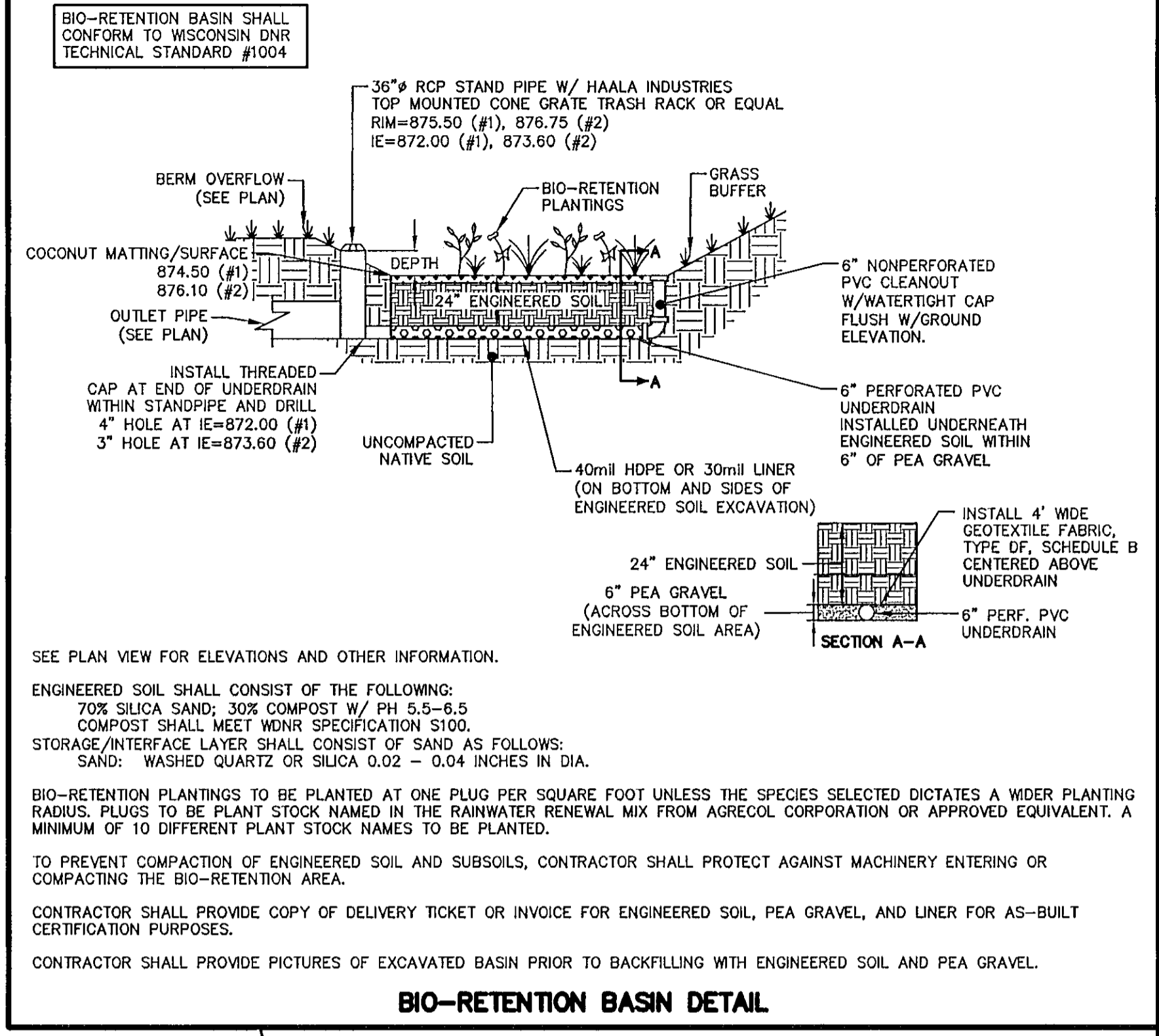
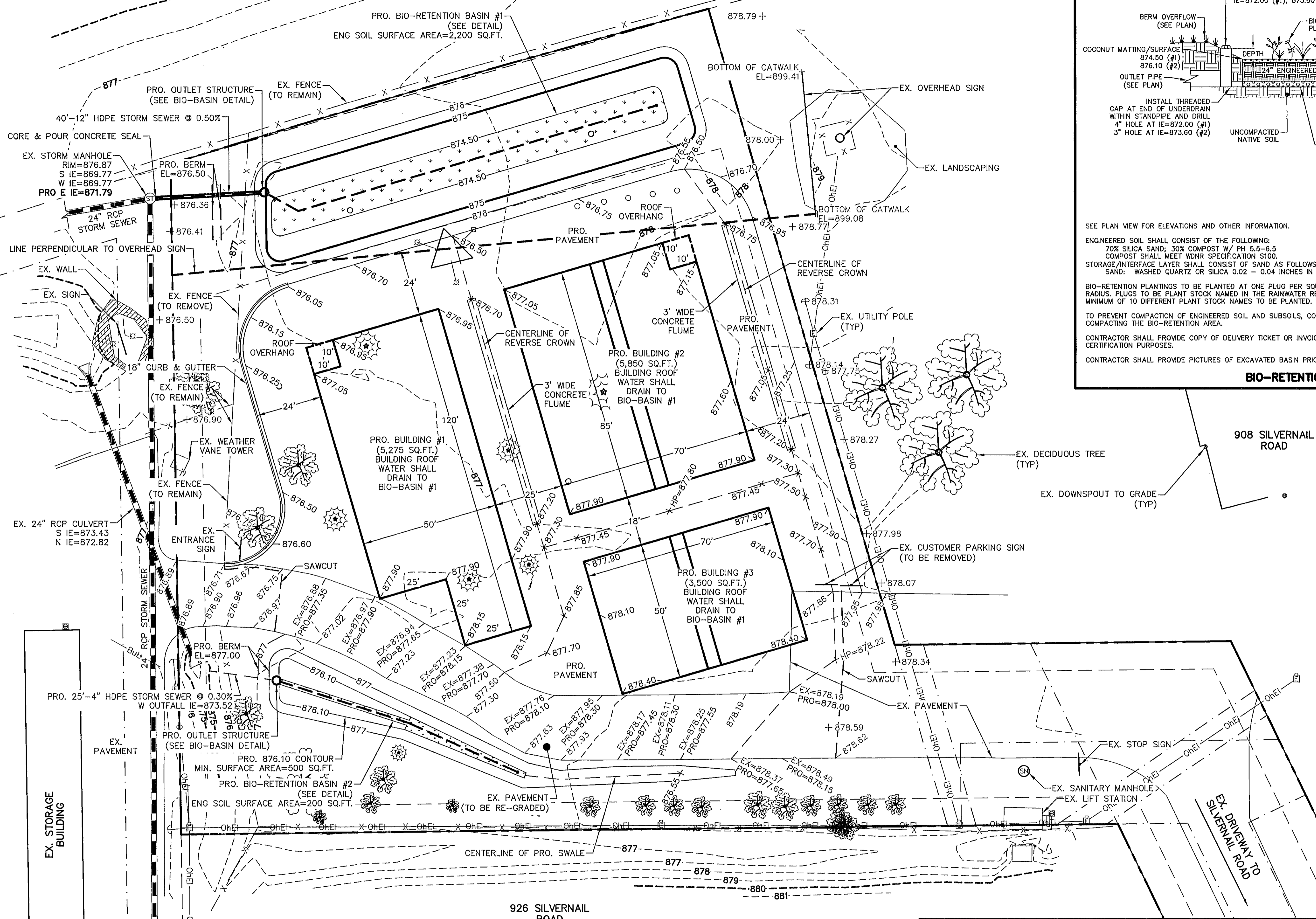


INTERSTATE 94



BIO-RETENTION BASIN DETAIL

**NOTES:**

1) PROPOSED SPOT ELEVATIONS ARE FINISH PAVEMENT SURFACE ELEVATION. REFER TO BUILDING PLANS FOR PAVEMENT SURFACE TO BUILDING FLOOR TRANSITION.

**SITE INFORMATION:**

PROPERTY IS LOT 1 OF CSM 8319  
LOT AREA: 98,204 SQUARE FEET, 2.25 ACRES  
ZONING: B5 COMMUNITY BUSINESS DISTRICT  
BUILDING SETBACKS: 50' FROM RIGHT-OF-WAY, 10' SIDE YARD, 25' REAR  
PAVED DRIVE AISLE SETBACK: 5' FROM SIDE YARD, 15' FROM RIGHT-OF-WAY  
PRO. IMPERVIOUS AREA=54,059 SQUARE FEET, 1.241 ACRES  
PRO. IMPERVIOUS AREA % = 55.0%  
BUILDING FLOOR AREA = 14,625 SQUARE FEET  
BUILDING FLOOR AREA RATIO = 14.8%

**LEGEND FOR COMMON LINES:**

- 879- - - - - EXISTING MINOR CONTOUR
- 880- - - - - EXISTING MAJOR CONTOUR
- x-x-x-x- - - - - PROPERTY LINE
- - - - - EXISTING FENCE
- OhEl- - - - - EXISTING OVERHEAD ELECTRIC LINE
- BuEl- - - - - EXISTING BURIED ELECTRIC LINE
- EX=878.25 OR 878.49 - - - - EXISTING SPOT ELEVATION
- 878.75 - - - - PROPOSED SPOT ELEVATION

**CLIMATE CONTROLLED STORAGE - CSM 8319**

PRELIMINARY GRADING PLAN  
SHEET C-2  
DATED: AUGUST 28, 2023  
**QUAM ENGINEERING, LLC**  
Residential and Commercial Site Design Consultants  
www.quamengineering.com  
4604 Sigelkow Road, Suite A - McFarland, Wisconsin 53558  
Phone (608) 838-7750; Fax (608) 838-7752



ZONING	
ZONED:	XX
MIN. BUILDING SETBACKS (FT):	STREET YARD: XX INTERIOR SIDE YARD: XX REAR YARD: XX
PAVING SETBACKS (FT):	FRONT & STREET YARD: XX INTERIOR SIDE YARD: XX REAR YARD: XX
MAX. BUILDING HEIGHTS (FT):	PRINCIPAL BUILDING: XX ACCESSORY BUILDING: XX

SITE STATISTICS		
NAME	AREA	AREA RATIO
BUILDABLE AREA	30,458 SF	34%
EXISTING PAVING	22,981 SF	26%
NEW PAVING	16,834 SF	19%
PROPOSED BUILDING A	5,275 SF	6%
PROPOSED BUILDING B	5,850 SF	7%
PROPOSED BUILDING C	3,500 SF	4%
PROPOSED RETENTION / DETENTION POND	5,072 SF	6%
GRAND TOTAL	89,969 SF	100%

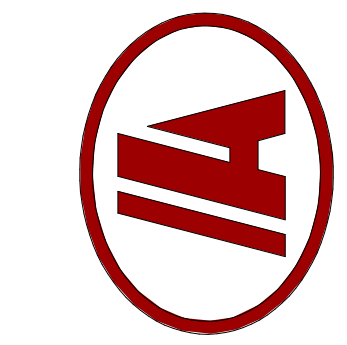
PARKING	
PARKING REQUIREMENTS:	XX
TOTAL STALLS REQUIRED:	XX
TOTAL STALLS PROPOSED:	XX
TOTAL ACCESSIBLE STALLS REQUIRED:	XX
TOTAL ACCESSIBLE STALLS PROPOSED:	XX

- GENERAL SITE NOTES:**
- VISIT JOB SITE TO VERIFY EXISTING SITE CONDITIONS PRIOR TO STARTING CONSTRUCTION. MEET WITH GENERAL CONTRACTOR PRIOR TO STARTING.
  - REMOVE EXISTING TREES ALONG WITH ROOTS AS REQUIRED @ PROPOSED BUILDING AND PAVING AREAS.
  - STRIP AND REMOVE ALL REMAINDER VEGETATION & X"± TOP SOIL FROM WITHIN THE BUILDING AND PAVING AREAS. STOCKPILE REUSABLE, UNCONTAMINATED TOPSOIL AND PROVIDE FOR ALL EXCESS MATERIAL TO BE TRUCKED OFF SITE. RESPREAD SALVAGED TOPSOIL OVER DISTURBED AREAS TO APPROX. 4" DEPTH AFTER CONSTRUCTION IS FINISHED.
  - CUT (OR FILL) THE BUILDING AREA +5.0' BEYOND PERIMETER OF THE BUILDING
  - CUT THE FLOOR AREA TO THE SUB-GRADE ELEVATION. (THE PERIMETER FOUNDATION FOOTINGS TO BE EXCAVATED BY CONC. CONTR. TO THE REQUIRED DEPTHS PER THE FOUNDATION PLAN). BENCH GRADE BACK PER CURRENT OSHA CODE STANDARDS PART #1926 IF REQ'D BY THE G.C. FOR THE PROJECT
  - PROOF ROLL BUILDING AREA FOR ANY SOFT MATERIALS. REPORT ANY SOFT SPOTS TO THE GENERAL CONTRACTOR.
  - ALL FILL MATERIAL FOR BRINGING GRADES UP TO SUB-GRADE ELEVATIONS SHALL BE GRANULAR OR CLEAN COMPACTABLE CLAY AND APPROVED BY ANDERSON-ASHTON.
  - ALL EXTERIOR BACKFILL MATERIAL FOR STANDARD FROST FOUNDATION WALLS SHALL BE CLEAN COMPACTABLE CLAY. INTERIOR BACKFILL MATERIAL SHALL BE 3/4" CLEAR STONE.
  - ALL BACKFILL & FILL MATERIALS SHALL BE INSPECTED AND APPROVED BY ANDERSON-ASHTON PRIOR TO PLACEMENT. ALL FILL MATERIALS SHALL BE COMPACTED IN 8" MAX. LIFTS @ 95% MODIFIED PROCTOR.
  - PREPARE THE PAVING AREA AS SHOWN ON THE CONSTRUCTION DOCUMENTS TO +/- 0.10'
  - PREPARE ALL SWALES AS SHOWN ON PLAN TO PROVIDE POSITIVE DRAINAGE DURING CONSTRUCTION.
  - RETURN AFTER THE BUILDING IS ENCLOSED & FINISH GRADE AND TOPSOIL AROUND PERIMETER OF BUILDING. ALSO, FINISH GRADE AROUND ELECTRICAL, TELEPHONE, GAS, SEWER, WATER AND UTILITY TRENCHES.
  - GRADING CONTRACTOR SHALL FIX AND REPAIR PARKING AREA AND DRIVES AS REQUIRED AFTER UTILITY AND OTHER WORK THAT MAY DISTURB THE SOIL AND/OR GRAVEL BASE BEFORE PAVING BEGINS. GRADING CONTRACTOR SHALL SMOOTH DRUM ROLL ALL PARKING AREAS AND DRIVES BEFORE PAVING BEGINS.
  - GRADING CONTRACTOR SHALL BE PREPARED TO HANDLE ALL SPOILS WHICH MAY INCLUDE ON SITE STORAGE AND TRUCKING OFF SITE. GRADER TO GET PRIOR APPROVAL FROM G.C. FOR PLACEMENT OF STOCKPILE SITES PRIOR TO STARTING STRIPPING OF TOPSOIL.
  - AWARDED GRADING CONTRACTOR SHALL BE RESPONSIBLE FOR THE LABOR AND MATERIAL NEEDED FOR SUPPLYING ANY TRAFFIC CONTROL BARRIERS OR SIGNS AS NEEDED PER LOCAL OR D.O.T. CODES & REGULATIONS DUE TO ANY ROAD WORK OUTSIDE OF PROPERTY LINES
  - THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM BUILDING AT A SLOPE OF NOT LESS THAN ONE UNIT VERTICAL IN 20 UNITS HORIZONTAL (5% SLOPE) FOR A MIN DISTANCE OF 10' MEASURED PERP. TO THE FACE OF THE FOUNDATION WALL.
- ASPHALT PAVING WORK**
- FURNISH AND INSTALL A 8" CRUSHED AGGREGATE BASE AT THE ASPHALT PAVING PARKING AREAS.
  - FINE GRADE AND COMPACT STONE BASE.
  - FURNISH AND INSTALL A 4" (TWO LIFT) AVG. THICKNESS COMPACTED ASPHALT PAVEMENT AT TRUCK/DRIVE AREAS
  - FURNISH AND INSTALL ALL PARKING STALL STRIPING, H.C. SYMBOLS, & H.C. SIGNS ON METAL POSTS.

REVISIONS

THIS IS A SCHEMATIC DRAWING, NOT A WORKING DRAWING. ANDERSON ASHTON IS NOT RESPONSIBLE FOR DIMENSIONS, CONSTRUCTION DETAILS, ENGINEERING DECISIONS, REGULATORY APPROVALS, OR ANY OTHER ASPECTS OF THE PROJECT. IT IS HIGHLY RECOMMENDED THAT A LOCAL ARCHITECT BE ENGAGED TO DEVELOP CONTRACT DOCUMENTS BASED ON THESE SCHEMATIC DRAWINGS AND CORRESPONDING OUTLINE SPECIFICATIONS. ANDERSON ASHTON SHALL NOT BE HELD RESPONSIBLE FOR ANY LEGAL OR FINANCIAL OBLIGATIONS INCURRED BY ARCHITECTS OR DEVELOPERS BE DEVELOPED IN A CONTRACTUAL AGREEMENT.

ANDERSON ASHTON DESIGN / BUILD  
2746 South 16th Street  
New Berlin, WI 53151  
Phone: (262) 786-4640  
WWW.ANDERSONASHTON.COM



**PRELIMINARY NOT FOR CONSTRUCTION**

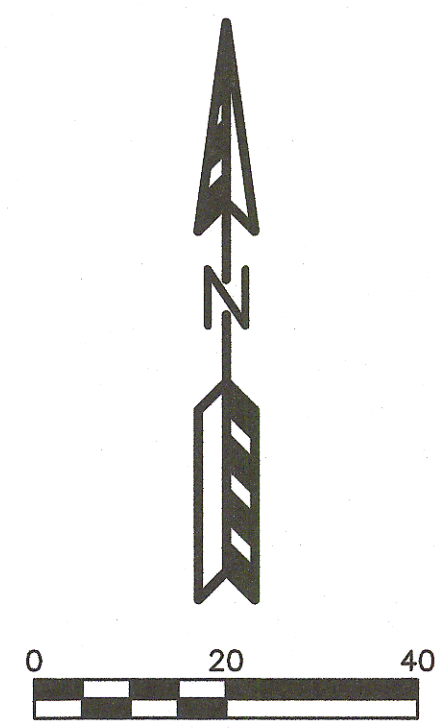
PROPOSED NEW BUILDING FOR:  
**SCENIC SELF STORAGE**

900 SILVERNAI RD., PEWAUKEE, WI 53072

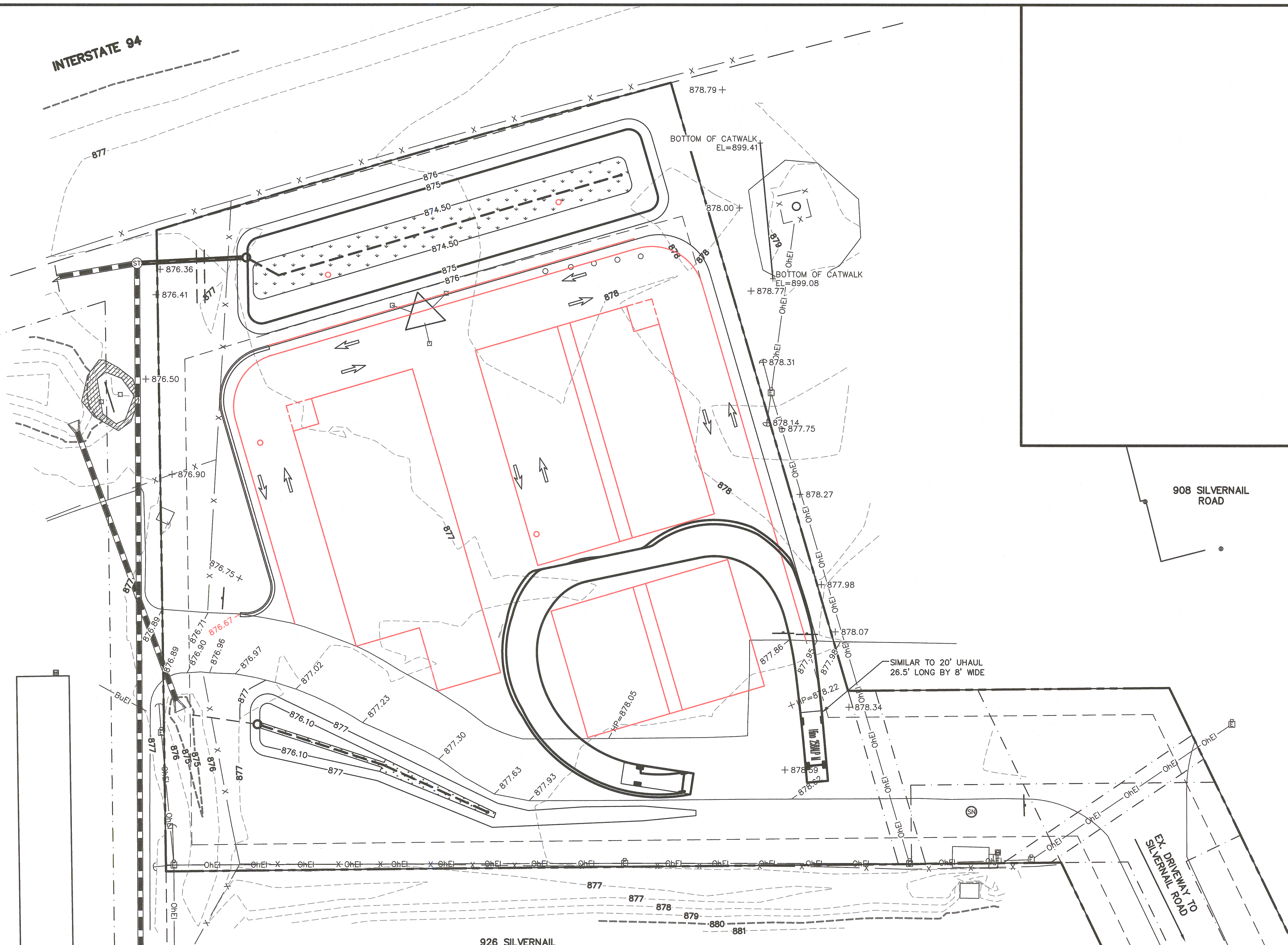
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DESIGNER: RRS  
ISSUE 8/23/2023 10:59:38 AM  
SUBMITTAL DATE XX-XX-XX  
DESIGN NO. 4007  
CONSTRUCTION NO. -

ARCHITECTURAL SITE PLAN

1 ARCHITECTURAL SITE PLAN  
1/16" = 1'-0"



INTERSTATE 94



EX. STORM MANHOLE  
RIM=878.20  
N IE=870.66  
E IE=870.70  
S IE=872.36

**NOTES:**  
1) PROPOSED SPOT ELEVATIONS ARE FINISH PAVEMENT SURFACE ELEVATION. REFER TO BUILDING PLANS FOR PAVEMENT SURFACE TO BUILDING FLOOR TRANSITION.

**SITE INFORMATION:**  
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PAVED DRIVE AISLE SETBACK: 5' FROM SIDE YARD, 15' FROM RIGHT-OF-WAY  
PRO. IMPERVIOUS AREA=54,253??? SQUARE FEET, 1.25??? ACRES  
PRO. IMPERVIOUS AREA % = 55.2???  
BUILDING FLOOR AREA = 17,500??? SQUARE FEET  
BUILDING FLOOR AREA RATIO = 17.8???%

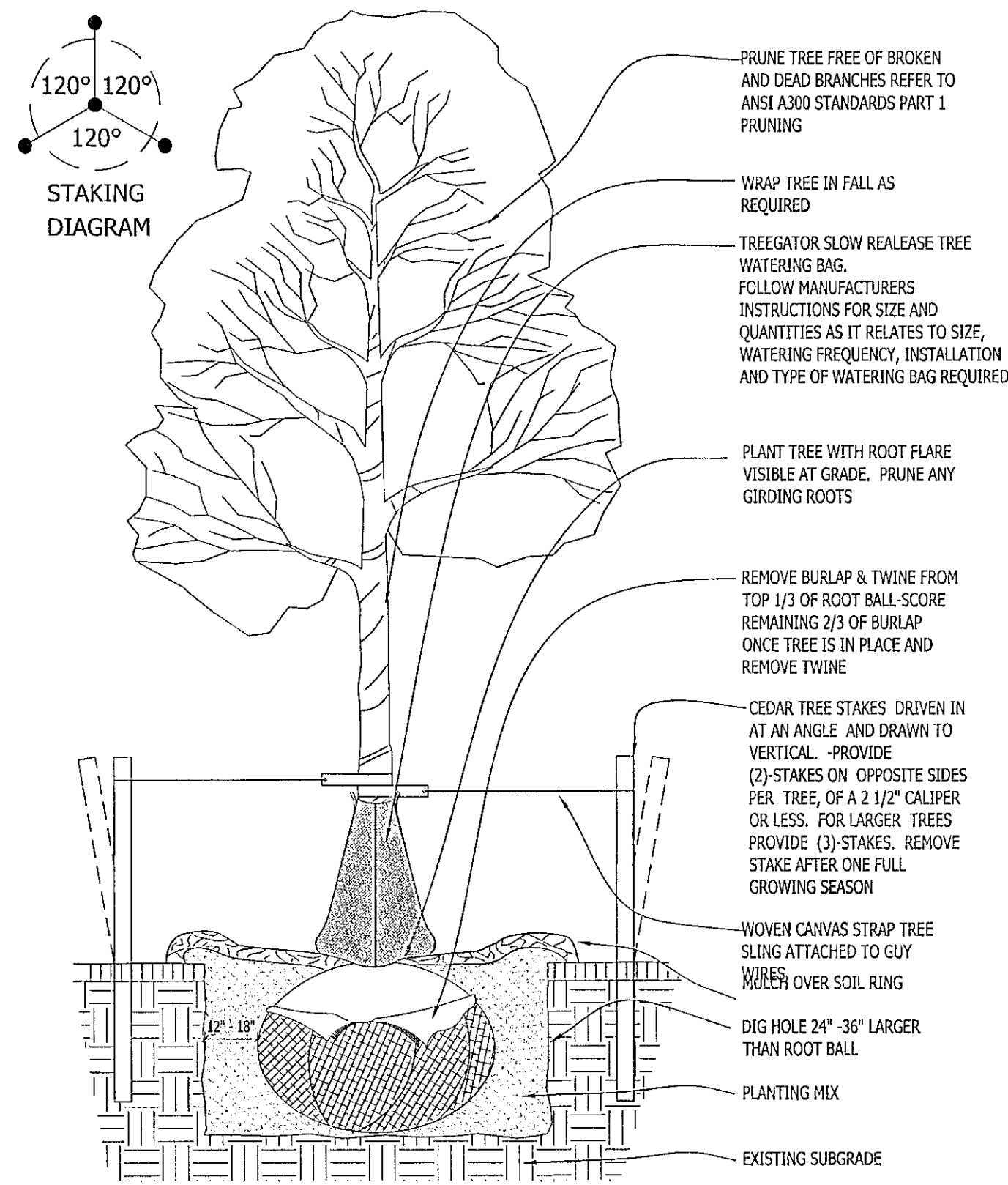
**LEGEND FOR COMMON LINES:**

-879-	- EXISTING MINOR CONTOUR
-880-	- EXISTING MAJOR CONTOUR
- - -	- PROPERTY LINE
-x-x-x-	- EXISTING FENCE
-OHEI-	- EXISTING OVERHEAD ELECTRIC LINE
-BUEI-	- EXISTING BURIED ELECTRIC LINE
-EX=878.25 OR 878.49	- EXISTING SPOT ELEVATION
-878.75	- PROPOSED SPOT ELEVATION

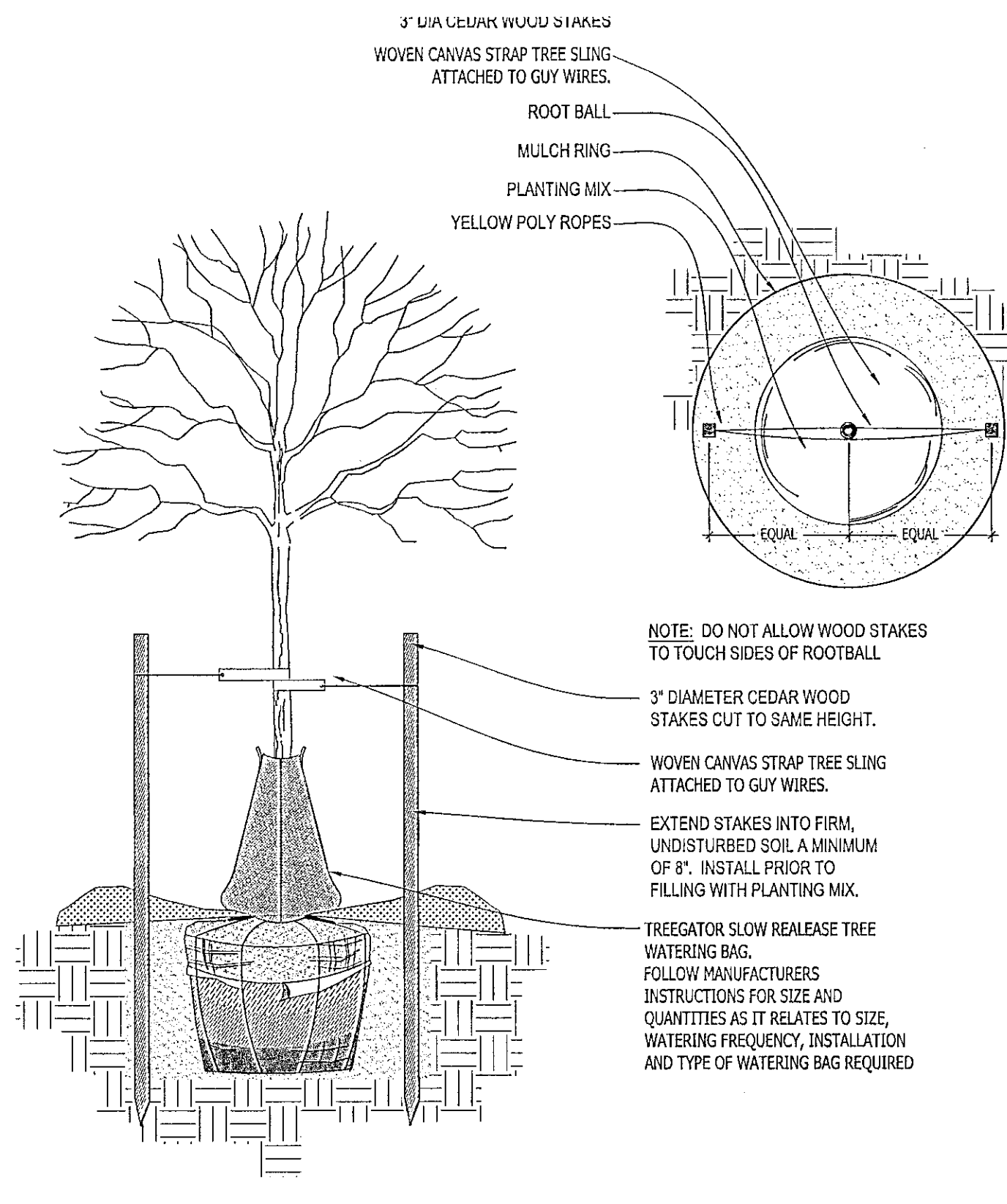
**CLIMATE CONTROLLED STORAGE - CSM 8319**  
VEHICLE MOVEMENT-INTERNAL  
PAGE 2 OF 2  
DATED: JULY 20, 2023

**QUAM ENGINEERING, LLC**  
Residential and Commercial Site Design Consultants  
www.quamengineering.com  
4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558  
Phone (608) 838-7750; Fax (608) 838-7752

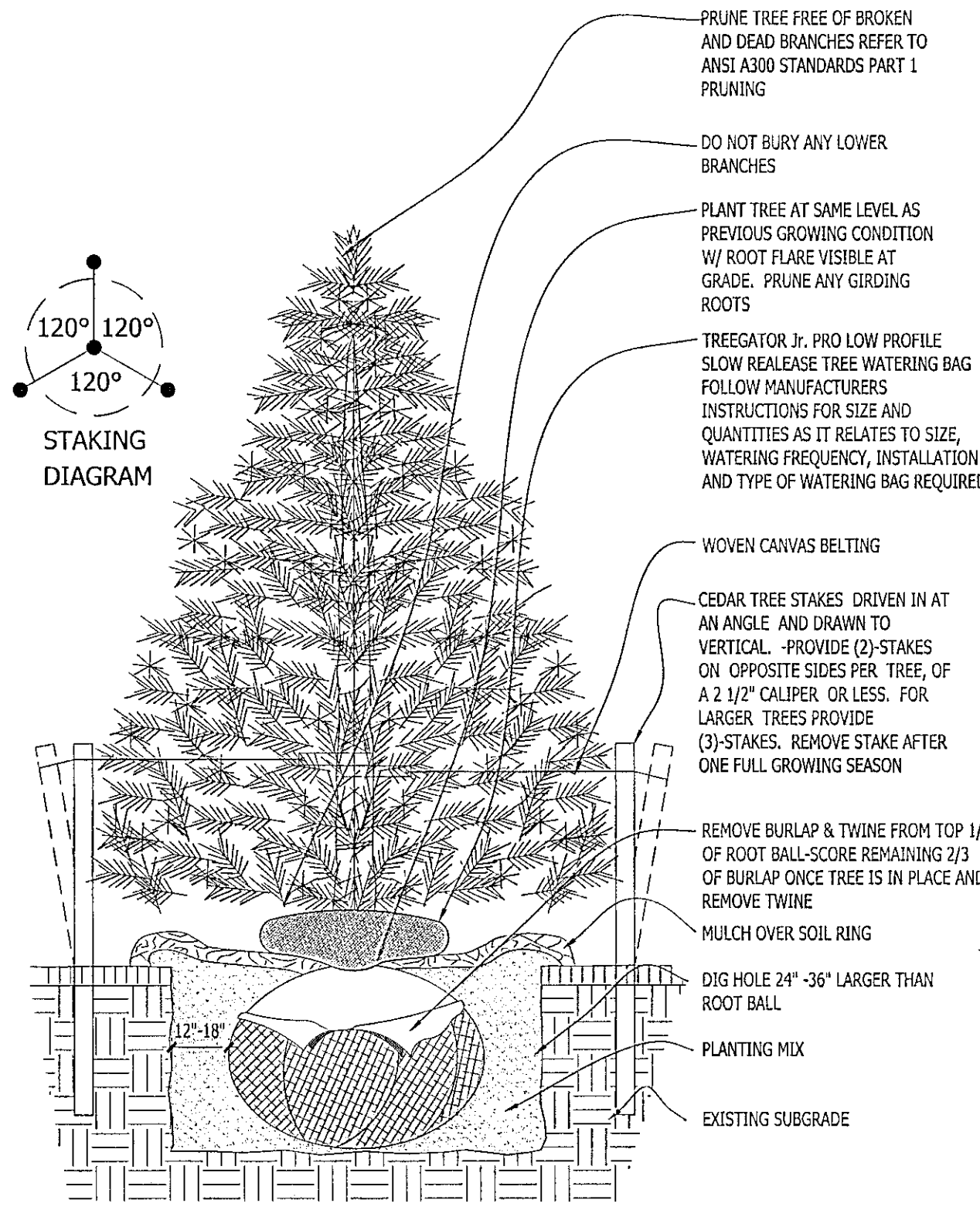




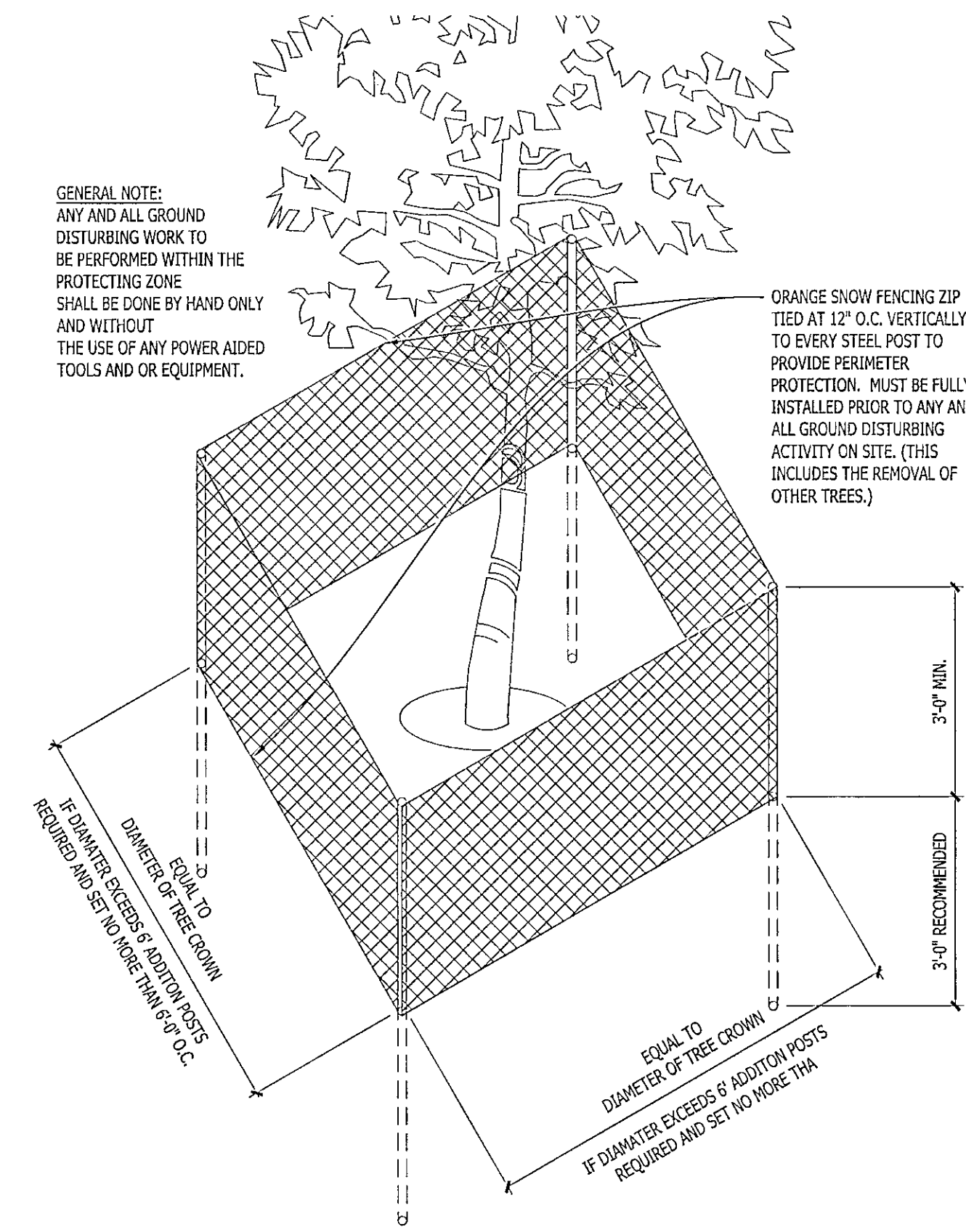
1 DECIDUOUS TREE PLANTING DETAIL SCALE: NONE



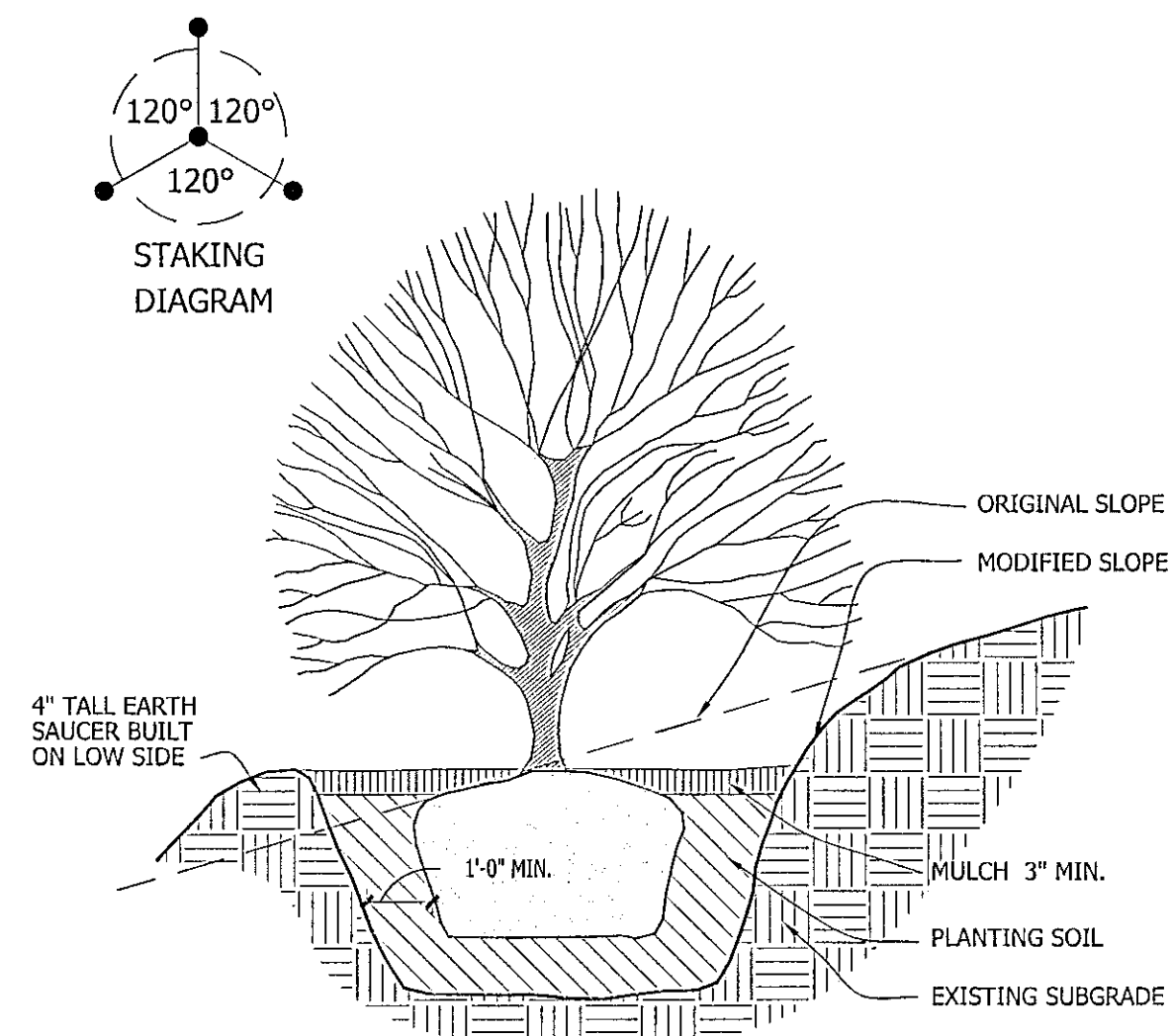
2 DECIDUOUS TREE STAKING PARKING ISLAND/RESTRICTED AREAS SCALE: NONE



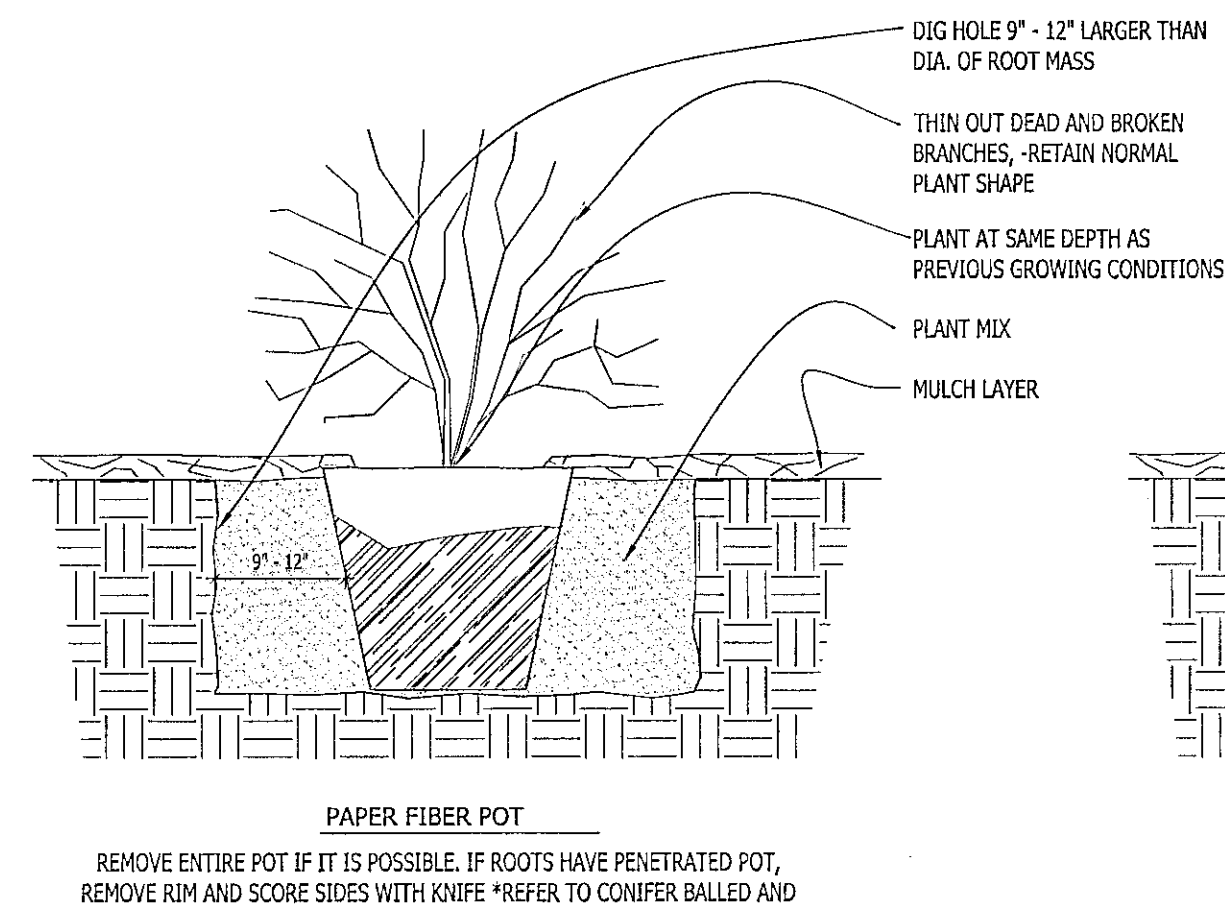
3 CONIFEROUS TREE PLANTING DETAIL SCALE: NONE



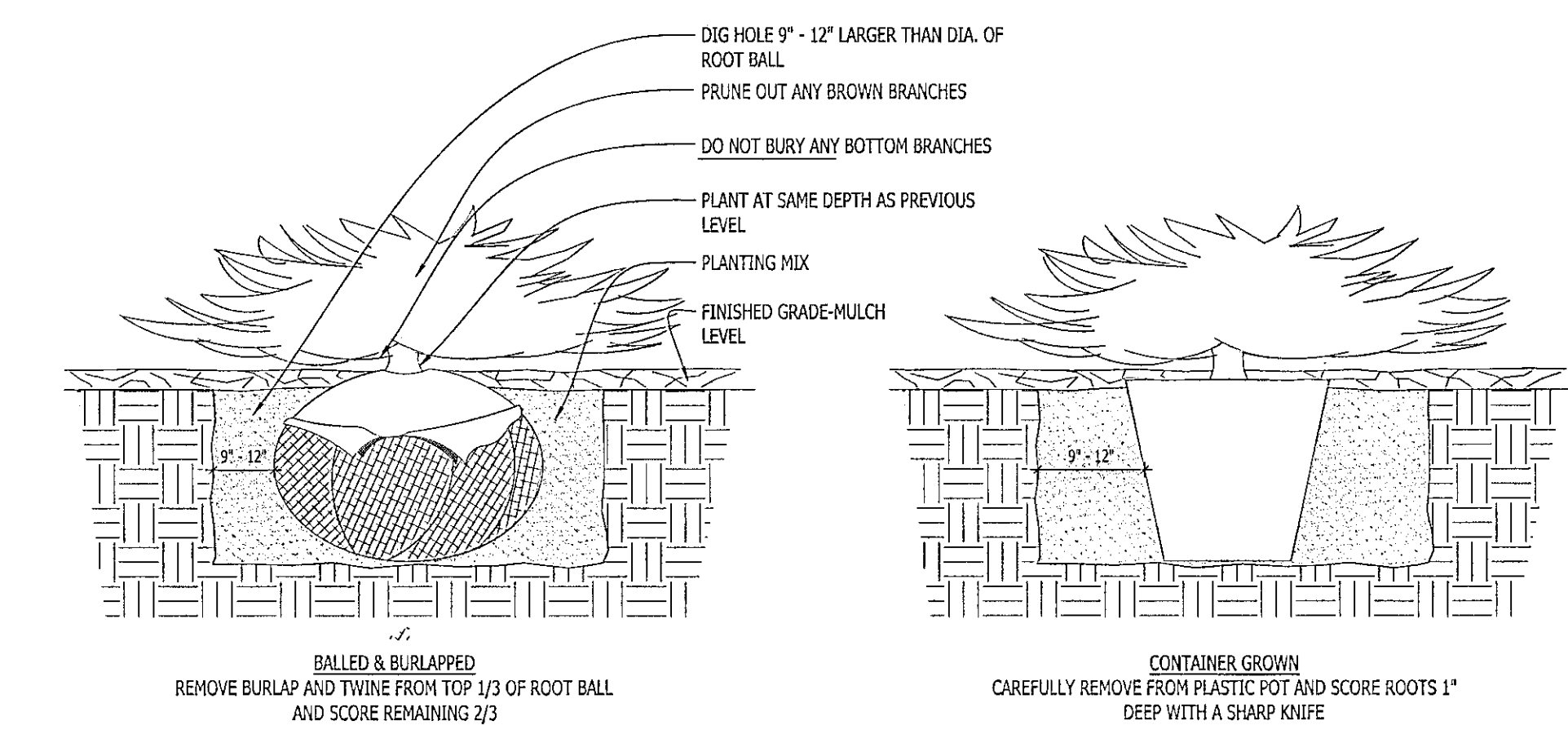
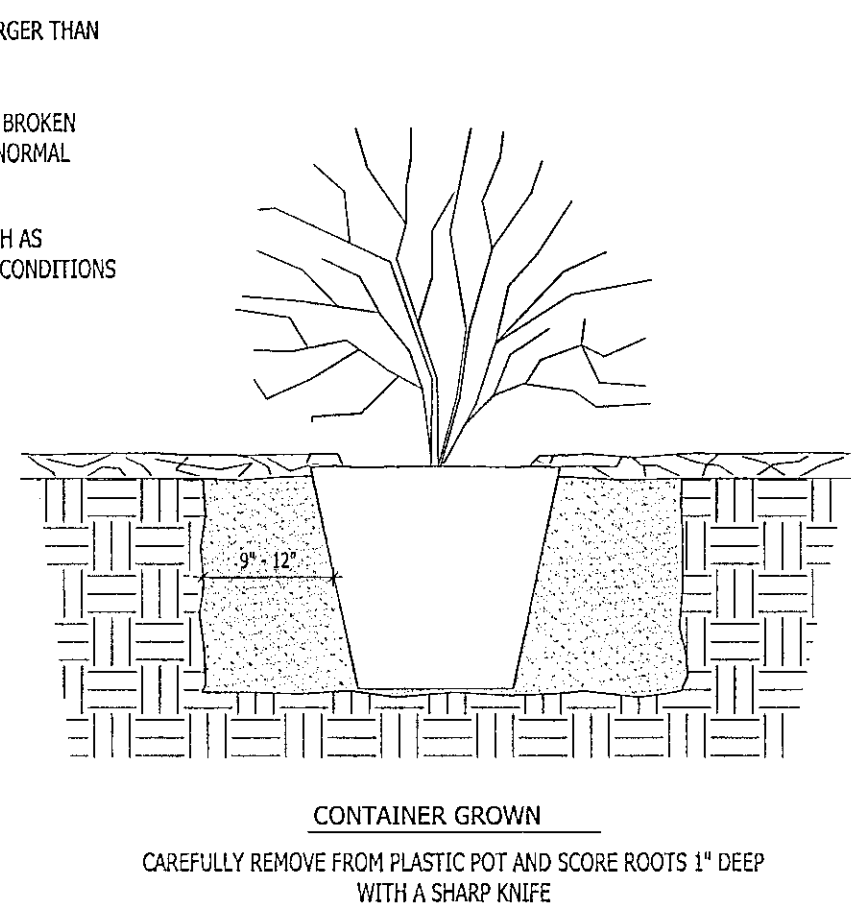
4 EXISTING TREE PROTECTION DETAIL SCALE: NONE



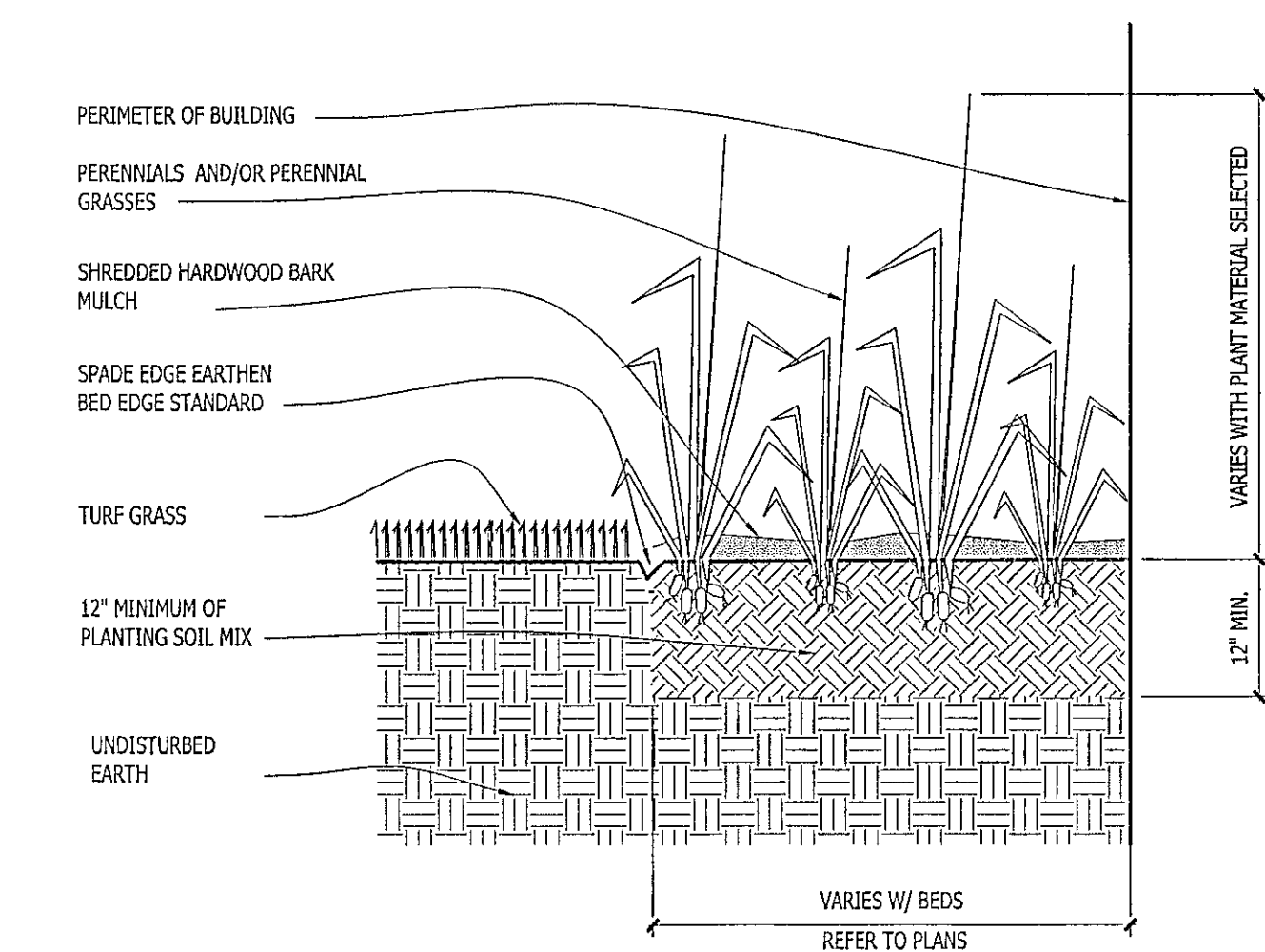
5 SLOPE PLANTING DETAIL SCALE: NONE REFER TO TYPICAL DECIDUOUS TREE DETAIL FOR STAKING



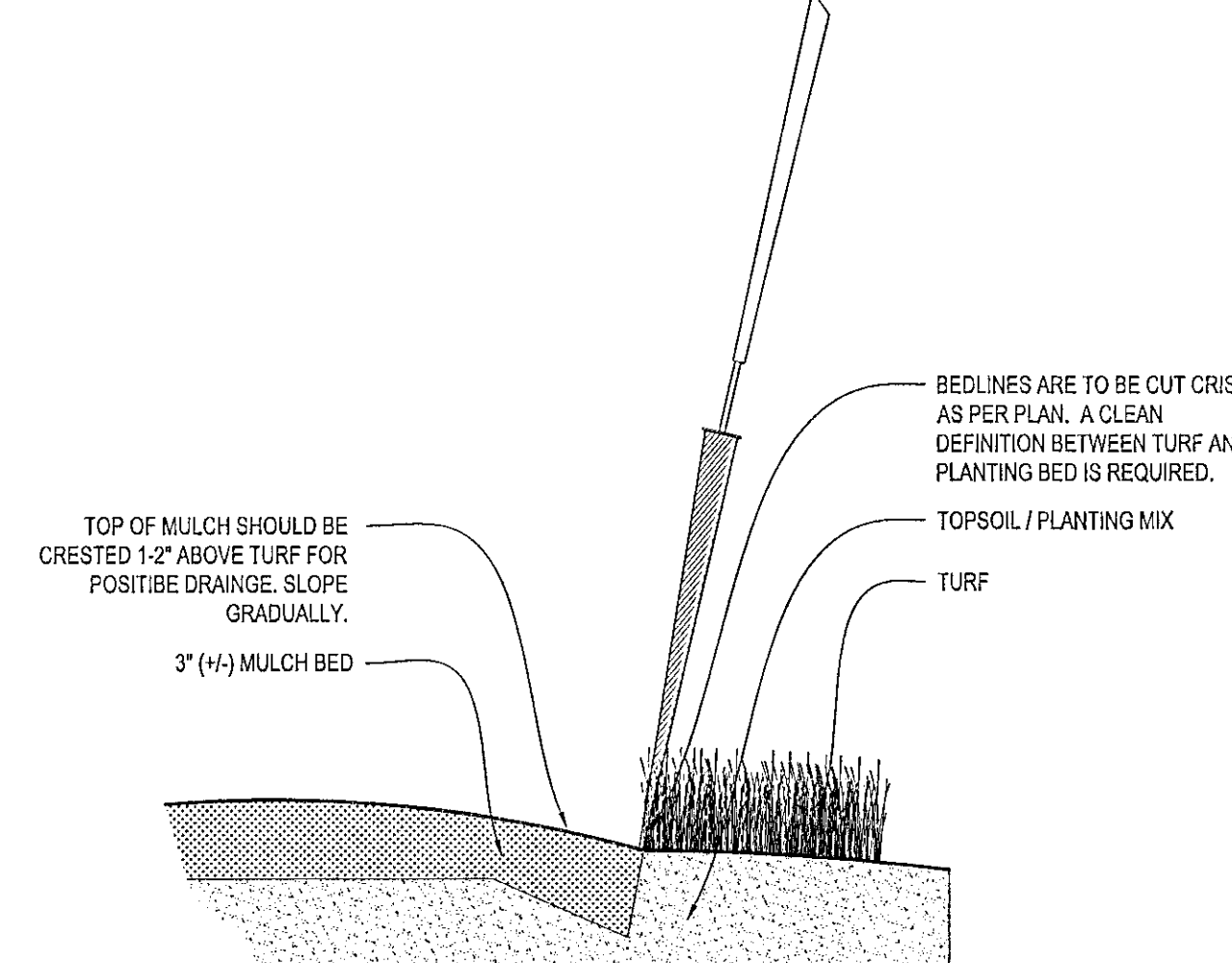
6 DECIDUOUS SHRUB PLANTING DETAIL SCALE: NONE



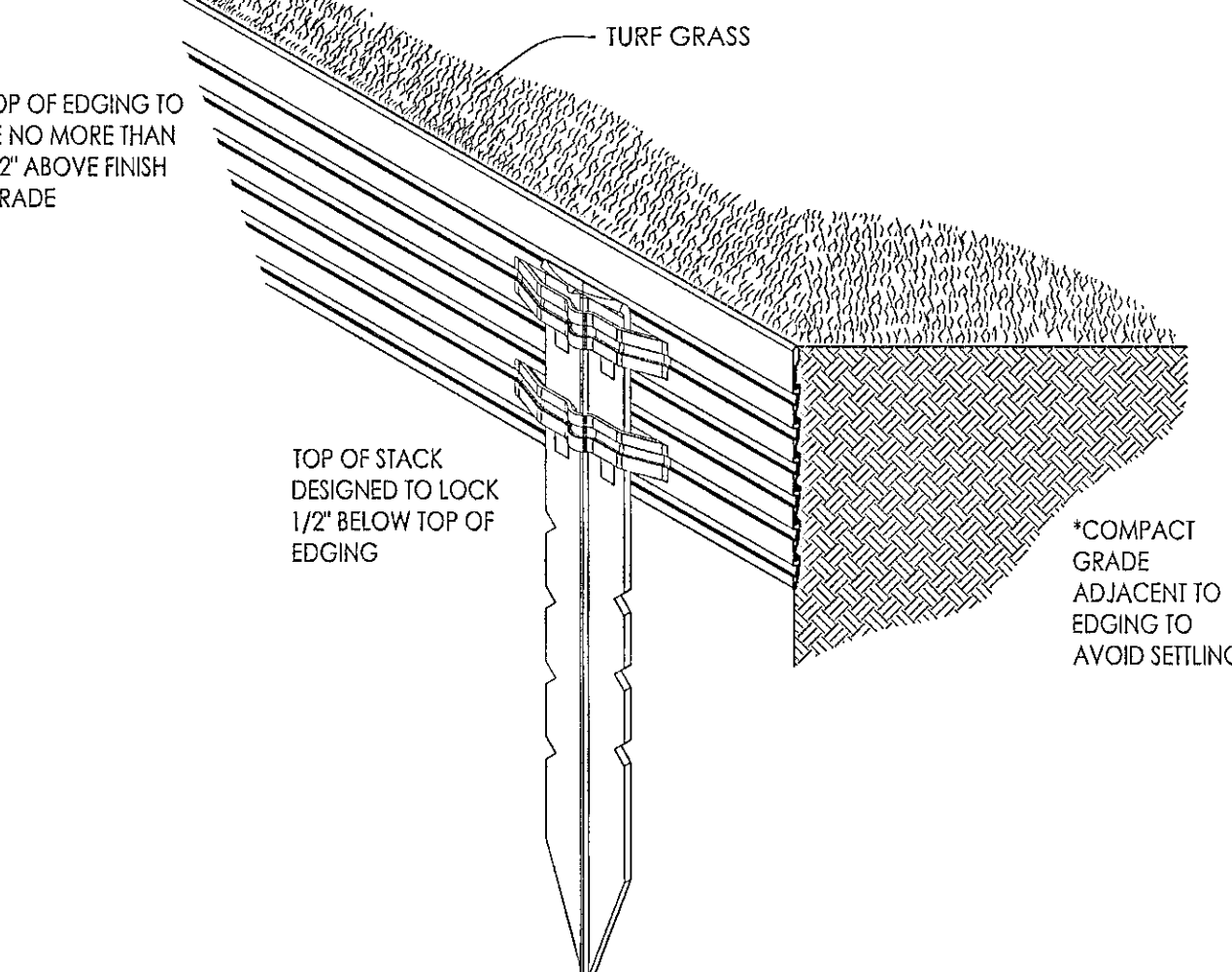
7 CONIFEROUS SHRUB PLANTING DETAIL SCALE: NONE



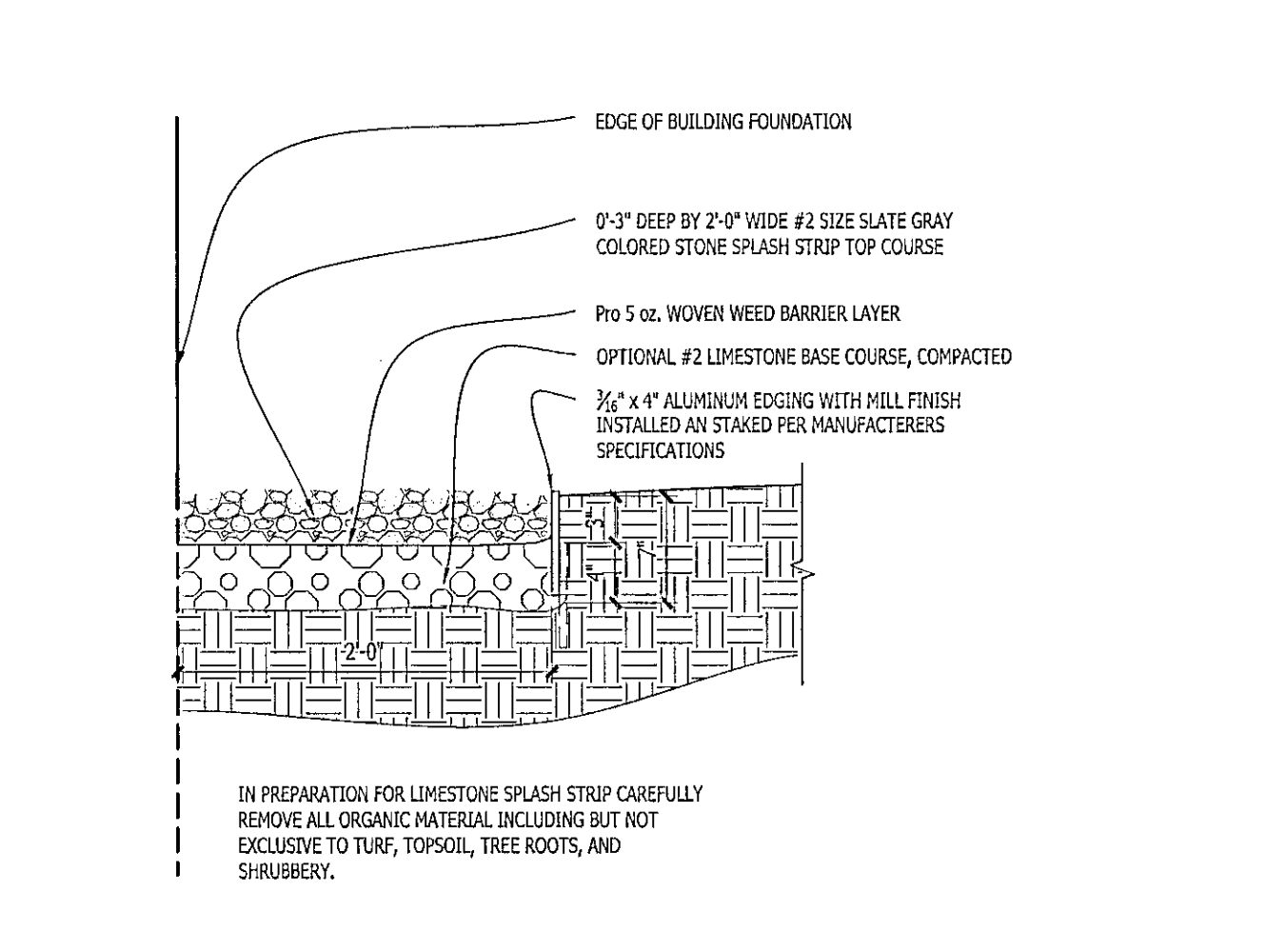
8 PERENNIAL BED PLANTING DETAIL SCALE: NONE



9 SPADE EDGE PLANT BED EDGE DETAIL SCALE: NONE



10 METAL LANDSCAPE EDGING DETAIL SCALE: 1/2\"/>



11 COMPACTED GRAVEL SPLASH STRIP SCALE: 1\"/>

Issuance and Revisions:

Date	Number	Description
05/26/23		Plan Commission Submittal
06/06/23		Revisions Based on Client Comments
08/25/23		Construction Document Submittal

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Sheet Title:

PROPOSED LANDSCAPE PLAN,  
PLANTING DETAILS

Date of Drawing: 08/25/23

Scale: As Noted

Drawn By: MCD

Job Number: L23-035

Sheet Number:

**LSP1.2**

CONSTRUCTION SET USE NO OTHER- DO NOT SCALE THESE DRAWINGS-

L23-035 - CLIMATE CONTROLLED STORAGE - 08/25/2023



BUILDING A WEST ELEVATION RENDERING



BUILDING A EAST ELEVATION RENDERING



BUILDING B & C WEST ELEVATION RENDERING





BUILDING B & C SOUTHEAST ELEVATION RENDERING



NORTH ELEVATION DAY RENDERING



NORTH ELEVATION NIGHT RENDERING