

9/7/2023

City of Waukesha  
Joe Baginski  
201 Delafield St.  
Waukesha , WI 53188  
Cell: (262) 957-7878  
Other:

Dear Joe:

Thank you for giving us the opportunity to present you with a proposal for your building project. I will follow up with you within the next few days to answer any questions or concerns you might have.

As your Sales Consultant, I will work closely with you throughout the entire building process to help with financing, site selection, site layout for optimum land usage, site preparation and many issues you may not have considered, such as permits and proper drainage.

Morton Buildings, Inc. is the only building company that is fully integrated from receiving raw materials all the way to handing the keys over to you at the end of construction. This allows us to maintain our high quality, erecting buildings that operate efficiently with minimum maintenance and low costs year after year.

From basic to bold, small to large, and plain to fancy, Morton's buildings are constructed to satisfy almost every customer's needs. We put only the best materials and workmanship into every building and that is why we can confidently back our product with a very strong warranty package. Additionally, we can help guide you to a variety of sources for financing your construction project.

Again, thank you for allowing us to present you with this building proposal. I look forward to helping you make your building dream a reality.

Sincerely,

Brent Ryan  
Sales Consultant  
Brent.Ryan@mortonbuildings.com  
Cell Phone: 414-791-4662

Office Phone: 920-261-9151  
Office Fax: 920-261-9180  
W1190 American St.  
Ixonia, WI 53036-9704

## Building #1 Specifications

Building Info	Style	Width	Height	Length	Truss Spacing	Roof Pitch	Lower Chord	Peak Height	Soffit Height
	306	48'	19'	104'	8'	4/12	1/12	28' 6.5"	19' 9"

306 48'x19'x104' (#1) - Building Use: Commercial - Warehouse

### Foundation

Morton Foundation System - MFS Concrete Columns In Ground. Morton Buildings, Inc. exclusive foundation system. Reinforced precast concrete column with an internal threaded adjustment bracket set in a readi-mix poured footing set below frost depth or a minimum of 5'-0" below building grade. Fastened to a laminated wood column with an internal column connector bracket.

Morton Buildings, Inc. exclusive Concrete Splashboard System. Reinforced precast 4" concrete board with integrated 3-1/2" treated wood, mounted at grade to concrete column.

### Siding

South, East, North, West wall(s) Fluoroflex™ 1000 Hi-Rib Steel Minimum .019 (Fastened with Stainless Steel Screws)

### Wainscot

South, East, North, West with 36" tall Fluoroflex™ 1000 Hi-Rib Steel Minimum .019 wainscot (Fastened with Stainless Steel Screws)

### Roof

Hi-Rib Steel Minimum .019 (Fluoroflex™ 1000) (Fastened with Stainless Steel Screws) with Vent-A-Ridge  
Structure has been designed for the future installation of a snow retainage system (but not included at this time).

### Overhangs

South, North wall(s) 1' Wide Vented Sidewall Overhang with Standard 6" fascia  
East, West wall(s) 1' Wide Non Vented Endwall Overhang with Standard 6" fascia

### Walk Doors

2 A 3' x 6'8" Plain Flat Leaf Fibersteel Walk Door(s) out-swing left hinge with keyed lever lockset, closer

### Overhead Door Opening

1 B 18'0" x 18'0" Overhead Door Opening (Requires a minimum 18' 2" X 18' 1" panel), OHD/Operator requires 1' 6" Headroom, Available Headroom is 2' 8"  
1 C 18'0" x 18'0" Overhead Door Opening, 18' 2" X 18' 1" Panel, OHD/Operator requires 1' 6" Headroom, Available Headroom is 2' 8", See Subcontract Section for Detailed Door Information

### Additional Information



Morton buildings will provide sealed structural drawings.  
Permit costs are not included.

This proposal is figured as tax exempt.

Performance bond not included.

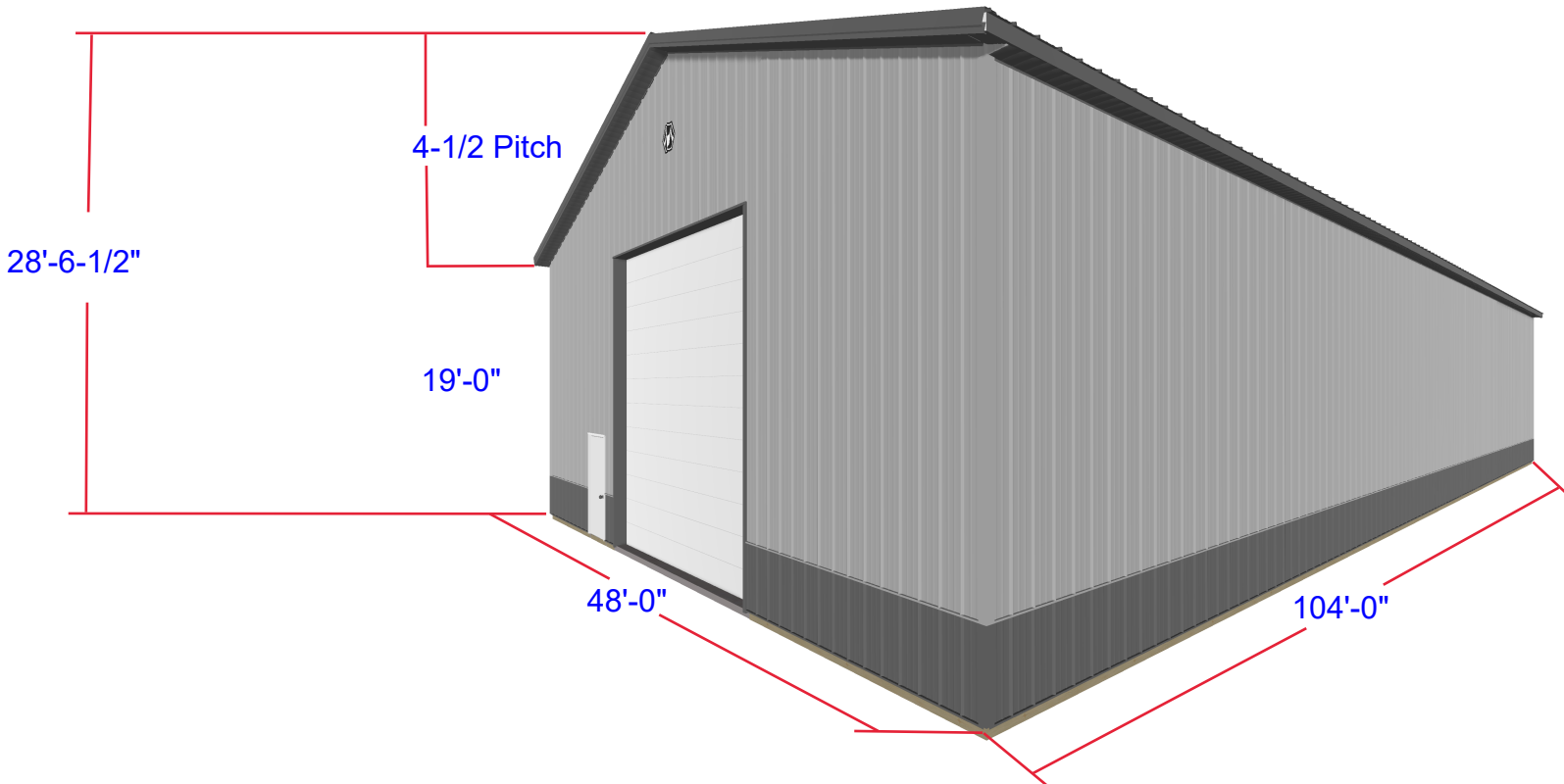
Prevailing wage rate is not included.

Morton Buildings will provide a debris dumpster and portable toilet.



Color to match existing buildings on site.

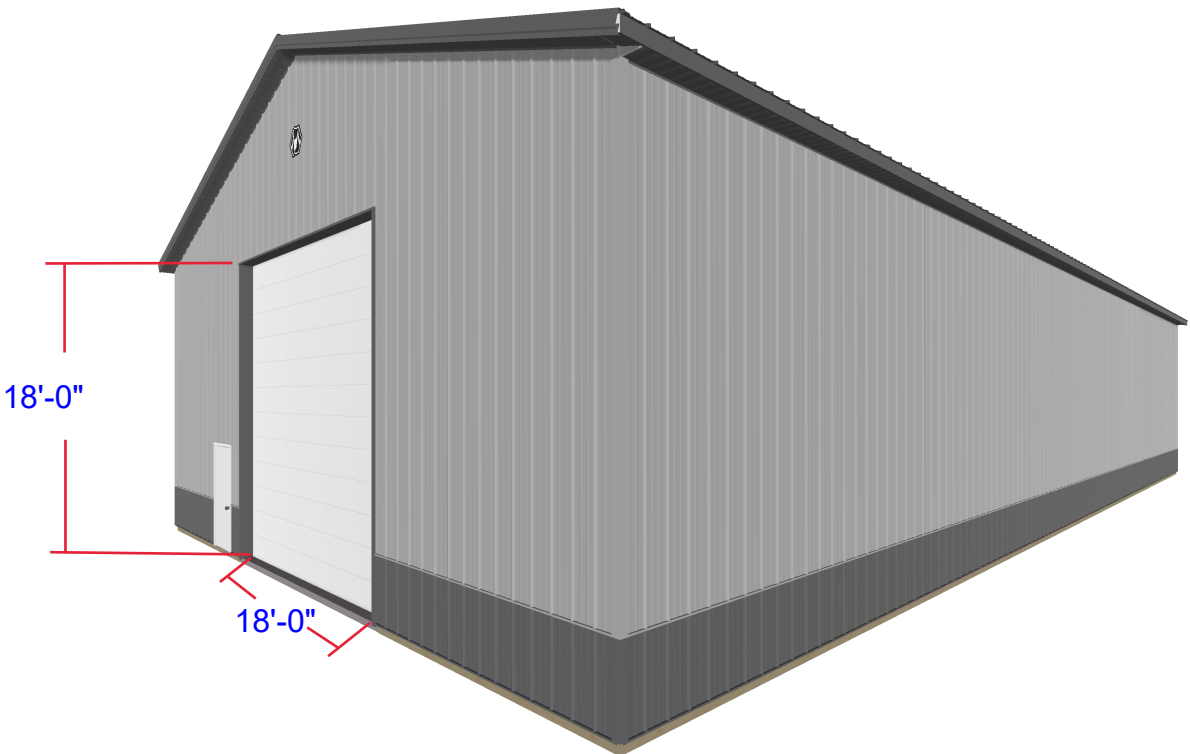
**306 48'x19'x104' West and South Walls**



Stub in conduits through floor for future electric.  
No Water/Sewer.



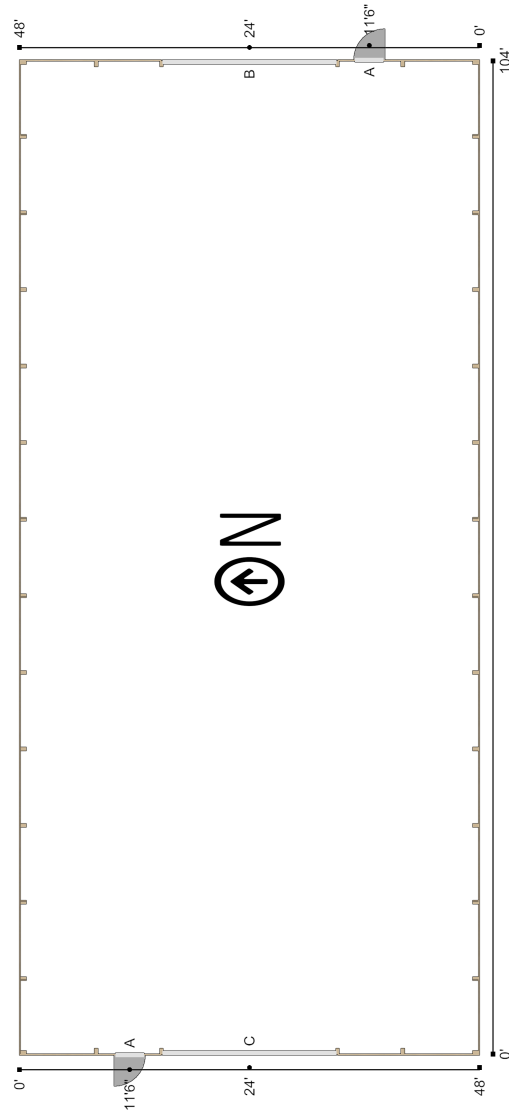
## 306 48'x19'x104' East and North Walls



Square footage to not exceed 4,999 sq. ft.

Third overhead door and mandoor on north side, reference site plan.

## 306 48'x19'x104' (#1) Column Plan





## **Building Investment**

Total Estimated Project Cost as described including Material, Tax, and Labor\*: \$145,777.00

\$43,733.00 Down Payment  
\$58,311.00 Due Upon Delivery of Materials  
\$29,155.00 Progress Payment Due when roofing operations begin  
\$14,578.00 Due When Morton Buildings' Scope of Work is Complete

\* Building Proposal Good for 7 Days from the date specified on cover letter.

If you accept this pricing proposal you must enter into a written building order which contains additional terms and conditions. This proposal is not intended to be a contract for construction.

This proposal contains information which is proprietary and/or are trade secrets and may not be disclosed to third-parties without the express written authorization of Morton Buildings, Inc.