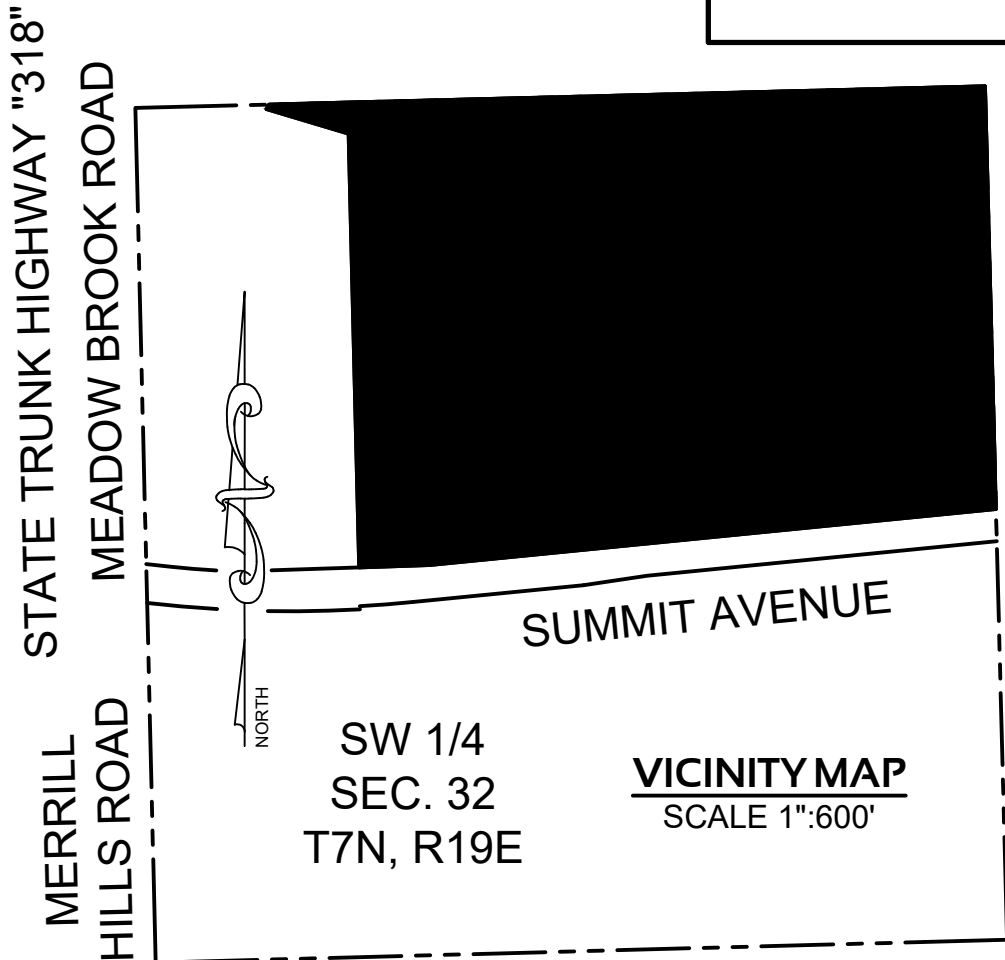


# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

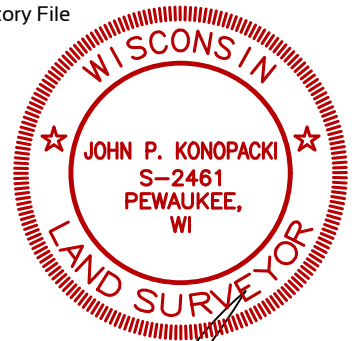
Being a part of the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Southwest 1/4 of Section 32, Township 7 North, Range 19 East, City of Waukesha, Waukesha County, Wisconsin.



Subject Property  
Zoning: T-1  
Tax Key Number:  
WAKC 0991-999-004

**NOTES:**

- All measurements have been made to the nearest one-hundredth of a foot.
- All angular measurements have been made to the nearest one second.
- Bearings referenced to the Wisconsin State Plane Coordinate System, South Zone (N.A.D. 1983/2011). The north line of the Southwest 1/4 of Section 32, Township 7 North, Range 19 East has a bearing of N88°32'32"E.
- Wetlands and 100 year flood plain shown on Outlot 1 of this Certified Survey Map is based on the recorded plat of Rolling Ridge South Addition No. 8, recorded April 12, 2006 as Document No. 3377485.
- Wetland Delineation completed on Lot 1 of this Certified Survey Map by Hey and Associates, Inc. completed on May 11, 2022. Nonfederal Wetland Exemption Determination EXE-SE-2022-68-02709 dated August 9, 2022. Department of the Army Jurisdictional Determination - No Waters of the United States - Regulatory File No. MVP-2022-01012-CJB, dated July 11, 2022.
- 10' TEMPORARY SLOPE EASEMENT: No permanent improvements shall be permitted thereon until such time as the concrete sidewalk is installed. The Temporary Slope Easement shall terminate and be of no further force or effect upon completion of the initial construction of the sidewalk.
- Outlot 1 shall be an Environmental Corridor Preservation and Conservancy area.
- A separately recorded Storm Water Maintenance Agreement describing the rights, conditions, and restrictions of the storm water facilities shall be recorded at the Waukesha County Register of Deeds.
- STORM WATER MANAGEMENT EASEMENT to be recorded by separate document.
- All Sanitary Sewer Easements shown hereon are hereby granted, along with full access rights, to the City of Waukesha.
- Outlot 1 cannot be conveyed separately from Lot 1.



AUGUST 11, 2023

Prepared By:  
**PINNACLE ENGINEERING GROUP**  
20725 WATERTOWN ROAD | SUITE 100  
BROOKFIELD, WI 53186  
OFFICE: (262) 754-8888

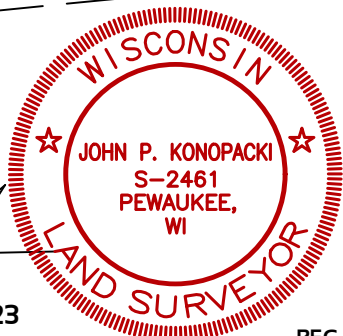
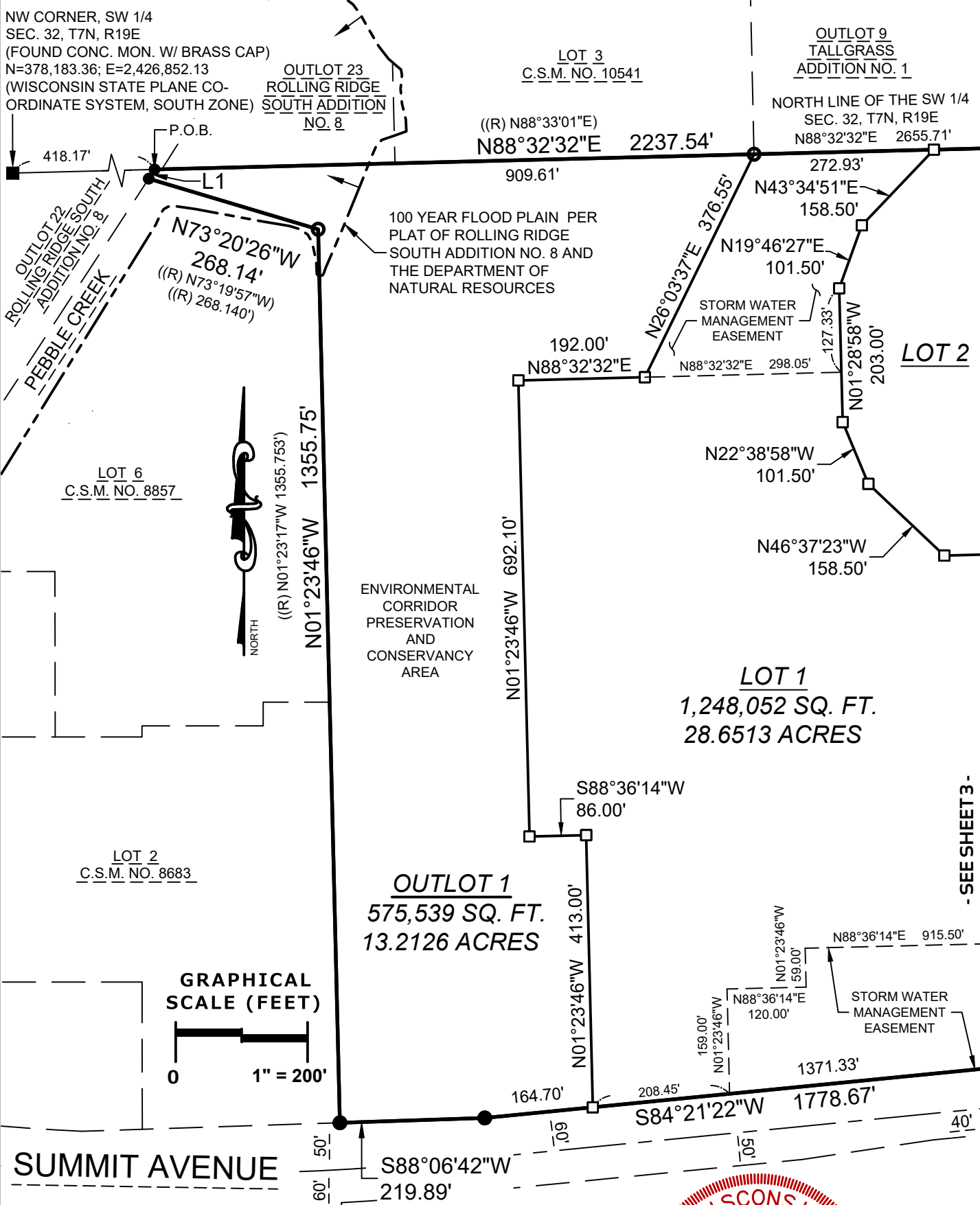
Prepared for:  
Continental 665 Fund LLC  
W134N8675 Executive Parkway  
Menomonee Falls, WI 53051

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEG JOB#2827.00  
SHEET 1 OF 9

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

Being a part of the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Southwest 1/4 of Section 32, Township 7 North, Range 19 East, City of Waukesha, Waukesha County, Wisconsin.



AUGUST 11, 2023

Prepared By:  
**PINNACLE ENGINEERING GROUP**  
20725 WATERTOWN ROAD | SUITE 100  
BROOKFIELD, WI 53186  
OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

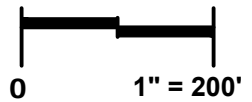
PEG JOB#2827.00  
**SHEET 2 OF 9**

- SEE SHEET 3 -

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

Being a part of the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Southwest 1/4 of Section 32, Township 7 North, Range 19 East, City of Waukesha, Waukesha County, Wisconsin.

GRAPHICAL SCALE (FEET)



OUTLOT 9  
TALLGRASS  
ADDITION NO. 1

((R) N88°32'41"E)  
N88°32'32"E

2237.54'  
1055.00'

WINTERBERRY  
DRIVE

LOT 104

LOT 105

LOT 106

LOT 68

LOT 67

OUTLOT 6

TALLGRASS ADDITION NO. 1

NE CORNER, SW 1/4  
SEC. 32, T7N, R19E  
(FOUND CONC. MON.  
W/ BRASS CAP)

LOT 7 - BLOCK 1  
MAPLE LANE HILLS

LOT 6 - BLOCK 1  
MAPLE LANE HILLS

LOT 4 - BLOCK 1  
MAPLE LANE HILLS

LOT 3 - BLOCK 1  
MAPLE LANE HILLS

LOT 2 - BLOCK 1  
MAPLE LANE HILLS

LOT 1 - BLOCK 1  
MAPLE LANE HILLS

WINDSOR  
PLACE

LOT 1 - BLOCK 8  
MAPLE LANE HILLS

LOT 2 - BLOCK 8  
MAPLE LANE HILLS

LOT 3 - BLOCK 8  
MAPLE LANE HILLS

LOT 2  
967,304 SQ. FT.  
22.2062 ACRES

LOT 1  
1,248,052 SQ. FT.  
28.6513 ACRES

-SEE SHEET 2-

S88°32'32"W 689.00'

N01°28'58"W  
253.16'

S88°31'02"W  
124.00'

N01°28'58"W  
60.00'

N88°31'02"E  
124.00'

N01°28'58"W  
368.34'

S88°31'02"W  
124.00'

N88°36'14"E 915.50'

STORM WATER  
MANAGEMENT  
EASEMENT

N01°28'58"W  
41.59'

90.45'

242.64'

S84°21'22"W 1778.67'

S01°28'58"E 1321.32'

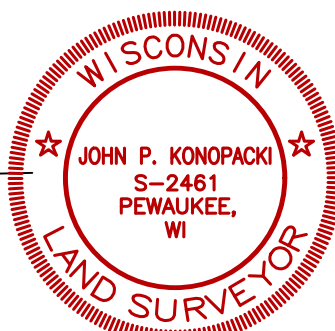
EAST LINE OF THE SW 1/4  
SEC. 32, T7N, R19E  
S01°28'58"E 2667.63'

SE CORNER, SW 1/4  
SEC. 32, T7N, R19E  
(FOUND CONC. MON.  
W/ BRASS CAP)

LEGEND:

- - Denotes Found 1" Iron Pipe
- - Denotes Found 3/4" Iron Rod
- - Denotes Set 3/4" X 18" Iron Rebar, 1.50 LBS./FT.
- (R) - Denotes "Recorded As"

AUGUST 11, 2023



Prepared By:

**PINNACLE ENGINEERING GROUP**

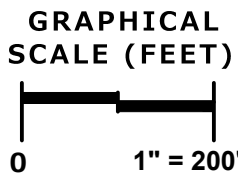
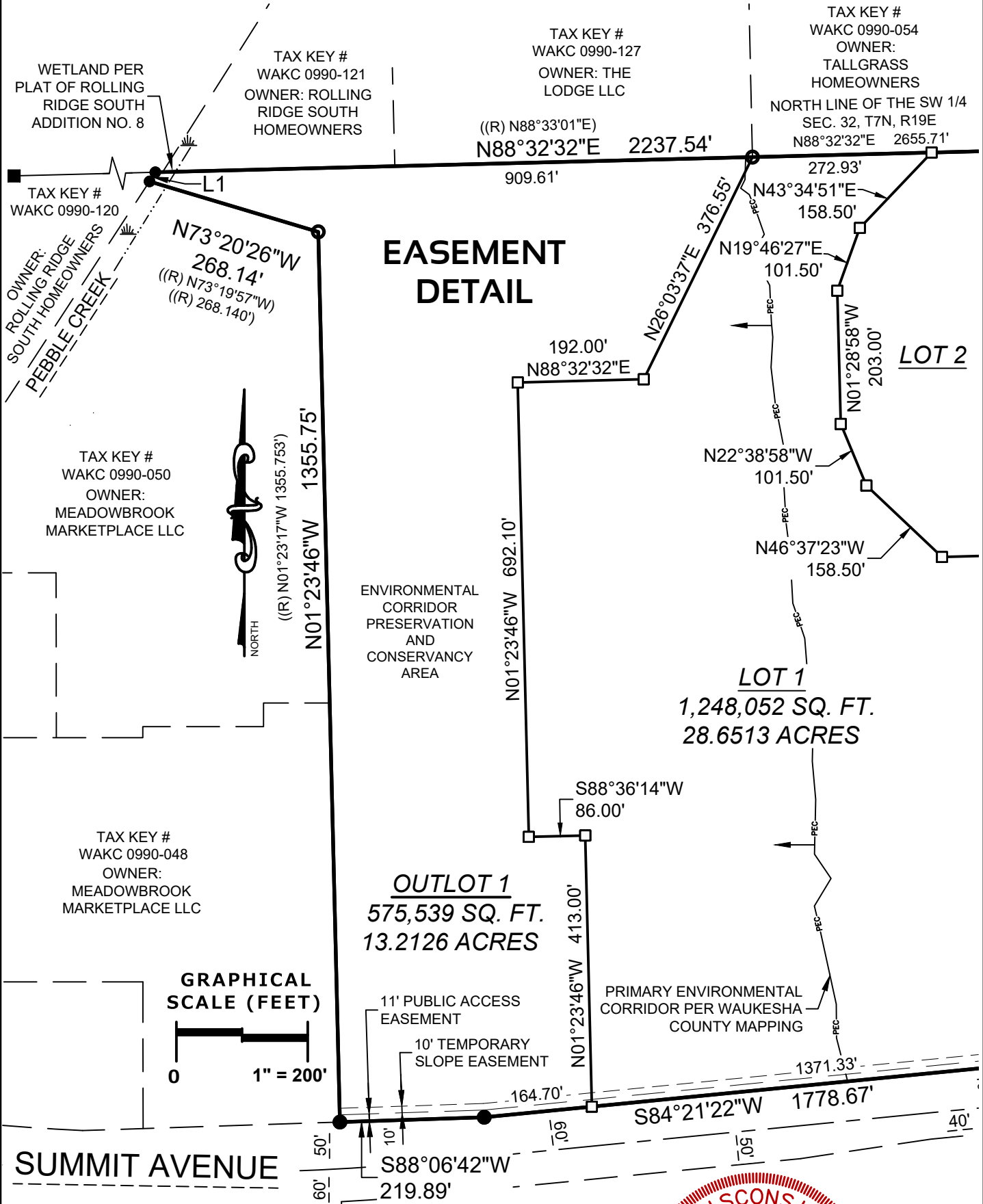
20725 WATERTOWN ROAD | SUITE 100  
BROOKFIELD, WI 53186  
OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

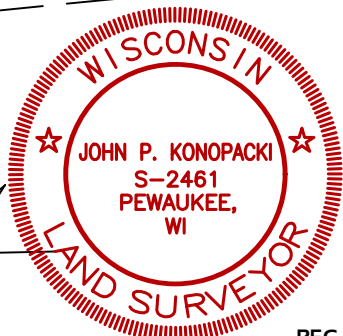
PEG JOB#2827.00  
SHEET 3 OF 9

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

Being a part of the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Southwest 1/4 of Section 32, Township 7 North, Range 19 East, City of Waukesha, Waukesha County, Wisconsin.



- LEGEND:**
- - Denotes Found 1" Iron Pipe
  - - Denotes Found 3/4" Iron Rod
  - - Denotes Set 3/4" X 18" Iron Rebar, 1.50 LBS./FT.
  - (R) - Denotes "Recorded As"



Prepared By:  
**PINNACLE ENGINEERING GROUP**  
 20725 WATERTOWN ROAD | SUITE 100  
 BROOKFIELD, WI 53186  
 OFFICE: (262) 754-8888

**AUGUST 11, 2023**

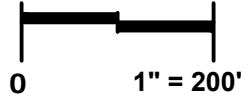
This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEG JOB#2827.00  
**SHEET 4 OF 9**

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

Being a part of the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Southwest 1/4 of Section 32, Township 7 North, Range 19 East, City of Waukesha, Waukesha County, Wisconsin.

**GRAPHICAL SCALE (FEET)**



OWNER:  
TALLGRASS  
HOMEOWNERS

((R) N88°32'41"E)  
N88°32'32"E

2237.54'

TAX KEY # WAKC 0990-054

OWNER:  
TALLGRASS  
HOMEOWNERS

TAX KEY # WAKC 0990-051

NE CORNER, SW 1/4  
SEC. 32, T7N, R19E  
(FOUND CONC. MON.  
W/ BRASS CAP)

TAX KEY # WAKC  
0992-007-001  
OWNER: RT JABS  
REVOC TRUST

TAX KEY # WAKC  
0992-006-001  
OWNER: JONES

TAX KEY # WAKC  
0992-004-001  
OWNER: SAINE

TAX KEY # WAKC  
0992-003-001  
OWNER: FREITAG

TAX KEY # WAKC  
0992-002-001  
OWNER: HOEG

TAX KEY # WAKC  
0992-001-001  
OWNER: GARRETT  
FAMILY TRUST

**WINDSOR  
PLACE**

TAX KEY #  
WAKC 0992-063  
OWNER: PARSON

TAX KEY #  
WAKC 0992-064  
OWNER: PARSON

TAX KEY #  
WAKC 0992-065  
OWNER: HARTMANN

**EASEMENT  
DETAIL**

**LOT 2**  
967,304 SQ. FT.  
22.2062 ACRES

**LOT 1**  
1,248,052 SQ. FT.  
28.6513 ACRES

S88°32'32"W 689.00'

N01°28'58"W  
253.16'

S88°31'02"W  
124.00'

N01°28'58"W  
60.00'

N88°31'02"E  
124.00'

SANITARY SEWER  
EASEMENT PER  
DOC. 2576442

S88°31'02"W  
124.00'

N22°27'05"E  
43.41'

N01°28'58"W  
41.59'

S84°21'22"W 1778.67'

**SUMMIT AVENUE**

10' TEMPORARY  
SLOPE EASEMENT

11' PUBLIC ACCESS  
EASEMENT

889.00'

S01°28'58"E 1321.32'

N01°28'58"W 395.38'

37.71'

EAST LINE OF THE SW 1/4  
SEC. 32, T7N, R19E  
S01°28'58"E 2667.63'

SE CORNER, SW 1/4  
SEC. 32, T7N, R19E  
(FOUND CONC. MON.  
W/ BRASS CAP)

**LEGEND:**

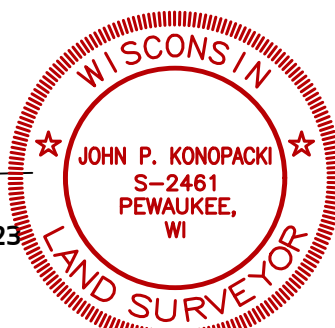
- - Denotes Found 1" Iron Pipe
- - Denotes Found 3/4" Iron Rod
- - Denotes Set 3/4" X 18" Iron Rebar, 1.50 LBS./FT.
- (R) - Denotes "Recorded As"

Prepared By:

**PINNACLE ENGINEERING GROUP**

20725 WATERTOWN ROAD | SUITE 100  
BROOKFIELD, WI 53186  
OFFICE: (262) 754-8888

AUGUST 11, 2023





# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

Being a part of the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Southwest 1/4 of Section 32, Township 7 North, Range 19 East, City of Waukesha, Waukesha County, Wisconsin.



**GRAPHICAL SCALE (FEET)**  
0 1" = 200'

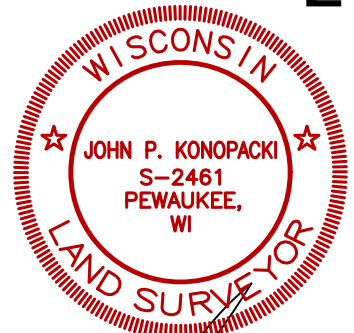
**OUTLOT 1**

**20' PUBLIC WATER MAIN EASEMENT DETAIL**

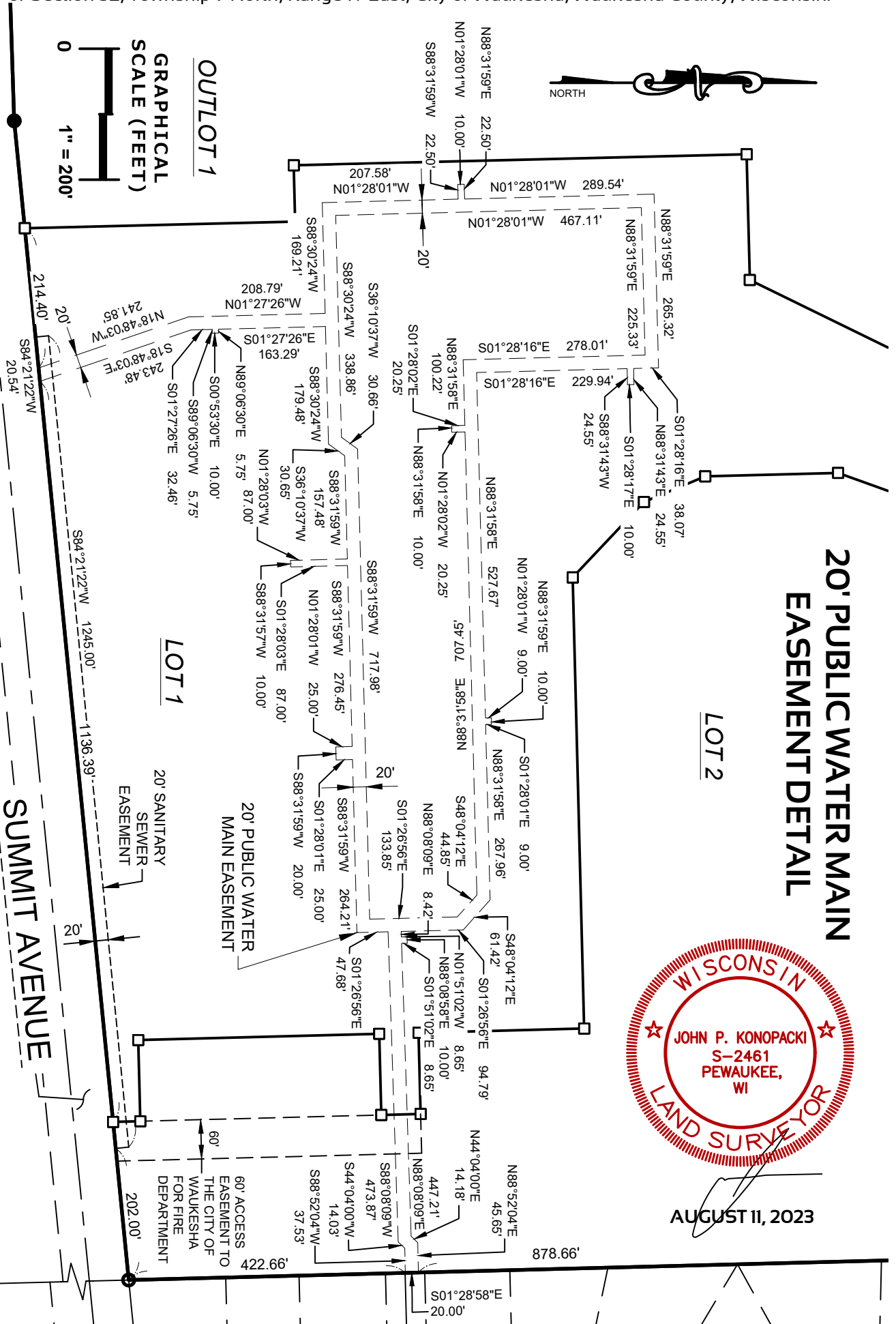
**LOT 2**

**LOT 1**

**SUMMIT AVENUE**



**AUGUST 11, 2023**



**LEGEND:**

- Denotes Found 1" Iron Pipe
- Denotes Found 3/4" Iron Rod
- Denotes Set 3/4" X 18" Iron Rebar, 1.50 LBS./FT.

Prepared By:

**PINNACLE ENGINEERING GROUP**

20725 WATERTOWN ROAD | SUITE 100

BROOKFIELD, WI 53186

OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEG JOB#2827.00

**SHEET 6 OF 9**

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

Being a part of the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Southwest 1/4 of Section 32, Township 7 North, Range 19 East, City of Waukesha, Waukesha County, Wisconsin.

## SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN)  
WAUKESHA COUNTY) SS

I, John P. Konopacki, Professional Land Surveyor, do hereby certify:

That I have surveyed, mapped and divided that part of the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Southwest 1/4, Section 32, Township 7 North, Range 19 East, City of Waukesha, Waukesha County, Wisconsin, described as follows:

Commencing at the northwest corner of the Southwest 1/4 of said Section 32; thence North 88°32'32" East along the north line of said Southwest 1/4, 418.17 feet to the east line of Outlot 22 of Rolling Ridge South Addition No. 8, a recorded subdivision, and the Point of Beginning;

Thence continuing North 88°32'32" East along said north line, 2237.54 feet to the northeast corner of said Southwest 1/4 of Section 32; Thence South 01°28'58" East along the east line of said Southwest 1/4, 1321.32 feet to the north right of way line of Summit Avenue;

Thence South 84°21'22" West along said north line, 1778.67 feet;

Thence South 88°06'42" West along said north right of way line, 219.89 feet to the east line of Certified Survey Map No. 8683;

Thence North 01°23'46" West along said east line, 1355.75 feet;

Thence North 73°20'26" West along said Certified Survey Map, 268.14 feet to the aforesaid east line of Outlot 22

of Rolling Ridge South Addition No. 8;

Thence North 32°07'48" East along said east line, 16.42 feet to the Point of Beginning.

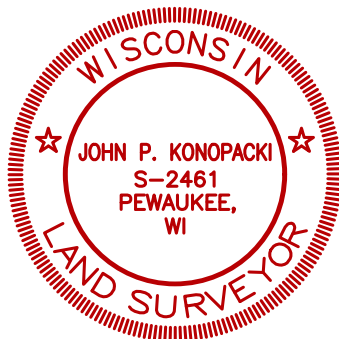
Containing 2,790,895 square feet (64.0701 Acres), more or less.

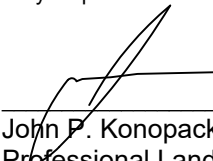
That I have made such survey, land division and map by the direction of Continental 665 Fund LLC, owner of said land.

That such map is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

That I have fully complied with the requirements of Chapter 236 of the Wisconsin State Statutes and the City of Waukesha Land Division Ordinance in surveying, mapping and dividing the land within the certified survey map.

Date: AUGUST 11, 2023



  
John P. Konopacki  
Professional Land Surveyor S-2461

LINE TABLE		
LINE NO.	BEARING	DISTANCE
L1	N32°07'48"E	16.42'
(R)	(N32°08'17"E)	(16.420')

Prepared By:

**PINNACLE ENGINEERING GROUP**

20725 WATERTOWN ROAD | SUITE 100

BROOKFIELD, WI 53186

OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEG JOB#2827.00  
SHEET 7 OF 9

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

Being a part of the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Southwest 1/4 of Section 32, Township 7 North, Range 19 East, City of Waukesha, Waukesha County, Wisconsin.

## OWNER'S CERTIFICATE OF DEDICATION

Continental 665 Fund LLC, a Limited Liability Company duly organized and existing under and by virtue of the laws of the State of Delaware, as owner, does hereby certify that said limited liability company caused the land described on this certified survey map to be surveyed, divided, mapped and dedicated as represented on this certified survey map.

Continental 665 Fund LLC, as owner, does further certify that this certified survey map is required by Chapter 236 of the Wisconsin State Statutes to be submitted to the following for approval or objection:

1. City of Waukesha

IN WITNESS WHEREOF, the said Continental 665 Fund LLC has caused these presents to be signed by DANIEL J. MINAHAN, PRESIDENT OF CONTINENTAL PROPERTIES COMPANY, INC., A WISCONSIN CORPORATION, THE MANAGER OF CONTINENTAL 665 FUND LLC, at MENOMONEE FALLS, WAUKESHA COUNTY, WISCONSIN, on this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

In the presence of: Continental 665 Fund LLC, a Delaware limited liability company  
BY: CONTINENTAL PROPERTIES COMPANY, INC., A WISCONSIN CORPORATION, ITS MANAGER

\_\_\_\_\_  
BY: DANIEL J. MINAHAN, its PRESIDENT

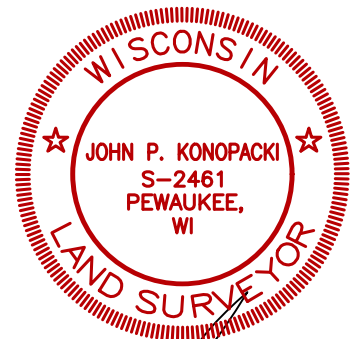
STATE OF \_\_\_\_\_ )  
\_\_\_\_\_ COUNTY ) SS

Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_, 2022, DANIEL J. MINAHAN, PRESIDENT OF CONTINENTAL PROPERTIES COMPANY, INC., A WISCONSIN CORPORATION, THE MANAGER OF CONTINENTAL 665 FUND LLC, to me known to be the person who executed the foregoing instrument, and to me known to be such PRESIDENT OF CONTINENTAL PROPERTIES COMPANY, INC., A WISCONSIN CORPORATION, THE MANAGER OF CONTINENTAL 665 FUND LLC, and acknowledged that they executed the foregoing instrument as such officer as the deed of said limited liability, by its authority.

\_\_\_\_\_  
Notary Public  
Name: \_\_\_\_\_  
State of \_\_\_\_\_  
My Commission Expires: \_\_\_\_\_

## ENVIRONMENTAL CORRIDOR PRESERVATION AND CONSERVANCY AREA Conservancy-Floodplain, Wetland, Primary Environmental Corridor, and Isolated Natural Resource Preservation Restrictions

1. Environmental Corridor Preservation area easement on Outlot 1 granted to City of Waukesha.
2. Grading, filling and removal of topsoil or other earthen materials are prohibited, unless specifically authorized by this municipality in which this land is located and, if applicable, the Waukesha County Department of Parks and Land Use, the Wisconsin Department of Natural Resources and the Army Corps of Engineers.
3. The removal or destruction of any vegetative cover, i.e. trees, shrubs, grasses, etc. is prohibited, with the exception of that dead, diseased, or dying vegetation may be removed, at the discretion of the landowner and with approval from the City of Waukesha. Silvicultural thinning upon the recommendation of a forester or naturalist and with approval from the City of Waukesha shall also be permitted.
4. Grazing by domesticated animals, i.e., horses, cows, etc., is prohibited within the Conservancy-Floodplain/Wetland area and shall be discouraged to the greatest extent possible within the Primary Environmental Corridor area.
5. The introduction of plant materials not indigenous to the existing environment is prohibited.
6. Ponds may be permitted subject to the approval of the municipality in which they are located and, if applicable, the Waukesha County Department of Parks and Land use, the Wisconsin Department of Natural Resources, and the Army Corps of Engineers.
7. The construction of buildings is prohibited.
8. The City of Waukesha or their designee are authorized access to the Environmental Corridor Preservation area for purposes of inspecting and enforcing the restrictions in the Isolated Natural Resource Area easements.



AUGUST 11, 2023

Prepared By:

**PINNACLE ENGINEERING GROUP**

20725 WATERTOWN ROAD | SUITE 100

BROOKFIELD, WI 53186

OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEG JOB#2827.00

SHEET 8 OF 9



# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

Being a part of the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of the Southwest 1/4 of Section 32, Township 7 North, Range 19 East, City of Waukesha, Waukesha County, Wisconsin.

## COMMON COUNCIL APPROVAL AND ACCEPTANCE OF DEDICATION

Approved by the Common Council of the City of Waukesha, per Plan Commission recommendation on this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

\_\_\_\_\_  
Date

\_\_\_\_\_  
Shawn N. Reilly, Mayor

\_\_\_\_\_  
Date

\_\_\_\_\_  
Gina Kozlik, City Clerk

## PLAN COMMISSION APPROVAL

Approved by the Plan Commission of the City of Waukesha on this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

\_\_\_\_\_  
Date

\_\_\_\_\_  
Shawn N. Reilly, Chairman

\_\_\_\_\_  
Date

\_\_\_\_\_  
Doug Koehler, Secretary



  
AUGUST 11, 2023

Prepared By:

**PINNACLE ENGINEERING GROUP**

20725 WATERTOWN ROAD | SUITE 100

BROOKFIELD, WI 53186

OFFICE: (262) 754-8888

This instrument drafted by John P. Konopacki, PLS-License No. S-2461

PEG JOB#2827.00

SHEET 9 OF 9