

CONSORTIUM ae

\kən-`sor-sh(ē)əm\ a.e. : an architectural engineering partnership

Oconomowoc | WI 53066
Gregg Prossen, Principal

TELEPHONE 414.406.7625
www.consortiumae.com

An ADDITION FOR:

MEDICO MART 2022 ADDITION

2323 CORPORATE DRIVE
WAUKESHA WI 53189

the CONSORTIUM ae PROJECT #:0022-29



PROPOSED 7,200 S.F. OFFICE & WAREHOUSE ADDITION DIGITAL RENDERING



MEDICO MART 2022 ADDITION
2022-11-11 PC SUBMISSION

ABBREVIATION KEY

ACT	ACUSTICAL CEILING TILE	GA	GAUGE	SCWD	SCHEDULE
ADJ	ADJUSTABLE	GLV	GALVANIZED	SF	SQUARE FOOT
A.F.F.	ADJAC FRESH FLOOR	GM	GRAB BAR	SH	SHEET
ALT.	ALTERNATE	GC	GENERAL CONTRACTOR	SM	SIMILAR
ALUM	ALUMINUM	GEN	GENERAL	SPRC	SPECIFICATIONS
ARCH	ARCHITECTURAL/ARCHITECT	GGF	GROUND FAULT INTERRUPTOR	SQ	SQUARE
ASPH	ASPHALT	GL	GLASS	SS	STAINLESS STEEL
AWE	AWE/ANGLE	GMB	GLASS MASONRY UNIT	ST	STREET
		GWB	GYP/SJM WALL BOARD	STC	SOUND TRANSMISSION CLASS
BLDG	BUILDING	OPF	OPENING	STD	STANDARD
BLK	BLOCK			STL	STEEL
BLU	BLUENING	HL	HOSE HUB	STUCT	STRUCTURAL
BLK KT	BLUENING METAL	HMM	YELLOW METAL	SUSP	SUSPENDED
B.K.	BY OWNER	HRC	HORIZONTAL	SW	SHEET WEIGHT
B.O.B	BOTTOM OF BEAM	HV	HIGH	SW	SWANNEK
B.O.D	BOTTOM OF DECK	HT	HEIGHT	TMP	TEMPERATURE
B.O.F	BOTTOM OF FOOTING	HVC	HEATING VENTILATING & AIR CONDITIONING	TYP	TYPICAL
B.O.J	BOTTOM OF JOIST	JAN	JANITOR	T.B.E.	TOP OF BEAM
BSI	BOTTOM SILL	JNT	JOINT	T.O.D.	TOP OF DECK
ADK	BEARING	JST	JOIST	T.O.F.	TOP OF FOOTING
BRG	BRICK	JNL	JUNCTION	T.O.J.	TOP OF JOIST
BSMT	BASEMENT	JNT	JOINT	T.O.S.	TOP OF SLAB
INT	INTERIOR	JST	JOIST	T.O.W.	TOP OF WALL
CAB	CABINET	JAN	JANITOR	UND	UNDERPARTS LABORATORIES
CG	CORNER GUARD	JNT	JOINT	UNK	UNDETERMINED
C.I.	CONTROL/CONSTRUCTION JOINT	JNT	JOINT	UNF	UNFINISHED
CL	CENTERLINE	JST	JOIST	UNO	UNLESS NOTED OTHERWISE
CLAR	CLEARANCE	LAB	LABORATORY	VB	VANAL BASE
CPT	CORNER PART	LAM	LAMINATED	VCT	VINYL COMPOSITION TILE
CMB	CONCRETE MASONRY UNIT	LAV	LAVATORY	VERT	VERTICAL
COL	COLUMN	LF	LINEAL FOOT	VFL	VENIL FLOORING CAPTER
CONC	CONCRETE	LL	LINEAL LOAD	VF	VERIFY IN FIELD
CONST	CONSTRUCTION	LVN	LINEAR FOOT	VGF	VANAL SHEET FLOORING
CONTR	CONTRACTOR	LVR	COVER	VH	VANAL SHIMMING
CONTRK	CONTRACTOR	LVN	COVER	VI	VANAL TILE
CSBR	CORRUGATED CORRUGATED	MATL	MATERIAL	VIR	VENT THROUGH ROOF
CSMT	CASHEMENT	MAX	MAXIMUM	VWC	VANAL WALL COVERING
CT	CERAMIC TILE	MCH	MECHANICAL	W	WIDTH
CSR	CENTER	MCS	MISCELLANEOUS	WI	WITH
CU	CUBIC	M.E.S	MECHANICAL/ELECTRICAL/PLUMBING	WO	WOOD
CUF	CONTRACTOR FURNISHED; OWNER INSTALLED	MFR	MANUFACTURER	WD	WOOD LOAD
		MN	MINIMUM	WF	WIND LOAD
DBL	DOUBLE	MSC	MISCELLANEOUS	WFT	WIND
DEPT	DEPARTMENT	M.O.	MEASURE OPENING		
DIAM	DIAMETER	M.R.	MASONRY RESISTANT		
DIS	DIAMETER/DIAGONAL	MTL	METAL		
DM	DIMENSION	NC	NOT IN CONTRACT		
DW	DIMENSION	NO	NUMBER		
DWG	DRAWING	NOM	NOMINAL		
		NTS	NOT TO SCALE		
EA	EACH	O.C.	ON CENTER		
E.I.F.S	EXTERIOR INSULATION FINISH SYSTEM	OFD	OWNER FURNISHED; CONTRACTOR INSTALLED		
EL	ELEVATION	OFI	OWNER FURNISHED; OWNER INSTALLED		
ELEC	ELECTRICAL	OPNG	OPENING		
ENCL	ENCLOSURE	OPP	OPPOSITE		
ENGR	ENGINEER	OZ	OUNCE		
ENYMT	FORM FRESH				
EQ	EQUAL	P.LAM	PLASTIC LAMINATE		
EQIP	EQUIPMENT	PLVWD	PLYWOOD		
EST	ESTIMATE	PPT	PRESSURE TREATED WOOD		
ETH	EXISTING TO REMAIN	PREFAB	PREFABRICATED		
EXISTG	EXISTING	PRFN	PREFINISHED		
EXP.	EXPOSED CONSTRUCTION	PRELM	PRELIMINARY		
EXP_INT	EXPOSURE JOINT	PSFD	POUNDS PER SQUARE FOOT		
EXT	EXTERIOR	PT	PAINT		
		P&S	POLE AND SHELF		
FD	FLOOR DRAIN	QT	QUARRY TILE		
FDN	FOUNDATION				
F.F.	FIRE EXTINGUISHER	RAD	RADIUS		
FEC	FIRE EXTINGUISHER CABINET	RB	RUBBER BASE		
FHC	FIRE HOSE CABINET	RD	ROOF DRAIN		
FL	FLOOR	RCCD	RECEIVED		
FLN	FINISHED FLOOR	RECEVD	RECEIVED		
FLL	FLOOR	REF	REINFORCER		
FR	FRAME	REFR	REINFORCING		
FRL	FRAM	REQD	REQUIRED		
FRP	FIBERGLASS REINFORCED POLYESTER	RM	ROOM		
FT	FEET	ROLD	ROUGH OPENING		
FTS	FOOTING	RST	RUBBER STAR TREAD		
F.V.	FIELD VERIFY	RT	RUBBER TILE		

DRAWING ORGANIZATION

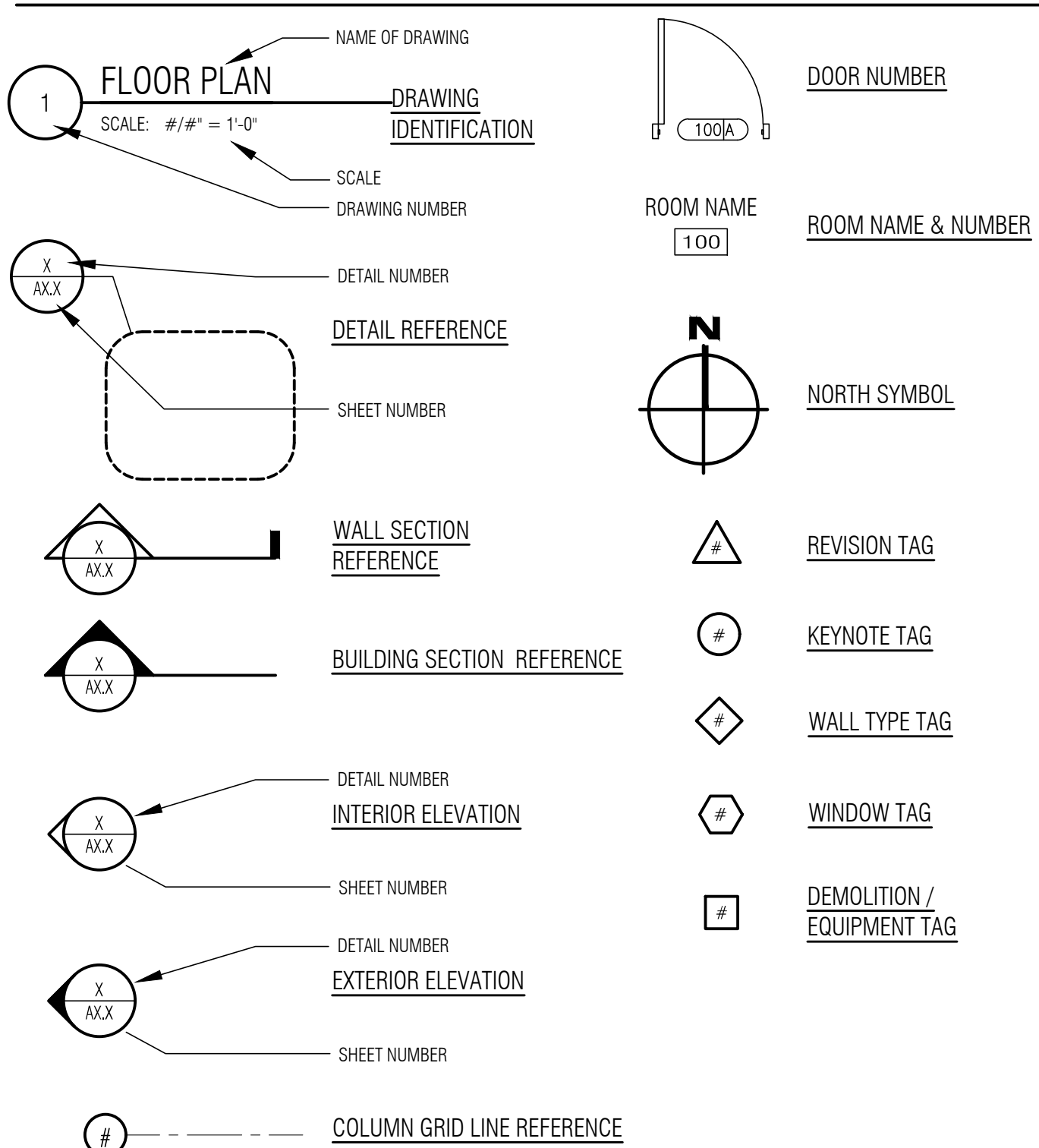
1	2	3	4	5	
6	7	8	9	10	
11	12	13	14	15	
16	17	18	19	20	

ALL ARCHITECTURAL DRAWINGS ARE ORGANIZED IN CONJUNCTION WITH THE ADJACENT GRID LAYOUT. DRAWINGS ARE NUMBERED IN SEQUENTIAL ORDER LEFT TO RIGHT, TOP TO BOTTOM BEGINNING WITH THE UPPER LEFT DRAWING.

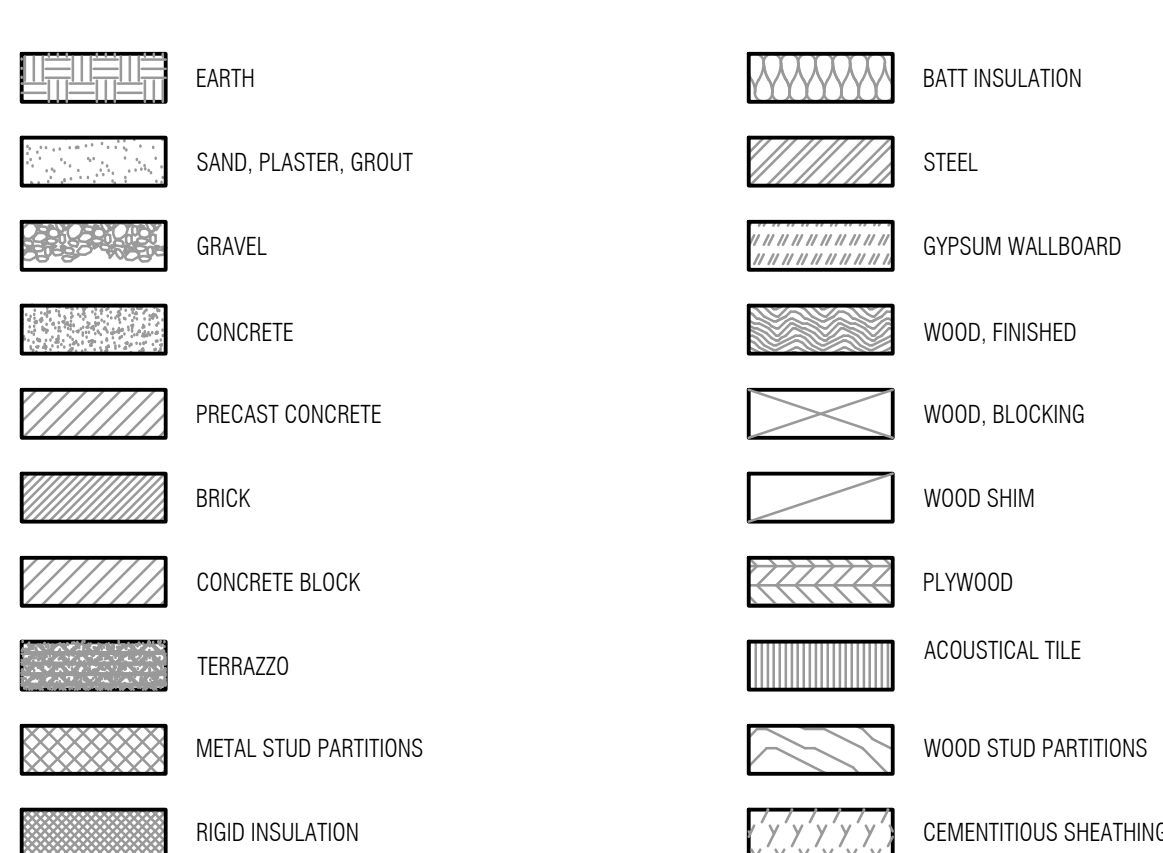
STRUCTURAL CONSULTANT

HARWOOD ENGINEERING CONSULTANTS LTD
 255 NORTH 21ST STREET
 MILWAUKEE, WI 53233
 (414)918-1240
 Mary.Piontkowski@hecl.com

SYMBOLS



MATERIALS



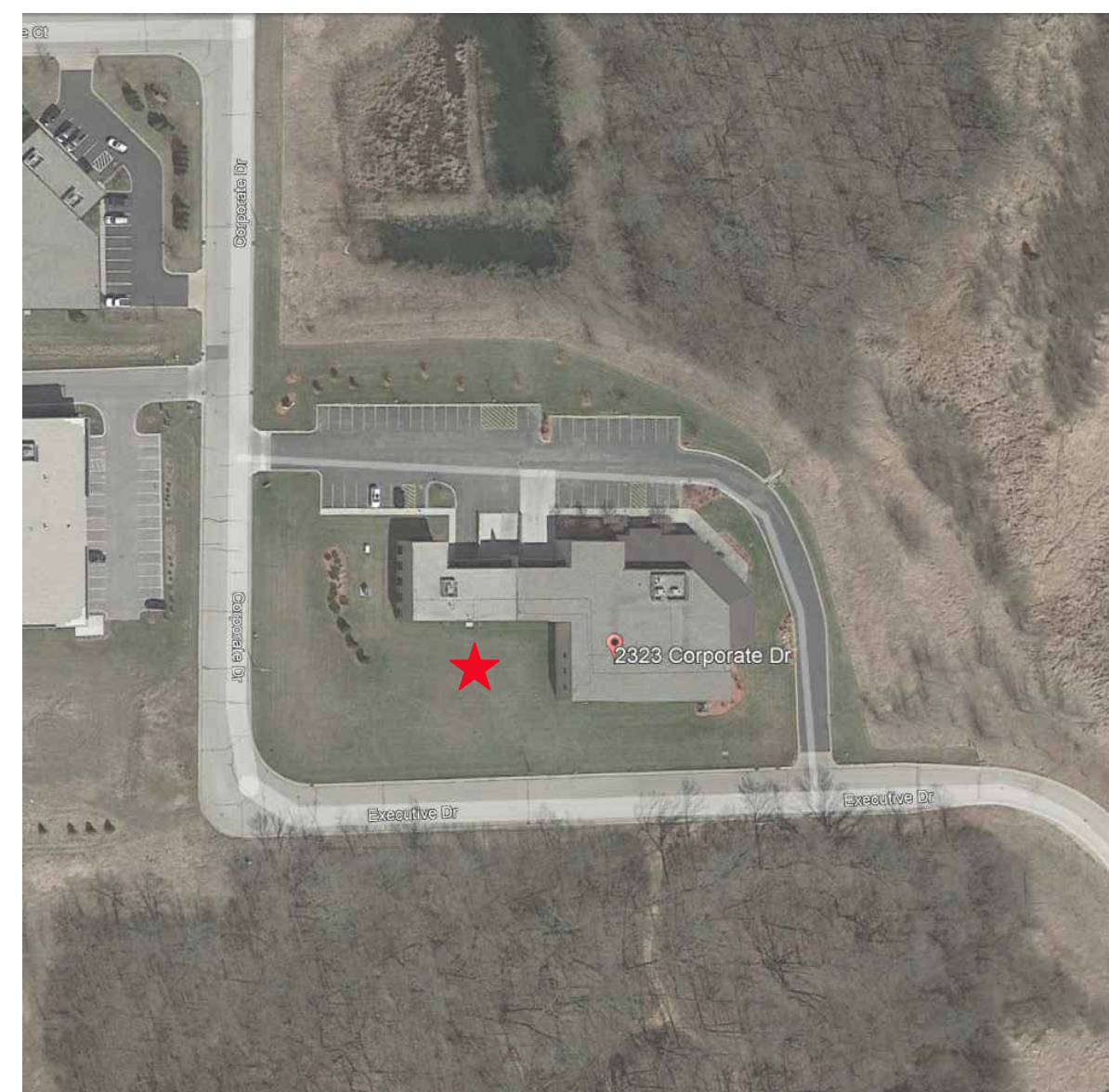
CIVIL CONSULTANT

HARWOOD ENGINEERING CONSULTANTS LTD
 255 NORTH 21ST STREET
 MILWAUKEE, WI 53233
 (414)918-1240
 Nathan.Schmit@hecl.com

GENERAL NOTES

- CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION.
- FINISHED FLOOR HEIGHT IS 100'-0". REFER TO CIVIL PLAN FOR ACTUAL DATUM ELEVATION.
- ALL WORK OF THE CONTRACTOR SHALL BE IN ACCORDANCE WITH APPLICABLE BUILDING CODES AND COMPLY WITH ALL GOVERNING LAWS, CODES, ORDINANCES, RULES AND REGULATIONS OF THE CITY, COUNTY STATE AND FEDERAL JURISDICTION INCLUDING REQUIREMENTS OF THE STATE OF WISCONSIN DEPARTMENT OF NATURAL RESOURCES.
- THE CONTRACTOR SHALL REPORT IMMEDIATELY ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THOSE SHOWN ON THE CONSTRUCTION DOCUMENTS, TO THE ARCHITECT.
- PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL CAREFULLY EXAMINE THE SITE OF THE WORK AND VERIFY GRADE ELEVATIONS, UTILITIES, AND OTHER EXISTING CONDITIONS WHETHER OR NOT SHOWN ON THE DRAWINGS. LOCATE ALL GENERAL SITE REFERENCE DATA FOR PROPERTY LINES AND GRADE ELEVATIONS AND DO THAT WORK WHICH IS NECESSARY TO PREVENT THEIR DISLOCATION OR DESTRUCTION.
- CONTRACTOR SHALL CLEAR THE CONTRACT WORK AREA ONLY. PROTECT EXISTING UTILITIES, TREES AND/OR NATURAL VEGETATION WHICH IS REQUIRED TO REMAIN.
- THE CLEARING/FILLING/EXCAVATING OF THIS AREA SHALL BE ACCOMPLISHED IN A MANNER AS TO MINIMIZE THE RUNOFF OF SILT AND SEDIMENT INTO THE STORM DRAINAGE SYSTEM AND ONTO ADJACENT OR DOWNSTREAM PROPERTIES. EROSION CONTROL MEASURES SHALL BE INSTITUTED AS NECESSARY BY THE CONTRACTOR TO ACCOMPLISH THIS EROSION CONTROL. ANY AND ALL EROSION PLANS REQUIRED FOR THIS WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- NO DEBRIS, EARTH MATERIAL, CLEARED VEGETATION OR WASTE MATERIALS SHALL BE DEPOSITED ON ANY OTHER PROPERTY WITHOUT FIRST OBTAINING THE REQUIRED PERMITS AND/OR APPROVALS. THIS INCLUDES THE INTRUSION OF SUCH MATERIAL INTO THE CITY STREET AND DRAINAGE SYSTEMS. CLEAN ANY DEBRIS LEFT IN THE STREET AT RESULT OF OPERATIONS IMMEDIATELY.
- BARRICADE AND POST WARNING SIGNS AND LIGHTS ADJACENT TO OPEN DEPRESSIONS AND HOLES OCCURRING AS PART OF THE WORK.
- MAINTAIN ACCESS TO ADJACENT PROPERTIES AT ALL TIMES.
- USE MEANS NECESSARY TO PREVENT DUST FROM BECOMING A NUISANCE TO THE PUBLIC, NEIGHBORS, AND OTHER WORK BEING PERFORMED ON OR NEAR THE SITE.
- GRADE AREAS ADJACENT TO BUILDINGS TO ACHIEVE DRAINAGE AWAY FROM BUILDINGS. SLOPE 5% OR GREATER, AS MAY BE SHOWN, FOR THE FIRST 10'-0" TOWARDS APPROVED DRAINAGE FACILITIES.
- FINISH FLOOR TO BE A MINIMUM 4" ABOVE ADJACENT FINISH GRADE.
- DO NOT SCALE DRAWINGS.
- VERIFY ALL ROUGH-IN DIMENSIONS FOR ALL BUILT-IN EQUIPMENT PRIOR TO PERFORMING WORK. NO CHANGE ORDERS WILL BE APPROVED FOR CONTRACTOR FAILURE TO DO SO.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING, FITTING OR PATCHING THAT MAY BE REQUIRED TO COMPLETE THE WORK.
- REPETITIVE FEATURES IN THE CONSTRUCTION DOCUMENTS ARE OFTEN DRAWN ONLY ONCE AND SHALL BE COMPLETELY PROVIDED AS IF DRAWN IN FULL.

SITE AERIAL



CONTRACTOR

DESIGN 2 CONSTRUCT DEVELOPMENT CORPORATION
 N173 W21010 NORTHWEST PASSAGE
 JACKSON, WISCONSIN 53037
 (262) 677-9933
 mkrenz@design2construct.com

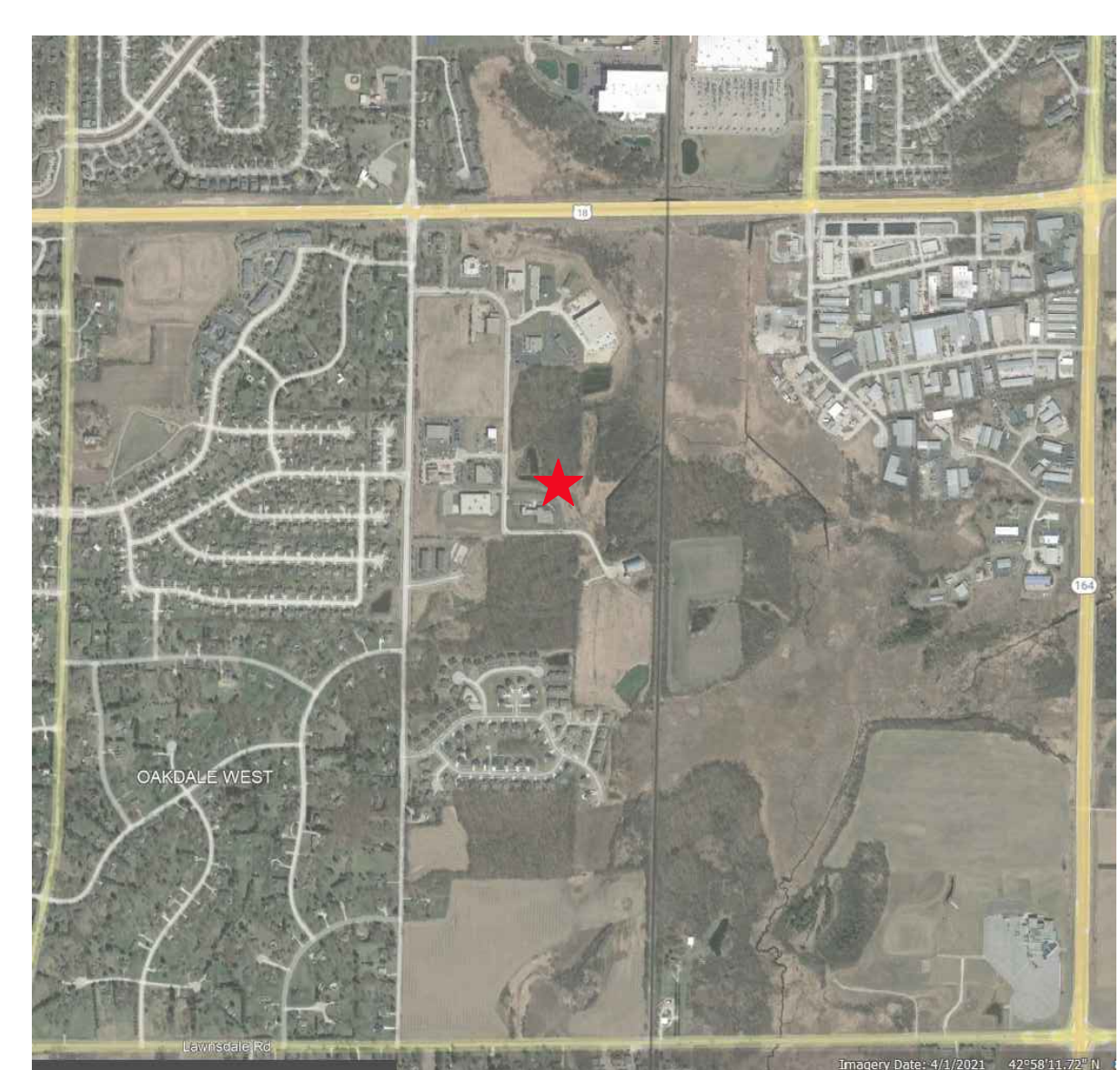
Sheet Set Index	
Sheet #	Sheet Title
A0.00	COVER SHEET
A0.01	INDEX PROJECT NOTES CODE INFO & MAPS
SP1.00	SITE PLAN - PROPOSED
C1.10	PROJECT LOCATION & GENERAL NOTES
C1.11	CIVIL SITE PLAN
C1.20	GRADING & EROSION CONTROL PLAN
A1.00	FLOOR PLAN - PROPOSED ADDITION
A3.00	ROOF PLAN & ROOF DETAILS
A4.00	ELEVATIONS
A6.00	WALL SECTIONS

PROJECT INFORMATION

SITE SIZE: 128,340 S.F. (2.95 ACRES)
 BUILDING ADDITION SIZE: 7,200 s.f. EXISTING BLDG SIZE: 20,887 s.f. TOTAL BLDG AREA : 28,087 s.f.
 BUILDING CODE: IBC-2015, IEBC-2015, ICC/ANSI 117.1 - 2009
 OCCUPANCY CLASSIFICATION: Group S1, B & F1
 CONSTRUCTION TYPE: IIB
 SPRINKLERED: YES NFPA 13

PLAN REVIEWER - CODE INFORMATION
 ALLOWABLE AREA FOR NON-SEPARATED USES (F1 MOST RESTRICTIVE) TABLE 506.2 TABULAR AREA = 62,000 S.F.
 62,000 S.F. ALLOWABLE > 28,087 S.F. ACTUAL AREA
 MINIMUM FIRE SEPARATION DISTANCE IS > 30' EXTERIOR WALL RATING = 0
 EXTERIOR WALLS > 30' FIRE SEPARATION DISTANCE (705.2), UNLIMITED UNPROTECTED OPENINGS (705.8)
 EGRESS DISTANCE = 250' MEDICO MART OCCUPANT LOAD = 47 (S1 500 SF/OCC + B 100 SF/OCC)
 EXITS REQUIRED (2) EXITS PROVIDED (3)
 SANITARY FIXTURE CALCULATIONS FOR MEDICO MART TENANT AREA (IBC TABLE 2902.1)
 B PRIMARY OCCUPANCY 50% MALE 50% FEMALE 24 OCCUPANTS EA SEX
 REQUIRED 1 TOILET + 1 LAVS PER SEX 1 DRINKING FOUNTAIN, 1 UTILITY SINK
 NO WORK IN EXISTING TENANT

GOOGLE EARTH VICINITY MAP



OWNER

WCC 2005 LLC
 2323 CORPORATE DRIVE
 WAUKESHA WI 53189
 (262) 446-2323
 www.medicomart.com

CONSORTIUM ae
 | kan-sor-sh(e)am | a.e. : an architectural engineering partnership
 the **Consortium ae** LLC
 Oconomowoc | Wisconsin | 53066 | Gregg Prossen, Principal
 | Telephone 414.406.7625
 www.consortiumae.com



Project:
MEDICO MART
2022 ADDITION

2323 CORPORATE DRIVE

Location:
WAUKESHA WI 53189



Sheet:
INDEX PROJECT NOTES CODE
INFO & MAPS

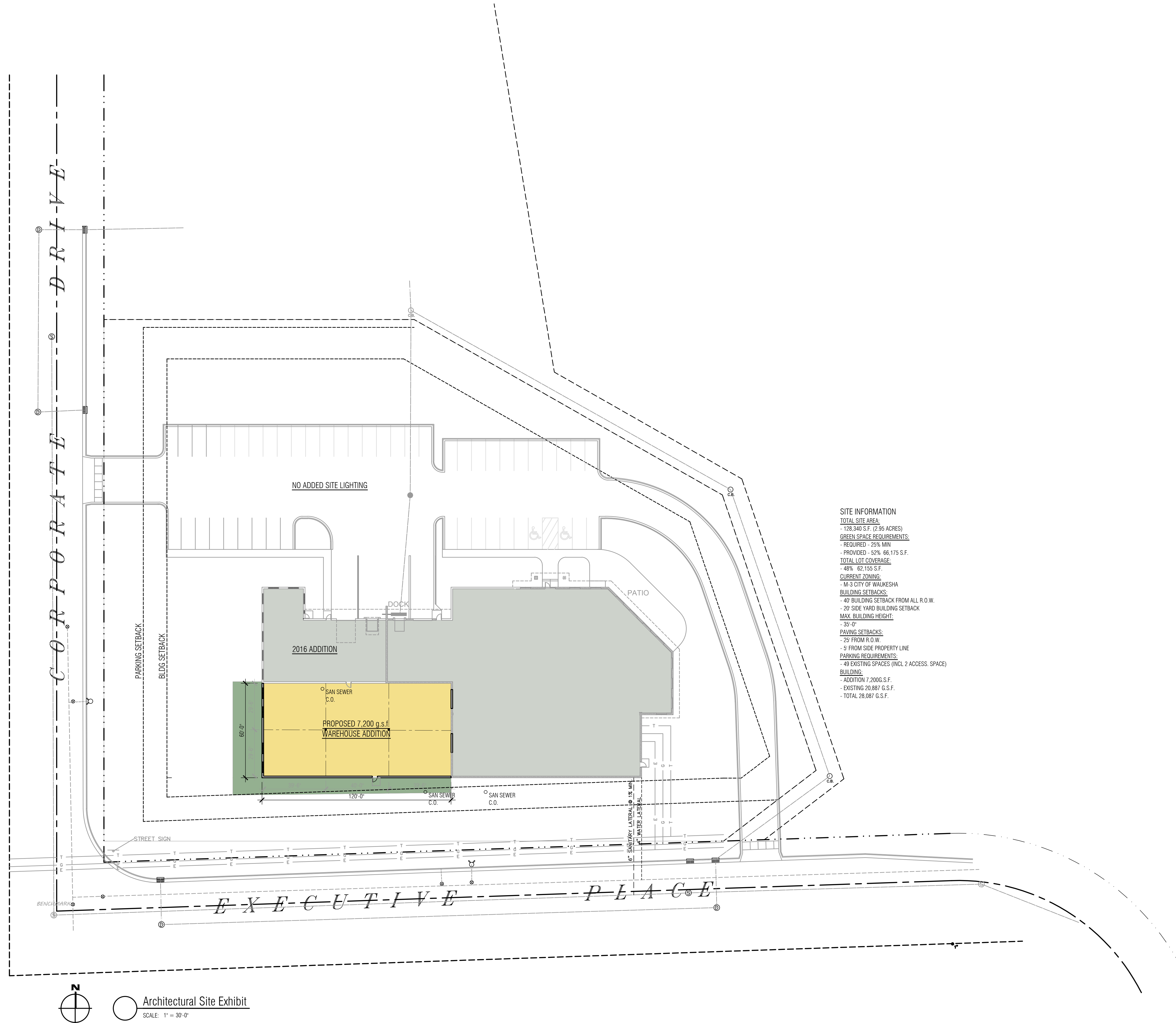
Date:	Issue Set:

Date:
2022-11-11 PC SUBMISSION

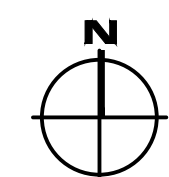
Project No.:
0022-29

Sheet No.:

A0.01



SITE INFORMATION
TOTAL SITE AREA:
 - 128,340 S.F. (2.95 ACRES)
GREEN SPACE REQUIREMENTS:
 - REQUIRED - 25% MIN
 - PROVIDED - 52% 66,175 S.F.
TOTAL LOT COVERAGE:
 - 48% 62,155 S.F.
CURRENT ZONING:
 - M-3 CITY OF WAUKESHA
BUILDING SETBACKS:
 - 40' BUILDING SETBACK FROM ALL R.O.W.
 - 20' SIDE YARD BUILDING SETBACK
MAX. BUILDING HEIGHT:
 - 35'-0"
PAVING SETBACKS:
 - 25' FROM R.O.W.
 - 5' FROM SIDE PROPERTY LINE
PARKING REQUIREMENTS:
 - 49 EXISTING SPACES (INCL 2 ACCESS. SPACE)
BUILDING:
 - ADDITION 7,200G S.F.
 - EXISTING 20,887 G.S.F.
 - TOTAL 28,087 G.S.F.

 **Architectural Site Exhibit**
 SCALE: 1" = 30'-0"



Project:
**MEDICO MART
 2022 ADDITION**

2323 CORPORATE DRIVE
 Location:
WAUKESHA WI 53189



Sheet:
SITE PLAN - PROPOSED

Date:	Issue Set:

Date:
2022-11-11 PC SUBMISSION

Project No.:
0022-29

Sheet No.:

SP1.00

Date:	Issue Set:

CIVIL SHEET INDEX:

C1.10	PROJECT LOCATION & GENERAL NOTES
C1.11	SITE PLAN
C1.20	GRADING & EROSION CONTROL PLAN



LEGEND:

UTILITY	GRADING
EXISTING: W ——— W ——— WATERMAIN E ——— E ——— BURIED ELECTRIC OHW ——— OHW ——— OVERHEAD WIRE GAS ——— GAS ——— GAS LINE SAN ——— SAN ——— SANITARY SEWER ST ——— ST ——— STORM SEWER UTILITY POLE LIGHT POLE SANITARY MANHOLE FIRE HYDRANT WATER VALVE STORM SEWER STRUCTURE	EXISTING: MAJOR CONTOUR MINOR CONTOUR EXIST SPOT ELEVATION PROPOSED: MAJOR CONTOUR MINOR CONTOUR SPOT ELEVATION (FINISHED GRADE, TOP OF PAVEMENT, FLANGE OF CURB) DOOR ELEVATION GROUND GRADE AT BUILDING SPOT ELEVATION (T/C - TOP OF CURB, EIP - EDGE OF PAVEMENT) RETAINING WALL SPOT ELEVATION (T/W - GROUND GRADE AT TOP OF WALL, B/W - GROUND GRADE AT BOTTOM) FLARED END SECTION (PIPE SIZE, INVERT ELEVATION) DRAINAGE FLOW DIRECTION EMERGENCY OVERTFLOW ROUTE
PROPOSED: W ——— W ——— WATERMAIN E ——— E ——— ELECTRICAL LINE GAS ——— GAS ——— GAS LINE SAN ——— SAN ——— SANITARY SEWER ST ——— ST ——— STORM SEWER WATER VALVE STORM SEWER STRUCTURE FLARED END SECTION	

SITE
EXISTING: EXISTING PARKING COUNT EXISTING SIGN EXISTING ADA PARKING SPACE PROPOSED: PARKING COUNT ADA PARKING SPACE SIGN TRUNCATED DOMES PAVEMENT MARKING DIRECTIONAL ARROWS

GENERAL NOTES AND SPECIFICATIONS:

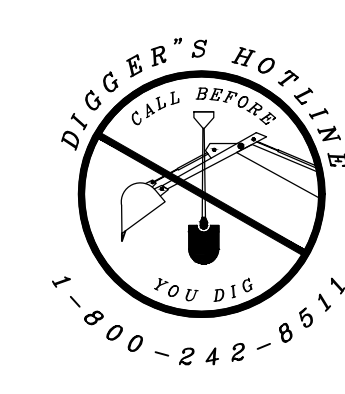
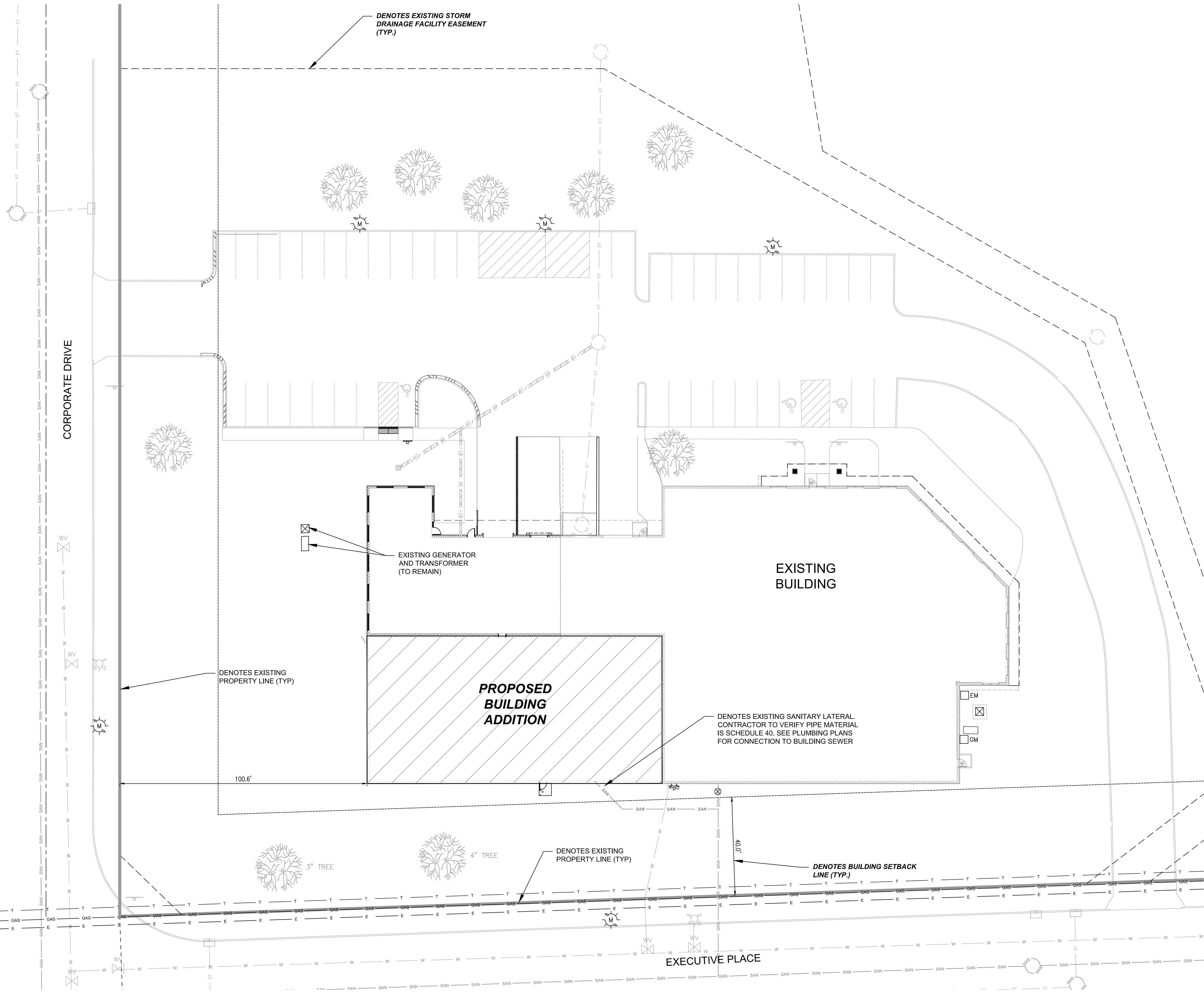
- THE EXISTING SITE INFORMATION ON THIS PLAN WAS TAKEN FROM A SITE SURVEY PROVIDED BY CAPITOL SURVEY ENTERPRISES. THE ENGINEER MAKES NO WARRANTY OR REPRESENTATION WITH REFERENCE TO THE ACCURACY AND COMPLETENESS OF THE EXISTING CONDITIONS INDICATED OR NOT INDICATED ON THE ENGINEERING PLANS PROVIDED. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING SITE CONDITIONS INCLUDING UNDERGROUND UTILITIES, UNDERGROUND UTILITY ELEVATIONS, BUILDING SETBACKS AND EXISTING BUILDING LOCATIONS. THE CONTRACTOR SHALL INFORM THE OWNER AND ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING WITH WORK. QUESTIONS REGARDING THE EXISTING SURVEY SHALL BE DIRECTED TO THE PARTIES LISTED ABOVE.
- BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL TO BE CONNECTED TO (VERIFYING ELEVATION, LOCATION AND SIZE). SHOULD THE EXISTING UTILITY NOT BE AS INDICATED ON THE PLAN, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR EVALUATION.
- ALL UTILITY CONSTRUCTION SHALL ADHERE TO THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (2003), AS WELL AS, THE MUNICIPAL CONSTRUCTION STANDARDS AND THE DEPT. OF SAFETY AND PROFESSIONAL SERVICES SEC. 382-387.
- ALL PERMITS MUST BE RECEIVED FROM THE MUNICIPALITY AND WDNR (IF REQUIRED) PRIOR TO THE START OF CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL APPLICABLE PERMITS ARE RECEIVED PRIOR TO STARTING CONSTRUCTION.
- NOTIFY THE PUBLIC WORKS INSPECTION DEPT. AT LEAST 48 HOURS BEFORE STARTING CONSTRUCTION.
- BACKFILL REQUIREMENTS AND ROADWAY/SIDEWALK RESTORATION SHALL ADHERE TO LOCAL STANDARDS (GRANULAR BACKFILL UNDER OR WITHIN 5' OF CURBS, SIDEWALK, OR PAVEMENT SPOIL MAY BE USED ELSEWHERE. SLURRY BACKFILL WILL BE REQUIRED IN PUBLIC ROADWAYS.)
- ALL BUILDING UTILITIES SHALL BE VERIFIED WITH THE ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION.
- PROPOSED SANITARY SEWER PIPE SHALL BE PVC, ASTM D-3034, SDR 35 WITH RUBBER GASKETED JOINTS CONFORMING TO ASTM D-3212 (UNLESS OTHERWISE NOTED).
- PROPOSED STORM SEWER SHALL BE PVC, ASTM D-3034, SDR 35 WITH RUBBER ELASTOMERIC JOINTS CONFORMING TO ASTM D-3212 (UNLESS OTHERWISE NOTED).
- A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NONMETALLIC UTILITIES MUST BE PROVIDED. PROVIDE TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORD WITH THE PROVISIONS SECTIONS 182.0715(2R) OF THE STATE STATUTES.
- UTILITY TRENCHES SHALL BE MECHANICALLY COMPACTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.
- ALL MANHOLES, CATCH BASINS, INLETS, VALVES BOXES, ETC WITHIN THE PROJECT AREA SHALL BE RESET AND ADJUSTED TO MATCH FINISH GRADE.
- ALL EXCAVATED OR STRIPPED MATERIALS NOT BEING REPLACED IN UTILITY TRENCHES OR BEING USED FOR FILL SHALL BE REMOVED FROM THE SITE, UNLESS OTHERWISE DIRECTED BY THE OWNER.
- SEE ARCHITECTURAL PLANS FOR EXACT BUILDING & FOUNDATION DETAILS AND ORIENTATION.
- ALL CONCRETE FOR CURB AND GUTTER, ROADWAY AND SIDEWALKS MUST CONFORM TO THE STANDARD SPECIFICATIONS FOR READY MIXED CONCRETE. MINIMUM 28 DAY COMPRESSIVE STRENGTH TEST MUST EQUAL 4000 PSI.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL PROPERTY CORNERS.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING UTILITIES OR SITE IMPROVEMENTS. CONTRACTOR SHALL DOCUMENT ALL EXISTING DAMAGE PRIOR TO START OF CONSTRUCTION AND NOTIFY CONSTRUCTION MANAGER OF ANY FINDINGS.
- PROJECT SAFETY ON-SITE SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING SOIL CONDITIONS. CONSTRUCTION MANAGER MAY HAVE SOILS REPORT FOR MORE INFO.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE OWNER WITH A SET OF MARKED UP PLANS (AS-BUILTS) SHOWING ANY CHANGES DURING CONSTRUCTION.

DIGGER'S HOTLINE
 CALL BEFORE YOU DIG
 1-800-242-8611

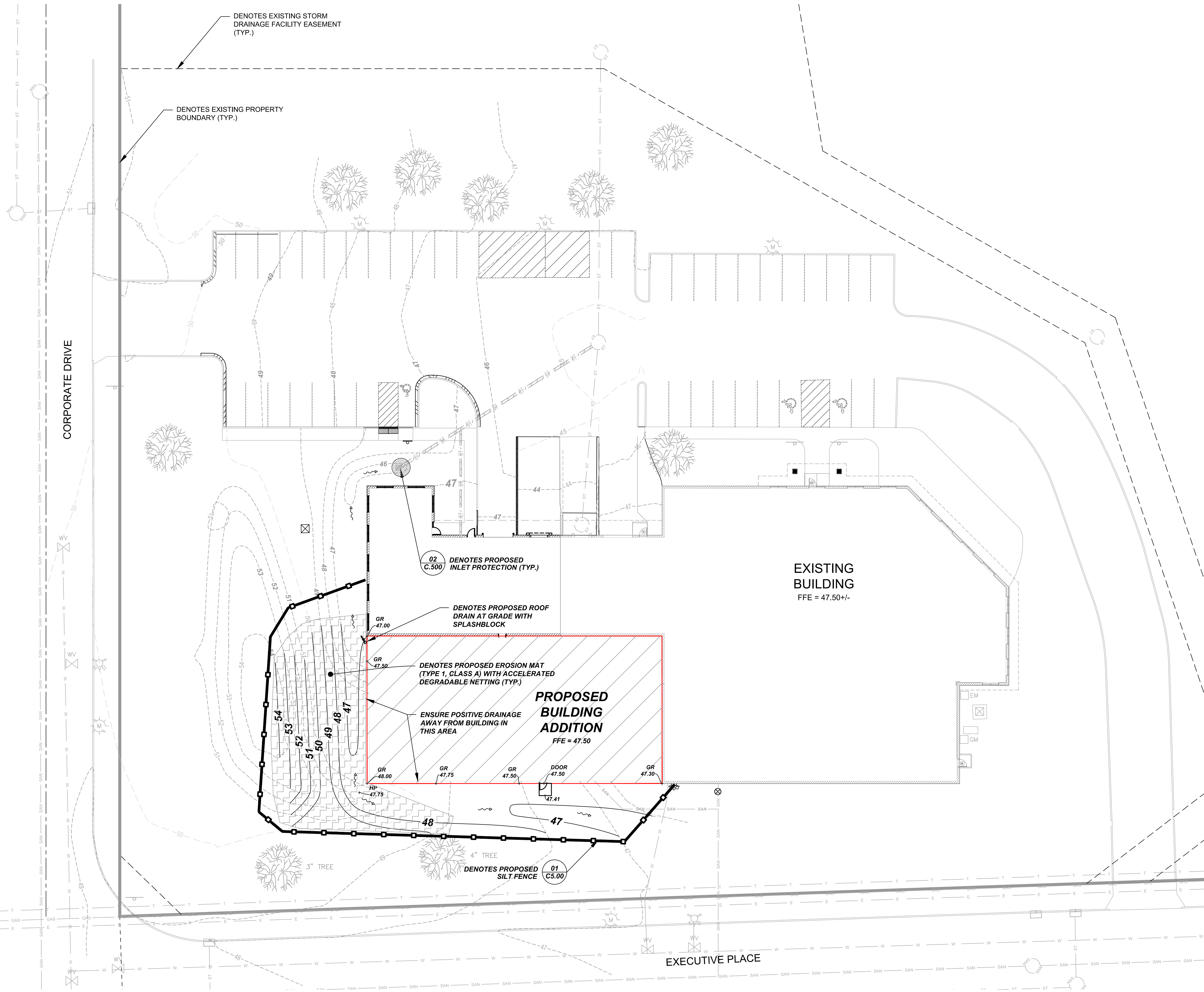
IN ACCORDANCE WITH WISCONSIN STATUTE 182.0175, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED "ONE CALL SYSTEM" NOT LESS THAN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PERFORM WORK CONTAINED ON THESE DRAWINGS, AND FURTHER, EXCAVATOR SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.



Date:	Issue Set:

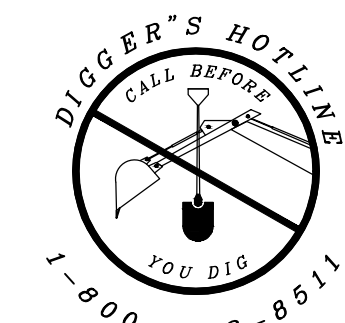
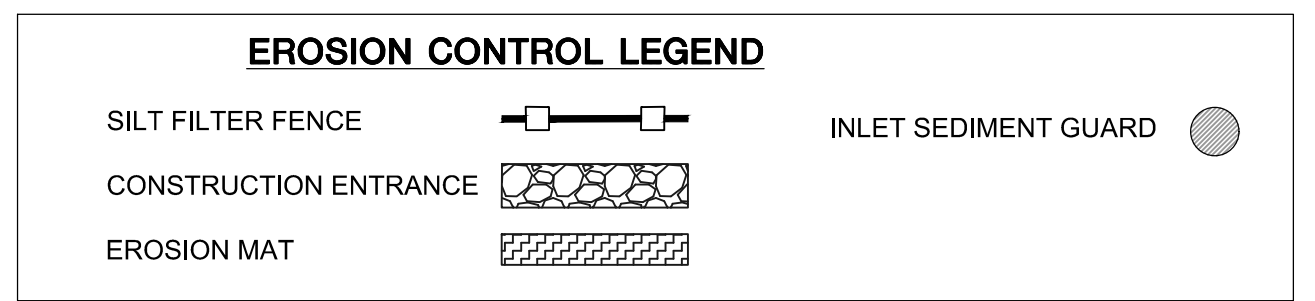


IN ACCORDANCE WITH WISCONSIN STATUTE 182.0175, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED "ONE CALL SYSTEM" NOT LESS THAN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PERFORM WORK CONTAINED ON THESE DRAWINGS, AND FURTHER, EXCAVATOR SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.



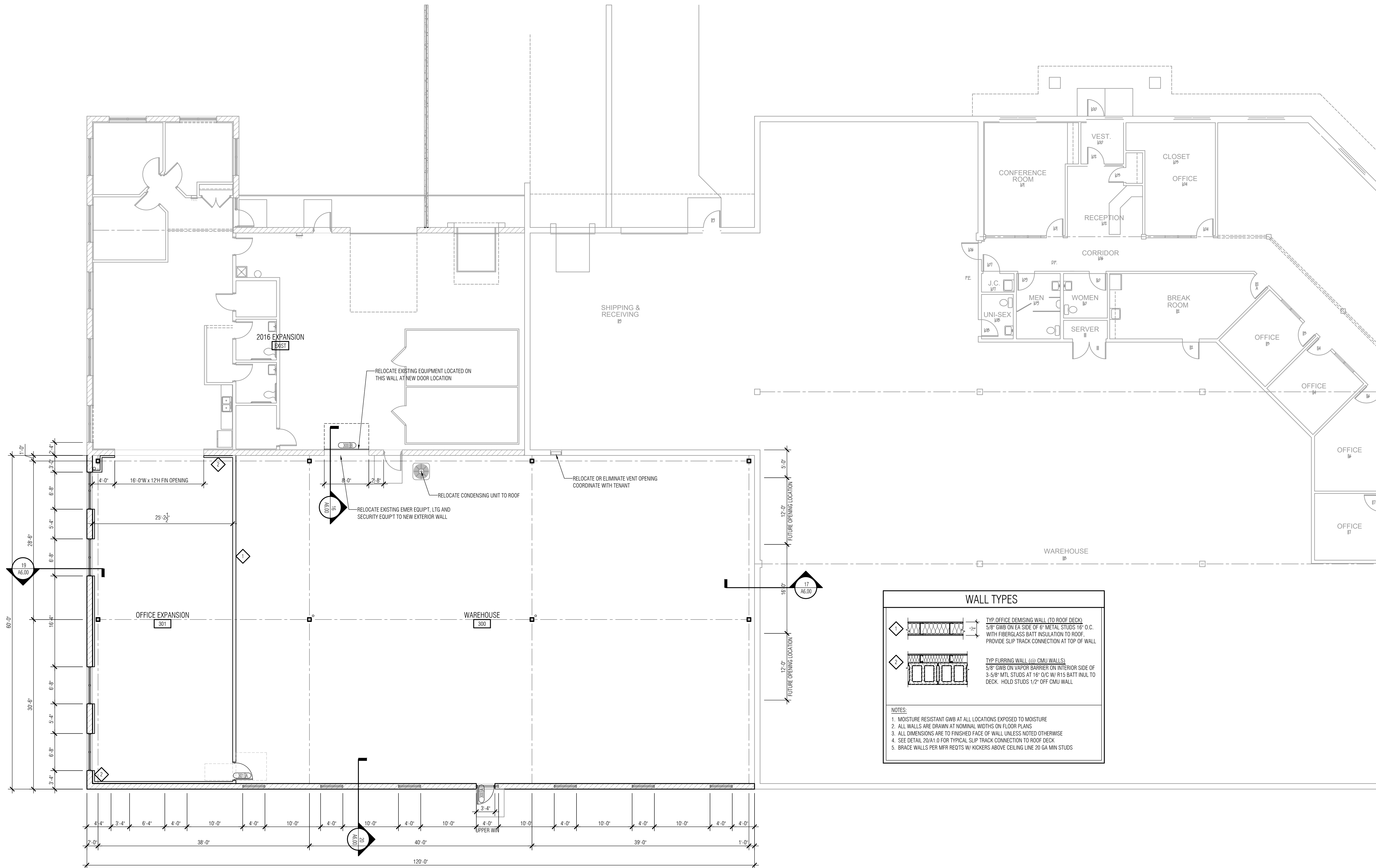
EROSION CONTROL NOTES AND PHASING

- KEEP A COPY OF THE CURRENT EROSION CONTROL PLAN ON SITE THROUGHOUT THE DURATION OF THE PROJECT.
- SUBMIT PLAN REVISIONS OR AMENDMENTS TO THE ENGINEER AT LEAST 5 DAYS PRIOR TO FIELD IMPLEMENTATION.
- CONTRACTOR IS RESPONSIBLE FOR ROUTINE SITE INSPECTIONS AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. KEEP INSPECTION REPORTS ON-SITE AND MAKE THEM AVAILABLE UPON REQUEST.
- INSPECT AND MAINTAIN ALL INSTALLED EROSION CONTROL PRACTICES UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
- WHEN POSSIBLE: PRESERVE EXISTING VEGETATION (ESPECIALLY ADJACENT TO SURFACE WATERS), MINIMIZE LAND-DISTURBING CONSTRUCTION ACTIVITY ON SLOPES OF 20% OR MORE, MINIMIZE SOIL COMPACTION, AND PRESERVE TOPSOIL.
- REFER TO THE WDNR STORMWATER CONSTRUCTION TECHNICAL STANDARDS AT http://dnr.wis.gov/topic/stormwater/standards/constr_damstds.html.
- INSTALL PERIMETER EROSION CONTROLS AND TRACKOUT CONTROL PRACTICES PRIOR TO ANY LAND-DISTURBING ACTIVITIES, INCLUDING CLEARING AND GRUBBING. USE WDNR TECHNICAL STANDARD #1057 FOR TRACKOUT CONTROL AT CONSTRUCTION ENTRANCE(S).
- INSTALL INLET PROTECTION PRIOR TO LAND-DISTURBING ACTIVITIES IN THE CONTRIBUTING DRAINAGE AREA AND/OR IMMEDIATELY UPON INLET INSTALLATION. COMPLY WITH WDNR TECHNICAL STANDARD STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES #1060.
- STAGE CONSTRUCTION GRADING ACTIVITIES TO MINIMIZE THE CUMULATIVE EXPOSED AREA. CONDUCT TEMPORARY GRADING FOR EROSION CONTROL PER WDNR TECHNICAL STANDARD TEMPORARY GRADING PRACTICES FOR EROSION CONTROL #1067.
- PERMITTING OF GROUNDWATER DEWATERING IS THE RESPONSIBILITY OF THE CONTRACTOR. GROUNDWATER DEWATERING IS SUBJECT TO A DNR WASTEWATER DISCHARGE PERMIT AND A DNR HIGH CAPACITY WELL APPROVAL IF CUMULATIVE PUMP CAPACITY IS 70 GPM OR MORE.
- PROVIDE ANTI-SCOUR PROTECTION AND MAINTAIN NON-EROSIVE FLOW DURING DEWATERING. PERFORM DEWATERING OF ACCUMULATED SURFACE RUNOFF IN ACCORDANCE WITH WDNR TECHNICAL STANDARD DE-WATERING #1061.
- INSTALL AND MAINTAIN SILT FENCING PER WDNR TECHNICAL STANDARD SILT FENCE #1056. REMOVE SEDIMENT FROM BEHIND SILT FENCES AND SEDIMENT BARRIERS BEFORE SEDIMENT REACHES A DEPTH THAT IS EQUAL TO ONE-HALF OF THE FENCE AND/OR BARRIER HEIGHT.
- REPAIR BREAKS AND GAPS IN SILT FENCES AND BARRIERS IMMEDIATELY. REPLACE DECOMPOSING STRAW BALES (TYPICAL BALE LIFE IS 3 MONTHS). LOCATE, INSTALL, AND MAINTAIN STRAW BALES PER WDNR TECHNICAL STANDARD DITCH CHECKS #1062.
- INSTALL AND MAINTAIN FILTER SOCKS IN ACCORDANCE WITH WDNR TECHNICAL STANDARD INTERIM MANUFACTURED PERIMETER CONTROL AND SLOPE INTERRUPTION PRODUCTS # 1071.
- IMMEDIATELY STABILIZE STOCKPILES AND SURROUND STOCKPILES AS NEEDED WITH SILT FENCE OR OTHER PERIMETER CONTROL IF STOCKPILES WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.
- IMMEDIATELY STABILIZE ALL DISTURBED AREAS THAT WILL REMAIN INACTIVE FOR 14 DAYS OR LONGER.
 - BETWEEN SEPTEMBER 15 AND OCTOBER 15: STABILIZE WITH MULCH, TACKIFIER, AND A PERENNIAL SEED MIXED WITH WINTER WHEAT, ANNUAL OATS, OR ANNUAL RYE. AS APPROPRIATE FOR REGION AND SOIL TYPE.
 - OCTOBER 15 THROUGH COLD WEATHER: STABILIZE WITH A POLYMER AND DORMANT SEED MIX, AS APPROPRIATE FOR REGION AND SOIL TYPE.
- STABILIZE AREAS OF FINAL GRADING WITHIN 7 DAYS OF REACHING FINAL GRADE.
- SWEEP/CLEAN UP ALL SEDIMENT/TRASH THAT MOVES OFF-SITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS BEFORE THE END OF THE SAME WORKDAY OR AS DIRECTED BY THE WDNR/MUNICIPALITY. SEPARATE SWEEPED MATERIALS (SOILS AND TRASH) AND DISPOSE OF APPROPRIATELY.
- CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST PER WDNR TECHNICAL STANDARD DUST CONTROL ON CONSTRUCTION SITES # 1068.
- PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO THE RECEIVING CHANNEL.
- FOR NON-CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED SLOPES 4:1 OR GREATER (OR AS SHOWN ON THE PLAN), PROVIDE CLASS 1 TYPE A (WITH ACCELERATED DEGRADABLE NETTING) EROSION CONTROL MATTING. SELECT EROSION MATTING FROM WDOT'S PRODUCT ACCEPTABILITY LIST (PAL); INSTALL AND MAINTAIN PER WDNR TECHNICAL STANDARD NON-CHANNEL EROSION MAT #1052.
- FOR CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED AREAS (OR AS SHOWN ON THE PLANS), PROVIDE NORTH AMERICAN GREEN SC150 (OR APPROVED EQUAL) EROSION CONTROL MATTING. INSTALL AND MAINTAIN PER WDNR TECHNICAL STANDARD CHANNEL EROSION MAT #1053.
- MAKE PROVISIONS FOR WATERING DURING THE FIRST 8 WEEKS FOLLOWING SEEDING OR PLANTING OF DISTURBED AREAS WHENEVER MORE THAN 7 CONSECUTIVE DAYS OF DRY WEATHER OCCUR.
- INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES (SUCH AS TEMPORARY SEDIMENT BASINS, DITCH CHECKS, EROSION CONTROL MATTING, SILT FENCING, FILTER SOCKS, WATTLES, SWALES, ETC.), OR AS DIRECTED BY WDNR/MUNICIPALITY.



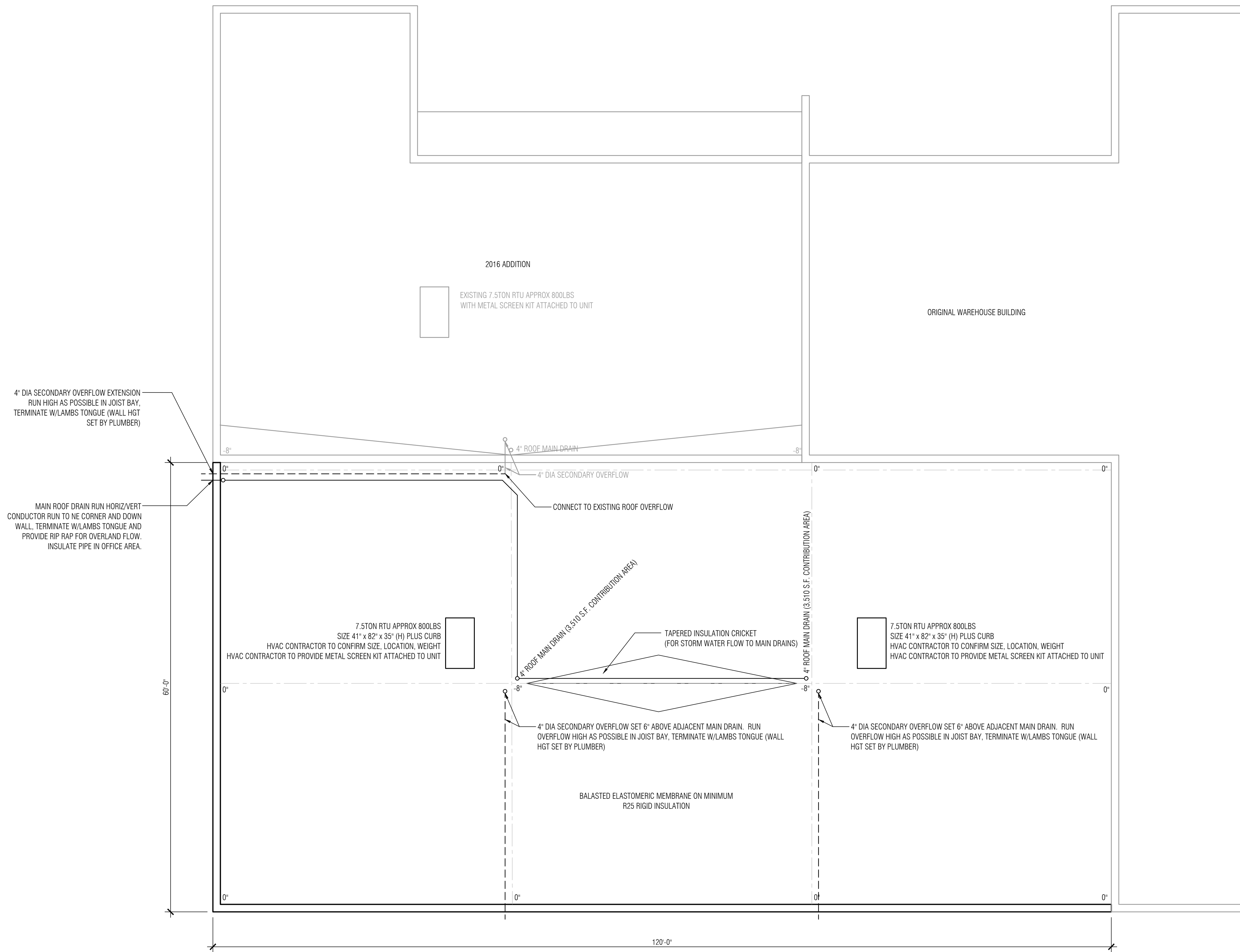
IN ACCORDANCE WITH WISCONSIN STATUTE 182.0175, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED "ONE CALL SYSTEM" NOT LESS THAN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PERFORM WORK CONTAINED ON THESE DRAWINGS, AND FURTHER, EXCAVATOR SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.

Date:	Issue Set:



Date:	Issue Set:

Proposed Addition Plan
 SCALE: 1/8" = 1'-0"

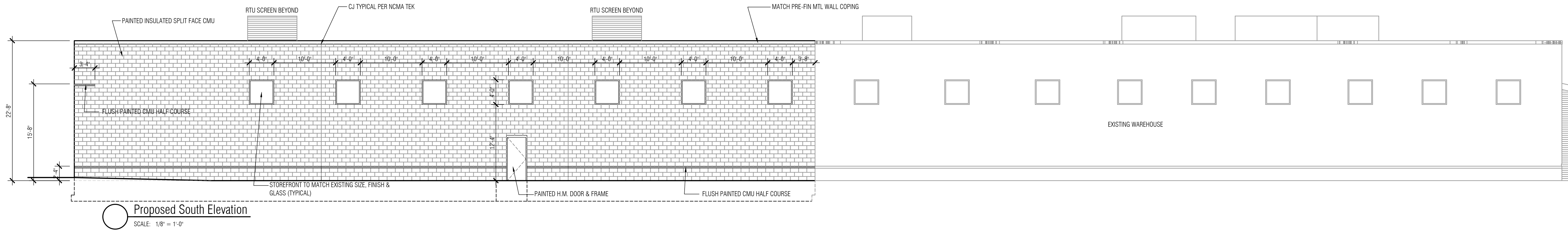


N

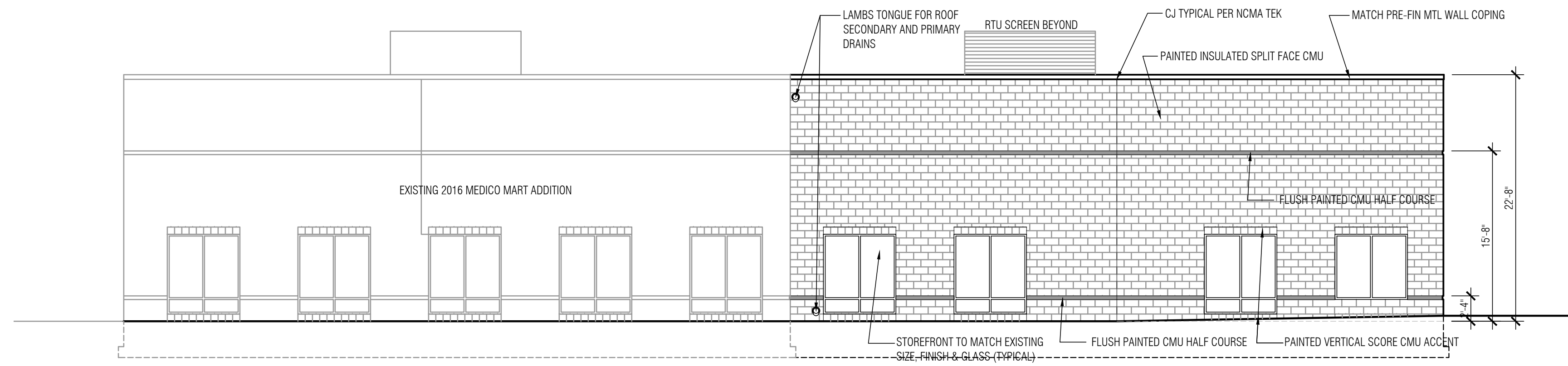
Roof Plan Addition
 SCALE: 1/8" = 1'-0"



Date:	Issue Set:



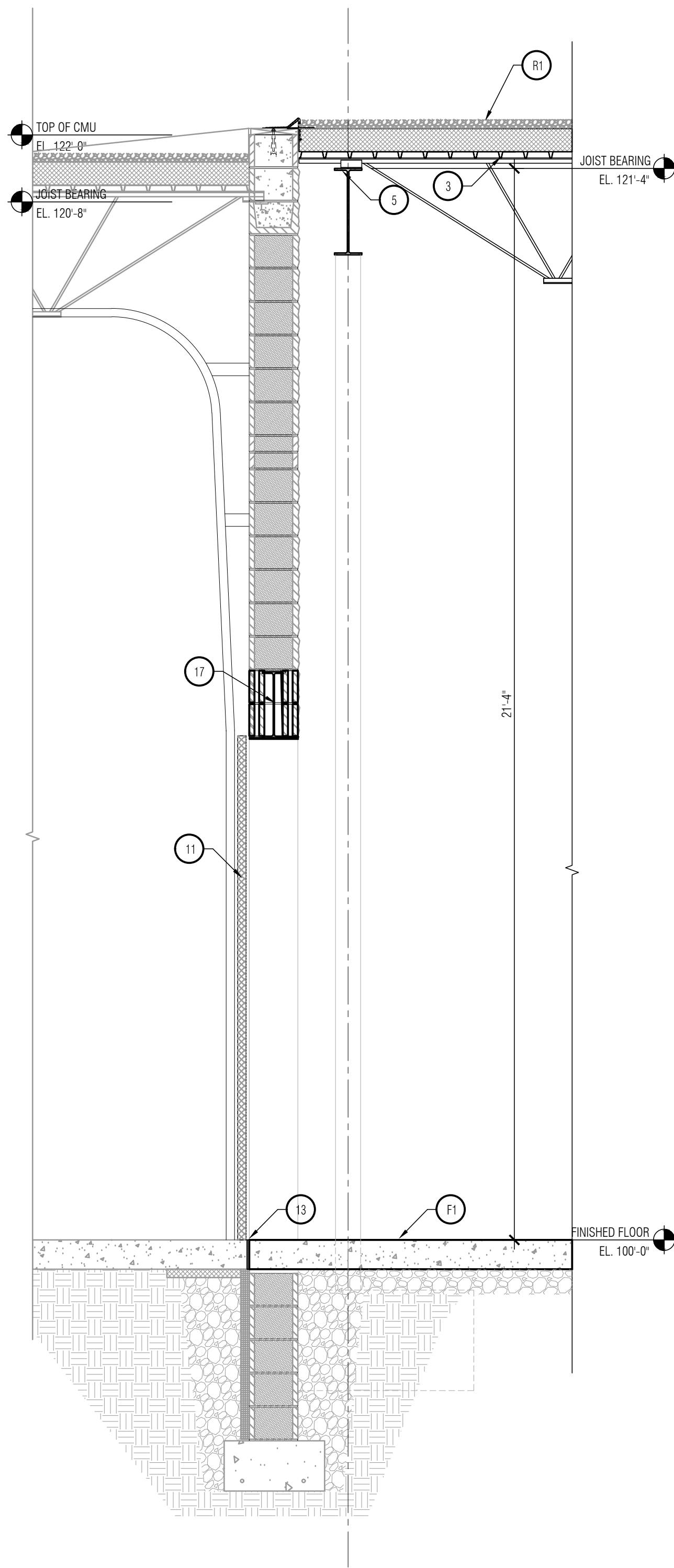
Proposed South Elevation
SCALE: 1/8" = 1'-0"



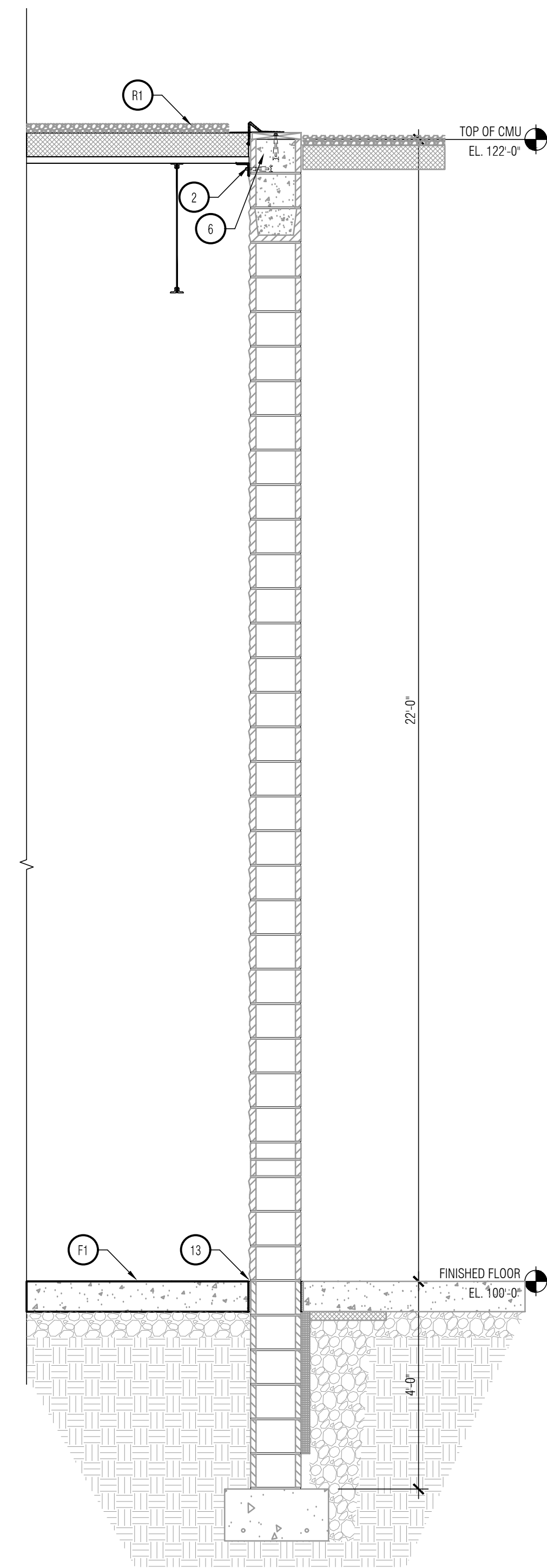
Proposed West Elevation
SCALE: 1/8" = 1'-0"



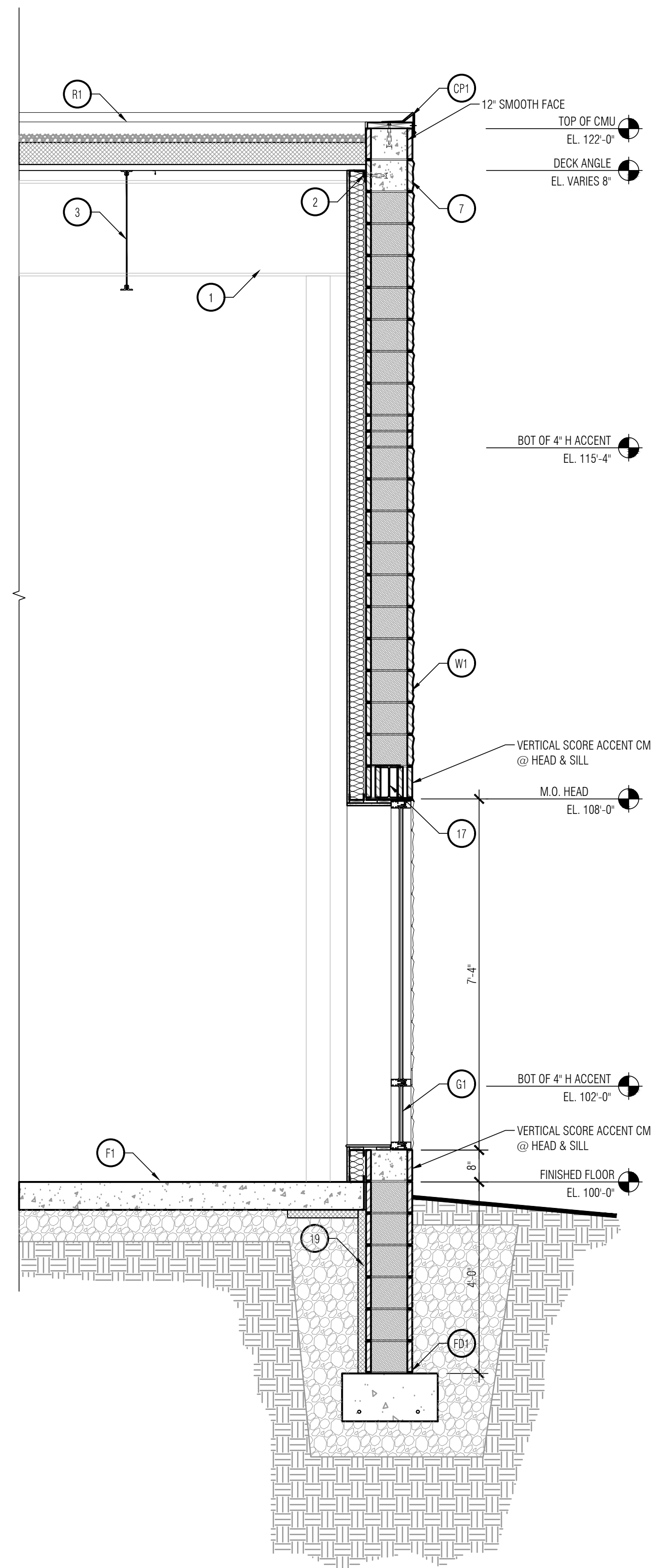
Date:	Issue Set:



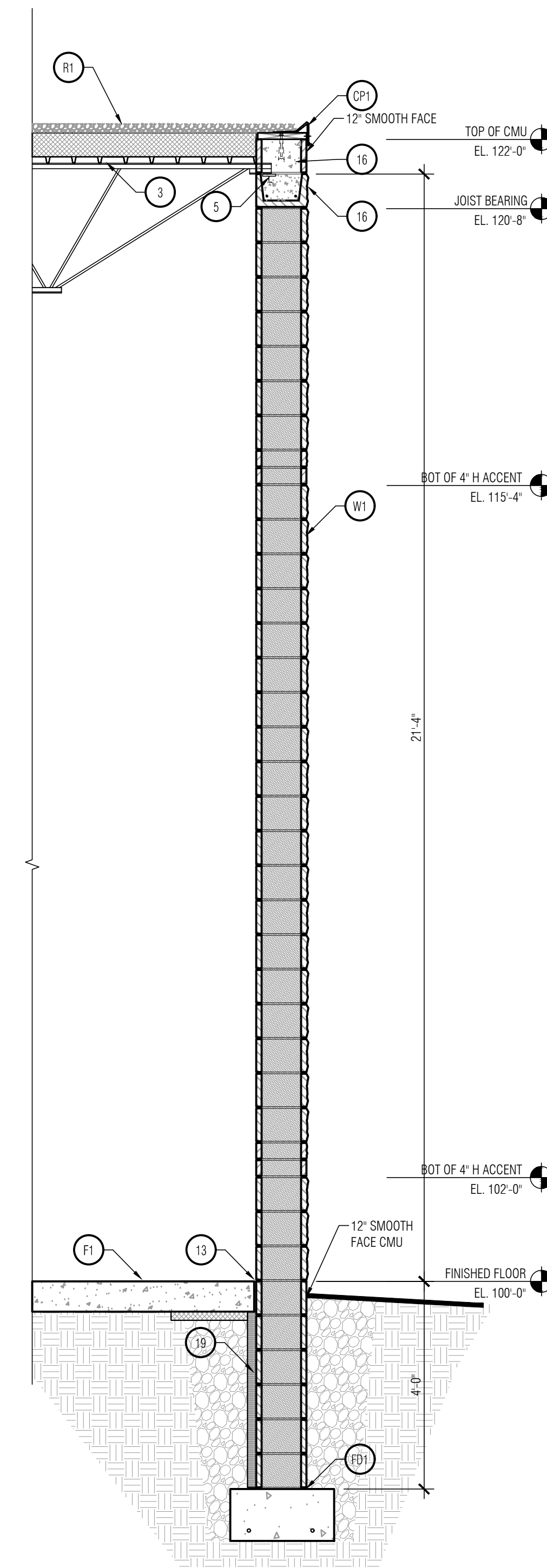
16 Wall Section between Existing Bldg & Add'n
SCALE: 1/2" = 1'-0"



17 Wall Section @ Existing Bldg West Wall
SCALE: 1/2" = 1'-0"



19 Wall Section West Wall
SCALE: 1/2" = 1'-0"



20 Wall Section South Wall
SCALE: 1/2" = 1'-0"

SECTION KEYNOTES	
R1	MAIN ROOF SYSTEM BALLASTED SINGLE-PLY EPDM ROOF MEMBRANE ON (MIN R28) RIGID INSULATION SYSTEM ON 1-1/2" METAL ROOF DECK ON STEEL JOISTS (SEE STRUCT). INSUL SYSTEM 5-1/2" THICK TO MATCH HGT OF EXISTING SYSTEM. CONTRACTOR OPTION TO PROVIDE MIXED MATERIALS TO ACHIEVE MIN R VALUE AND THERMAL BARRIER WITHIN 5-1/2" THICKNESS.
CP1	COPING SYSTEM #1 PRE-FINISHED 2 PIECE METAL WALL COPING ON CONTINUOUS P.T. 2" WD BLOCKING ANCHORED TO TOP OF WALL SYSTEM W/COUNTER SUNK EXP ANCHORS AT 3' O.C.
H1	GUARD 1 1-1/2" DIA. (ACTUAL) PAINTED STEEL RAIL SYSTEM TO BE MOUNTED 42" ABOVE GRADE OR ADJ HORIZ SURF WITH ONE INTERMEDIATE AT MID POINT.
G1	GLAZING SYSTEM #1 ANODIZED ALUMINUM STOREFRONT SYSTEM W/ 1" INSULATED TINTED LOW-E GLAZING UNITS TO MATCH EXISTING BUILDING. MIN WINTER U=.29, SHGC=.28. PROVIDE SILL AND HEAD FLASHING AS RECOMMENDED BY MFR FOR OPENING AND SPAN CONDITIONS. SAFETY GLAZING AS RECD. BY CODE.
C1	ACOUSTICAL CEILING TILE SYSTEM SUSPENDED ACOUSTIC CEILING TILE (SEE FINISH SCHEDULE FOR HEIGHTS).
F1	CONCRETE FLOOR SYSTEM 7" CONC. SLAB ON VAPOR BARRIER ON COMPACTED GRANULAR FILL ON COMPACTED SUBGRADE. PROVIDE ISOLATION JOINT MATERIAL AT COLUMNS, AND PERIMETER (SEE STRUCT). FLOOR FINISH GROUND, STAINED & SEALED TO MATCH EXISTING.
FB1	FOUNDATION SYSTEM CAST IN PLACE REIN CONC FTG W/ CMU TRENCH WALL. (SEE STRUCT)
FD0	CONCRETE PAD FOOTING REINFORCED CONCRETE PAD FOOTING (SEE STRUCTURAL DRAWINGS)
W1	EXTERIOR WALL SYSTEM FOAMED IN PLACE, PAINTED, REINFORCED 12" ARCHITECTURAL CMU. SEE ELEVATIONS FOR CMU EXTERIOR FINISH TYPE. PROVIDE HORIZONTAL JOINT REINFORCEMENT EVERY OTHER COURSE. PROVIDE CONTROL JOINTS AS RECOMMENDED BY THE NATIONAL CONCRETE MASONRY ASSOCIATION (NCMA). SEE STRUCT DWGS FOR VERT REINF REQUIREMENTS.
CM	CANOPY MATCH EXISTING (FIELD VERIFY HGT, DIMENSIONS). PREFIN METAL ON METAL DECK ON PAINTED STEEL CHANNELS ON STEEL BEAM WITH PAINTED COLUMN. SEE STRUCT
1	STEEL BEAM BEYOND (SEE STRUCT DWGS)
2	SLOPING STEEL ANGLE (NOT CAMBERED TY, SEE STRUCT DWGS)
3	STEEL JOIST
4	REINFORCED CMU PIER BEYOND (SEE STRUCT DWGS)
5	EMBED FOR STRUCT (SEE STRUCT DWGS)
6	TALL JOIST SEATS (SOUTH WALL) SEE STRUCT DWGS
7	GROUTED CMU COURSE
8	TAPERED ROOF INSULATION CRICKET (SEE ROOF PLAN)
9	DOCK SHELTER (FROMMELT ELIMINATOR II), MECHANICAL DOCK LEVELOR (WITH PIT & ANGLES) & BUMPERS DOCK. PROJECTION PER MFR RECOMMENDATION
10	REINFORCED CAST IN PLACE CONCRETE DOCK RETAINING WALL (SEE STRUCT DWGS)
11	INSULATED, SECTIONAL, HIGH LIFT O.H. DOOR W/ SINGLE VISION LIGHT.
12	CONCRETE SLAB ON COMPACTED GRANULAR FILL, PROVIDE JOINT ISOLATION MATERIAL AT BUILDING EXTERIOR (SEE CIVIL DWGS)
13	1/2" JOINT ISOLATION MATERIAL
14	STEEL COLUMN (SEE STRUCTURAL DRAWINGS)
15	TWO COURSES SMOOTH FACED CMU PAINTED ACCENT BAND + 2' 8" SQUARE SMOOTH PACED PAINTED MEDALLIONS TO MATCH EXIST'G (SEE ELEVATIONS)
16	REINFORCED GROUTED CMU BOND BEAM (SEE STRUCT)
17	STEEL LINTEL W/ THRU WALL FLASHING & WEEPS (SEE STRUCT)
18	PROVIDE CUT BLOCK, SLOPED ALUM SILL COVER (MATCH ALUM STOREFRONT SYSTEM) W/ SILL FLASHING
19	2" THICK EXTRUDED POLY STYRENE RIGID INSULATION AT BUILDING PERIMETER (4" TYPICAL PER CODE)