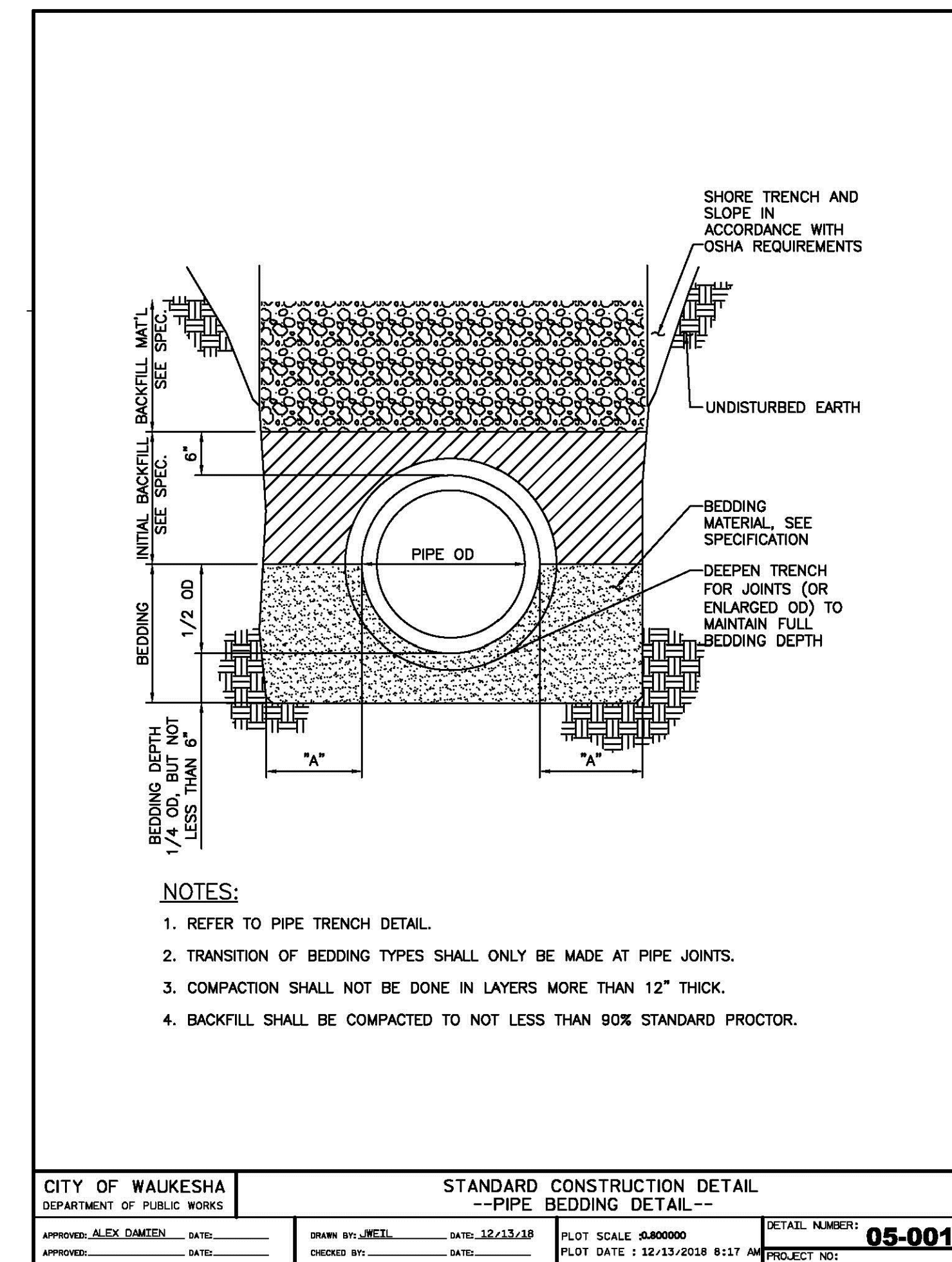
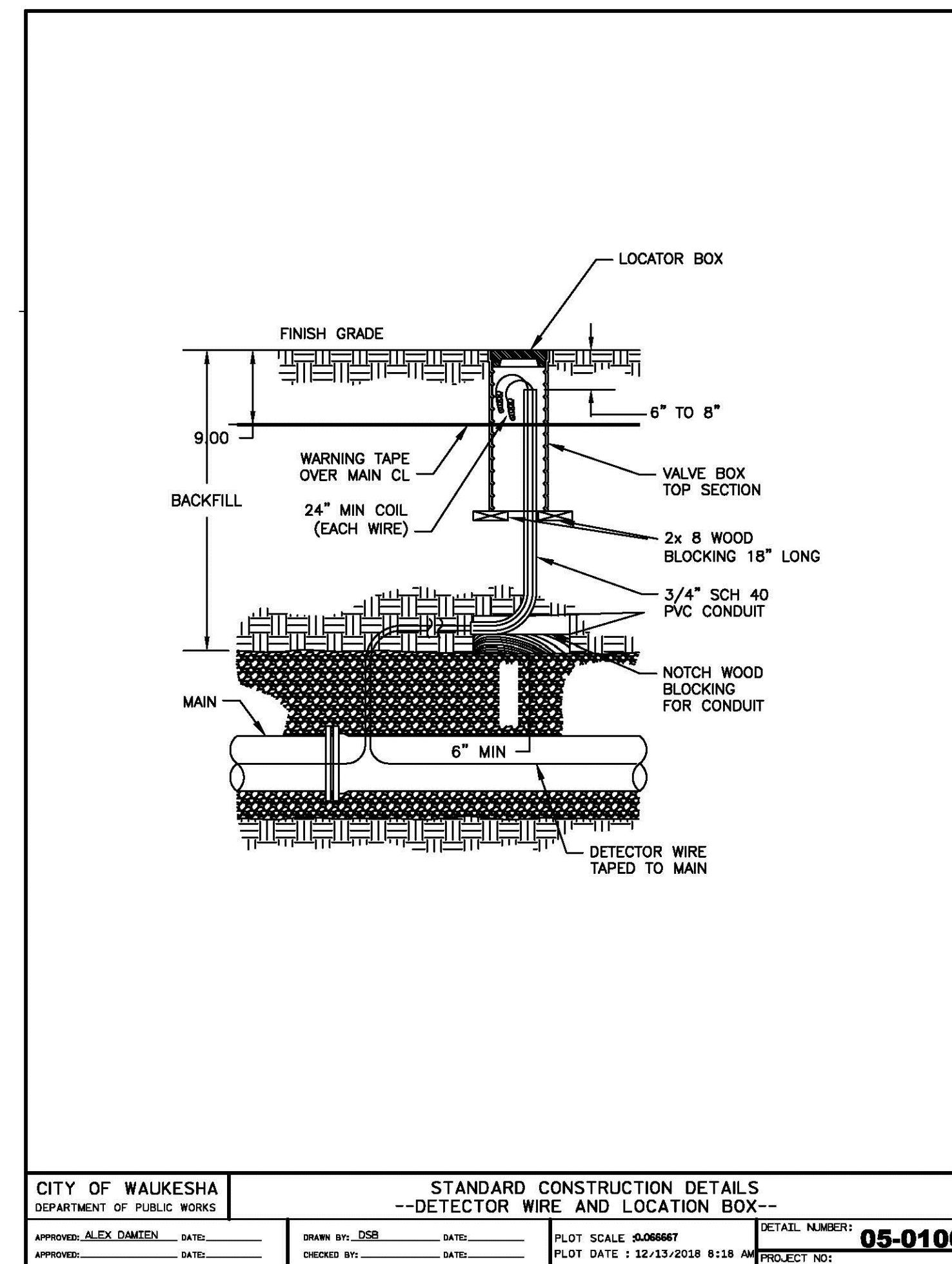
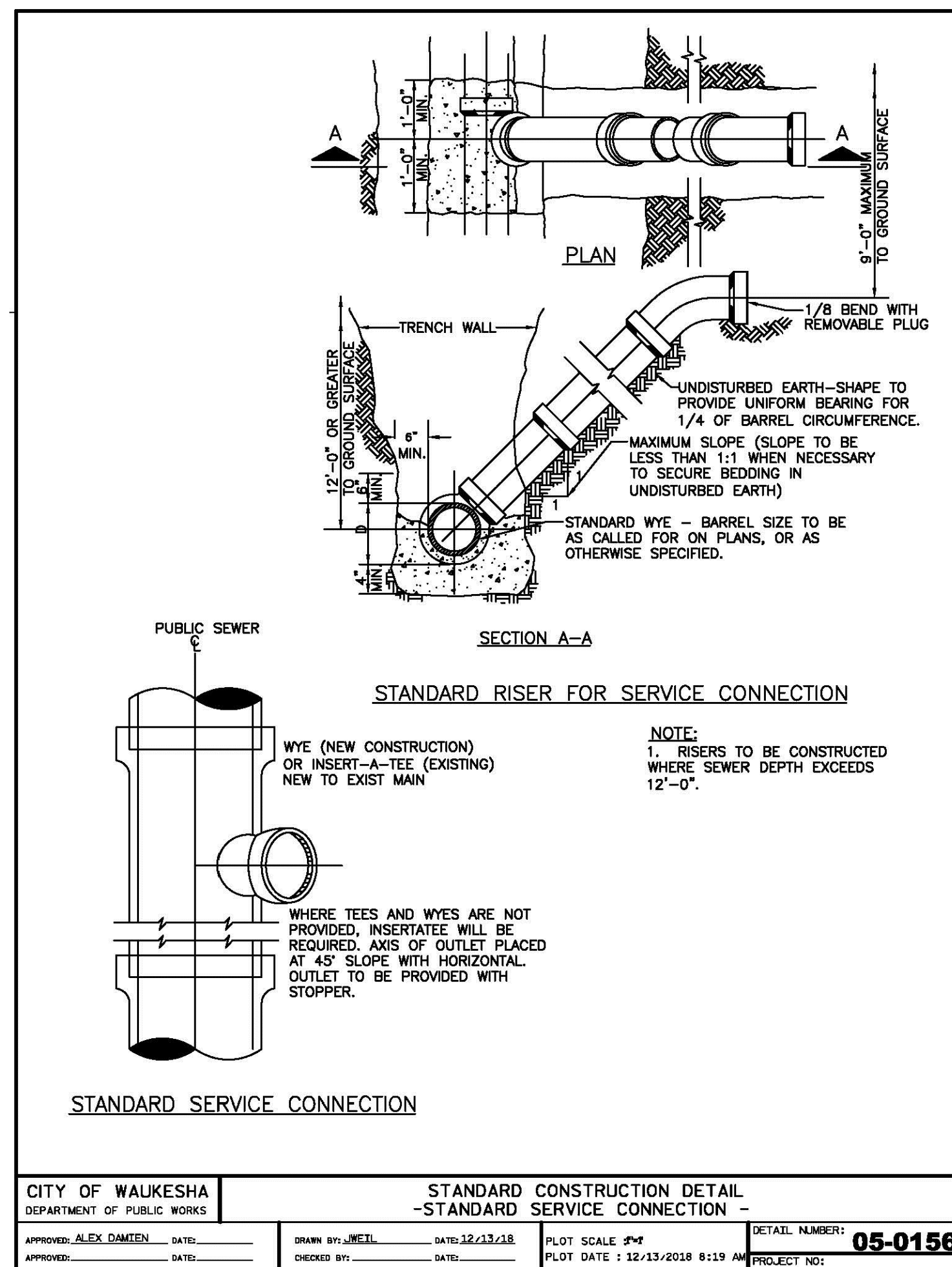
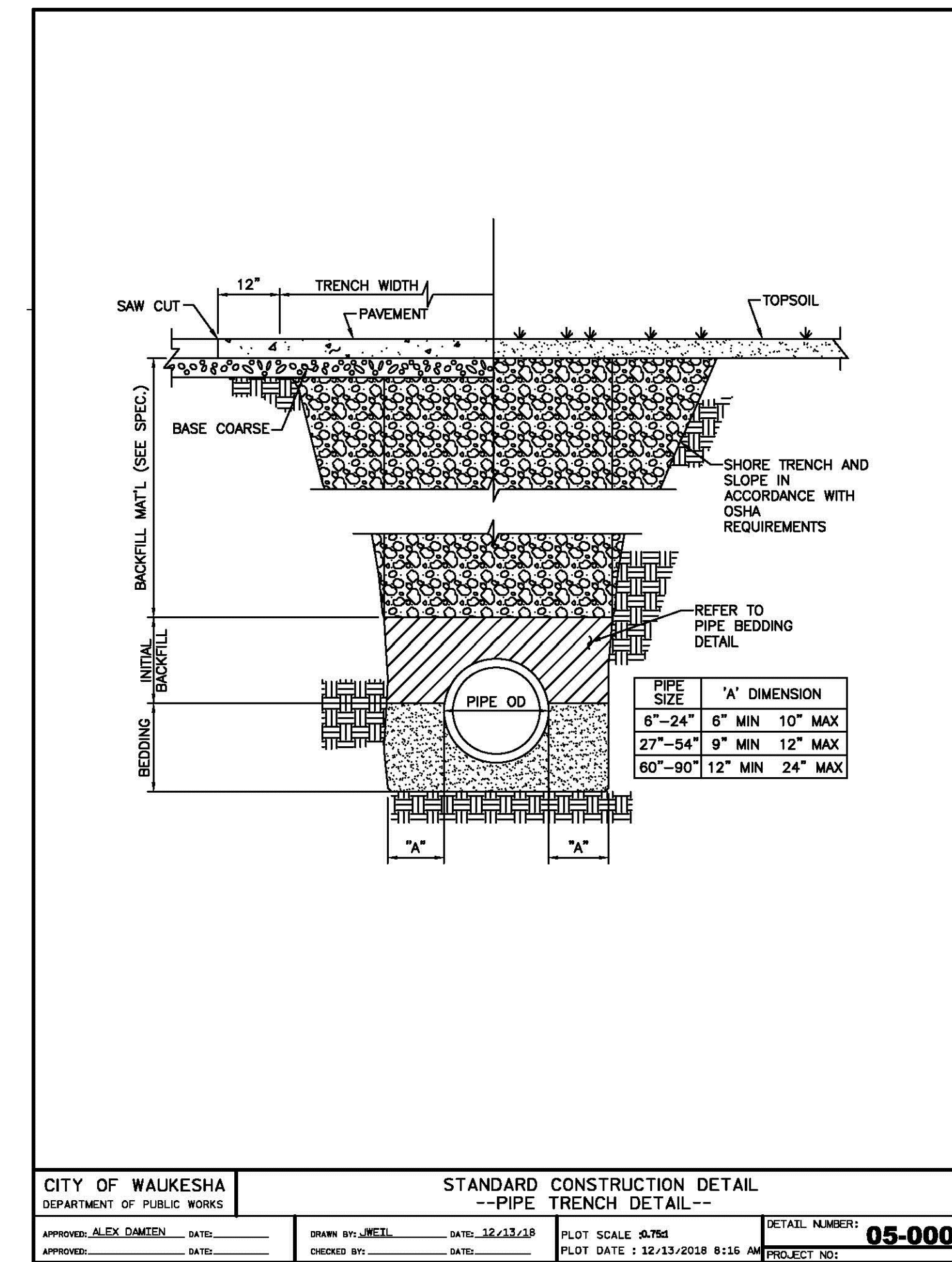
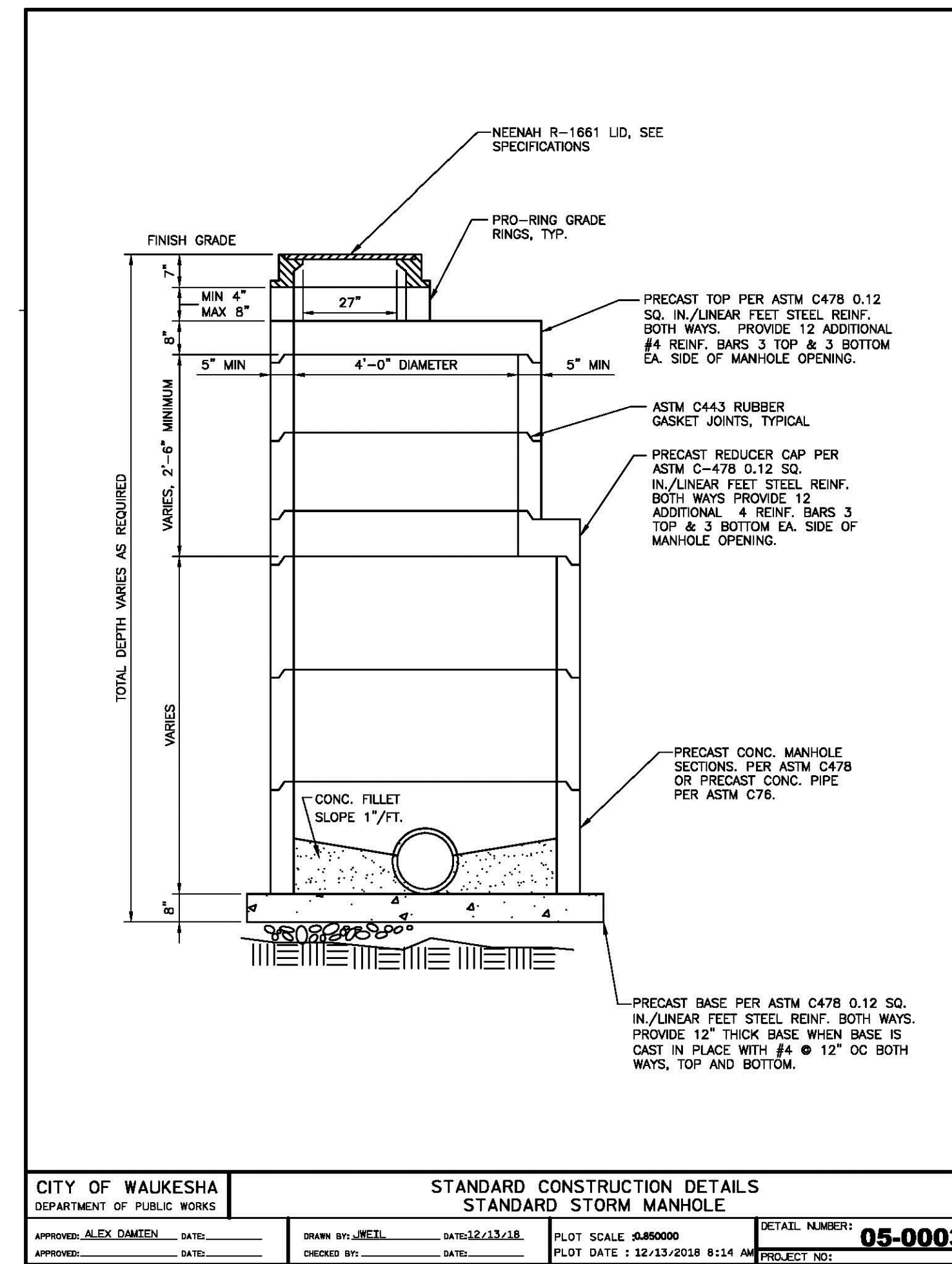
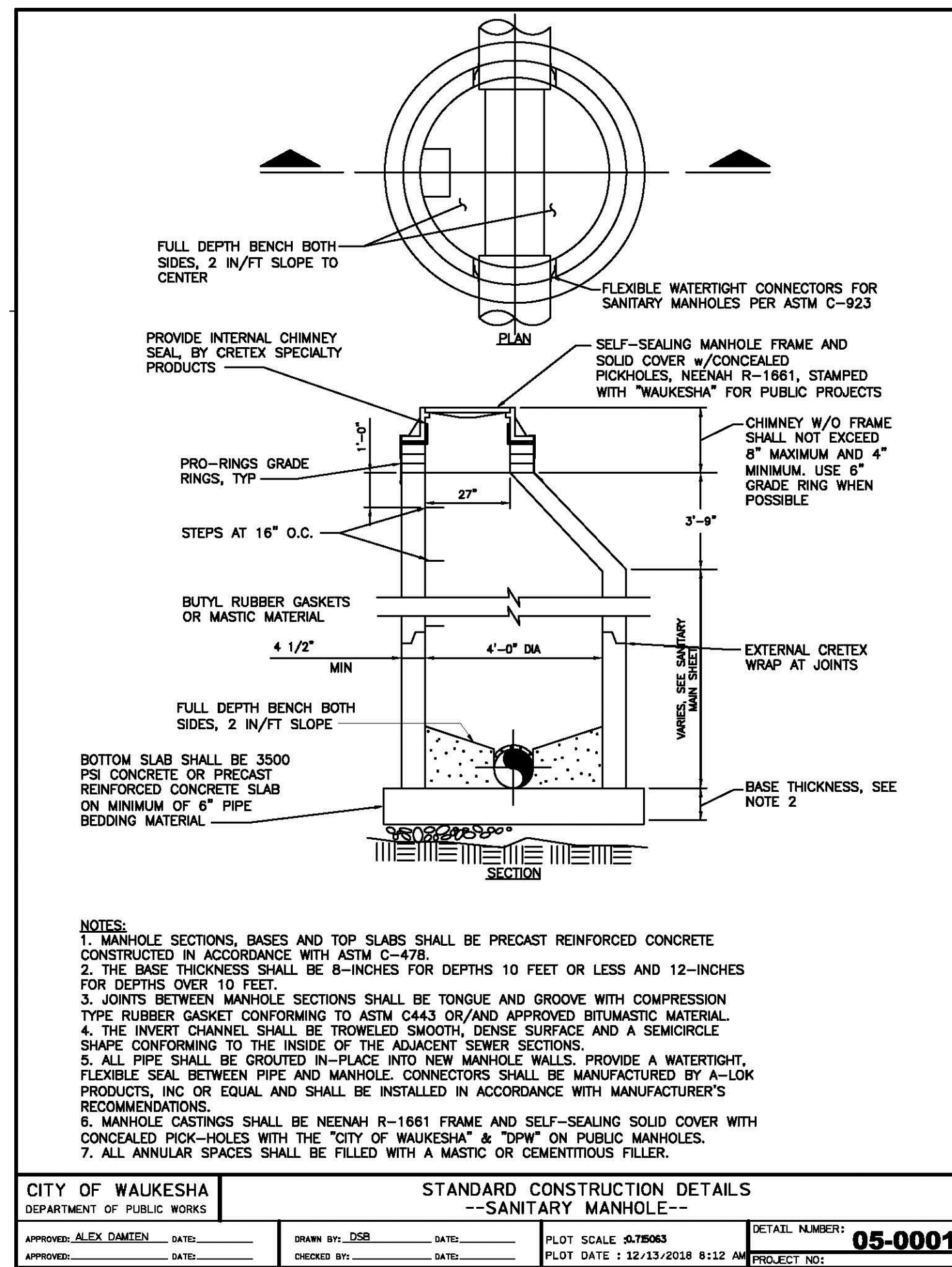
**SANITARY SEWER CLEANOUT**

N.T.S.

REV. 12-6-2018



File: R:\010181-8880 Clearwater Apartments\Drawings\18-8880 C5.3 - Details.dwg Layout: C5.3 User: pmarione Plotted: Jun 10, 2019 8:18am Xref:



CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE  
KENOSHA | APPLETON | WAUSAU

**MILWAUKEE REGIONAL OFFICE**  
W238N1610 BUSSE ROAD, SUITE 100  
WAUKESHA, WISCONSIN 53188  
P. 262.513.0666

CLIENT:  
**PURE ARCHITECTURE**  
**STUDIO, LLC**

CLIENT ADDRESS:  
**735 N. WATER STREET, SUITE 1228**  
**MILWAUKEE, WI 53202**

PROJECT:  
**CLEARWATER**  
**APARTMENT PHASE 2**

PROJECT LOCATION:  
**CITY OF WAUKESHA**  
**WAUKESHA COUNTY, WISCONSIN**

PLAN MODIFICATIONS:

#	Date:	Description:
1	03/22/19	Municipal Review
2	05/20/19	Common Council Submittal
3	06/10/19	Planning Commission Submittal
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

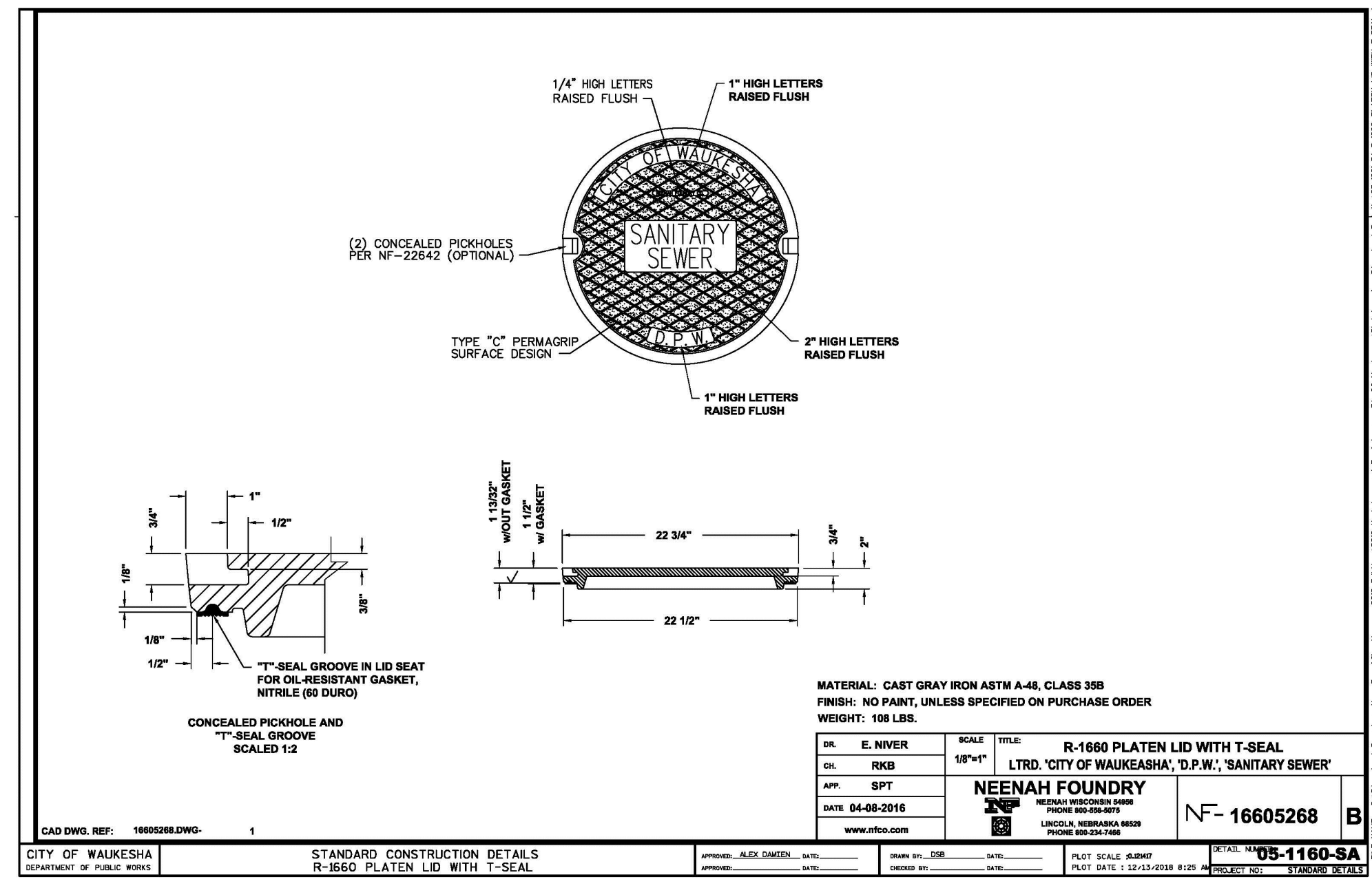
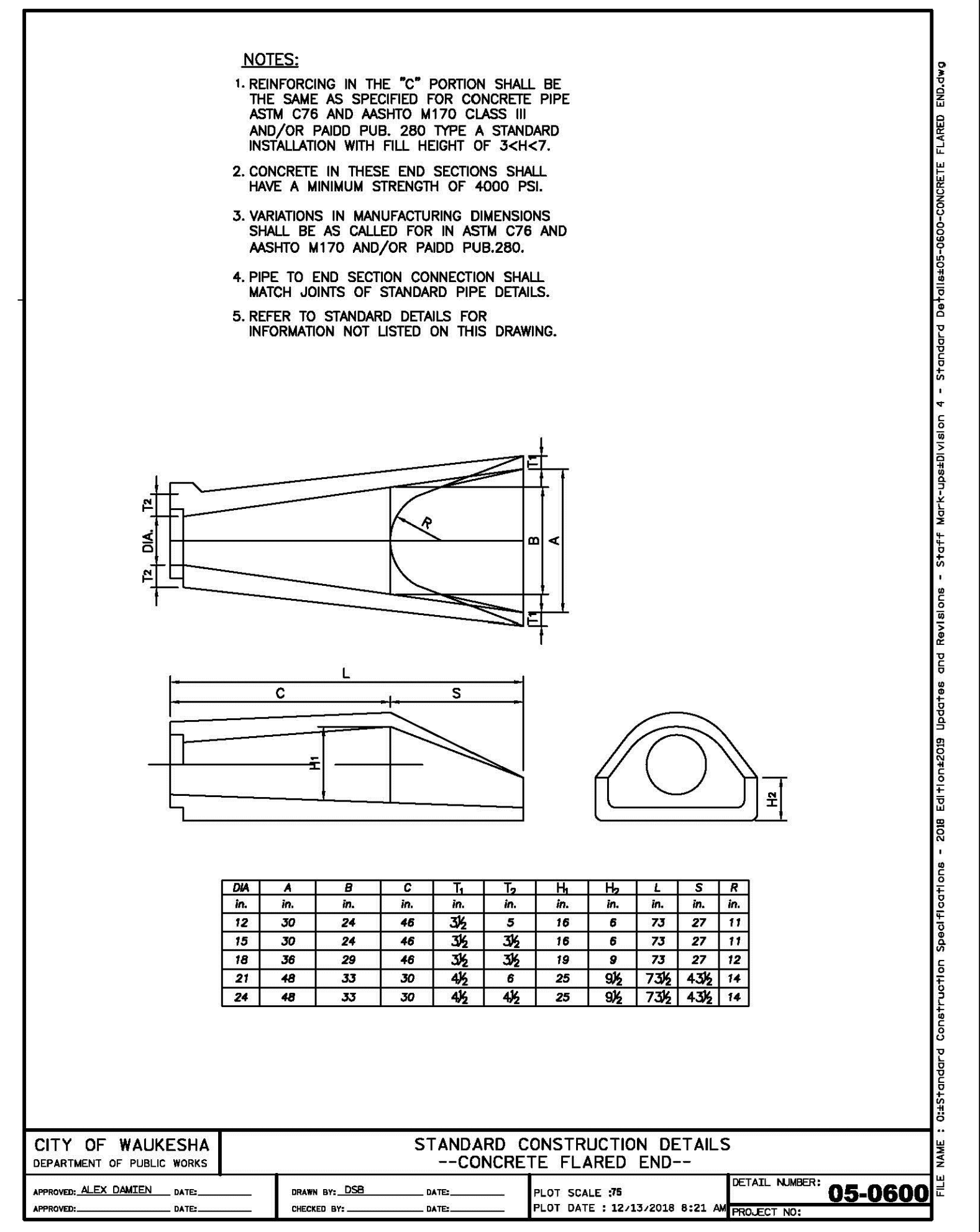
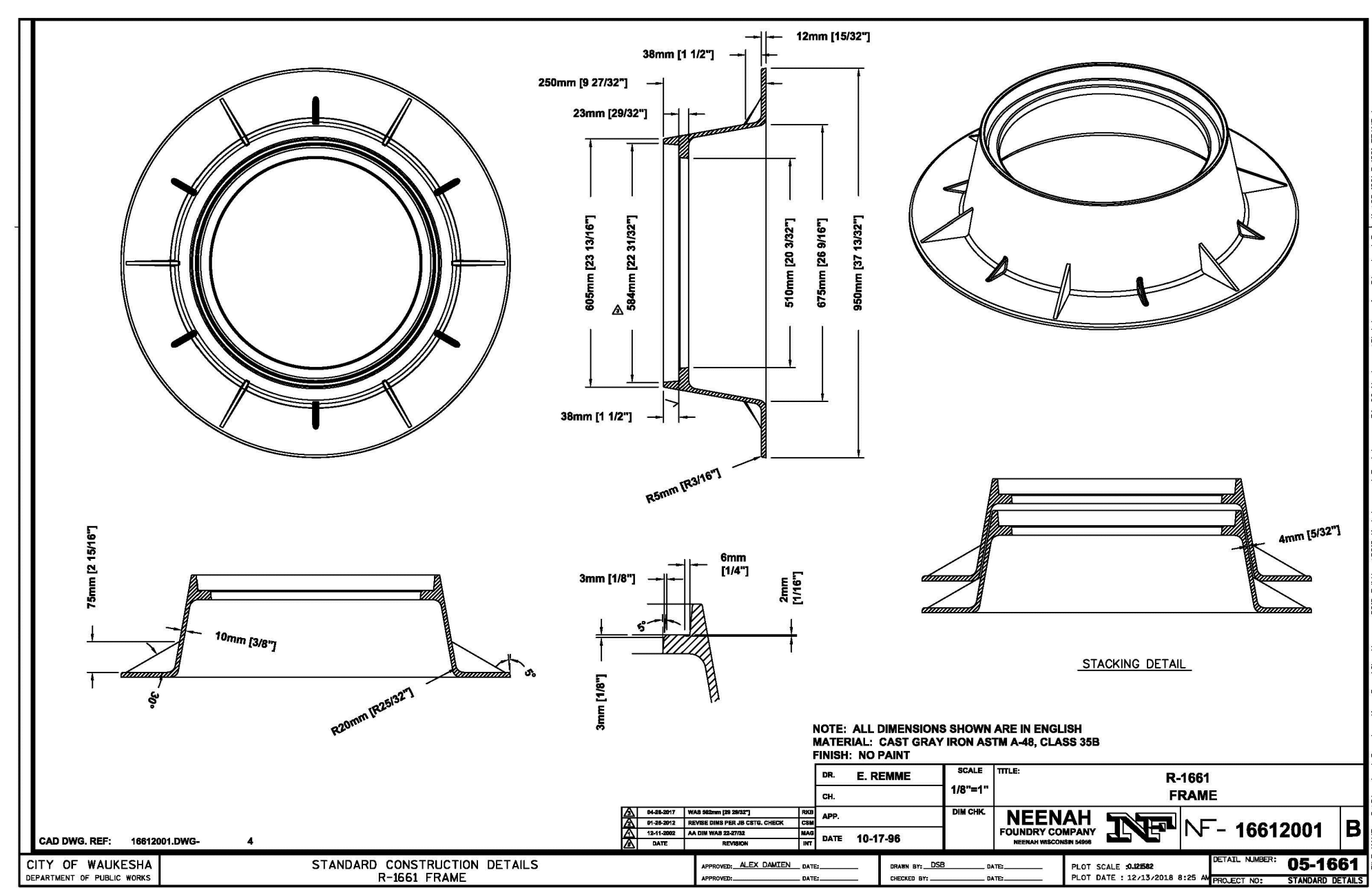
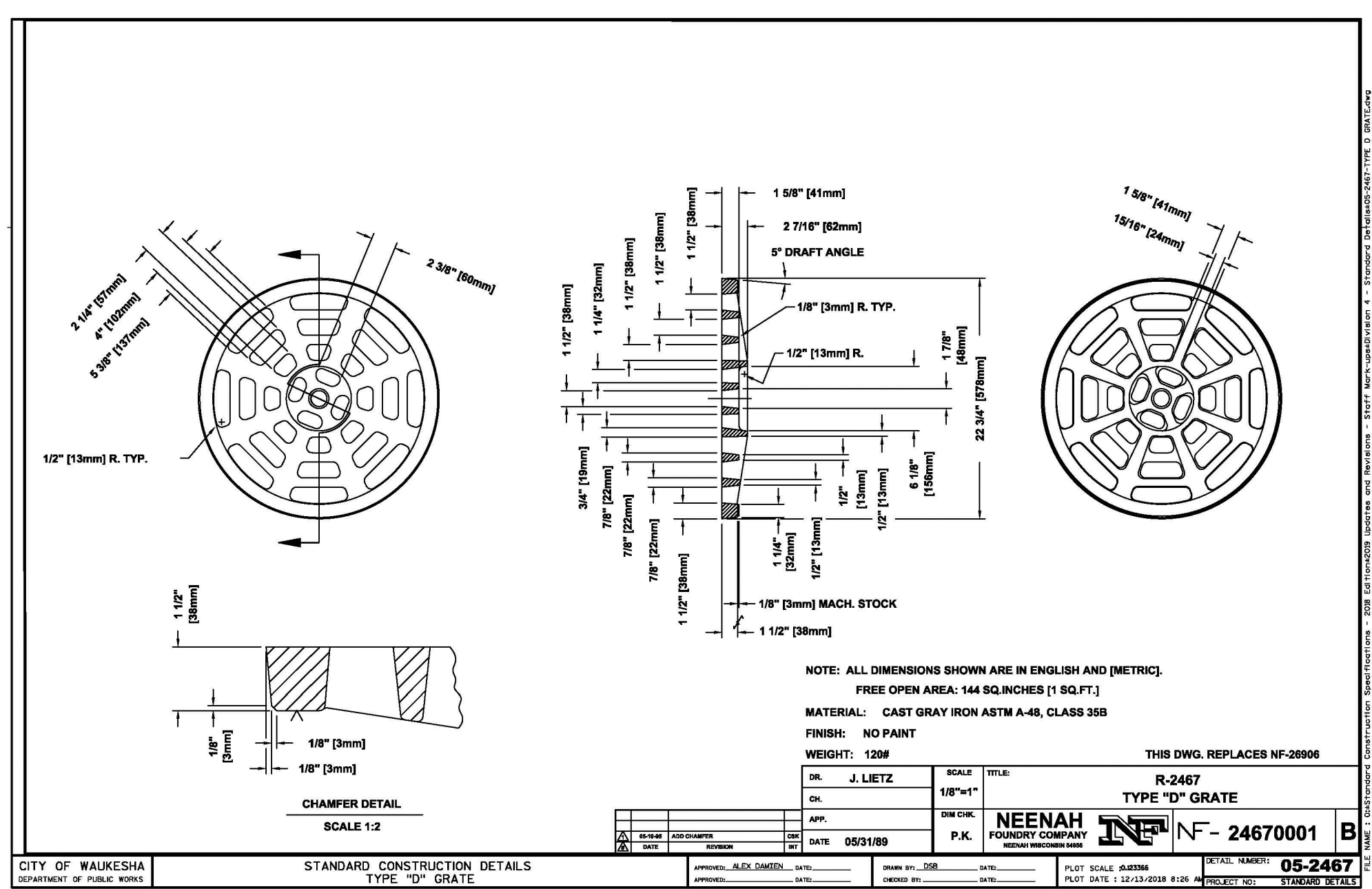
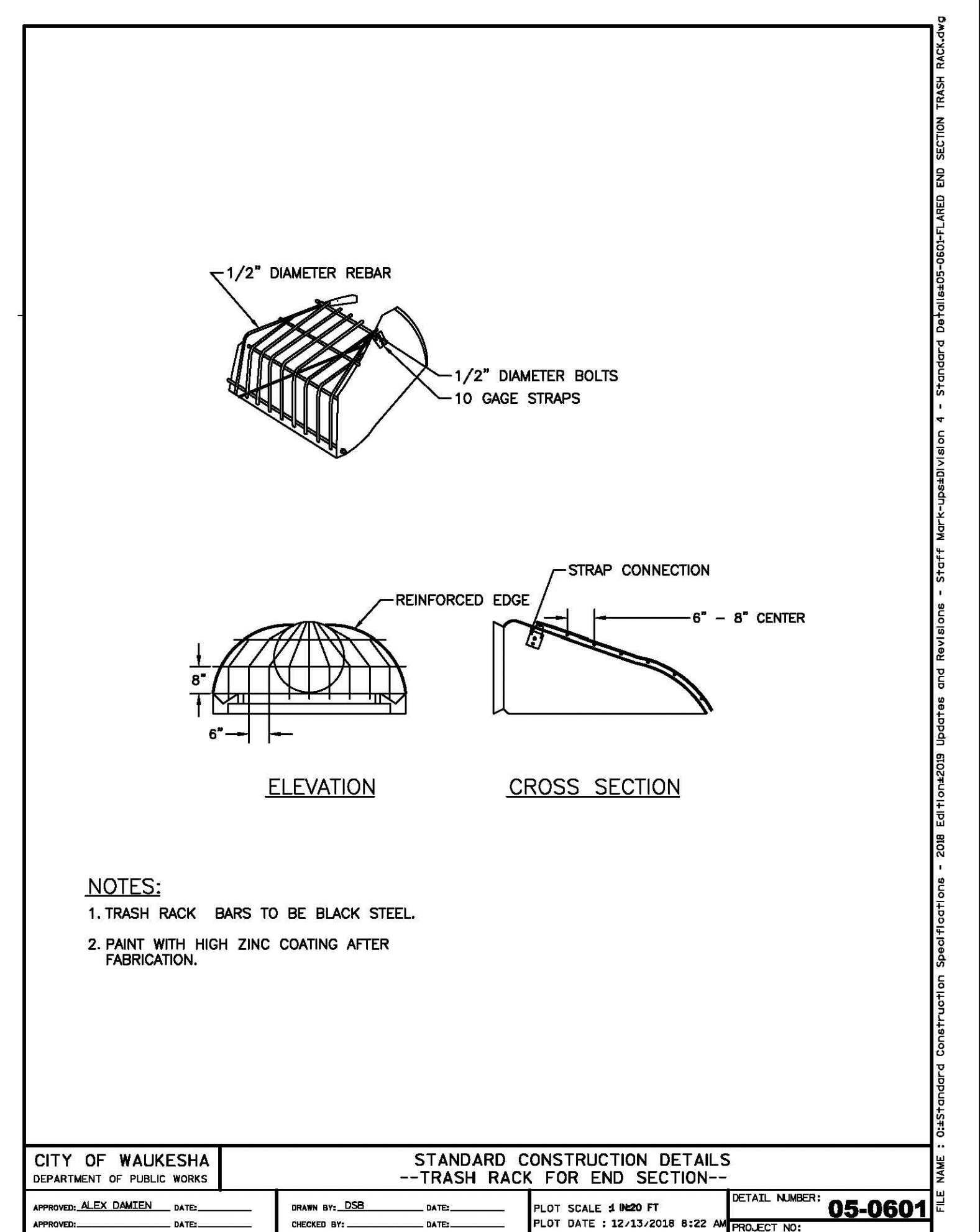
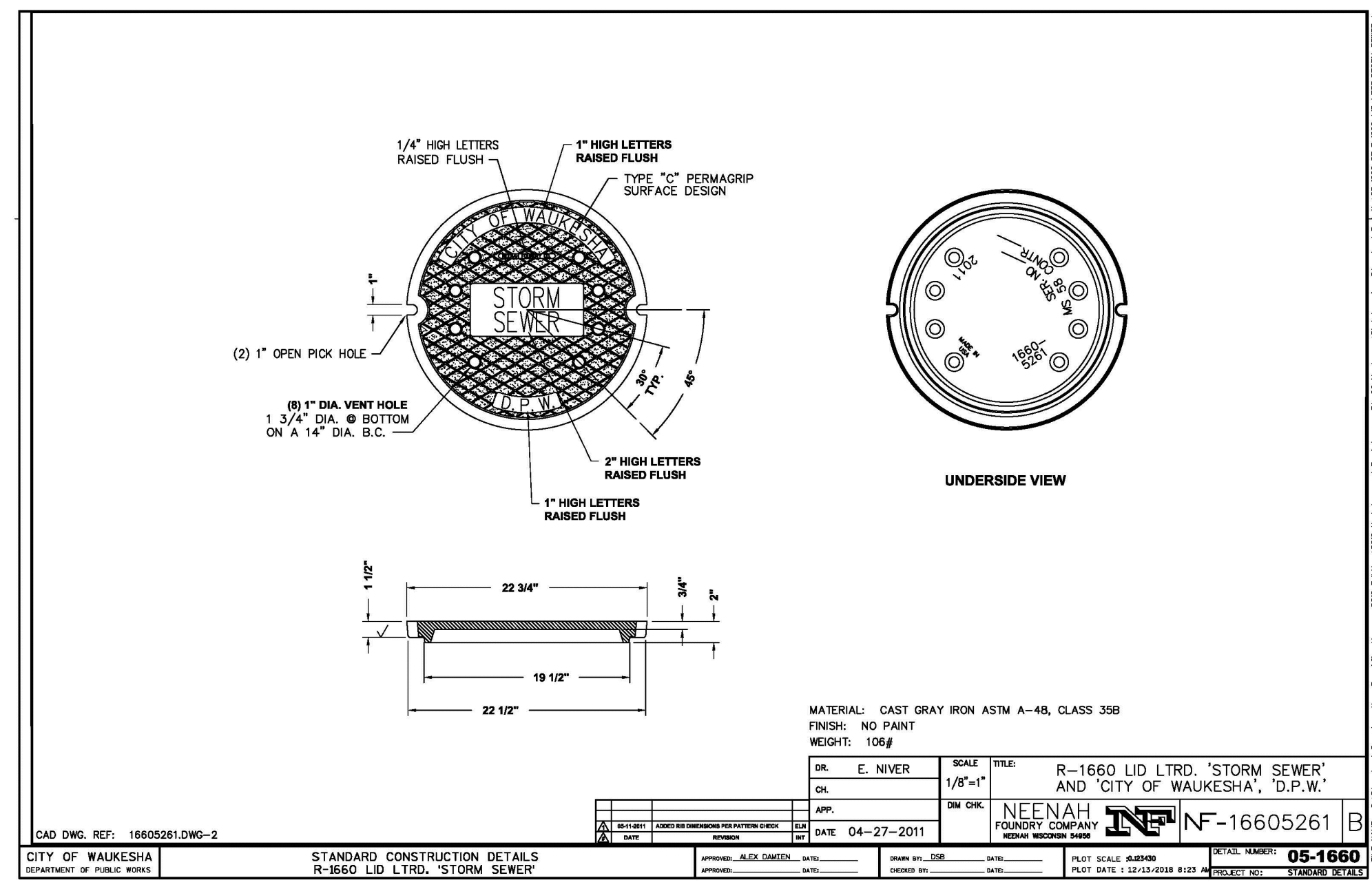
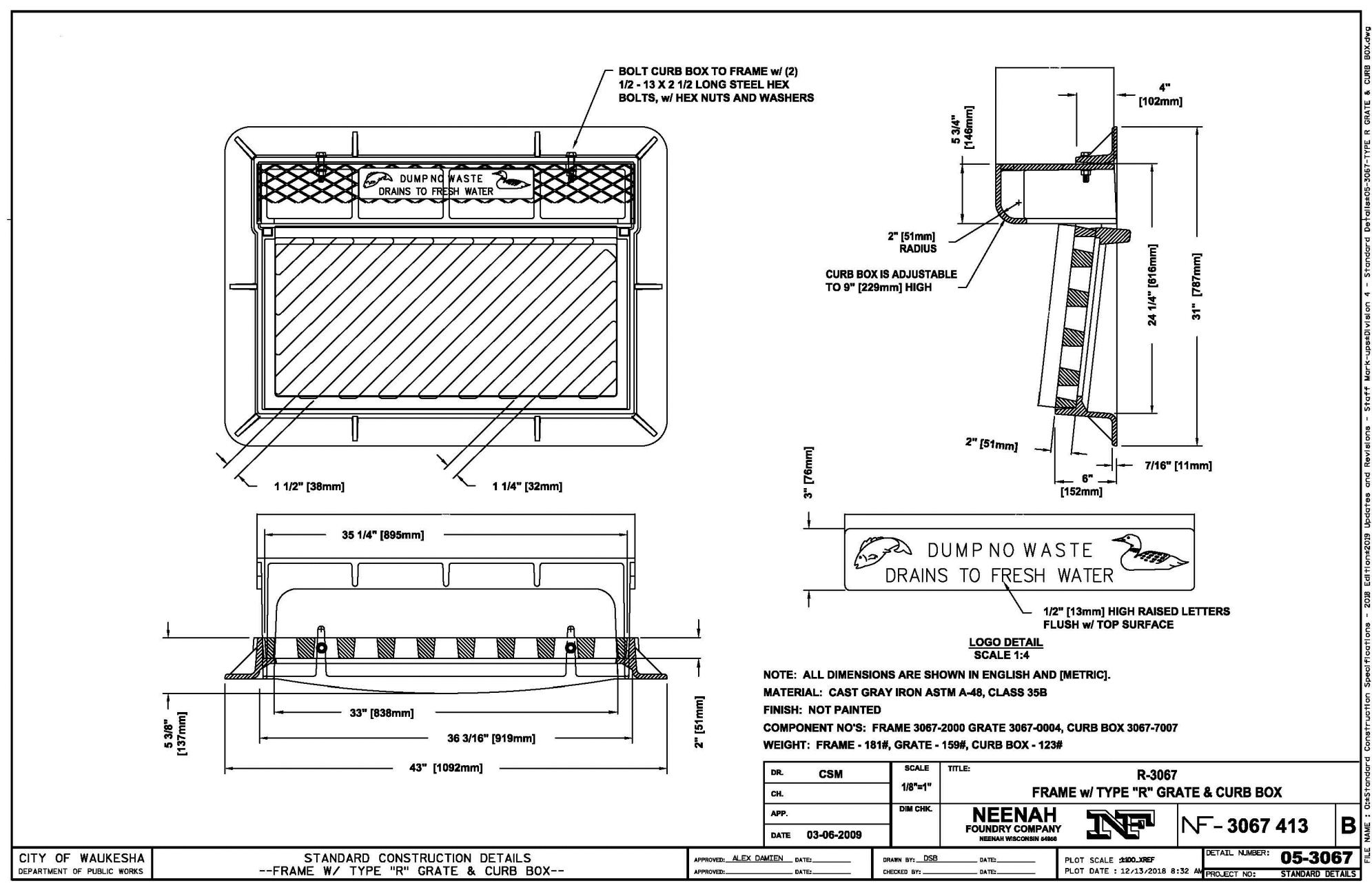
Design/Drawn: **APM**  
Approved: **RWI**

SHEET TITLE:  
**DETAILS**

SHEET NUMBER:  
**C5.3**  
JSD PROJECT NO: 18-8890

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.





CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE  
KENOSHA | APPLETON | WAUSAU

MILWAUKEE REGIONAL OFFICE  
W238N1610 BUSSE ROAD, SUITE 100  
WAUKESHA, WISCONSIN 53188  
P. 262.513.0666

CLIENT:  
**PURE ARCHITECTURE  
STUDIO, LLC**

CLIENT ADDRESS:  
**735 N. WATER STREET, SUITE 1228  
MILWAUKEE, WI 53202**

PROJECT:  
**CLEARWATER  
APARTMENT PHASE 2**

PROJECT LOCATION:  
**CITY OF WAUKESHA  
WAUKESHA COUNTY, WISCONSIN**

**PLAN MODIFICATIONS:**

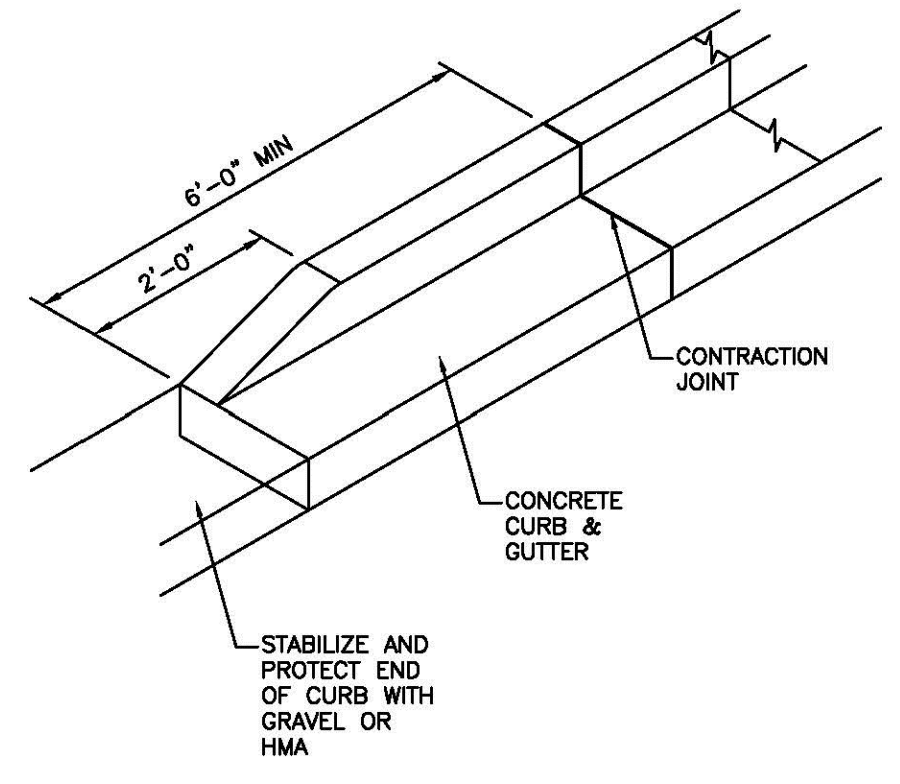
#	Date:	Description:
1	03/22/19	Municipal Review
2	05/20/19	Common Council Submittal
3	06/10/19	Planning Commission Submittal
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Design/Drawn: **APM**  
Approved: **RWI**

SHEET TITLE:  
**DETAILS**

SHEET NUMBER:  
**C5.4**

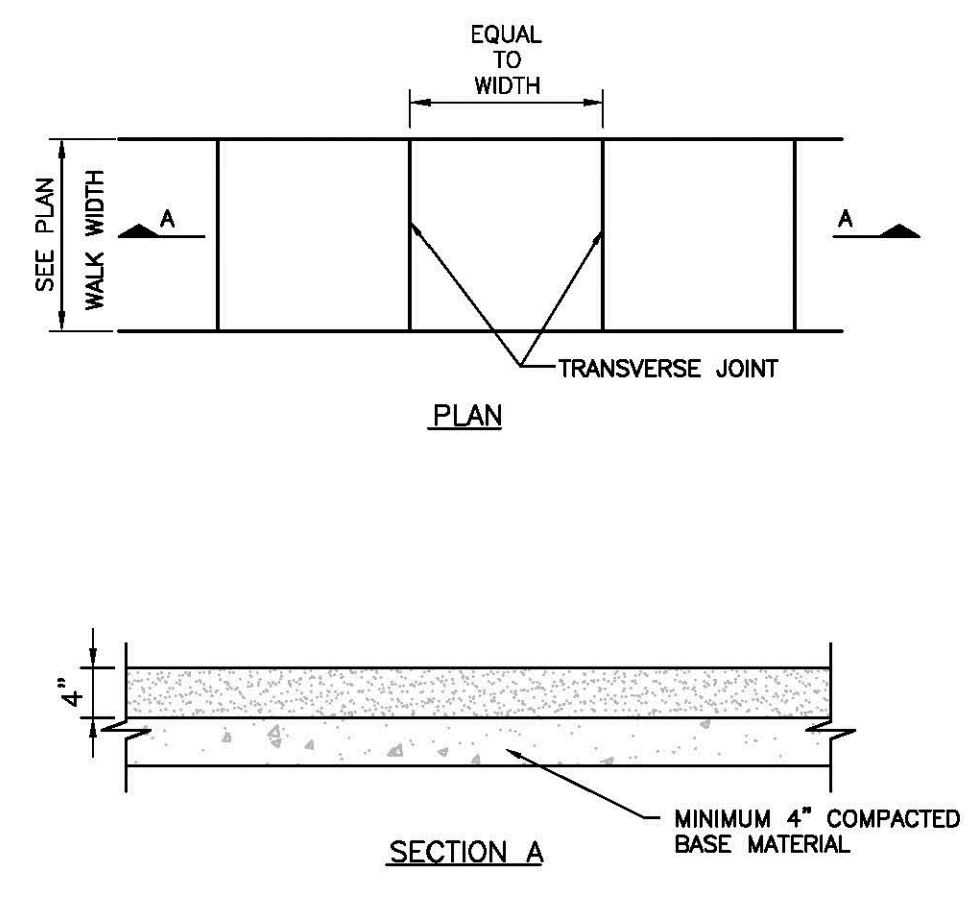




CITY OF WAUKESHA  
DEPARTMENT OF PUBLIC WORKS

STANDARD CONSTRUCTION DETAILS  
--CURB TAPER--

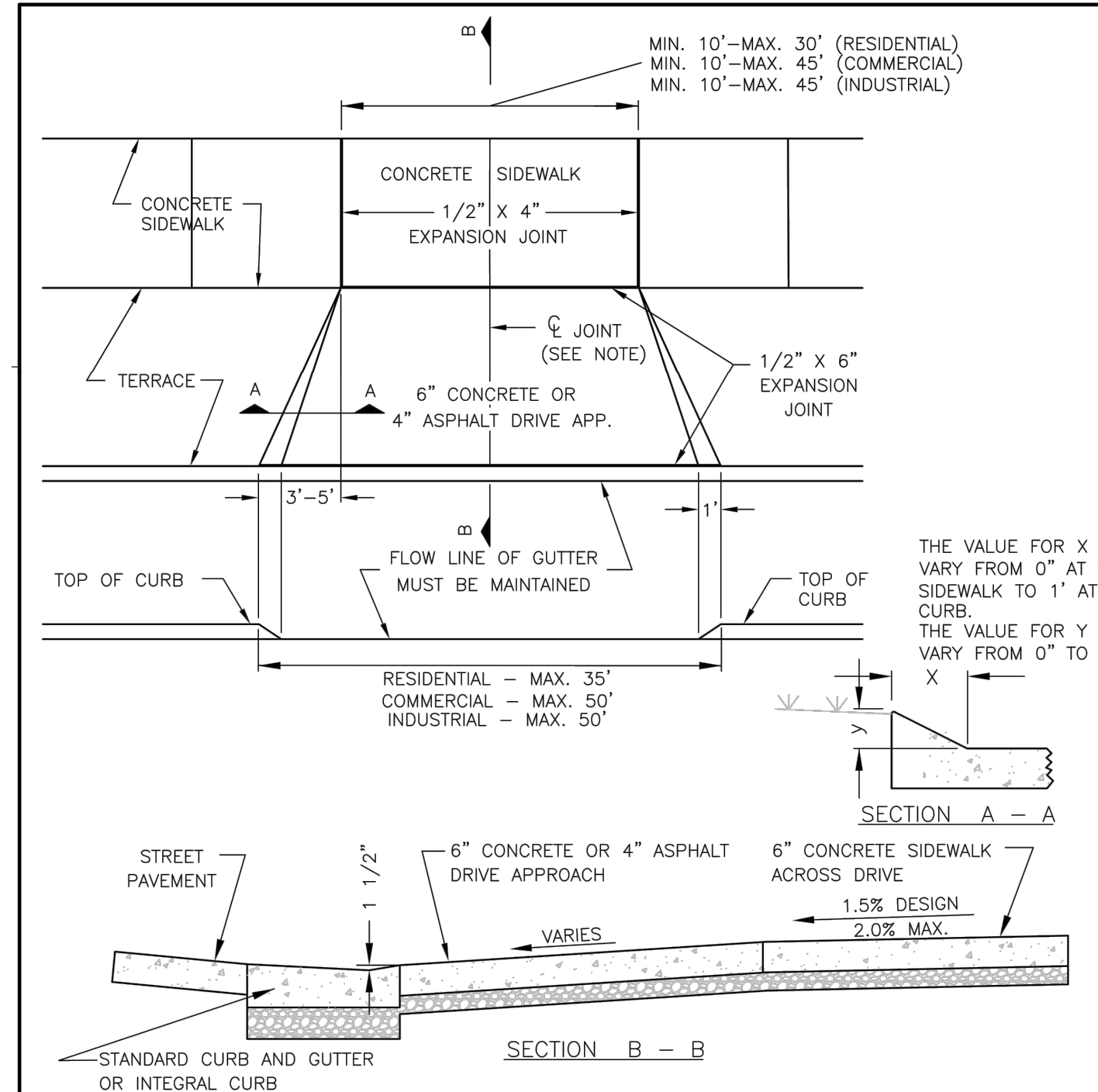
APPROVED: ALEX DAMEN DATE: \_\_\_\_\_ DRAWN BY: JBC DATE: 12/13/18 PLOT SCALE: 1" = 1' DETAIL NUMBER: 07-0252  
 APPROVED: \_\_\_\_\_ DATE: \_\_\_\_\_ CHECKED BY: \_\_\_\_\_ DATE: \_\_\_\_\_ PLOT DATE: 12/13/2018 8:42 AM PROJECT NO: \_\_\_\_\_



CITY OF WAUKESHA  
DEPARTMENT OF PUBLIC WORKS

STANDARD CONSTRUCTION DETAILS  
--CONCRETE SIDEWALK--

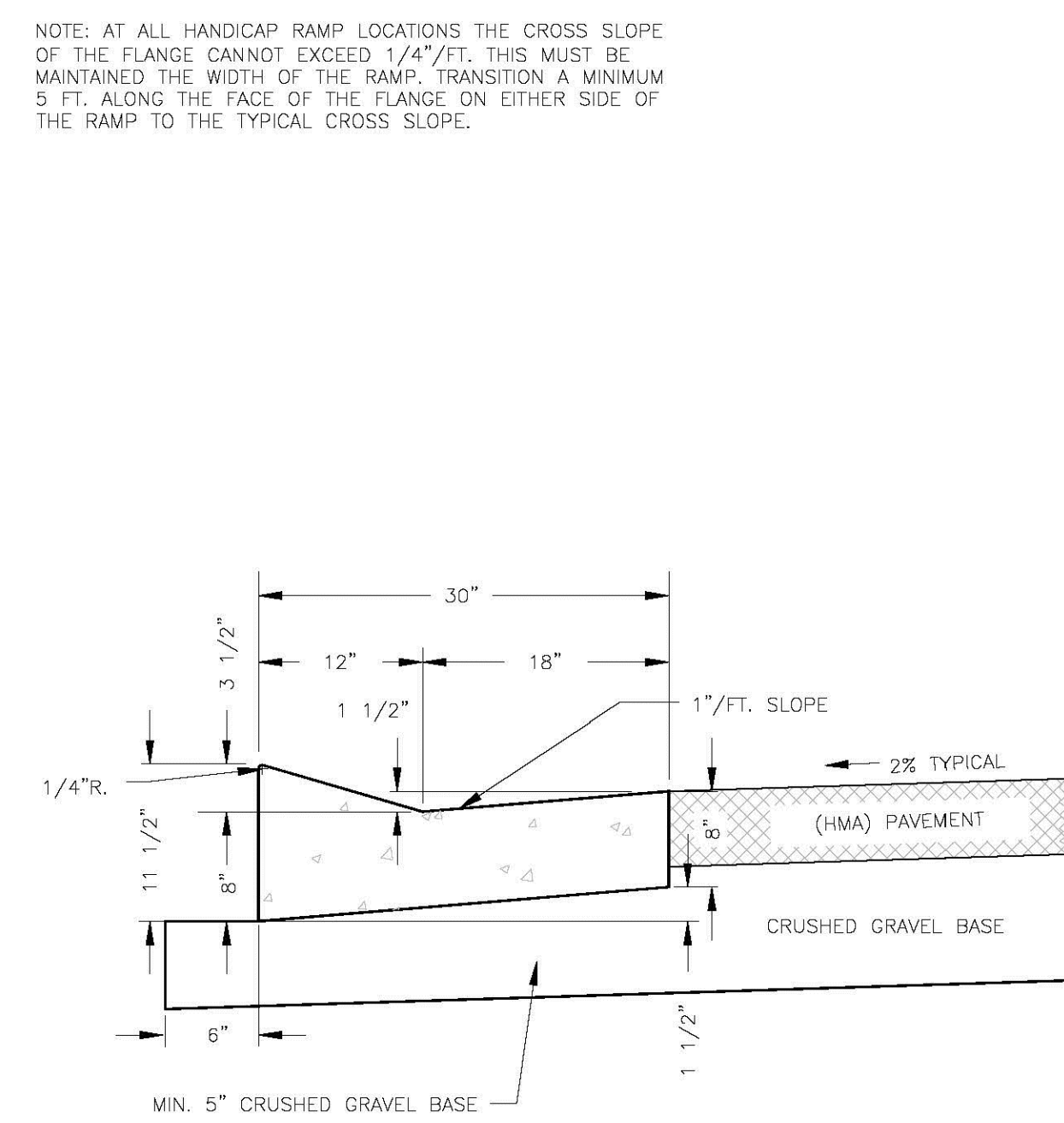
APPROVED: ALEX DAMEN DATE: \_\_\_\_\_ DRAWN BY: DSB DATE: 12/13/18 PLOT SCALE: 1" = 1' DETAIL NUMBER: 07-0300  
 APPROVED: \_\_\_\_\_ DATE: \_\_\_\_\_ CHECKED BY: \_\_\_\_\_ DATE: \_\_\_\_\_ PLOT DATE: 12/13/2018 8:44 AM PROJECT NO: \_\_\_\_\_



CITY OF WAUKESHA  
DEPARTMENT OF PUBLIC WORKS

STANDARD CONSTRUCTION DETAILS  
--STANDARD DRIVE APPROACH--

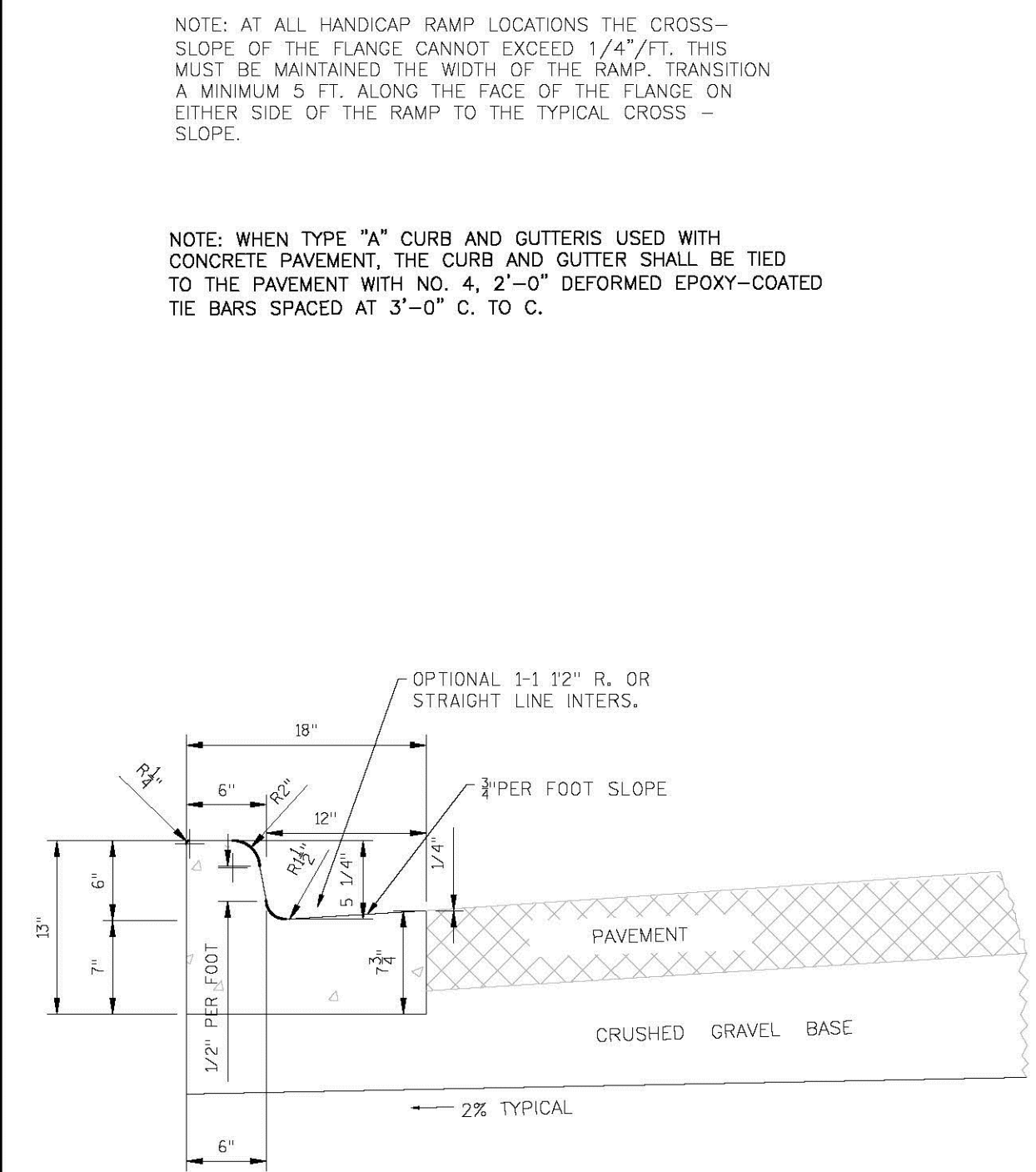
APPROVED: ALEX DAMEN DATE: \_\_\_\_\_ DRAWN BY: DSB DATE: 12/13/18 PLOT SCALE: 1" = 1' DETAIL NUMBER: 07-0320  
 APPROVED: \_\_\_\_\_ DATE: \_\_\_\_\_ CHECKED BY: \_\_\_\_\_ DATE: \_\_\_\_\_ PLOT DATE: 12/13/2018 8:44 AM PROJECT NO: \_\_\_\_\_



CITY OF WAUKESHA  
DEPARTMENT OF PUBLIC WORKS

STANDARD CONSTRUCTION DETAILS  
30" COMB. CURB & GUTTER

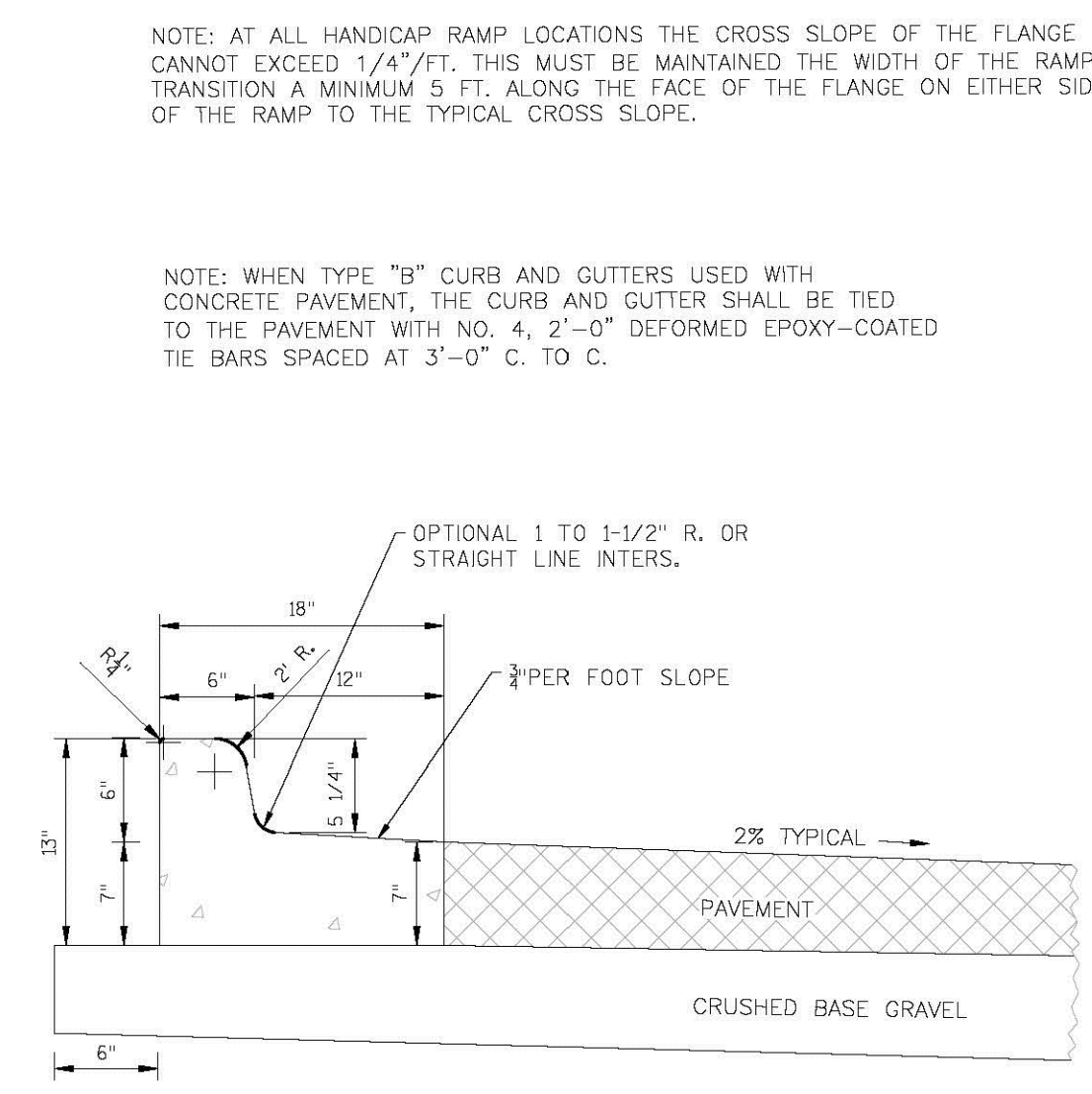
APPROVED: ALEX DAMEN DATE: \_\_\_\_\_ DRAWN BY: DSB DATE: 12/13/18 PLOT SCALE: 1" = 1' DETAIL NUMBER: 07-0332  
 APPROVED: \_\_\_\_\_ DATE: \_\_\_\_\_ CHECKED BY: \_\_\_\_\_ DATE: \_\_\_\_\_ PLOT DATE: 12/13/2018 8:49 AM PROJECT NO: \_\_\_\_\_



CITY OF WAUKESHA  
DEPARTMENT OF PUBLIC WORKS

STANDARD CONSTRUCTION DETAILS  
18-INCH TYPE A

APPROVED: ALEX DAMEN DATE: \_\_\_\_\_ DRAWN BY: JBC DATE: 12/13/18 PLOT SCALE: 1" = 1' DETAIL NUMBER: 07-0340  
 APPROVED: \_\_\_\_\_ DATE: \_\_\_\_\_ CHECKED BY: \_\_\_\_\_ DATE: \_\_\_\_\_ PLOT DATE: 12/13/2018 10:26 AM PROJECT NO: STANDARD DETAILS



CITY OF WAUKESHA  
DEPARTMENT OF PUBLIC WORKS

STANDARD CONSTRUCTION DETAILS  
18-INCH TYPE B

APPROVED: ALEX DAMEN DATE: \_\_\_\_\_ DRAWN BY: JBC DATE: 12/13/18 PLOT SCALE: 1" = 1' DETAIL NUMBER: 07-0341  
 APPROVED: \_\_\_\_\_ DATE: \_\_\_\_\_ CHECKED BY: \_\_\_\_\_ DATE: \_\_\_\_\_ PLOT DATE: 12/13/2018 10:27 AM PROJECT NO: \_\_\_\_\_



CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE  
KENOSHA | APPLETON | WAUSAU

MILWAUKEE REGIONAL OFFICE  
W238N1610 BUSSE ROAD, SUITE 100  
WAUKESHA, WISCONSIN 53188  
P. 262.513.0666

CLIENT:  
PURE ARCHITECTURE  
STUDIO, LLC

CLIENT ADDRESS:  
735 N. WATER STREET, SUITE 1228  
MILWAUKEE, WI 53202

PROJECT:  
CLEARWATER  
APARTMENT PHASE 2

PROJECT LOCATION:  
CITY OF WAUKESHA  
WAUKESHA COUNTY, WISCONSIN

PLAN MODIFICATIONS:

#	Date:	Description:
1	03/22/19	Municipal Review
2	05/20/19	Common Council Submittal
3	06/10/19	Planning Commission Submittal
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Design/Drawn: APM  
Approved: RWI

SHEET TITLE:  
DETAILS

SHEET NUMBER:

C5.5

JSD PROJECT NO: 18-8890



PLAN MODIFICATIONS:

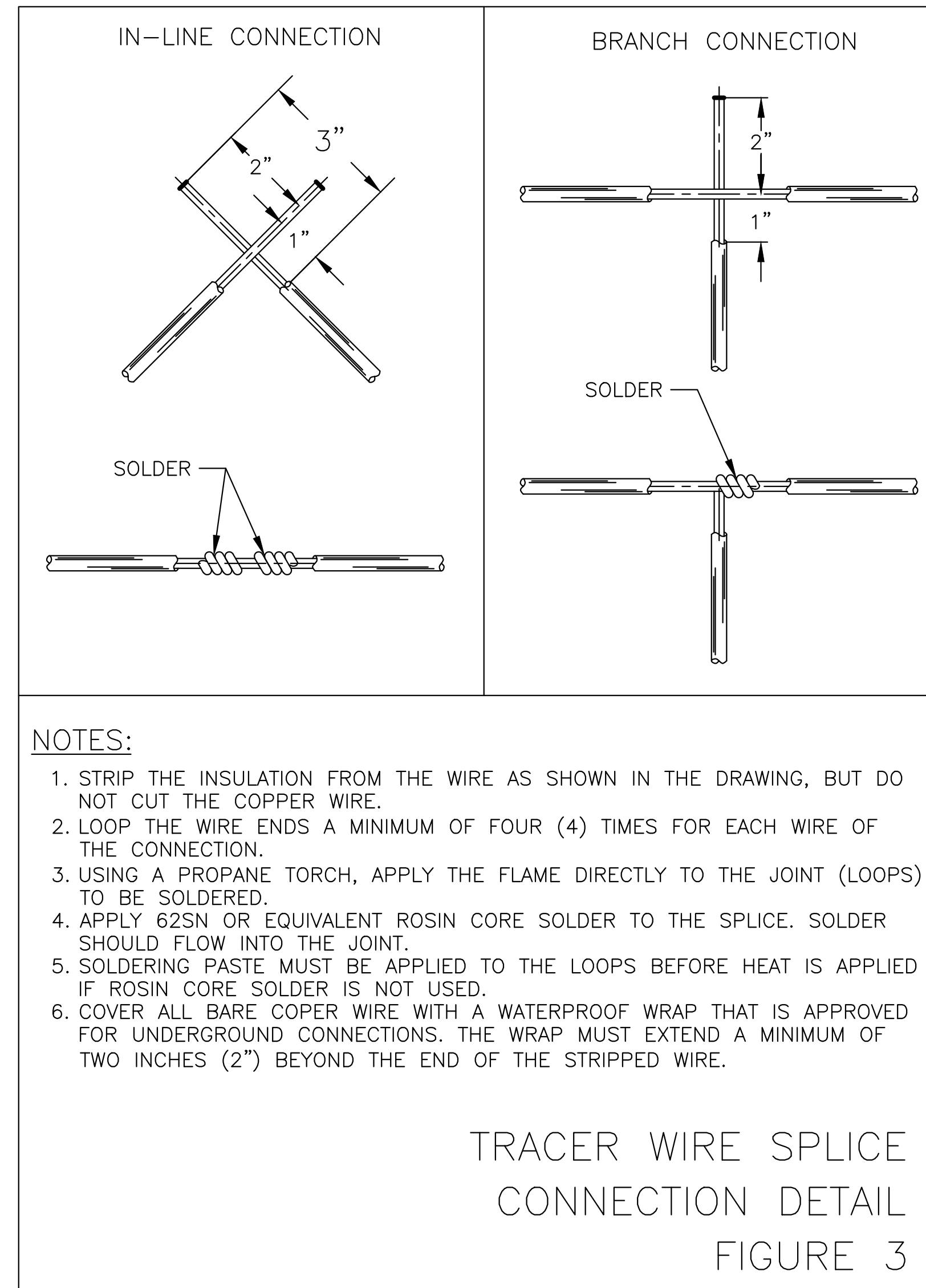
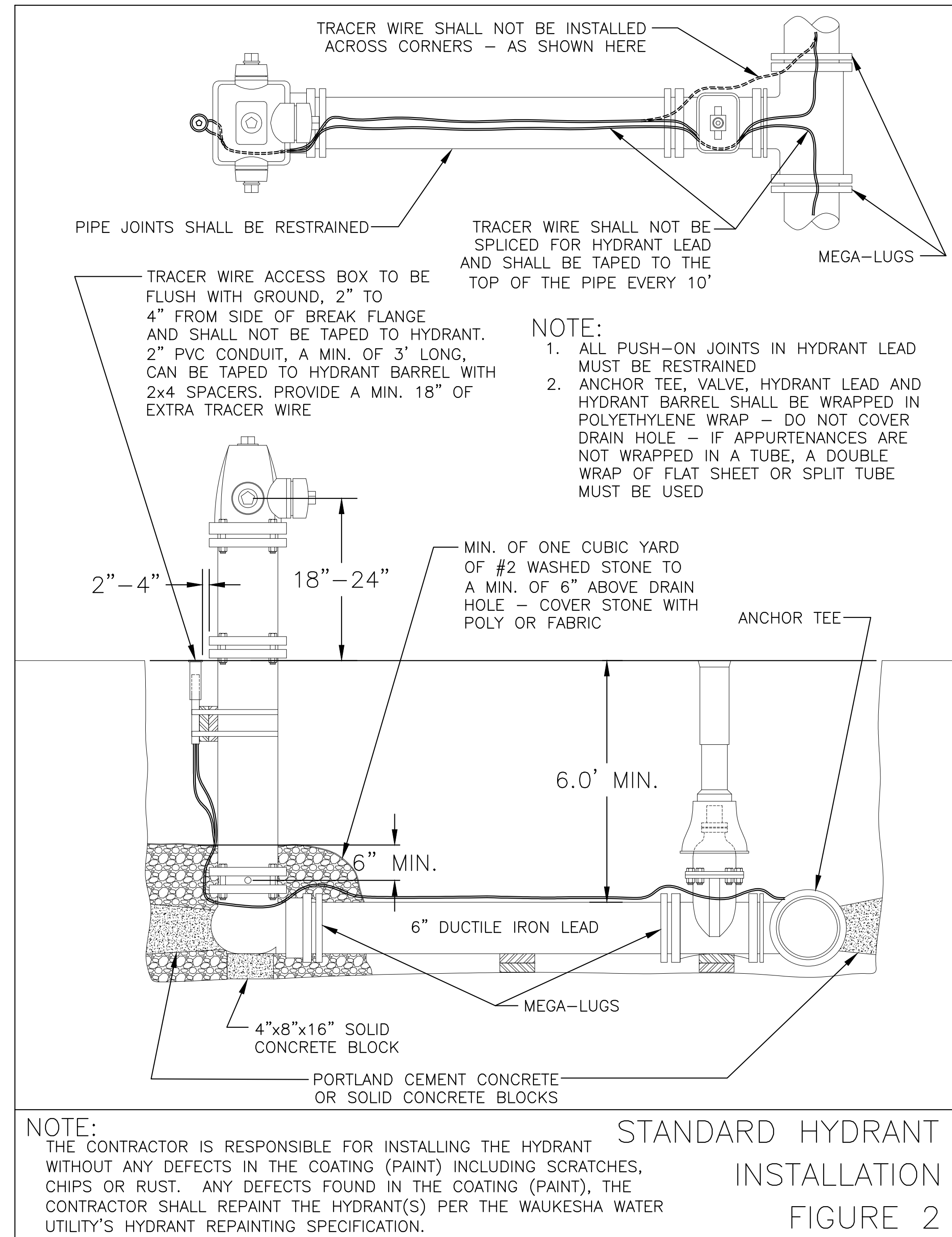
#	Date:	Description:
1	03/22/19	Municipal Review
2	05/20/19	Common Council Submittal
3	06/10/19	Planning Commission Submittal
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Design/Drawn: **APM**  
Approved: **RWI**

SHEET TITLE:  
**DETAILS**

SHEET NUMBER:

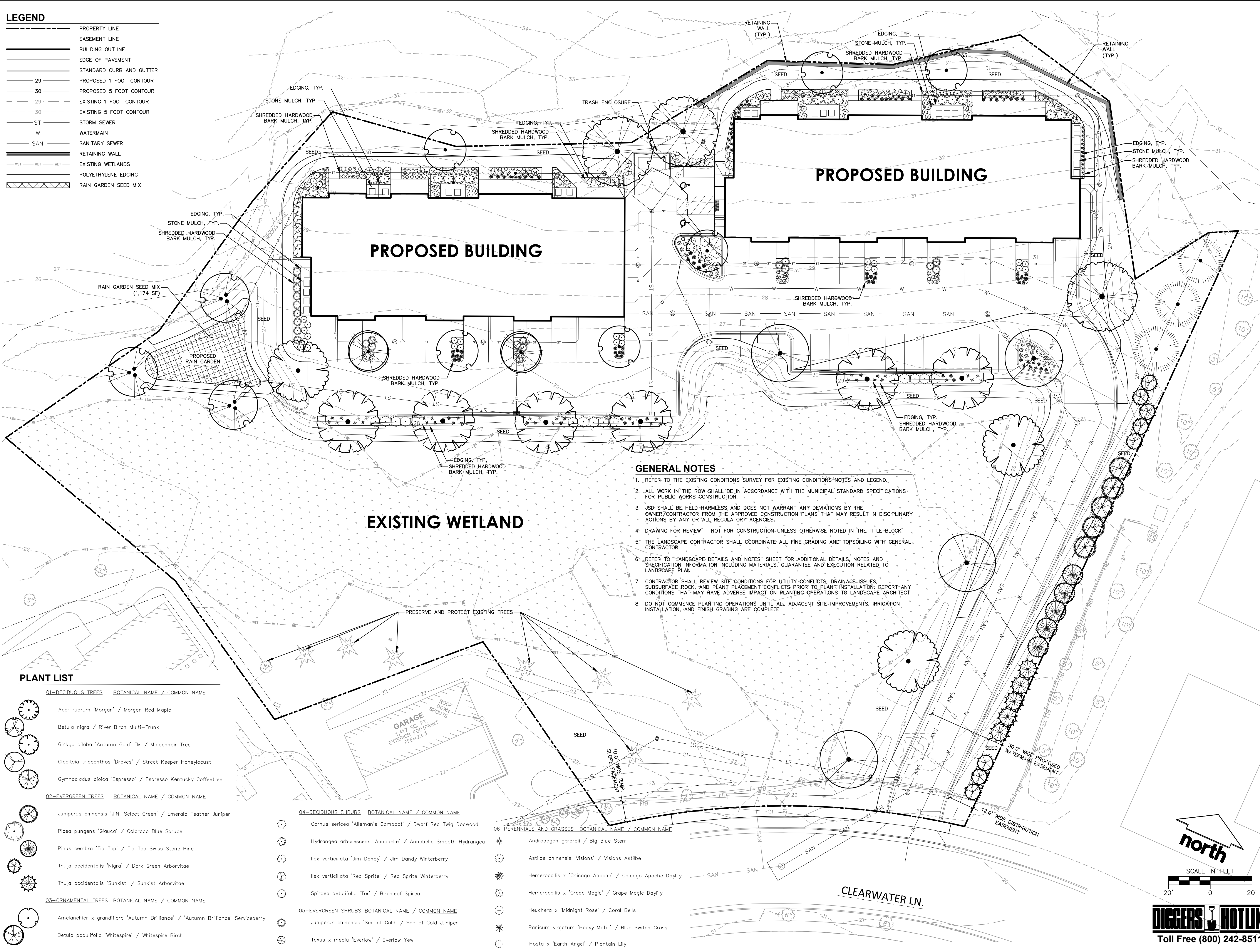
**C5.6**





**LEGEND**

---	PROPERTY LINE
- - -	EASEMENT LINE
---	BUILDING OUTLINE
---	EDGE OF PAVEMENT
---	STANDARD CURB AND GUTTER
29	PROPOSED 1 FOOT CONTOUR
30	PROPOSED 5 FOOT CONTOUR
29	EXISTING 1 FOOT CONTOUR
30	EXISTING 5 FOOT CONTOUR
ST	STORM SEWER
W	WATERMAIN
SAN	SANITARY SEWER
---	RETAINING WALL
---	EXISTING WETLANDS
---	POLYETHYLENE EDGING
---	RAIN GARDEN SEED MIX



- GENERAL NOTES**
1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
  2. ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE MUNICIPAL STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
  3. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
  4. DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
  5. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR.
  6. REFER TO "LANDSCAPE DETAILS AND NOTES" SHEET FOR ADDITIONAL DETAILS, NOTES AND SPECIFICATION INFORMATION INCLUDING MATERIALS, GUARANTEE AND EXECUTION RELATED TO LANDSCAPE PLAN.
  7. CONTRACTOR SHALL REVIEW SITE CONDITIONS FOR UTILITY CONFLICTS, DRAINAGE ISSUES, SUBSURFACE ROCK, AND PLANT PLACEMENT CONFLICTS PRIOR TO PLANT INSTALLATION. REPORT ANY CONDITIONS THAT MAY HAVE ADVERSE IMPACT ON PLANTING OPERATIONS TO LANDSCAPE ARCHITECT.
  8. DO NOT COMMENCE PLANTING OPERATIONS UNTIL ALL ADJACENT SITE IMPROVEMENTS, IRRIGATION INSTALLATION, AND FINISH GRADING ARE COMPLETE.

**PLANT LIST**

01-DECIDUOUS TREES	BOTANICAL NAME / COMMON NAME	04-DECIDUOUS SHRUBS	BOTANICAL NAME / COMMON NAME
	Acer rubrum 'Morgan' / Morgan Red Maple		Cornus sericea 'Allema's Compact' / Dwarf Red Twig Dogwood
	Betula nigra / River Birch Multi-Trunk		Hydrangea arborescens 'Annabelle' / Annabelle Smooth Hydrangea
	Ginkgo biloba 'Autumn Gold' TM / Maidenhair Tree		Ilex verticillata 'Jim Dandy' / Jim Dandy Winterberry
	Gleditsia triacanthos 'Draves' / Street Keeper Honeylocust		Ilex verticillata 'Red Sprite' / Red Sprite Winterberry
	Gymnocladus dioica 'Espresso' / Espresso Kentucky Coffeetree		Spiraea betulifolia 'Tor' / Birchleaf Spirea
	Juniperus chinensis 'J.N. Select Green' / Emerald Feather Juniper		Juniperus chinensis 'Sea of Gold' / Sea of Gold Juniper
	Picea pungens 'Glauca' / Colorado Blue Spruce		Betula populifolia 'Whitespire' / Whitespire Birch
	Pinus cembra 'Tip Top' / Tip Top Swiss Stone Pine		
	Thuja occidentalis 'Nigra' / Dark Green Arborvitae		
	Thuja occidentalis 'Sunkist' / Sunkist Arborvitae		
	Amelanchier x grandiflora 'Autumn Brilliance' / 'Autumn Brilliance' Serviceberry		
			Andropogon gerardii / Big Blue Stem
			Astilbe chinensis 'Visions' / Visions Astilbe
			Hemerocallis x 'Chicago Apache' / Chicago Apache Daylily
			Hemerocallis x 'Grape Magic' / Grape Magic Daylily
			Heuchera x 'Midnight Rose' / Coral Bells
			Panicum virgatum 'Heavy Metal' / Blue Switch Grass
			Hosta x 'Earth Angel' / Plantain Lily



CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE  
KENOSHA | APPLETON | WAUSAU

MILWAUKEE REGIONAL OFFICE  
W238N1610 BUSSE ROAD, SUITE 100  
WAUKESHA, WISCONSIN 53188  
P. 262.513.0666

CLIENT:  
**PURE ARCHITECTURE  
STUDIO, LLC**

CLIENT ADDRESS:  
**735 N. WATER STREET, SUITE 1228  
MILWAUKEE, WI 53202**

PROJECT:  
**CLEARWATER  
APARTMENT PHASE 2**

PROJECT LOCATION:  
**CITY OF WAUKESHA  
WAUKESHA COUNTY, WISCONSIN**

**PLAN MODIFICATIONS:**

#	Date:	Description:
1	03/22/19	Municipal Review
2	05/10/19	Municipal Submittal
3	06/10/19	Planning Commission Submittal
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Design/Drawn: ABK  
Approved: MAS

SHEET TITLE:  
**LANDSCAPE PLAN**

SHEET NUMBER:  
**L1.0**

JSD PROJECT NO: 18-8890

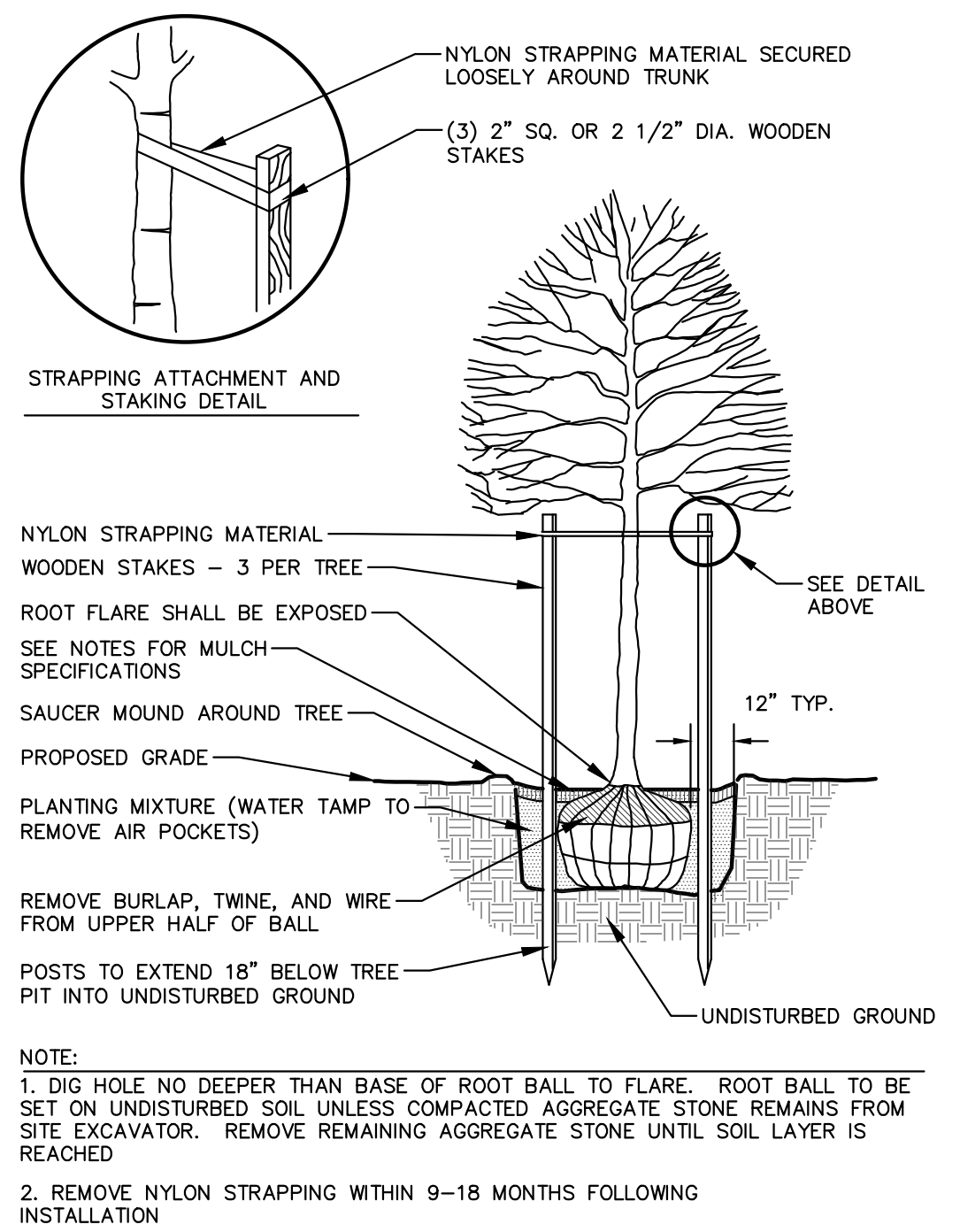
File: L20218188890DWG18-8890 L1.0 - Landscape Plan.dwg Layout: L1.0 User: skaniewski Plotted: Jun 10, 2019 - 9:01am Xref's: 188890 Clearwater Apartment Phase 2

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.

SCALE IN FEET  
20' 0 20'

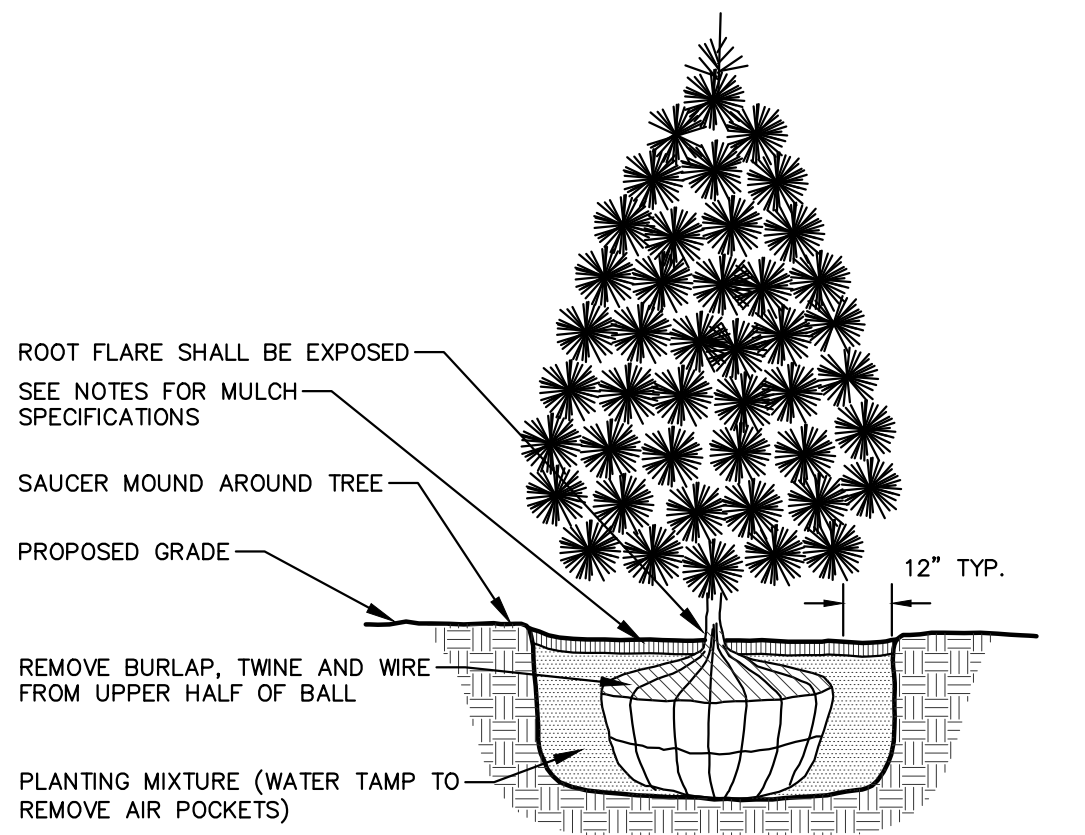
**DIGGERS HOTLINE**  
Toll Free (800) 242-8511





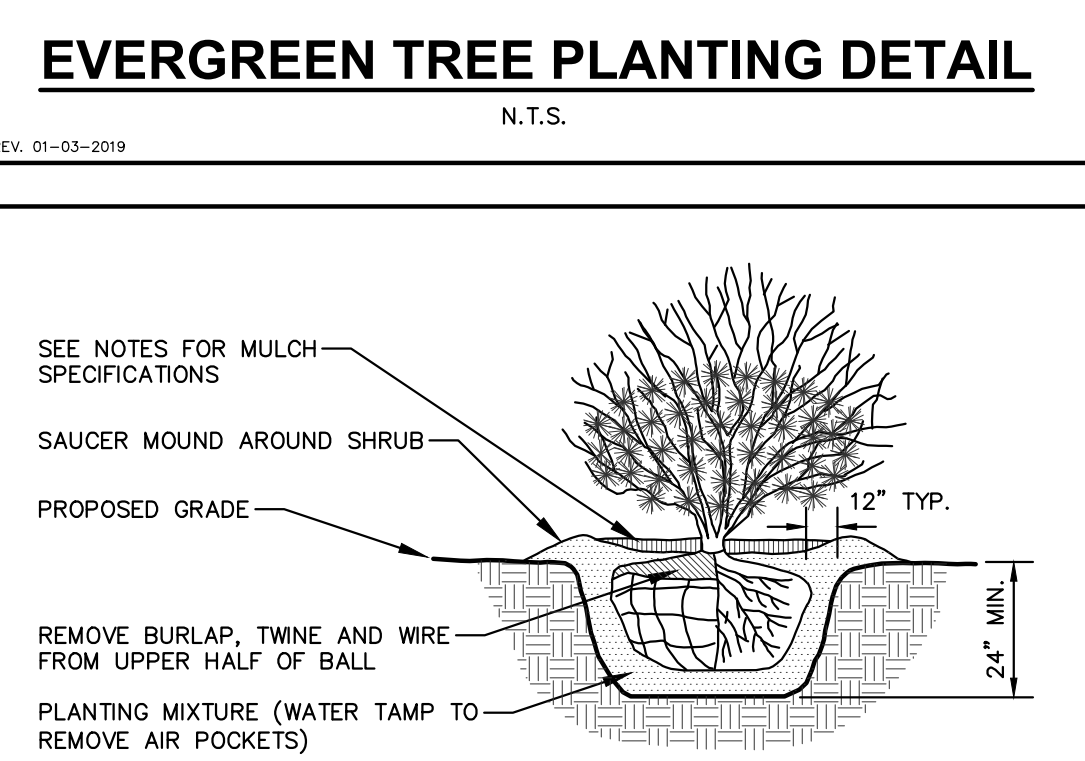
**DECIDUOUS TREE PLANTING DETAIL**  
N.T.S.

REV. 01-04-2019



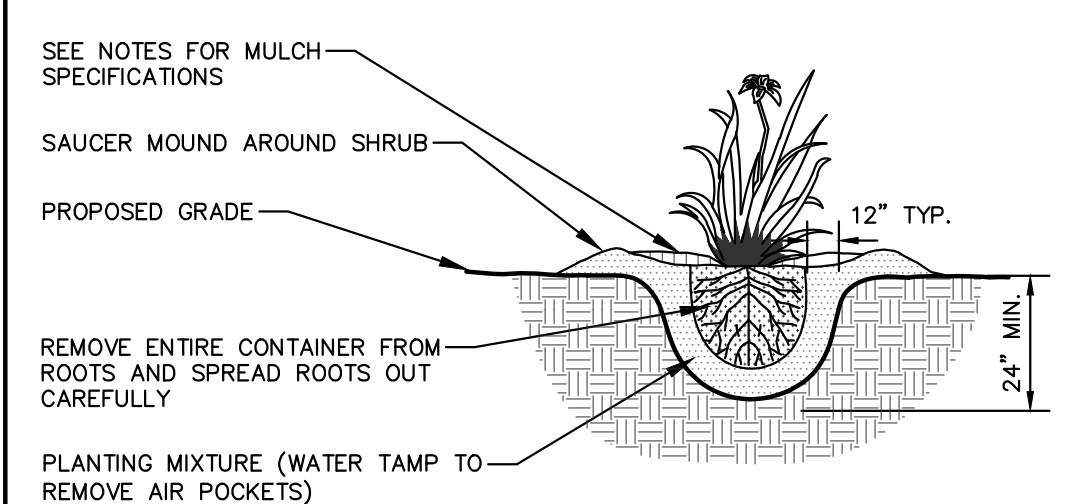
**EVERGREEN TREE PLANTING DETAIL**  
N.T.S.

REV. 01-03-2019



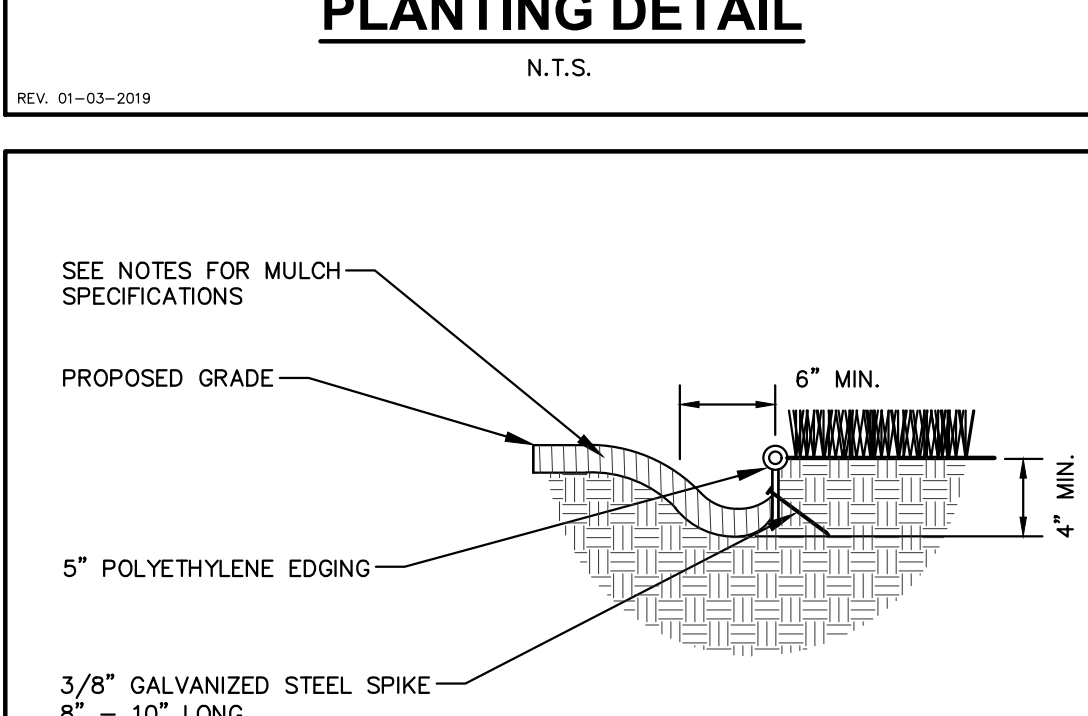
**SHRUB PLANTING DETAIL**  
N.T.S.

REV. 01-03-2019



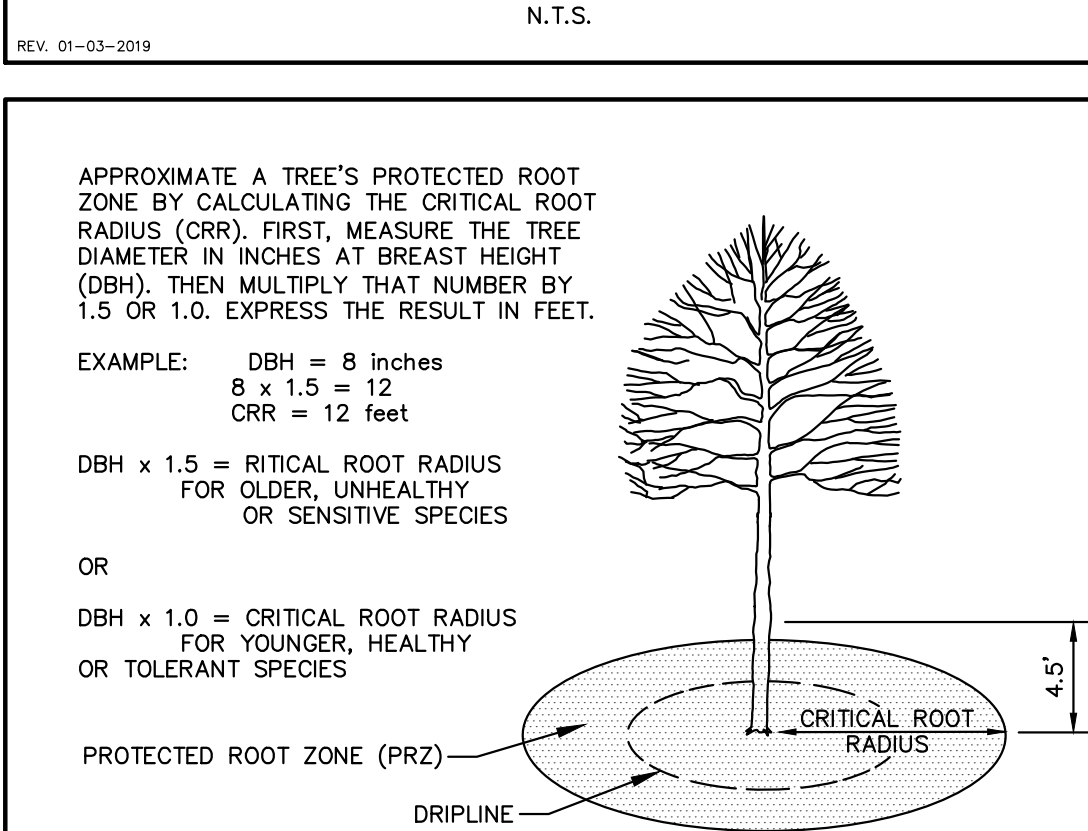
**PERENNIAL/ORNAMENTAL GRASS PLANTING DETAIL**  
N.T.S.

REV. 01-04-2019



**POLYETHYLENE LANDSCAPE EDGING DETAIL**  
N.T.S.

REV. 01-03-2019



**TREE PROTECTION DETAIL**  
N.T.S.

REV. 01-04-2019

**GENERAL NOTES**

- GENERAL: ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS. THE CONTRACTOR SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-382-5544 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY, UNLESS ADEQUATE APPROPRIATE AND SECURE STORAGE IS PROVIDED AND APPROVED BY OWNER'S REPRESENTATIVE. AT ALL TIMES, PROTECT ALL PLANT MATERIALS FROM WIND AND DIRECT SUN. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY. IF THIS IS NOT POSSIBLE, PROTECT THE PLANT MATERIALS NOT PLANTED BY STORING THEM IN A SHADED, SECURE AREA, PROTECTING THE ROOT MASS WITH WET SOIL, MULCH, HAY OR OTHER SUITABLE MEDIUM. CONTRACTOR TO KEEP ALL PLANT MATERIALS ADEQUATELY WATERED TO PREVENT ROOT DESICCATION. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE CONTAINER OR BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED BEST HORTICULTURAL PRACTICES.
- MATERIALS - PLANTS: ALL PLANTS SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR NURSERY STOCK AND SPECIES AND VARIETY SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGES OR OTHER DEFECTS THAT WOULD PREVENT NORMAL GROWTH OR PREMATURE MORTALITY. PLANTS SHALL BE OF THE HIGHEST QUALITY, POSSESS TYPICAL GROWTH HABITS AND FORM FOR THEIR SPECIES AND BE FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS, SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE INJURED CAMBIAL LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER. TREAT THE AREA WITH AN APPROVED INCONSPICUOUS LATEX BASED ANTISEPTIC TREE PAINT, IF PRUNING OCCURS "IN SEASON". DO NOT PRUNE ANY OAK TREES DURING THE MONTHS FROM APRIL TO OCTOBER.
- CLEANUP: THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES. DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS, SOIL AND BRANCHES, BIND AND WRAP THESE MATERIALS, ANY REJECTED PLANTS, AND ANY OTHER DEBRIS RESULTING FROM ALL PLANTING TASKS AND PROMPTLY CLEAN UP AND REMOVE FROM THE PROJECT SITE. UNDER NO CIRCUMSTANCES SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC SAFETY HAZARD OR DAMAGE. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
- ANY SUBSTITUTIONS IN PLANT TYPE, LOCATION, OR SIZE SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR TO VERIFY PLANT MATERIAL QUANTITIES AND SQUARE FOOTAGES. QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE OVER THOSE ON SCHEDULE.

**SEEDING NOTES**

- MATERIALS - TURFGRASS SEED: DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL RECEIVE 5" TOPSOIL AND EARTH CARPETS "MADISON PARKS" GRASS SEED, OR EQUIVALENT AS APPROVED BY THE OWNER'S REPRESENTATIVE, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. IN ADDITION TO TURFGRASS SEED, ANNUAL RYE SHALL BE APPLIED TO ALL DISTURBED AREAS AT A RATE OF 1 1/2 LBS PER 1000 SQUARE FEET. FERTILIZE AND MULCH PER MANUFACTURER'S RECOMMENDATIONS. MULCH SHALL BE CERTIFIED NOXIOUS WEED SEED-FREE.
- MATERIALS - RAIN GARDEN SEED MIX: DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL BE BROADCAST SEEDING WITH "MOIST MEADOW - RAIN GARDEN MIX" SEED MIX, AS PROVIDED BY PRAIRIE NURSERY, P.O. BOX 306, WISCONSIN, 53064, TEL. 608-796-3679 (OR APPROVED EQUIVALENT). INSTALL SEED WITH SUPPLEMENTAL MATERIALS AND AMENDMENTS AS RECOMMENDED BY SEED SUPPLIER AND AT RATES AND OPTIMUM TIMES OF THE YEAR AS RECOMMENDED BY THE SEED SUPPLIER TO ENSURE SUCCESSFUL GERMINATION AND SEED/ROOT ZONE GROWTH DEVELOPMENT. REFER TO PRODUCT SPECIFICATIONS AND MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION.

**LANDSCAPE MATERIAL NOTES**

- MATERIALS - PLANTING MIXTURE: ALL HOLES EXCAVATED FOR TREES, SHRUBS, PERENNIALS AND ORNAMENTAL GRASSES SHALL BE BACKFILLED WITH TWO (2) PARTS TOPSOIL, ONE (1) PART SAND AND ONE (1) PART COMPOST. SOIL MIXTURE SHALL BE WELL BLENDED PRIOR TO INSTALLATION.
- MATERIALS - TOPSOIL: TOPSOIL TO BE CLEAN, FRIABLE LOAM FROM A LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS OR OTHER DELETERIOUS MATERIALS. TOPSOIL SHALL HAVE A PH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO ENSURE CONFORMANCE WITH THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. PROVIDE TEST RESULTS TO OWNER'S REPRESENTATIVE PRIOR TO PLACEMENT. DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE AREAS PER SOIL TEST.
- MATERIALS - SHREDDED HARDWOOD BARK MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE CERTIFIED WEED FREE SHREDDED HARDWOOD BARK MULCH INSTALLED TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. SHREDDED HARDWOOD BARK MULCH SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS. STONE MULCH AREAS SHALL RECEIVE WOVEN WEED BARRIER FABRIC, NO PLASTIC/IMPERVIOUS BARRIERS WILL BE PERMITTED. EXAMPLE: BLACK VISQUEEN.
- MATERIALS - STONE MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE 1 1/2" WASHED STONE MULCH SPREAD TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. STONE MULCH TYPE, SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS. STONE MULCH AREAS SHALL RECEIVE WOVEN WEED BARRIER FABRIC, NO PLASTIC/IMPERVIOUS BARRIERS WILL BE PERMITTED. EXAMPLE: BLACK VISQUEEN.
- MATERIALS - TREE & SHRUB RINGS: ALL TREES AND/OR SHRUBS PLANTED IN SEEDING LAWN AREAS TO BE INSTALLED WITH A MINIMUM 5' DIAMETER SHREDDED HARDWOOD BARK MULCH TREE RING SPREAD TO A CONSISTENT DEPTH OF 3-INCHES. ALL TREE RINGS SHOULD BE INSTALLED WITH A 5" DEPTH SHOVEL CUT EDGE, ANGLED 45 DEGREES INTO SOIL AT A 5' DIAMETER ABOUT THE CENTER OF THE TREE PLANTING. A PRE-EMERGENT GRANULAR HERBICIDE WEED-PREVENTER SHOULD BE MIXED WITH MULCH USED TO INSTALL TREE RING AS WELL AS TOPICALLY APPLIED TO COMPLETED INSTALLATION OF TREE RING.
- MATERIALS - POLYETHYLENE EDGING: EDGING SHALL BE 5" DEEP. POLYETHYLENE EDGING, OWNER'S REPRESENTATIVE SHALL APPROVE PRODUCT SPECIFICATION PROVIDED BY LANDSCAPE CONTRACTOR.

**CONTRACTOR AND OWNER RESPONSIBILITY NOTES**

- GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PLANTS SHALL BE ALIVE AND IN HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE (AT NO COST TO OWNER) ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE. RESTORATION IS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPLACE PLANTS DAMAGED AT TIME OF PLANTING. REPAIR AREAS DISTURBED IN ANY WAY DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A ONE (1)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
- CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER'S REPRESENTATIVE PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- MAINTENANCE: (CONTRACTOR) FOR ALL PLANTINGS AND SEEDING LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR A MINIMUM TIME PERIOD OF 60 DAYS, UNTIL FINAL ACCEPTANCE BY OWNER'S REPRESENTATIVE. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 60 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHAPING AND/OR REPLACEMENT OR SUPPLEMENT OF DEFICIENT SHREDDED HARDWOOD BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION UNTIL THE TIME WHEN THE OWNER'S ACCEPTANCE IS GIVEN.
- MAINTENANCE: (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.

**PLANT SCHEDULE**

#1-DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	CONT	SIZE
	6	<i>Acer rubrum</i> 'Morgan' / Morgan Red Maple	B & B	2.5" Cal
	3	<i>Betula nigra</i> / River Birch Multi-Trunk	B & B	2.5" Cal
	3	<i>Ginkgo biloba</i> 'Autumn Gold' TM / Maidenhair Tree	B & B	2.5" Cal
	4	<i>Gleditsia triacanthos</i> 'Draves' / Street Keeper Honeylocust	B & B	2.5" Cal
	3	<i>Gymnocladus dioica</i> 'Espresso' / Espresso Kentucky Coffeetree	B & B	2.5" Cal
#2-EVERGREEN TREES	QTY	BOTANICAL / COMMON NAME	CONT	SIZE
	5	<i>Juniperus chinensis</i> 'J.N. Select Green' / Emerald Feather Juniper	B & B	Min. 6 ft tall
	3	<i>Picea pungens</i> 'Glauca' / Colorado Blue Spruce	B & B	Min. 6 ft tall
	5	<i>Pinus cembra</i> 'Tip Top' / Tip Top Swiss Stone Pine	B & B	Min. 6 ft tall
	8	<i>Thuja occidentalis</i> 'Nigra' / Dark Green Arborvitae	B & B	Min. 6 ft tall
	5	<i>Thuja occidentalis</i> 'Sunkist' / Sunkist Arborvitae	B & B	Min. 6 ft tall
#3-ORNAMENTAL TREES	QTY	BOTANICAL / COMMON NAME	CONT	SIZE
	6	<i>Amelanchier x grandiflora</i> 'Autumn Brilliance' / 'Autumn Brilliance' Serviceberry	B & B	1.5" Cal
	2	<i>Betula populifolia</i> 'Whitespire' / Whitespire Birch	B & B	1.5" Cal
#4-DECIDUOUS SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	SIZE
	18	<i>Cornus sericea</i> 'Alleman's Compact' / Dwarf Red Twig Dogwood	3 gal	Min. 18" Tall/Wide
	21	<i>Hydrangea arborescens</i> 'Annabelle' / Annabelle Smooth Hydrangea	3 gal	Min. 18" Tall/Wide
	5	<i>Ilex verticillata</i> 'Jim Dandy' / Jim Dandy Winterberry	3 gal	Min. 18" Tall/Wide
	18	<i>Ilex verticillata</i> 'Red Sprite' / Red Sprite Winterberry	3 gal	Min. 18" Tall/Wide
	27	<i>Spiraea betulifolia</i> 'Tor' / Birchleaf Spirea	3 gal	Min. 18" Tall/Wide
#5-EVERGREEN SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	SIZE
	21	<i>Juniperus chinensis</i> 'Sea of Gold' / Sea of Gold Juniper	3 gal	Min. 18" Tall/Wide
	36	<i>Taxus x media</i> 'Everlow' / Everlow Yew	3 gal	Min. 18" Tall/Wide
#6-PERENNIALS AND GRASSES	QTY	BOTANICAL / COMMON NAME	CONT	SIZE
	58	<i>Andropogon gerardii</i> / Big Blue Stem	1 gal	10-12" Ht.
	47	<i>Astilbe chinensis</i> 'Visions' / Visions Astilbe	1 gal	10-12" Ht.
	35	<i>Hemerocallis x 'Chicago Apache'</i> / Chicago Apache Daylily	1 gal	10-12" Ht.
	51	<i>Hemerocallis x 'Grape Magic'</i> / Grape Magic Daylily	1 gal	10-12" Ht.
	60	<i>Heuchera x 'Midnight Rose'</i> / Coral Bells	1 gal	10-12" Ht.
	24	<i>Hosta x 'Earth Angel'</i> / Plantain Lily	1 gal	10-12" Ht.
	67	<i>Panicum virgatum</i> 'Heavy Metal' / Blue Switch Grass	1 gal	10-12" Ht.



CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE  
KENOSHA | APPLETON | WAUSAU

MILWAUKEE REGIONAL OFFICE  
W238N1610 BUSSE ROAD, SUITE 100  
WAUKESHA, WISCONSIN 53188  
P. 262.513.0666

CLIENT:  
**PURE ARCHITECTURE  
STUDIO, LLC**

CLIENT ADDRESS:  
**735 N. WATER STREET, SUITE 1228  
MILWAUKEE, WI 53202**

PROJECT:  
**CLEARWATER  
APARTMENT PHASE 2**

PROJECT LOCATION:  
**CITY OF WAUKESHA  
WAUKESHA COUNTY, WISCONSIN**

**PLAN MODIFICATIONS:**

#	Date:	Description:
1	03/22/19	Municipal Review
2	05/10/19	Municipal Submittal
3	06/10/19	Planning Commission Submittal
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Design/Drawn: ABK  
Approved: MAS

SHEET TITLE:  
**LANDSCAPE DETAILS,  
NOTES AND  
SPECIFICATIONS**

SHEET NUMBER:

**L2.0**

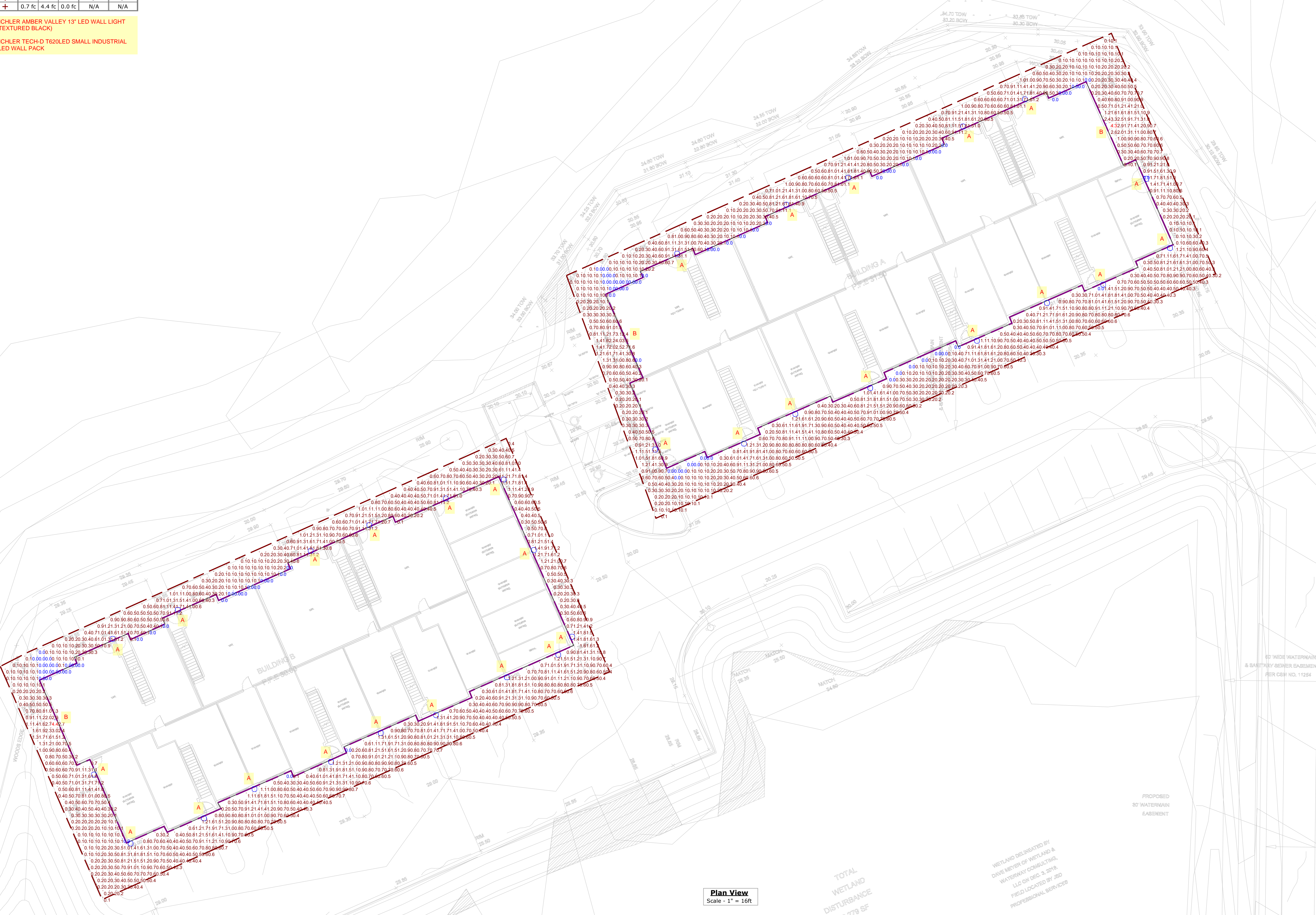
JSD PROJECT NO: 18-8890





Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Building A	+	0.6 fc	4.3 fc	0.0 fc	N/A	N/A
Building B	+	0.7 fc	4.4 fc	0.0 fc	N/A	N/A

FIXTURE 'A': KICHLER AMBER VALLEY 13" LED WALL LIGHT (TEXTURED BLACK)  
 FIXTURE 'B': KICHLER TECH-D T620LED SMALL INDUSTRIAL LED WALL PACK



Plan View  
 Scale - 1" = 10ft

WETLAND DELINEATED BY  
 DAVE MEYER OF WETLAND &  
 WATERWAY CONSULTANTS  
 LLC ON DEC. 3, 2016.  
 FIELD LOCATED BY JED  
 PROFESSIONAL ENGINEER

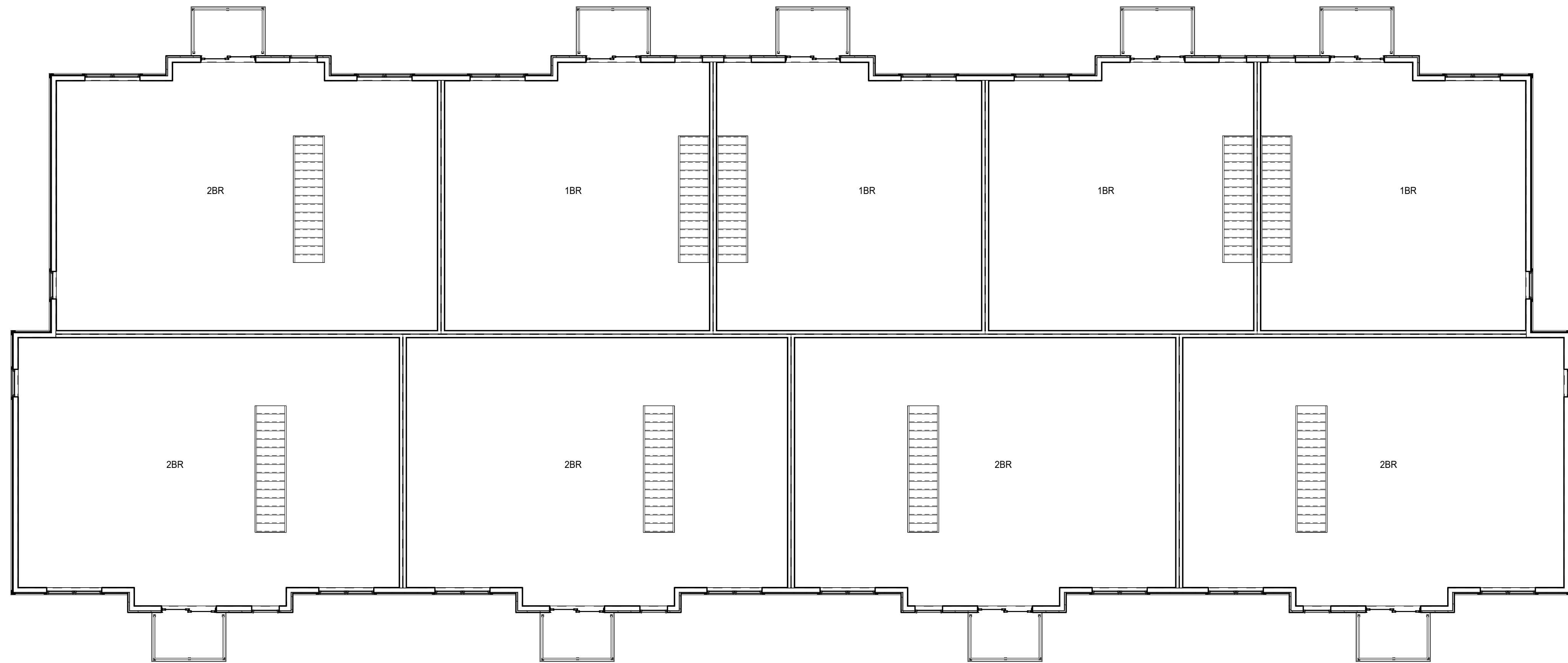




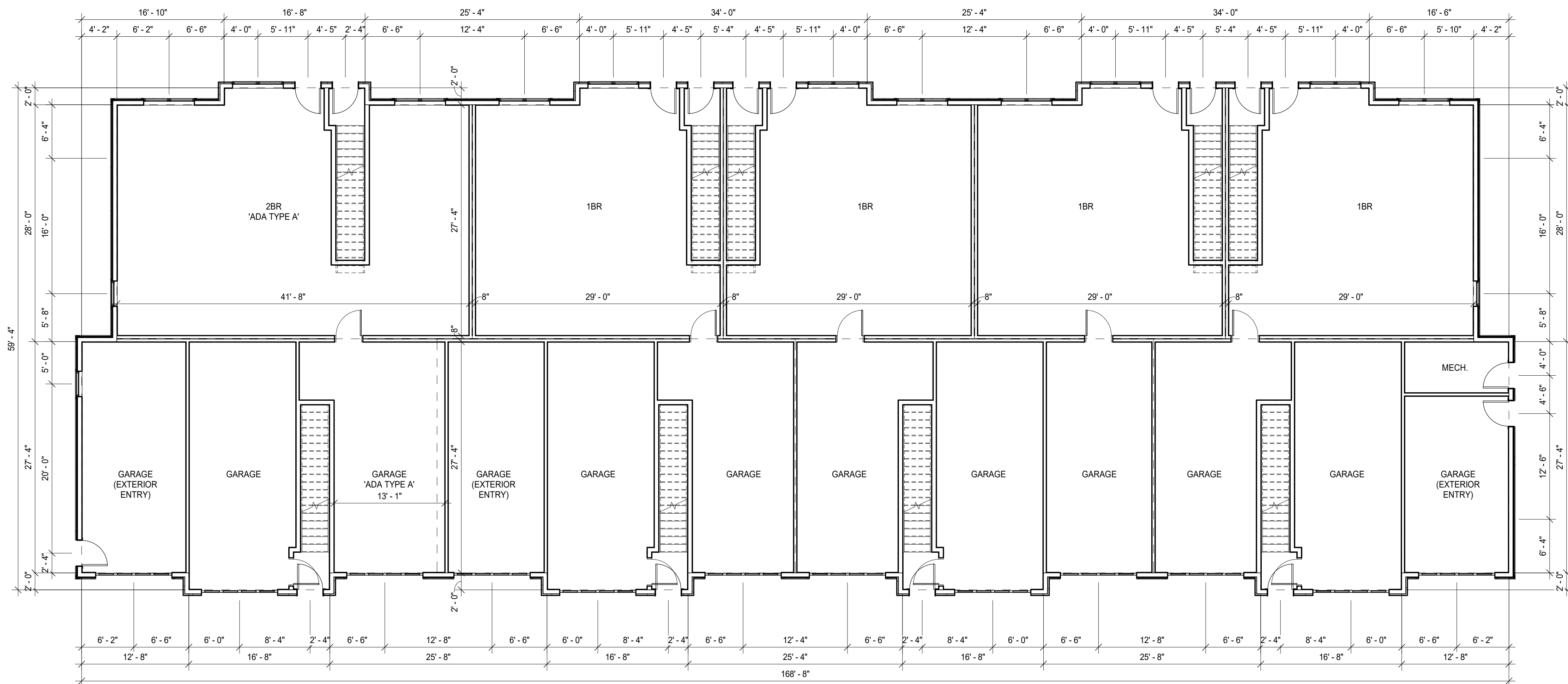
PURE architecture studio, llc  
 735 N Water Street, Suite 1228  
 Milwaukee, WI 53202  
 www.pure-arch.com

**PROJECT**

Clearwater  
 Apartments  
 Phase 2



**2 2ND FLOOR PLAN - BUILDING A**  
 SCALE: 1/8" = 1'-0"



**1 1ST FLOOR PLAN - BUILDING A**  
 SCALE: 1/8" = 1'-0"

**OWNER**

A-Squared  
 Development LLC

This drawing, its design concept, and its detail are the sole property of PURE architecture studio, llc and shall not be copied in any form or manner, or used on any other projects, without written authorization of its designer/creator.

**REVISIONS**

NO.	DESCRIPTION	DATE

**INFORMATION**

PROJECT ARCHITECT	PA
PROJECT MANAGER	
PROJECT NUMBER	19112
ISSUED FOR	MUNICIPAL REVIEW
DATE	06.10.2019

**SHEET**

BUILDING A

**A101**





PURE architecture studio, llc  
735 N Water Street, Suite 1228  
Milwaukee, WI 53202  
www.pure-arch.com

PROJECT

Clearwater  
Apartments  
Phase 2

OWNER

A-Squared  
Development LLC

This drawing, its design concept, and its detail are the sole property of PURE architecture studio, llc and shall not be copied in any form or manner, or used on any other projects, without written authorization of its designer/creator.

REVISIONS

NO.	DESCRIPTION	DATE
-----	-------------	------

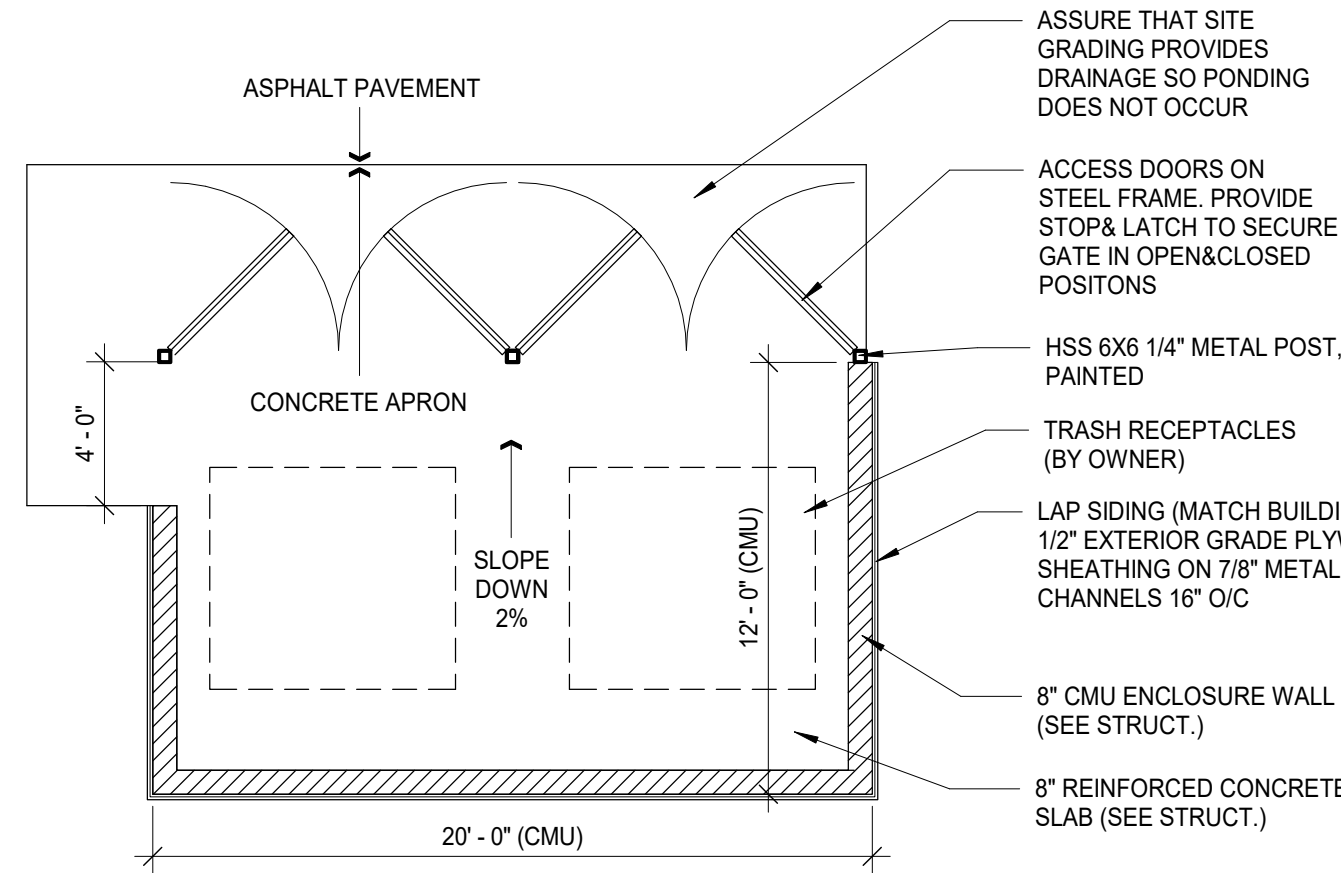
INFORMATION

PROJECT ARCHITECT	PA
PROJECT MANAGER	
PROJECT NUMBER	19112
ISSUED FOR	MUNICIPAL REVIEW
DATE	06.10.2019

SHEET

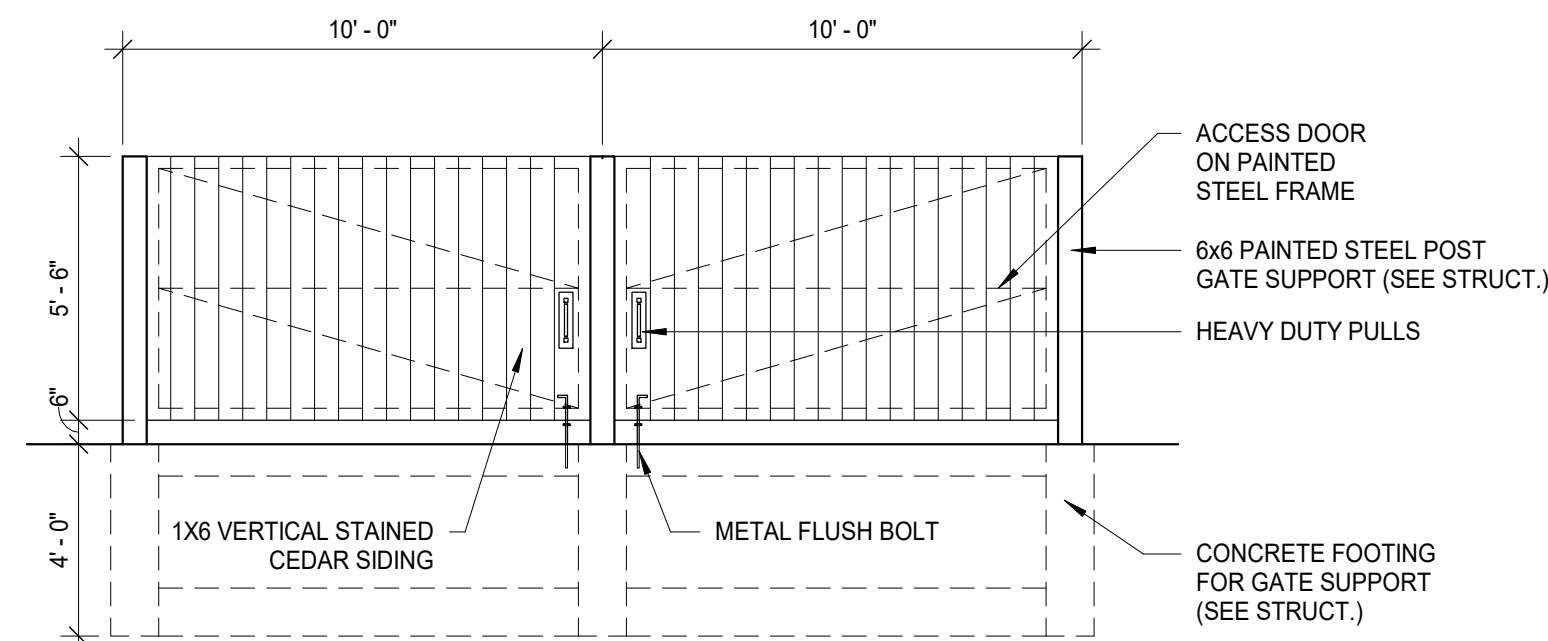
BUILDING B

A102



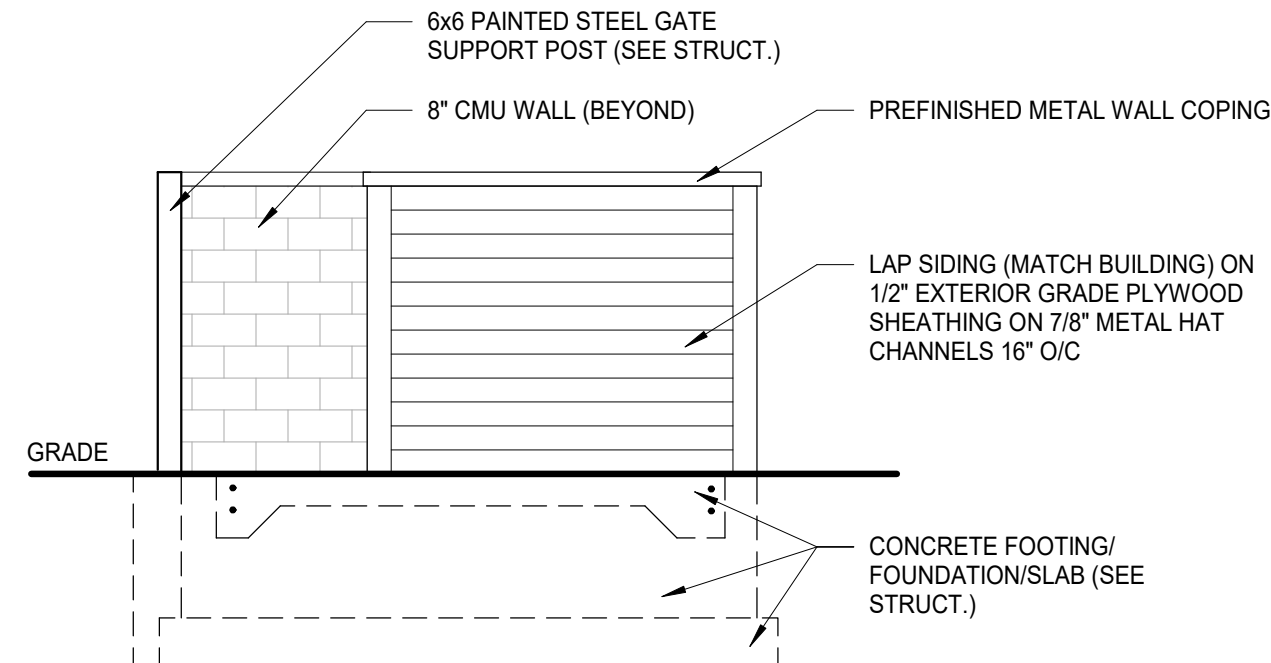
3 CMU DUMPSTER PLAN

SCALE: 3/16" = 1'-0"



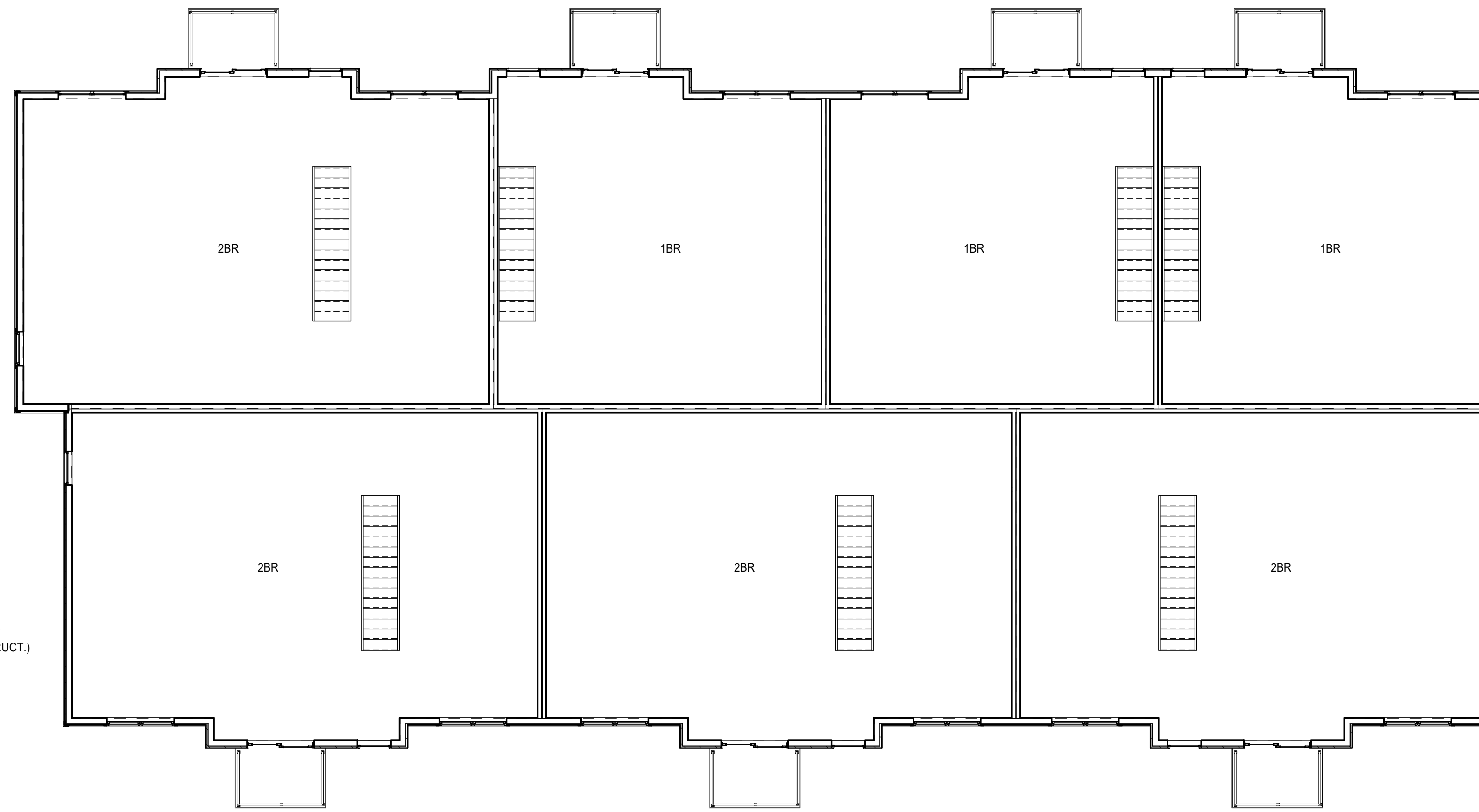
4 CMU DUMPSTER FRONT ELEVATION

SCALE: 1/4" = 1'-0"



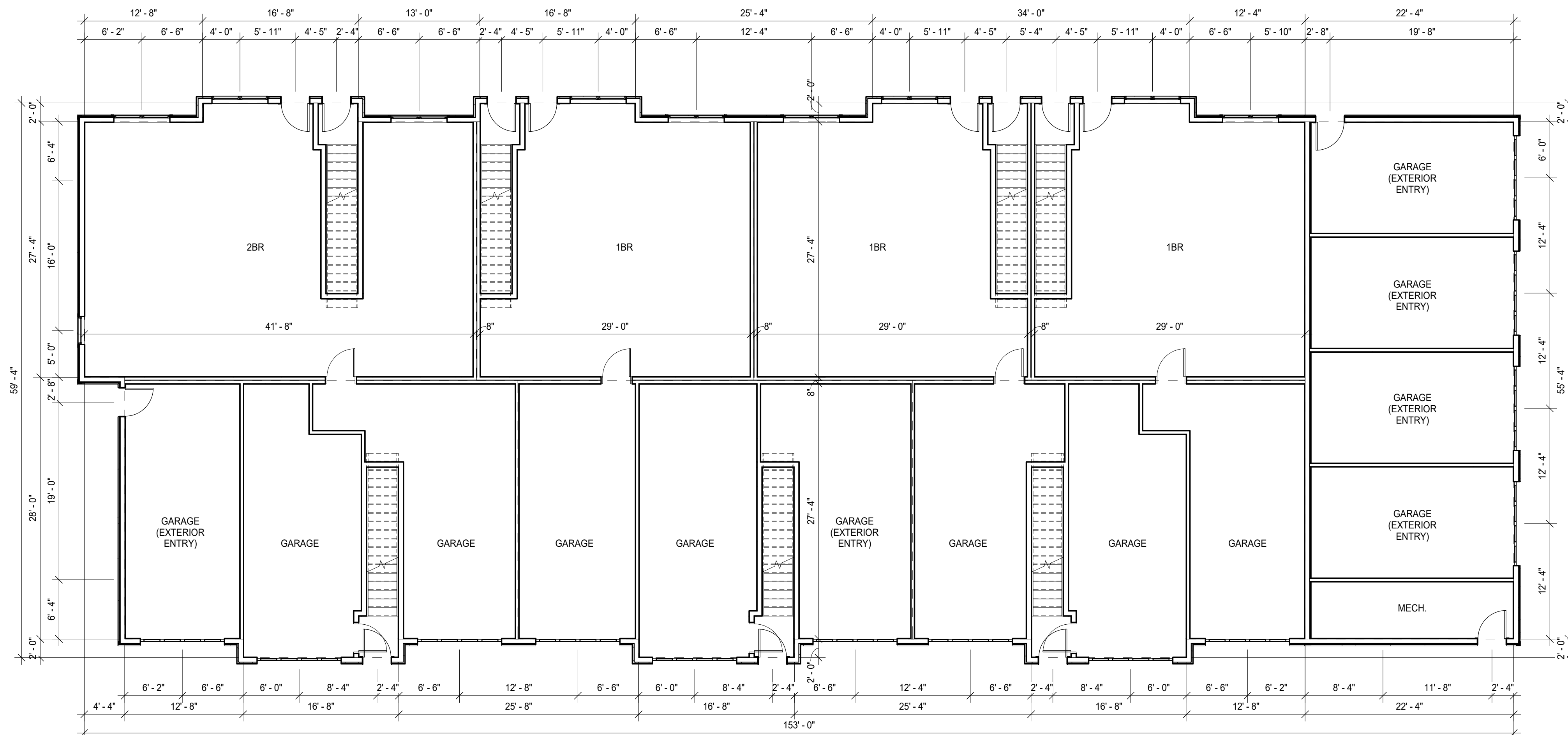
5 CMU DUMPSTER SIDE ELEVATION

SCALE: 1/4" = 1'-0"



2 2ND FLOOR PLAN - BUILDING B

SCALE: 1/8" = 1'-0"



1 1ST FLOOR PLAN - BUILDING B

SCALE: 1/8" = 1'-0"





PURE architecture studio, llc  
 735 N Water Street, Suite 1228  
 Milwaukee, WI 53202  
 www.pure-arch.com

**PROJECT**

Clearwater  
 Apartments  
 Phase 2

**OWNER**

A-Squared  
 Development LLC

This drawing, its design concept, and its detail are the sole property of PURE architecture studio, llc and shall not be copied in any form or manner, or used on any other projects, without written authorization of its designer/creator.

**REVISIONS**

NO.	DESCRIPTION	DATE
-----	-------------	------

**INFORMATION**

PROJECT ARCHITECT	PA
PROJECT MANAGER	
PROJECT NUMBER	19112
ISSUED FOR	MUNICIPAL REVIEW
DATE	06.10.2019

**SHEET**

BUILDING ELEVATIONS

**A401**

**ELEVATION KEYNOTES**

- |                                       |   |
|---------------------------------------|---|
| ① DIMENSIONAL ASPHALT SHINGLE ROOFING | ⑬ VENTED LP SMARTSIDE SOFFIT                            |
| ② THIN STONE VENEER                   | ⑭ LP SMARTSIDE TRIM BOARD WRAPPED SUPPORT BRACKET       |
| ③ PRECAST OR CAST STONE BAND          | ⑮ PREFINISHED METAL GUTTER                              |
| ④ PRECAST OR CAST STONE SILL          | ⑯ WINDOW SYSTEM   |
| ⑤ PRECAST OR CAST STONE LINTEL        | ⑰ SLIDING PATIO DOOR SYSTEM                             |
| ⑥ LOWER LP SMARTSIDE LAP SIDING       | ⑱ INSULATED ENTRY DOOR SYSTEM                           |
| ⑦ UPPER LP SMARTSIDE LAP SIDING       | ⑲ PREFINISHED METAL INSULATED OVERHEAD DOOR             |
| ⑧ GABLE LP SMARTSIDE SHAKE SIDING     | ⑳ PREFINISHED ALUMINUM RAILING SYSTEM WITH CORNER POSTS |
| ⑨ 4/4x4 LP SMARTSIDE TRIM BOARD       | ㉑ STAINED/PAINTED DECORATIVE WOOD TRELLIS               |
| ⑩ 4/4x6 LP SMARTSIDE TRIM BOARD       |   |
| ⑪ 4/4x8 LP SMARTSIDE TRIM BOARD       |   |
| ⑫ LP SMARTSIDE FASCIA                 |   |



**3 WEST - BUILDING A**  
 SCALE: 1/8" = 1'-0"



**4 EAST - BUILDING A**  
 SCALE: 1/8" = 1'-0"



**2 SOUTH - BUILDING A**  
 SCALE: 1/8" = 1'-0"



**11 NORTH - BUILDING A**  
 SCALE: 1/8" = 1'-0"





PURE architecture studio, llc  
 735 N Water Street, Suite 1228  
 Milwaukee, WI 53202  
 www.pure-arch.com

**PROJECT**

Clearwater  
 Apartments  
 Phase 2

**OWNER**

A-Squared  
 Development LLC

This drawing, its design concept, and its detail are the sole property of PURE architecture studio, llc and shall not be copied in any form or manner, or used on any other projects, without written authorization of its designer/creator.

**REVISIONS**

NO.	DESCRIPTION	DATE
-----	-------------	------

**INFORMATION**

PROJECT ARCHITECT	PA
PROJECT MANAGER	
PROJECT NUMBER	19112
ISSUED FOR	MUNICIPAL REVIEW
DATE	06.10.2019

**SHEET**

BUILDING ELEVATIONS

**A402**

**ELEVATION KEYNOTES**

- ① DIMENSIONAL ASPHALT SHINGLE ROOFING
- ② THIN STONE VENEER
- ③ PRECAST OR CAST STONE BAND
- ④ PRECAST OR CAST STONE SILL
- ⑤ PRECAST OR CAST STONE LINTEL
- ⑥ LOWER LP SMARTSIDE LAP SIDING
- ⑦ UPPER LP SMARTSIDE LAP SIDING
- ⑧ GABLE LP SMARTSIDE SHAKE SIDING
- ⑨ 4/4x4 LP SMARTSIDE TRIM BOARD
- ⑩ 4/4x6 LP SMARTSIDE TRIM BOARD
- ⑪ 4/4x8 LP SMARTSIDE TRIM BOARD
- ⑫ LP SMARTSIDE FASCIA
- ⑬ VENTED LP SMARTSIDE SOFFIT
- ⑭ LP SMARTSIDE TRIM BOARD WRAPPED SUPPORT BRACKET
- ⑮ PREFINISHED METAL GUTTER
- ⑯ WINDOW SYSTEM
- ⑰ SLIDING PATIO DOOR SYSTEM
- ⑱ INSULATED ENTRY DOOR SYSTEM
- ⑲ PREFINISHED METAL INSULATED OVERHEAD DOOR
- ⑳ PREFINISHED ALUMINUM RAILING SYSTEM WITH CORNER POSTS
- ㉑ STAINED/PAINTEDECORATIVE WOOD TRELLIS



**3 WEST - BUILDING B**  
 SCALE: 1/8" = 1'-0"



**4 EAST - BUILDING B**  
 SCALE: 1/8" = 1'-0"



**2 SOUTH - BUILDING B**  
 SCALE: 1/8" = 1'-0"



**1 NORTH - BUILDING B**  
 SCALE: 1/8" = 1'-0"





# Clearwater Apartments

building b - north perspective  
03.22.19





# Clearwater Apartments

building b - south perspective  
03.22.19





# Clearwater Apartments

building b - west perspective  
03.22.19





# Clearwater Apartments

building a - north perspective  
03.22.19





# Clearwater Apartments

building a - south perspective  
03.22.19