

A NEW BUILDING FOR: HALL AUTOMOTIVE

WAUKESHA, WISCONSIN



MATERIAL INDEX-PLANS, SECTIONS

	EARTH		FINISHED LUMBER
	COMPACTED FILL		PLYWOOD
	GRAVEL FILL		RIGID INSULATION
	CERAMIC TILE		BATT INSULATION
	POURED CONCRETE		DRYWALL
	CONCRETE BLOCK		STEEL
	CONCRETE BLOCK FILLED		PRECAST CONCRETE
	FACE BRICK		ACOUSTIC TILE
	STONE		BITUMINOUS PAVING
	ROUGH LUMBER		CONSTRUCT NEW WALL

REFERENCE SYMBOLS

SECTION CUT SYMBOL (WALL SECTIONS)

SECTION DESIGNATION (NUMBER FOR CROSS SECTION & LETTER FOR WALL SECTION)
DRAWING NUMBER ON WHICH SECTION APPEARS

PLAN DETAIL / ENLARGED PLAN SYMBOL

DETAIL NUMBER
DRAWING NUMBER ON WHICH DETAIL APPEARS

DETAIL CUT SYMBOL

DETAIL NUMBER
DRAWING NUMBER ON WHICH DETAIL APPEARS

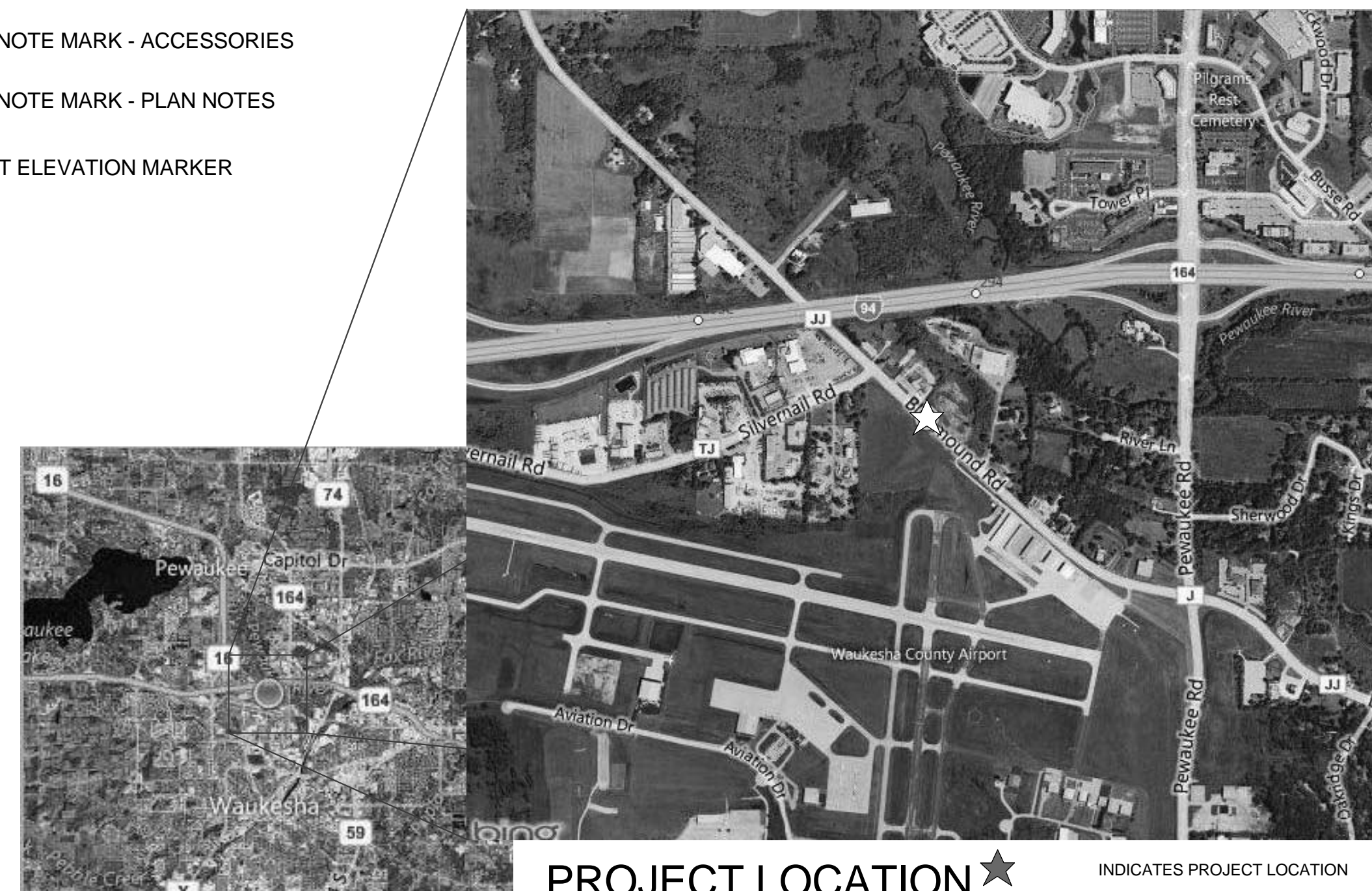
ELEVATION MARK - NEW

ELEVATION MARK - EXISTING

DRAWING SYMBOLS

	DOOR TAG
	REVISION NUMBER
	WINDOW TAG
	COLUMN LINE DESIGNATION- NEW
	WALL TYPE
	STAIRWAY DIRECTION INDICATION
	KEYNOTE MARK - ACCESSORIES
	KEYNOTE MARK - PLAN NOTES
	SPOT ELEVATION MARKER

PROJECT DATA	
GOVERNING AUTHORITY - WISCONSIN DEPT. OF COMMERCE SAFETY AND BUILDINGS DIVISION	
REFERENCED CODE	INTERNATIONAL BUILDING CODE 2009
CLASS OF CONSTRUCTION	II-B
OCCUPANCY CLASSIFICATION	STORAGE (S1)
LOCAL ZONING AUTHORITY	CITY OF WAUKESHA
BUILDING SPRINKLED	YES
BUILDING AREA:	
FIRST FLOOR:	21,864 S.F.
EQUIPMENT PLATFORMS:	788 S.F.
TOTAL BUILDING SQ. FT.:	23,052 S.F.



PROJECT LOCATION

W2440 BLUEMOUND ROAD
WAUKESHA, WISCONSIN

VICINITY PLAN

INDICATES PROJECT LOCATION
NO SCALE

SHEET INDEX

ARCHITECTURAL	
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CIVIL	
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C-2	GRADING AND EROSION CONTROL
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C-4	CONSTRUCTION DETAILS
C-5	CONSTRUCTION DETAILS
C-6	PLAT OF SURVEY
ARCHITECTURAL	
A-0.1	SITE PLAN AND NOTES
A-0.2	SITE DETAILS
A-1.1	FLOOR PLAN
A-1.2	ACCESSORY BUILDING
A-4.1	EXTERIOR ELEVATIONS
ELECTRICAL	
E-1.0	SITE PLAN - ELECTRICAL
LANDSCAPE	
L-1.0	PRELIMINARY LANDSCAPE PLAN

CONSULTANTS

ARCHITECTURAL
GRIES ARCHITECTURAL GROUP, INC.
500 N. COMMERCIAL STREET
NEENAH, WI 54956
PH (920) 722-2445
FX (920) 722-6605
CONTACT: BRANNIN GRIES, AIA

CIVIL
JAHNKE & JAHNKE ASSOC. INC.
711 W. MORELAND BLVD.
WAUKESHA, WI 53188
PH (262) 542-5797
FX (262) 542-7698
CONTACT: JOHN STIGLER

STRUCTURAL ENGINEERING
PIERCE ENGINEERS, INC.
241 NORTH BROADWAY SUITE 500
MILWAUKEE, WI 53202
PH (414) 278-6060
CONTACT: PAT REYNOLDS, P.E., S.E.

ELECTRICAL
MUERMANN ENGINEERING
116 FREMONT ST.
P.O. BOX 235
KIEL, WI 53042
PH (920) 894-7800
CONTACT: JOHN RUSSELL, P.E.

PLUMBING / FIRE PROTECTION
LUBENOW GOBSTER DOMINIAK & ASSOCIATES
10406 N. BAEHR RD.
MEQUON, WI 53092
PH (262) 512-1501
FX (262) 512-1502
CONTACT: JASON SCHNELL

HVAC
ALL HVAC DESIGN
213 STROEBE ROAD
APPLETON, WI 54914
PH (920) 730-7473
CONTACT: JOE FERG

LANDSCAPE
THE BRISTOL GROUP
19201 84TH ST.
BRISTOL, WI 53104
PH (252) 857-9191
CONTACT: BEN HIMSCHOOT

ISSUED FOR: FINAL SITE PLAN SUBMITTAL 01/27/2015

date: 01/27/15

job: 10-064

d. by: BJS, MJB

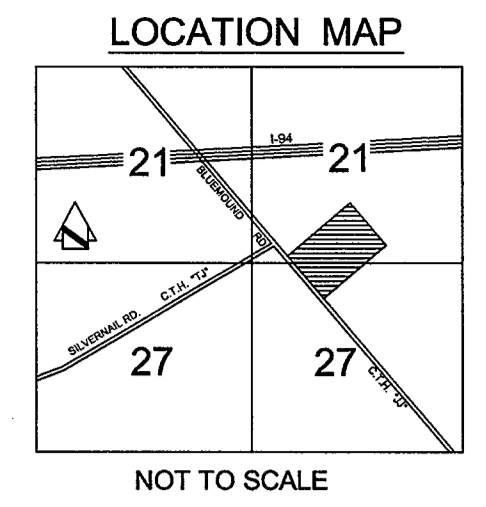
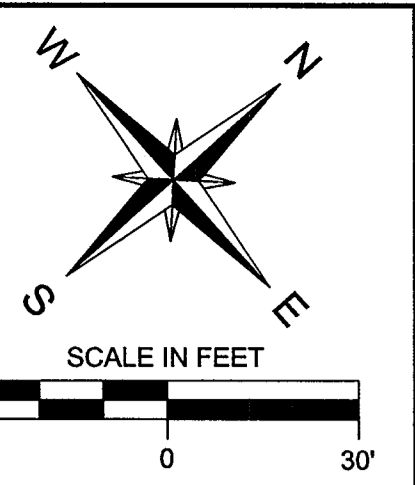
rev.: ---

C-S

A NEW BUILDING FOR:
HALL AUTOMOTIVE
WAUKESHA, WISCONSIN

Gries
Architectural Group Inc.
500 North Commercial Street
Neenah, Wisconsin 54956
920.722.6605
www.griesarchitectural.com

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- LEGEND**
- SEC. CORNER MON.
 - FOUND IRON PIPE
 - LIGHT POLE
 - POWER POLE
 - SANITARY MANHOLE
 - HYDRANT
 - WATER VALVE
 - ELECTRIC METER
 - GAS METER
 - BOLLARD
 - CONCRETE BASE FOR LIGHT POLE
 - SIGN
 - WELL

- UNDERGROUND ELECTRIC
- UNDERGROUND GAS
- OVERHEAD WIRES
- UNDERGROUND SANITARY SEWER
- UNDERGROUND WATER MAIN
- CHAIN LINK FENCE
- - - PHASE 1 GRADING LIMITS (COMPLETED IN 2013)
- UNDERGROUND COMBUSTIBLE GAS LINE



LEGAL DESCRIPTION:
All that part of the Southwest 1/4 of the Southeast 1/4 of Section 22, Township 7 North, Range 19 East, and the Northwest 1/4 of the Northeast 1/4 of Section 27, Township 7 North, Range 19 East, City of Waukesha, Waukesha County, Wisconsin, bounded and described as follows:
Commencing at the South 1/4 corner of said Section 22; thence North 1° 00' East along the South 1/4 line, 271.98 feet; thence South 46° 54' East along the Northerly line of County Trunk Highway JJ, 362.90 feet to the point of beginning of lands herein described; thence North 43° 06' East, 501.10 feet; thence South 46° 54' East 325.0 feet; thence South 43° 06' West, 501.10 feet to the Northerly line of aforesaid highway; thence North 46° 54' West along said Northerly line 325.00 feet to the point of beginning.

Except the Northeastery 60 feet (as measured normal to the Northeastery line which bears South 46° 54' East 300.00 feet); and

Except that part conveyed to the Waukesha County Investment Association, Inc., in Warranty Deed recorded in the office of the Register of Deeds for Waukesha County, Wisconsin, on November 20, 1961 in Volume 900 of Deeds, Page 649, as Document No. 556208.

Tax Key No. WAKC 0952994

ADDRESS: 704 BLUEMOUND ROAD

SUGGESTED LEGAL DESCRIPTION:
All that part of the Southwest 1/4 of the Southeast 1/4 of Section 22, Township 7 North, Range 19 East, and the Northwest 1/4 of the Northeast 1/4 of Section 27, Township 7 North, Range 19 East, City of Waukesha, Waukesha County, Wisconsin, bounded and described as follows:
Commencing at the southwest corner of said Southeast Quarter (SE 1/4) being marked by a concrete monument with brass cap; thence North 0° 05' 27" West along the west line of said Southeast Quarter (SE 1/4), 271.98 feet to the northerly right of way line West Bluemound Road; thence South 47° 59' 27" East along said northerly right of way line, 387.90 feet to the place of beginning of lands hereinafter described; thence North 42° 00' 33" East, 441.10 feet; thence South 47° 59' 27" East, 300.00 feet; thence South 42° 00' 33" West, 441.10 feet to the northerly right of way line West Bluemound Road; thence North 47° 59' 27" West along said northerly right of way line, 300.00 feet to the place of beginning. Containing an area of 3.0378 acres (132,330 sq. ft.) of land.

TITLE COMMITMENT NO. WG-182350 SCHEDULE B II EXCEPTION "16": NOTICE OF DISCONTINUANCE AND VACATION OF PORTION OF THOMAS STREET BEING A PART OF THE SE 1/4 OF SECTION 34, TOWN 7, NORTH, RANGE 19 EAST IN THE CITY OF WAUKESHA, WAUKESHA COUNTY, WISCONSIN, RECORDED ON FEBRUARY 20, 2003 IN THE REGISTER OF DEEDS OFFICE FOR WAUKESHA COUNTY INCLUSIVE AS DOCUMENT NO. 2936704. THIS DOCUMENT DOES NOT AFFECT THIS PARCEL.

TITLE COMMITMENT NO. WG-182350 SCHEDULE B II EXCEPTION "12": A UTILITY EASEMENT GRANTED TO MILWAUKEE ELECTRIC RAILWAY AND LIGHT COMPANY THE RIGHT, PERMISSION AND AUTHORITY TO CONSTRUCT, ERECT, INSTALL, OPERATE, MAINTAIN AND REPLACE A LINE OF POLES TOGETHER WITH THE NECESSARY ANCHORS, GUY WIRES, BRACE POLES AND OTHER APPLIANCES NECESSARY AND USUAL IN THE CONDUCT OF ITS BUSINESS, AND TO STRING, MAINTAIN AND REPLACE WIRES AND CABLES THEREON FOR THE PURPOSE OF SUPPLYING LIGHT, HEAT, POWER AND SIGNALS, OR FOR SUCH OTHER PURPOSE AS ELECTRIC CURRENT MAY HEREAFTER BE USED, AND FOR TELEPHONE SERVICE, UPON, OVER AND ACROSS ITS PREMISES AND S.T.H. 30. ALSO THE RIGHT, PERMISSION AND AUTHORITY IS ALSO GRANTED TO WISCONSIN ELECTRIC POWER COMPANY AND WISCONSIN TELEPHONE COMPANY TO TRIM AND KEEP TRIMMED ALL TREES NOW OR HEREAFTER EXISTING ALONG THE LINE SO THEY WILL CLEAR WIRES STRUNG NOT LESS THAN EIGHTEEN (18) FEET ABOVE THE PRESENTLY EXISTING GROUND LEVEL BY AS MUCH AS FIVE (5) FEET, AND SO THAT THE TREES WILL NOT BE LIABLE TO INTERFERE WITH THE TRANSMISSION OF ELECTRICITY OR WITH TELEPHONE SERVICE AND TO ENTER UPON SAID PREMISES TO DO THE WORK CONTEMPLATED, TO MAINTAIN AND REPLACE SAID LINE AND TO TRIM TREES, BEING A PART OF THE SE 1/4 OF SECTION 22, TOWN 7, NORTH, RANGE 19 EAST IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN, RECORDED ON JULY 30, 1926 IN THE REGISTER OF DEEDS OFFICE FOR WAUKESHA COUNTY IN VOLUME 203 OF DEEDS PAGE 344 INCLUSIVE AS DOCUMENT NO. 145067. EXACT LOCATION IS UNKNOWN.

TITLE COMMITMENT NO. WG-182350 SCHEDULE B II EXCEPTION "13": A UTILITY EASEMENT GRANTED TO WISCONSIN ELECTRIC POWER COMPANY THE RIGHT, PERMISSION AND AUTHORITY TO CONSTRUCT, ERECT, INSTALL, OPERATE, MAINTAIN AND REPLACE A LINE OF POLES TOGETHER WITH THE NECESSARY ANCHORS, GUY WIRES, BRACE POLES AND OTHER APPLIANCES NECESSARY AND USUAL IN THE CONDUCT OF ITS BUSINESS, AND TO STRING, MAINTAIN AND REPLACE WIRES AND CABLES THEREON FOR THE PURPOSE OF SUPPLYING LIGHT, HEAT, POWER AND SIGNALS, OR FOR SUCH OTHER PURPOSE AS ELECTRIC CURRENT MAY HEREAFTER BE USED, AND FOR TELEPHONE SERVICE, UPON, OVER AND ACROSS ITS PREMISES. ALSO THE RIGHT, PERMISSION AND AUTHORITY IS ALSO GRANTED TO WISCONSIN ELECTRIC POWER COMPANY TO TRIM AND KEEP TRIMMED ALL TREES NOW OR HEREAFTER EXISTING ALONG THE LINE SO THEY WILL CLEAR WIRES STRUNG NOT LESS THAN EIGHTEEN (18) FEET ABOVE THE PRESENTLY EXISTING GROUND LEVEL BY AS MUCH AS FIVE (5) FEET, AND SO THAT THE TREES WILL NOT BE LIABLE TO INTERFERE WITH THE TRANSMISSION OF ELECTRICITY OR WITH TELEPHONE SERVICE AND TO ENTER UPON SAID PREMISES TO DO THE WORK CONTEMPLATED, TO MAINTAIN AND REPLACE SAID LINE AND TO TRIM TREES, BEING A PART OF THE SE 1/4 OF SECTION 22, TOWN 7, NORTH, RANGE 19 EAST IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN, RECORDED ON AUGUST 15, 1953 IN THE REGISTER OF DEEDS OFFICE FOR WAUKESHA COUNTY IN VOLUME 610 OF DEEDS PAGE 103 INCLUSIVE AS DOCUMENT NO. 384759.

TITLE COMMITMENT NO. WG-182350 SCHEDULE B II EXCEPTION "14": A UTILITY EASEMENT GRANTED TO WISCONSIN ELECTRIC POWER COMPANY AND WISCONSIN TELEPHONE COMPANY THE RIGHT, PERMISSION AND AUTHORITY TO CONSTRUCT, ERECT, INSTALL, OPERATE, MAINTAIN AND REPLACE A LINE OF POLES TOGETHER WITH THE NECESSARY ANCHORS, GUY WIRES, BRACE POLES AND OTHER APPLIANCES NECESSARY AND USUAL IN THE CONDUCT OF ITS BUSINESS, AND TO STRING, MAINTAIN AND REPLACE WIRES AND CABLES THEREON FOR THE PURPOSE OF SUPPLYING LIGHT, HEAT, POWER AND SIGNALS, OR FOR SUCH OTHER PURPOSE AS ELECTRIC CURRENT MAY HEREAFTER BE USED, AND FOR TELEPHONE SERVICE, UPON, OVER AND ACROSS ITS PREMISES. ALSO THE RIGHT, PERMISSION AND AUTHORITY IS ALSO GRANTED TO WISCONSIN ELECTRIC POWER COMPANY AND WISCONSIN TELEPHONE COMPANY TO TRIM AND KEEP TRIMMED ALL TREES NOW OR HEREAFTER EXISTING ALONG THE LINE SO THEY WILL CLEAR WIRES STRUNG NOT LESS THAN EIGHTEEN (18) FEET ABOVE THE PRESENTLY EXISTING GROUND LEVEL BY AS MUCH AS FIVE (5) FEET, AND SO THAT THE TREES WILL NOT BE LIABLE TO INTERFERE WITH THE TRANSMISSION OF ELECTRICITY OR WITH TELEPHONE SERVICE AND TO ENTER UPON SAID PREMISES TO DO THE WORK CONTEMPLATED, TO MAINTAIN AND REPLACE SAID LINE AND TO TRIM TREES, BEING A PART OF THE SE 1/4 OF SECTION 22, TOWN 7, NORTH, RANGE 19 EAST IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN, RECORDED ON OCTOBER 12, 1960 IN THE REGISTER OF DEEDS OFFICE FOR WAUKESHA COUNTY IN VOLUME 864 OF DEEDS PAGE 285 INCLUSIVE AS DOCUMENT NO. 532475. EXACT LOCATION IS UNKNOWN.

TITLE COMMITMENT NO. WG-182350 SCHEDULE B II EXCEPTION "15": AN AVIATION EASEMENT DISCLOSED IN AWARD OF DAMAGES EXECUTED BY WAUKESHA COUNTY FOR WAUKESHA COUNTY AIRPORT IMPROVEMENT WHICH STATES THAT THE AIRSPACE SHALL BE 917 FEET ABOVE MEAN SEA LEVEL WHICH IS APPROXIMATELY 22 FEET ABOVE GROUND, BEING A PART OF THE SE 1/4 OF SECTION 22, TOWN 7, NORTH, RANGE 19 EAST AND THE NE 1/4 OF SECTION 27, TOWN 7, NORTH, RANGE 19 EAST IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN, RECORDED ON OCTOBER 25, 1963 IN THE REGISTER OF DEEDS OFFICE FOR WAUKESHA COUNTY IN VOLUME 962 OF DEEDS PAGE 461 INCLUSIVE AS DOCUMENT NO. 598669.

SURVEY CERTIFICATE: I have surveyed the above described property and the map shown is a true representation thereof and shows the size and location of the property, its exterior boundaries, the location and dimensions of all visible structures thereon, fences, apparent easements and roadways and visible encroachments if any. This survey is made for the exclusive use of the present owners of the property and also those who purchase, mortgage or guarantee the title thereto within one (1) year from the date hereof and as to them I warrant the accuracy of said survey and map.

John R. Stigler
JOHN R. STIGLER - Wis. Reg. No. S-1820

- Dated this 8th day of November, 2010
- Revised this 19th day of April, 2011
- Revised this 28th day of April, 2011
- Revised this 13th day of June, 2011
- Revised this 30th day of June, 2011
- Revised this 28th day of November, 2012
- Revised this 30th day of July, 2013
- Revised this 31st day of July, 2013
- Revised this 28th day of August, 2013
- Revised this 24th day of September, 2013
- Revised this 19th day of November, 2013
- Revised this 6th day of December, 2013
- Revised this 20th day of October, 2014
- Revised this 12th day of November, 2014
- Revised this 1st day of December, 2014
- Revised this 9th day of January, 2015

LAND OWNER
SAMCO LLC
Andy Hall-PRESIDENT
19809 W. Bluemound Road
Brookfield, WI 53045
(262) 782-5300

NOTES:
1. THE TITLE POLICY PROVIDED TO JAHNKE & JAHNKE ASSOC. INC., WAS COMPLETED BY HERITAGE TITLE SERVICES INC., AS AGENT FOR CHICAGO TITLE INSURANCE COMPANY, INC., ON DECEMBER 29, 2004 AS FILE NO. WG-182350.
2. PER THE FEMA FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 55133C0211F DATED NOVEMBER 19, 2008. THE LANDS DEPICTED ON THIS SURVEY LIE ENTIRELY WITHIN ZONE X.

REFERENCE BEARING: THE SOUTH LINE OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 22-7-19 WAS USED AS THE REFERENCE BEARING AND HAS A BEARING OF N 89° 01' 27" E PER THE WISCONSIN STATE PLANE COORDINATE SYSTEM SOUTH ZONE. DATED APRIL, 2001.

REFERENCE BENCHMARK: 847.85 (USGS) TOP OF CONCRETE MONUMENT WITH BRASS CAP MARKING THE SE CORNER OF THE (SE 1/4) SECTION 22-7-19. CONVERT TO CITY OF WAUKESHA DATUM BY DEDUCTING 780.56.

ZONING:
B-5 HIGHWAY BUSINESS DISTRICT

SETBACKS:
FRONT YARD - 40 FEET
SIDE YARD - 10 FEET
REAR YARD - 25 FEET

DIGGERS HOTLINE WAS USED TO MARK THE PROPERTIES OF UNDERGROUND UTILITIES. CONTRACTOR/OWNER SHOULD CONTACT DIGGERS HOTLINE PHONE NO. 1-800-242-8511 TO REMARK THE PROPERTY BEFORE ANY EXCAVATION OR DEMOLITION.

UTILITY LOCATIONS WERE MARKED BY DIGGERS HOTLINE AND MAPS WERE FURNISHED BY:

CITY OF PEWAUKEE DEPARTMENT OF PUBLIC WORKS
ADDRESS: W240 N3065 PEWAUKEE ROAD
PEWAUKEE, WI 53072
PH: (262) 691-0804

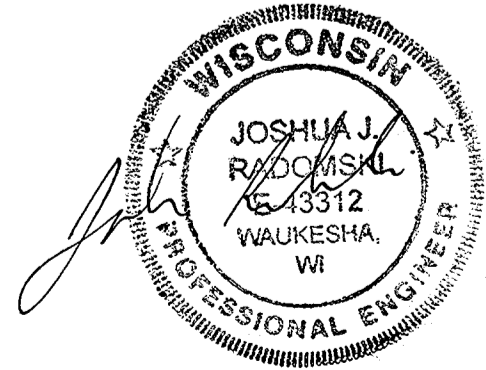
CITY OF WAUKESHA UTILITIES
ADDRESS: 130 DELAFIELD STREET
WAUKESHA, WI 53188
PH: (262) 524-3600

CITY OF WAUKESHA WATER UTILITY
115 DELAFIELD STREET
WAUKESHA WI 53188-3615
PH: (262) 521-5265

TIME WARNER CABLE
320 NORTH DR. MARTIN LUTHER KING JR. DRIVE
MILWAUKEE, WI 53212
PH. (414) 277-4000

WE ENERGIES
ADDRESS: 231 W. MICHIGAN AVENUE,
MILWAUKEE, WI 53290
PH. (800) 242-9137

SBC
ADDRESS: 722 N. BROADWAY AVENUE,
MILWAUKEE, WI 53202-4396
PH. (800) 257-0902



REVISED: APRIL 19, 2011
REVISED: APRIL 26, 2011
REVISED: MAY 6, 2011
REVISED: JUNE 13, 2011
REVISED: JUNE 30, 2011
REVISED: NOVEMBER 28, 2012
REVISED: JULY 31, 2013
REVISED: AUGUST 28, 2013
REVISED: SEPTEMBER 24, 2013
REVISED: NOVEMBER 19, 2013
REVISED: DECEMBER 6, 2013
REVISED: OCTOBER 20, 2014
REVISED: NOVEMBER 12, 2014
REVISED: JANUARY 9, 2015

NOTE: The location and size of the underground structures and utilities shown hereon have been located to a reasonable degree of accuracy, but the Engineer and/or Surveyor does not guarantee their exact location or the location of others not shown.
Contact Diggers Hotline, Inc., Etc.
MILW. AREA 259-1181

RE: HALL PROJECT
EXISTING SITE PLAN
FOR: GRIES ARCHITECTURAL GROUP
PART OF THE SE 1/4 OF SEC. 22, T.7N., R.19E. AND
PART OF THE NE 1/4 OF SEC. 27, T.7N., R.19E.
CITY OF WAUKESHA, WAUKESHA COUNTY, WISCONSIN

JAHNKE & JAHNKE ASSOCIATES INC.
PLANNERS & PROFESSIONAL ENGINEERS
711 W. MORELAND BLVD. - WAUKESHA, WI 53188
TEL: (262) 542-5797 FAX: (262) 542-7698 (E-MAIL: bilndau@jahnkeandjahnke.com)

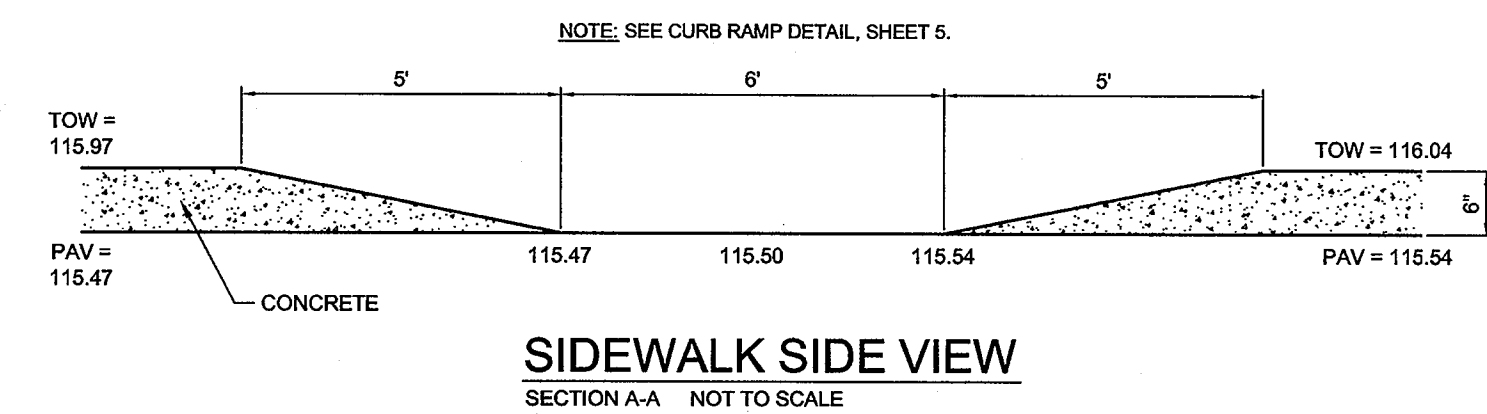
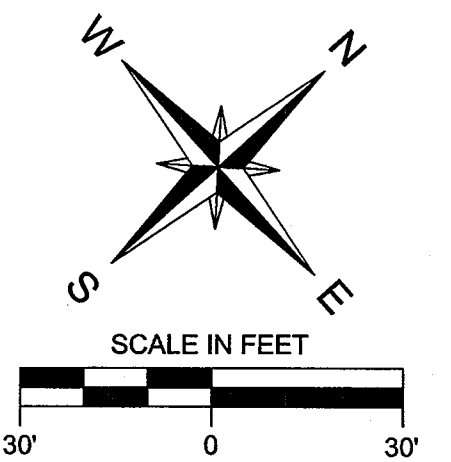
SCALE: 1" = 30'
DATE: NOVEMBER 8, 2010

DRAWN BY: M.L.H./B.R./J.L. CHECKED BY: J.R.S. FILE NO.: WAUKESHA 1111
BOOK NO.: PEWAUKEE 159 JOB: S7908 SHEET 1 OF 6

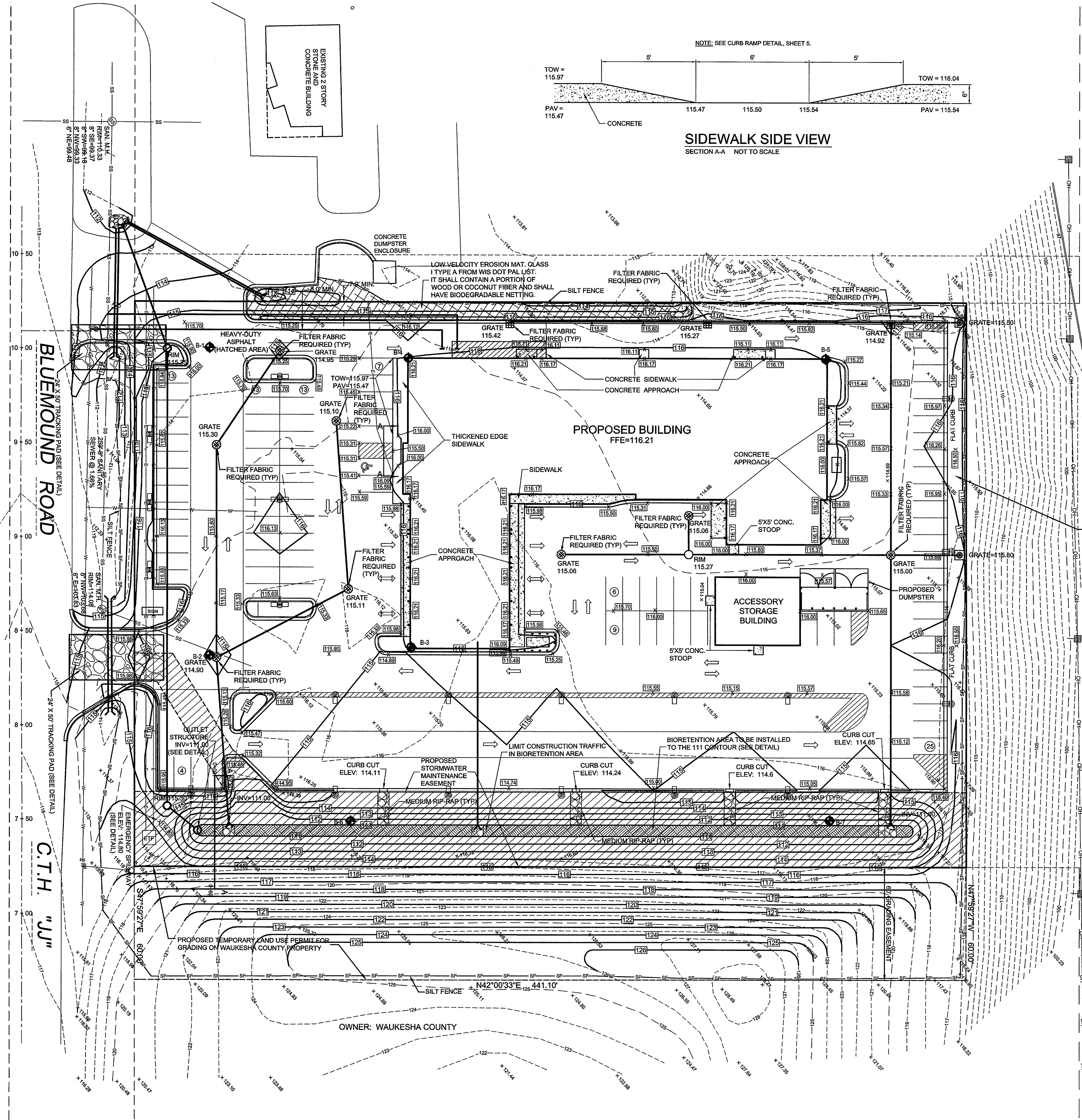


CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
WE EXIST TO ASSIST YOU
REGARDLESS OF YOUR SITUATION
NOTICE BEFORE YOU EXCAVATE
MILW. AREA 259-1181

FILE NAME: S:\PROJECTS\57908\DWG\S7908.DWG



- GRADING NOTES**
1. ALL GRADING SHALL MEET THE REQUIREMENTS OF PART 2 - EARTHWORK OF THE WISDOT SPECIFICATIONS. GRADING OS SHOWN TO THE TOP OF THE FINISHED SURFACE. COMPACT THE PARKING SUBGRADE PRIOR TO PLACEMENT OF MATERIAL. THE ENGINEER WILL REQUIRE A PROOF ROLL AND GRADE VERIFICATION TO ENSURE ADEQUATE CONSTRUCTION. THE SUBGRADE MUST BE FREE OF SOFT ZONES AND SHALL BE VERIFIED TO BE WITHIN 0.20% OF THE PLAN ELEVATION PRIOR TO ACCEPTANCE.
 2. FIELD TILE ENCOUNTERED SHALL BE ADDRESSED AND BROUGHT TO THE ENGINEER'S ATTENTION.
 3. ALL STORM DRAINAGE CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS.
 4. RESTORATION OF DISTURBED AREA OUTSIDE OF THE CONSTRUCTION LIMITS IS THE RESPONSIBILITY OF THE CONTRACTOR. AREAS SHALL BE RESTORED TO PRECONSTRUCTION CONDITIONS TO THE SATISFACTION OF THE OWNER.
 5. ALL PROPOSED SIDEWALKS SHALL HAVE A MAX CROSS SLOPE OF 2.0% (1:50), AND A MAX LONGITUDINAL SLOPE OF 8.3% (12:1). ALL SIDEWALKS SHALL MEET ADA ACCESSIBILITY REQUIREMENTS.
 6. CONTRACTOR SHALL ADJUST UTILITY STRUCTURES TO PROPOSED GRADES.
 7. GRADING, EXCAVATING AND PLACEMENT OF STRUCTURAL FILL SHALL BE IN ACCORDANCE WITH GEOTECHNICAL REPORT.
 8. ALL EARTHWORK RECOMMENDATIONS AS DESCRIBED IN THE GEOTECHNICAL REPORT SHALL BE USED AS THE BASIS FOR THE CONTRACT DOCUMENTS AND ALL PROCEDURES SHALL BE IN ACCORDANCE WITH THE FEDERAL, STATE AND LOCAL STANDARDS.
 9. CONSTRUCTION OF THE POND BASIN SHALL CONFORM TO WDNr TECHNICAL STANDARDS.



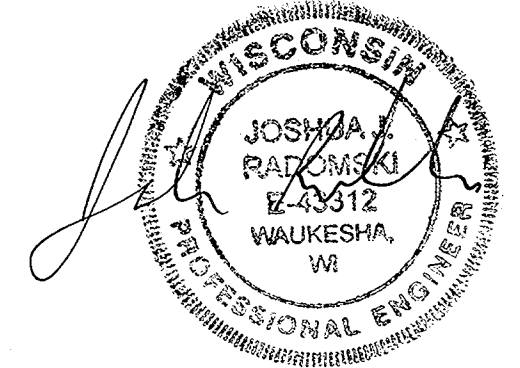
- LEGEND**
- ⊕ PROPOSED CATCH BASIN ROUND
 - ⊞ PROPOSED CATCH BASIN SQUARE
 - PROPOSED STORM MANHOLE/OUTLET STRUCTURE
 - ⊞ PROPOSED LIGHT POLE
 - ⊞ POWER POLE
 - ⊞ SANITARY MANHOLE
 - ⊞ HYDRANT
 - ⊞ WATER VALVE
 - ⊞ EXISTING SOIL BORING LOCATION
 - ⊞ EXISTING SPOT GRADE
 - ⊞ PROPOSED SPOT GRADE
 - OH — OVERHEAD WIRES
 - SS — UNDERGROUND SANITARY SEWER
 - W — UNDERGROUND WATER MAIN
 - 110 — EXISTING CONTOUR
 - — PROPOSED CONTOUR
 - ⚠ UNDERGROUND COMBUSTIBLE GAS LINE
 - SF — PROPOSED SILT FENCE
 - ▨ PROPOSED BIORETENTION AREA
 - ▨ PROPOSED LOW VELOCITY EROSION MAT
 - ▨ PROPOSED HEAVY DUTY ASPHALT
 - ▨ PROPOSED CONCRETE APPROACH
 - ▨ PROPOSED RIP-RAP

SEE SHEET 4 AND 5 OF 6 FOR DETAILS

- NOTE:**
1. ALL CURB IS ROLLED CURB EXCEPT:
 2. ALONG ENTIRE NORTHEAST EDGE WHERE FLAT CURB IS SHOWN,
 3. ALONG SOUTHEAST EDGE WHERE CURB CUTS WITH TAPERS ARE SHOWN AND
 4. AROUND THE BUILDING WHERE A THICKENED EDGE SIDEWALK, STANDARD SIDEWALK OR CONCRETE APPROACH IS SHOWN.

REVISED: APRIL 19, 2011
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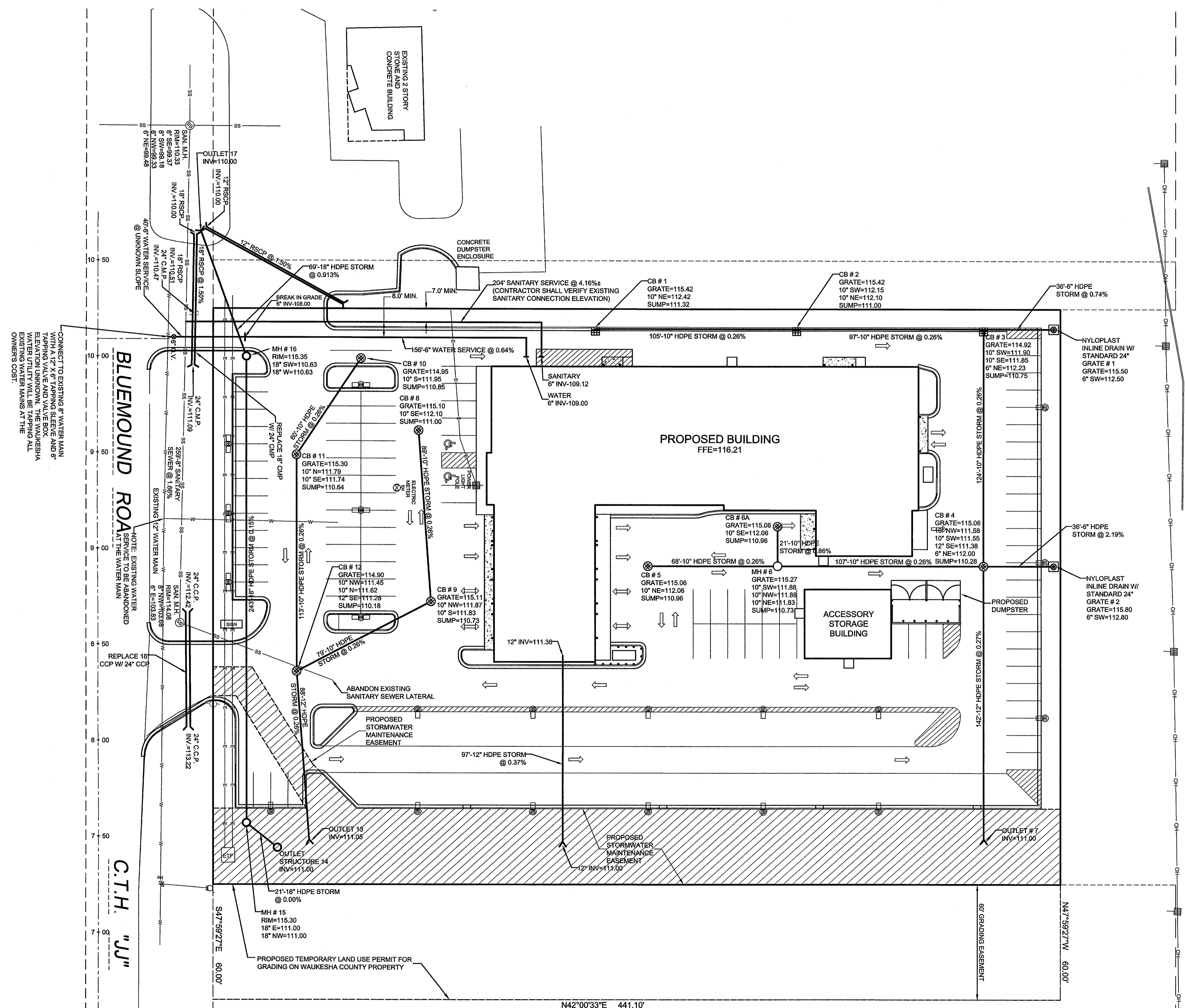
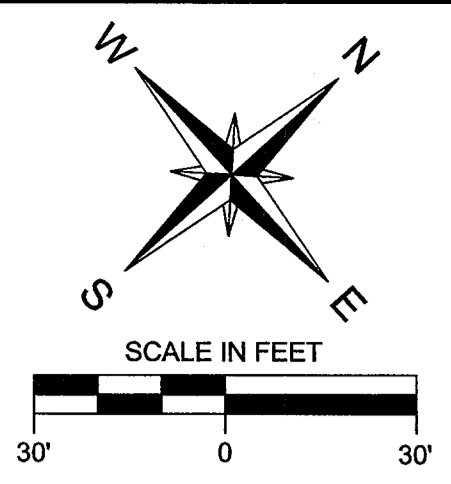
RE: HALL PROJECT

GRADING & EROSION CONTROL PLAN
FOR: GRIES ARCHITECTURAL GROUP
PART OF THE SE 1/4 OF SEC. 22, T.7N., R.19E. AND
PART OF THE NE 1/4 OF SEC. 27, T.7N., R.19E.
CITY OF WAUKESHA, WAUKESHA COUNTY, WISCONSIN

JAHNKE & JAHNKE ASSOCIATES INC.
 PLANNERS & PROFESSIONAL ENGINEERS
 711 W. MORELAND BLVD.-WAUKESHA, WI 53188
 TEL.No.(262) 542-8797 FAX (262) 542-7898

SCALE: 1" = 30'
 DATE: NOVEMBER 8, 2010
 DRAWN BY: M.L.H./B.R./B.L. CHECKED BY: J.R.S. FILE NO.: WAUKESHA 1111
 BOOK NO.: PEWAUKEE 159 JOB: S7908 SHEET 2 OF 6

FILE NAME: S:\PROJECTS\S7908\DWG\S7908.dwg



UTILITY NOTES:

- 1. ALL WORK FOR THE INSTALLATION OF SANITARY SEWER, WATER AND STORM SEWER SHALL MEET THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN...
2. DIGGERS HOTLINE SHALL BE NOTIFIED PRIOR TO ANY EXCAVATION.
3. BEDDING MATERIAL SHALL CONFORM TO SECTION 8.43.2 OF THE SEWER AND WATER SPECIFICATIONS.
4. BACKFILL MATERIAL SHALL CONFORM TO SECTION 8.43.4 GRANULAR BACKFILL OF THE SEWER AND WATER SPECIFICATIONS.
5. PLACEMENT OF PIPE SHALL MEET THE REQUIREMENTS OF PART III, CONSTRUCTION OF STORM AND SANITARY SEWERS OF THE SEWER AND WATER SPECIFICATIONS.
6. PRECAST REINFORCED BASES SHALL BE PLACED ON A BED OF MATERIAL (GRANULAR BACKFILL MINIMUM 6 INCHES IN-DEPTH)...
7. COMPACTION AND BACKFILL - GRANULAR BACKFILL MATERIAL SPECIFIED IN SECTION 8.43.3 TABLE 37 OF THE SEWER AND WATER SPECIFICATIONS SHALL BE USED TO BACKFILL AROUND THE STRUCTURES.
8. IN AREAS WHERE UTILITY EXCAVATION IS IN CLOSE PROXIMITY TO AN OVERCUT EXCAVATION ZONE, SLURRY BACKFILL CONFORMING TO SECTION 8.43.8 MAY BE REQUIRED AS DIRECTED BY THE ENGINEER.
9. ALL BACKFILL SHALL BE COMPACTED BY MECHANICAL COMPACTION AS SPECIFIED IN CHAPTER 2.6.14(B) OF THE WATER AND SEWER SPECIFICATIONS.
10. LENGTHS OF ALL PROPOSED UTILITIES ARE MEASURED TO THE CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM THE DRAWINGS.
11. CONTRACTOR SHALL VERIFY ALL EXISTING ELEVATIONS, LOCATIONS AND SIZES OF SANITARY, WATER AND STORM AND CHECK ALL UTILITY CROSSING FOR CONFLICTS.
12. BUILDING PLUMBER SHALL MAKE ALL FINAL UTILITY CONNECTIONS AFTER APPROVAL AND ACCEPTANCE FROM THE PROJECT ENGINEER.
13. SITE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL UNDERGROUND UTILITIES WITH HIS WORK.
14. ALL COSTS INCURRED IN COORDINATION OF ALL NEW UTILITY SERVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
15. SITE CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES FOR PLACEMENT FOR ALL NECESSARY CONDUIT PRIOR TO PAVING OPERATIONS.
16. INLETS, CATCH BASINS, MANHOLES, ETC., SHALL BE CONSTRUCTED IN A WATER TIGHT MANNER OF PRECAST REINFORCED CONCRETE, REINFORCED MONOLITHIC CONCRETE, BRICK, BLOCK OR FIBERGLASS.
17. SANITARY SEWER AND STORM SEWER MUST BE PROVIDED WITH TRACER WIRE IN ACCORD WITH 182.0715(2) OF THE STATUTES. TRACER WIRE SPECIFICATIONS BELOW:
a) 12 GAUGE SOILD COPPER WIRE WITH A PLASTIC COATING.
b) TRACER WIRE SHALL BE TAPED TO THE TOP OF PLASTIC WATER OR SEWER PIPE
c) TRACER WIRE SHALL BE TAPED EVERY 6 TO 20 FEET AND AT ALL BENDS
d) TRACER WIRE SHALL HAVE AN ACCESS POINT AT A MINIMUM OF EVERY 300 FEET. AT ACCESS POINT THE TRACER WIRE IS BROUGHT UP TO THE GRADE IN VALVE BOXES, CLEANOUTS, MANHOLES, CATCH BASINS, INLETS, OR OTHER COVERED ACCESS DEVICES.
e) SPLICES IN TRACER WIRE SHOULD BE MADE WITH SPLIT BOLT OR COMPRESSION TYPE CONNECTORS. WIRE NUTS SHALL NOT BE USED. A WATER PROOF CONNECTION IS NECESSARY TO PREVENT CORROSION.
f) THE TRACER WIRE SHALL BE TESTED AFTER INSTALLATION TO ENSURE IT IS WORKING.
18. THE STORM SEWER PIPE SHALL BE ADS N-12 WITH WATER TIGHT JOINTS.
19. THE ROUND CATCH BASIN FRAME & GRATE INSTALLED IN THE PARKING AREA SHALL BE NEENAH R-2556-G. THE CURB CATCH BASINS SHALL BE NEENAH R-3067-C. MANHOLES SHALL BE NEENAH R-1580 WITH A SOLID LID.
20. CURB CATCH BASINS SHALL HAVE 2'x3' CONCRETE BASES. THE ROUND CATCH BASINS AND MANHOLES SHALL UTILIZE A MINIMUM 42" DIAMETER STRUCTURE. NO SUMP IS NEEDED ON ANY OF THE STRUCTURES.
21. FILTER FABRIC SHALL BE INSTALLED UNDER THE GRATES OF ALL INLETS & CATCH BASINS DURING CONSTRUCTION. CONTRACTOR SHALL CLEAN THE STORM SEWERS AND CATCH BASINS AFTER CONSTRUCTION.
22. NYLOPLAST INLINE DRAINS W/ GRATES SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. SEE DETAIL SHEET 5.
23. WATER SERVICE CONSTRUCTION MUST COMPLY WITH THE "SPECIFICATIONS FOR WATER MAIN & SERVICE LATERAL MATERIALS AND THE INSTALLATION OF WATER MAIN AND APPURTENANCES FOR THE WAUKESHA WATER UTILITY OF THE CITY OF WAUKESHA" DATED FEBRUARY 28, 2011.
24. CONTRACTOR SHALL NOTIFY ALL UTILITIES. THE CITY OF WAUKESHA ENGINEERING DEPARTMENT AND WAUKESHA WATER UTILITY (TO ARRANGE FOR AN INSPECTOR) AT LEAST THREE DAYS PRIOR TO CONSTRUCTION.
25. NO WATER SERVICES SHALL BE INSTALLED WITHOUT A WAUKESHA WATER UTILITY REPRESENTATIVE (INSPECTOR).
26. TRACER WIRE SHALL BE INSTALLED PER THE WAUKESHA WATER UTILITY SPECIFICATIONS.
27. WATER SERVICE MATERIAL SHALL BE PVC PRESSURE CLASS 200PSI, DR-14 OR CLASS 52 DUCTILE IRON PER THE WAUKESHA WATER UTILITY SPECIFICATIONS.
28. SANITARY SERVICE SHALL BE 6" PVC ASTM D-3034 SDR 35 WITH RUBBER GASKET JOINTS.
29. THE EXISTING SANITARY SEWER LATERAL SHALL BE DUG UP AT THE MAIN AND ABANDONED. THE LATERAL SHOULD BE CAPPED AT BOTH ENDS IF PVC, OR FILLED WITH CONCRETE FROM BOTH SIDES IF ANOTHER PIPE MATERIAL.
30. A POST TELEVISION REPORT WILL BE REQUIRED AFTER THE NEW SANITARY LATERAL IS CONSTRUCTED.
31. CONTACT STEPHEN BRASCH, WAUKESHA COUNTY DPW AT (262)548-7740 3 DAYS PRIOR TO WORK BEING DONE IN THE CTH "JJ" (BLUEMOUND ROAD) RIGHT-OF-WAY.

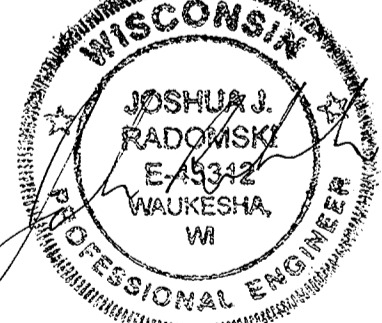
CONNECT TO EXISTING WATER MAIN WITH A 12" X 4" TAPPING SLEEVE AND 6" TAPPING VALVE AND VALVE BOX. ELEVATION UNKNOWN. THE WAUKESHA ENGINEERING DEPARTMENT SHALL VERIFY ALL EXISTING WATER MAINS AT THE OWNERS COST.

BLUEMOUND ROAD AT THE EXISTING WATER MAIN

CTH "JJ"

LEGEND

- PROPOSED CATCH BASIN ROUND
PROPOSED CURB CATCH BASIN
PROPOSED STORM MANHOLE/OUTLET STRUCTURE
PROPOSED LIGHT POLE
POWER POLE
SANITARY MANHOLE
HYDRANT
WATER VALVE
WELL
OVERHEAD WIRES
UNDERGROUND SANITARY SEWER
UNDERGROUND WATER MAIN
UNDERGROUND COMBUSTIBLE GAS LINE



REVISED: APRIL 19, 2011
REVISED: APRIL 26, 2011
REVISED: MAY 6, 2011
REVISED: JUNE 13, 2011
REVISED: JUNE 30, 2011
REVISED: NOVEMBER 28, 2012
REVISED: JULY 30, 2013
REVISED: JULY 31, 2013
REVISED: AUGUST 28, 2013
REVISED: SEPTEMBER 24, 2013
REVISED: NOVEMBER 19, 2013
REVISED: DECEMBER 6, 2013
REVISED: OCTOBER 20, 2014
REVISED: NOVEMBER 12, 2014
REVISED: JANUARY 9, 2016

RE: HALL PROJECT

UTILITY PLAN
FOR: GRIES ARCHITECTURAL GROUP
PART OF THE SE 1/4 OF SEC. 22, T.7N., R.19E. AND
PART OF THE NE 1/4 OF SEC. 27, T.7N., R.19E.
CITY OF WAUKESHA, WAUKESHA COUNTY, WISCONSIN

JAHNKE & JAHNKE ASSOCIATES, INC.
PLANNERS & PROFESSIONAL ENGINEERS
711 W. MORELAND BLVD.-WAUKESHA, WI 53188
TEL.No.(262) 542-5797 FAX (262) 542-7698

SCALE: 1" = 30'
DATE: NOVEMBER 8, 2010
DRAWN BY: M.L.H./B.R./B.L. CHECKED BY: J.R.S. FILE NO.: WAUKESHA 1111
BOOK NO.: PEWAUKEE 159 JOB: S7908 SHEET 3 OF 6

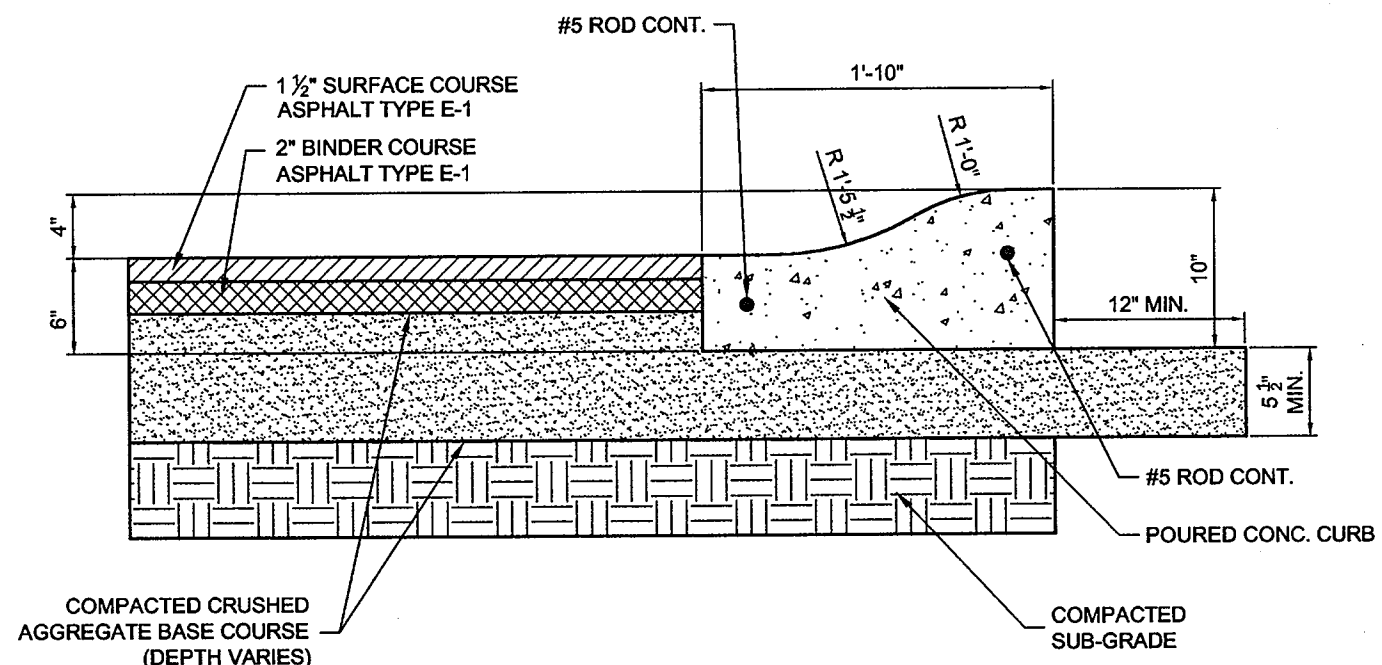


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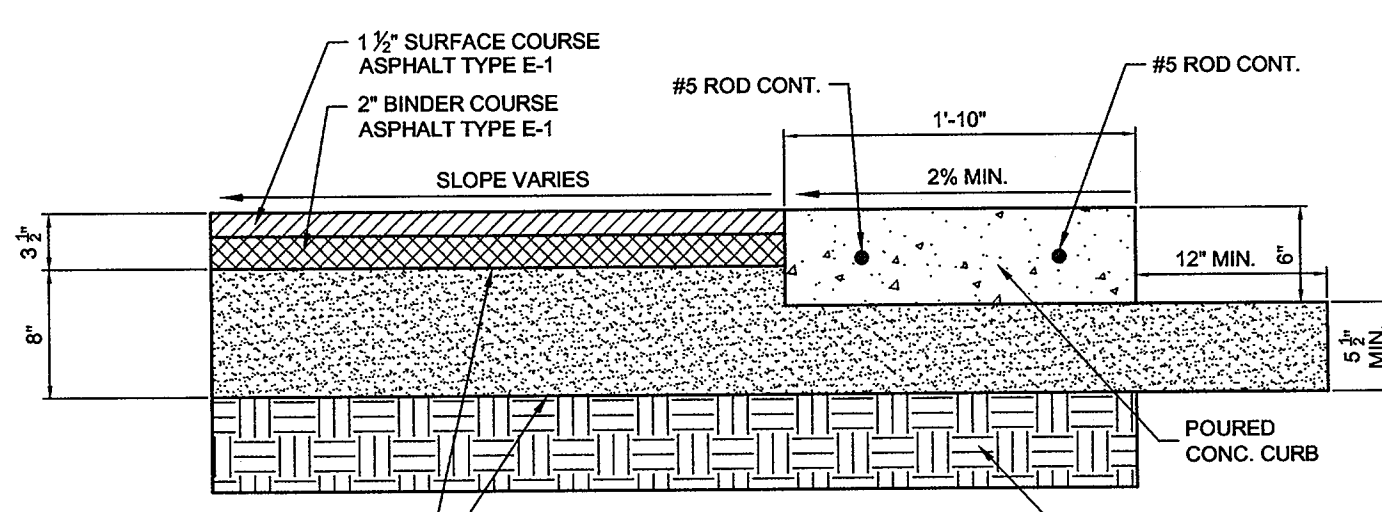
UNDERGROUND COMBUSTIBLE GAS LINE

FILE NAME: S:\PROJECTS\7908\DWG\S7908.dwg



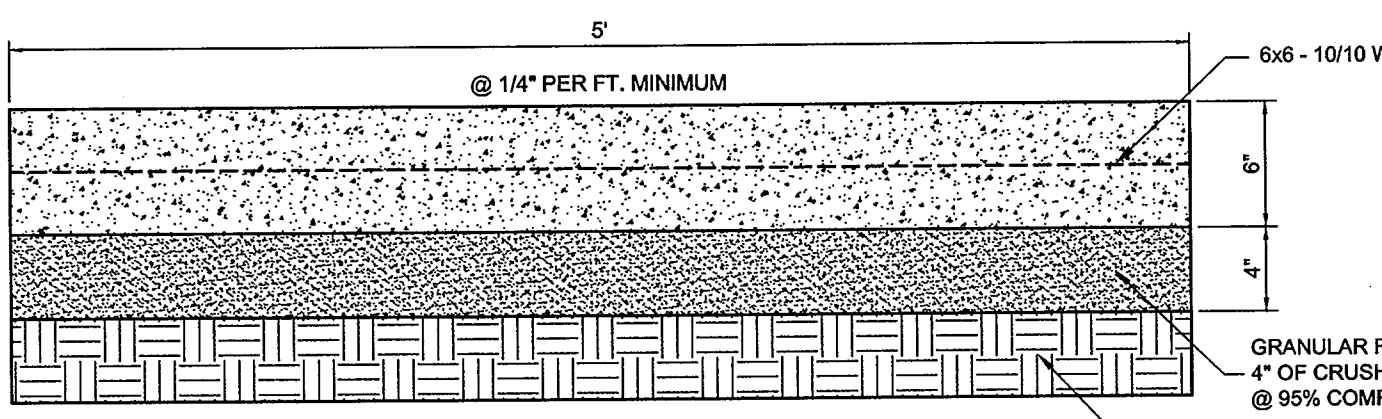
MOUNTABLE CONCRETE CURB DETAIL

NOT TO SCALE



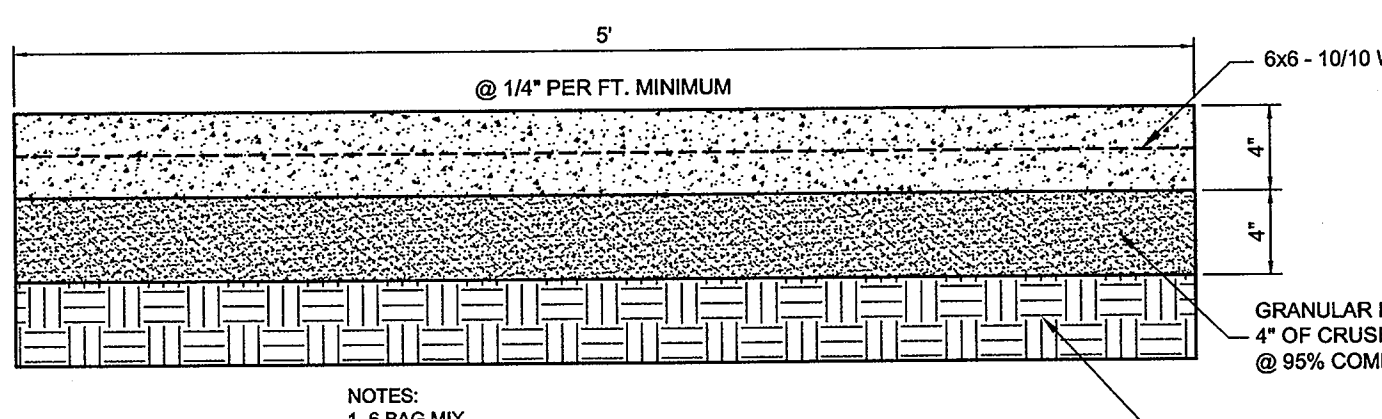
FLAT CURB DETAIL

NOT TO SCALE



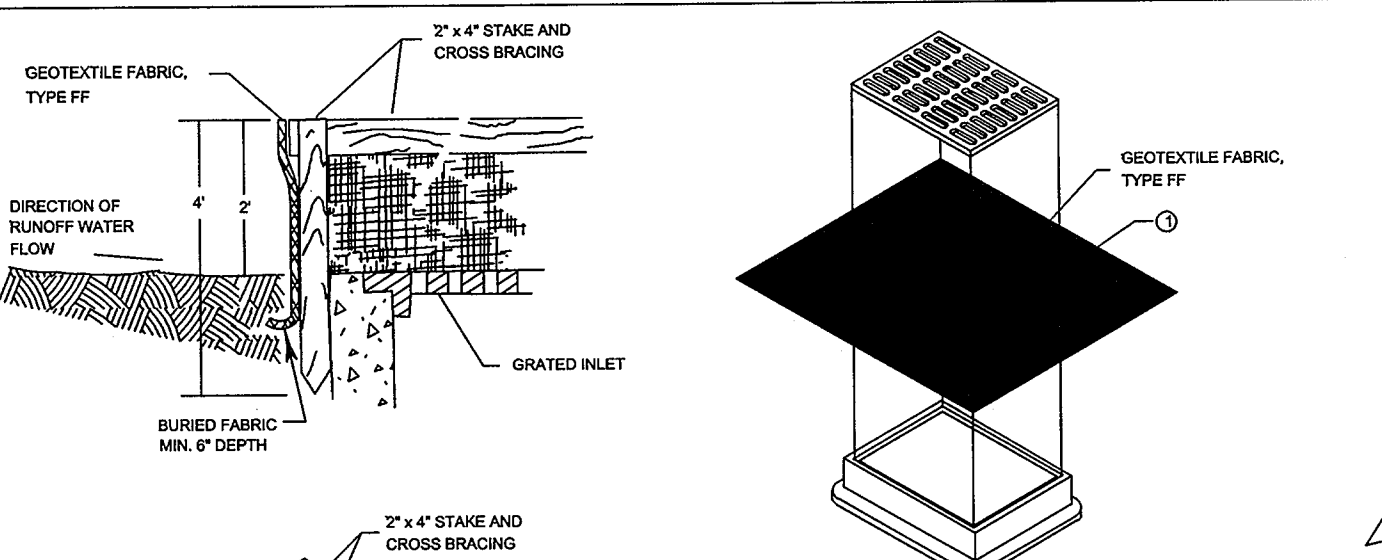
CONCRETE APPROACH DETAIL

NOT TO SCALE

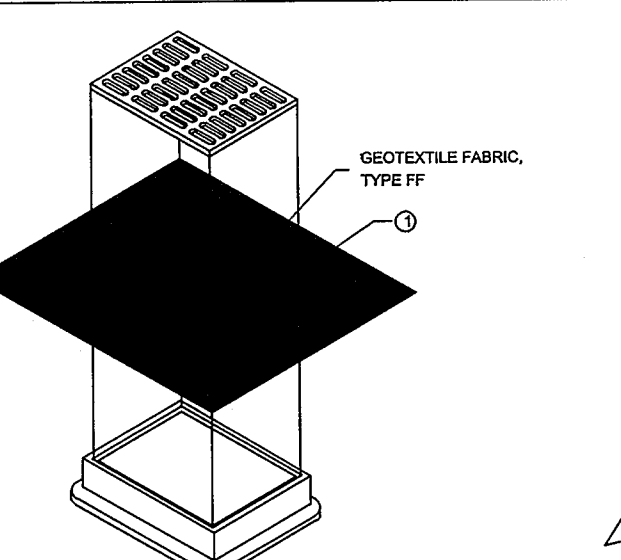


CONCRETE WALK DETAIL

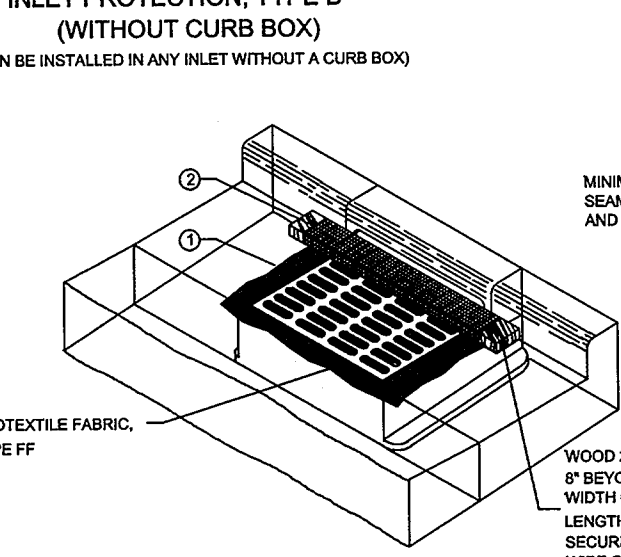
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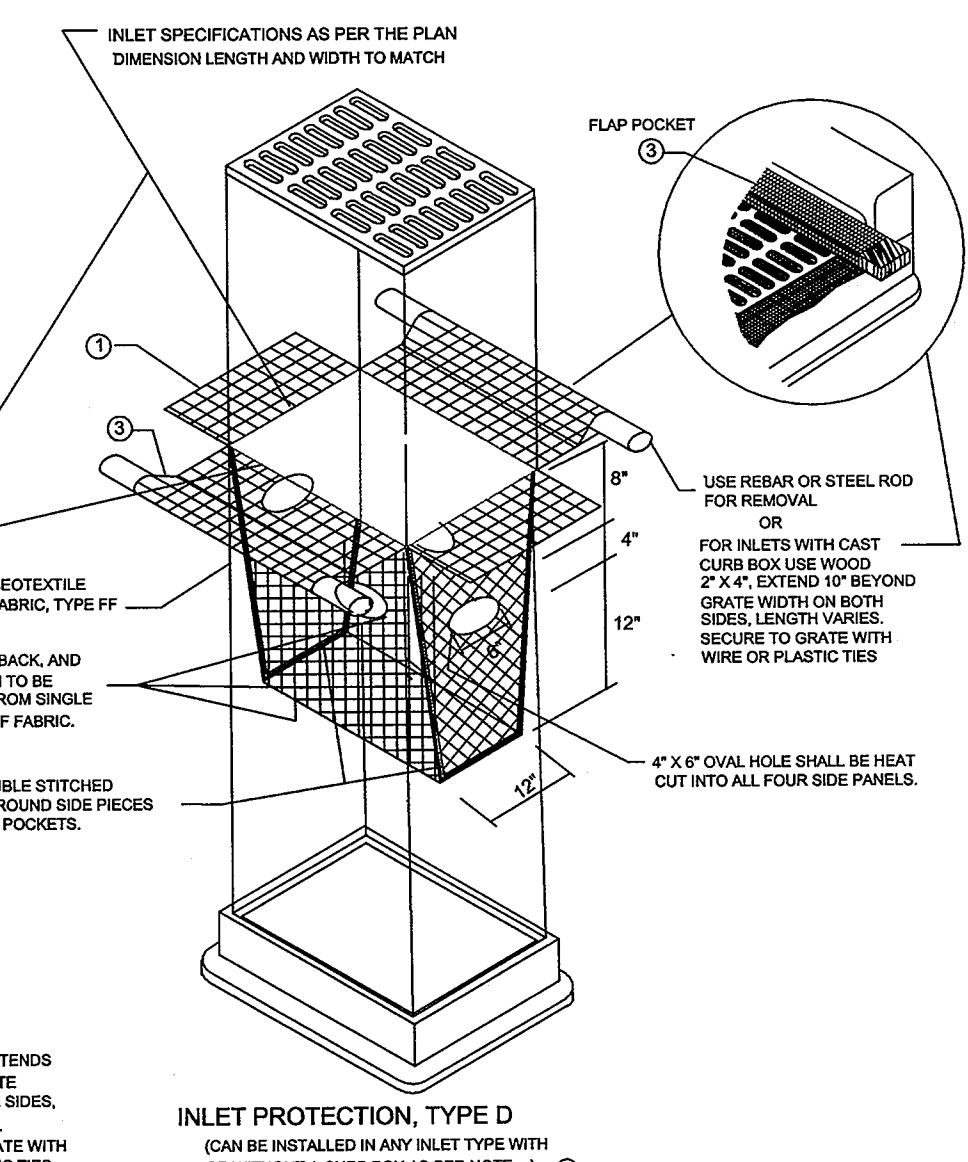
INLET PROTECTION, TYPE A



INLET PROTECTION, TYPE B (WITHOUT CURB BOX)



INLET PROTECTION, TYPE C (WITH CURB BOX)



INLET PROTECTION, TYPE D

GENERAL NOTES

- MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.
- WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
- FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
- FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 1/4" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
- FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2x4.

INSTALLATION NOTES

TYPE B & C

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

FRONT, BACK, AND BOTTOM TO BE MADE FROM SINGLE PIECE OF FABRIC.

MINIMUM DOUBLE STITCHED SEAMS ALL AROUND SIDE PIECES AND ON FLAP POCKETS.

TYPE D

DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.

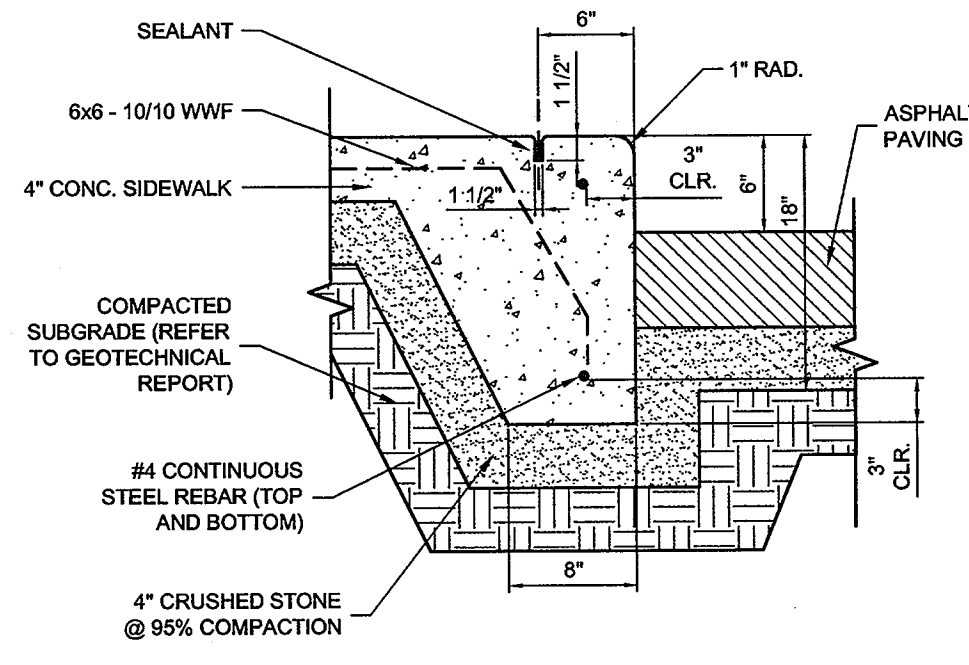
TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MAINTAINED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 2" WHERE NECESSARY THE CONTRACTOR SHALL CHECK THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 2" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

PER WIS DNR TECH STANDARD 1060

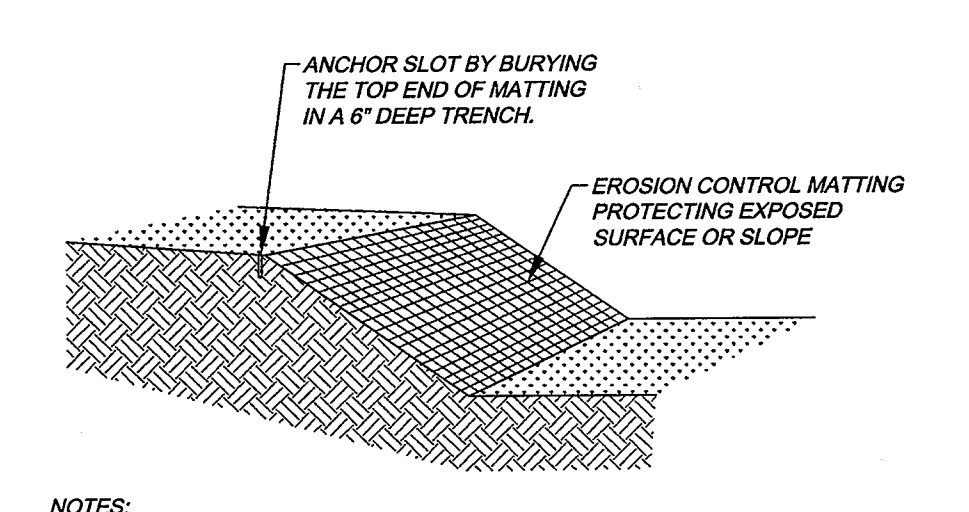
This drawing based on Wisconsin Department of Transportation Standard Detail Drawing 8 E 10-2.

INLET PROTECTION TYPE A, B, C, AND D



CURB AND SIDEWALK DETAIL

NOT TO SCALE



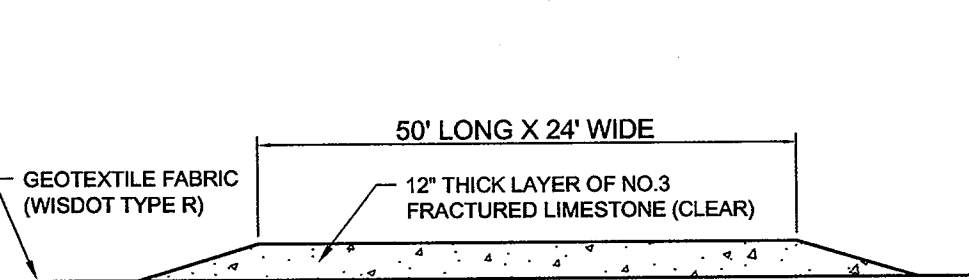
EROSION CONTROL MATTING DETAIL

NOTES:

- PRIOR TO THE INSTALLATION OF ANY EROSION CONTROL MATTING, ALL ROCKS, DIRT CLOUDS, STUMPS, ROOTS, TRASH AND ANY OTHER OBSTRUCTIONS WHICH WOULD PREVENT THE MAT FROM LAYING IN DIRECT CONTACT WITH THE SOIL SHALL BE REMOVED.
- THE MATTING SHALL BE ANCHORED ALONG ITS ENTIRE PERIMETER WITH A 6"x6" ANCHOR TRENCH. AFTER MATTING IS LAID IN TRENCH, BACKFILL, AND COMPACT WITH SOIL OR GRAVEL.
- THE MATTING SHALL BE ANCHORED TO THE GROUND USING 10 GAUGE WIRE STAPLES, 6" IN LENGTH BY 1" WIDE WITH A COVERAGE NOT LESS THAN 1 STAPLE PER EVERY 4 SQUARE FEET OF MATTING.
- INSTALLATIONS SHALL ALSO BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDED GUIDELINES.
- EROSION CONTROL MATTING SHALL BE PER NOTE # 3.
- MATTED AREAS MUST BE INSPECTED ON A WEEKLY BASIS, AND AFTER EACH SIGNIFICANT RAINFALL, BARE SPOTS, MISSING OR LOOSENED MATTING MUST BE IMMEDIATELY REPLACED AND/OR RE-ANCHORED.
- STAPLES MAY BE REMOVED FROM THE GROUND ONCE THE THREAT OF EROSION HAS PASSED AND PERMANENT VEGETATION HAS BEEN ESTABLISHED.

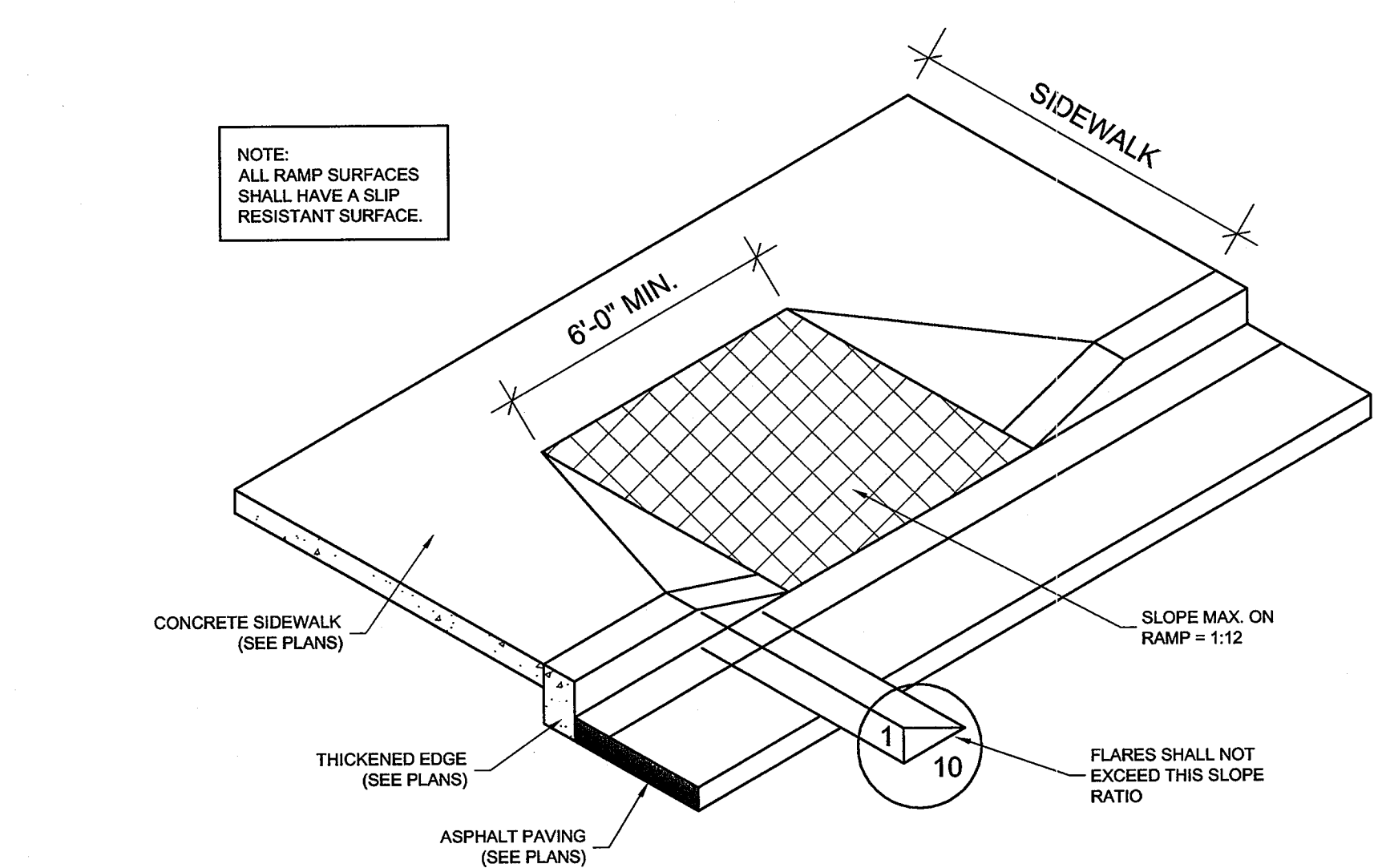
TRACKING PAD DETAIL

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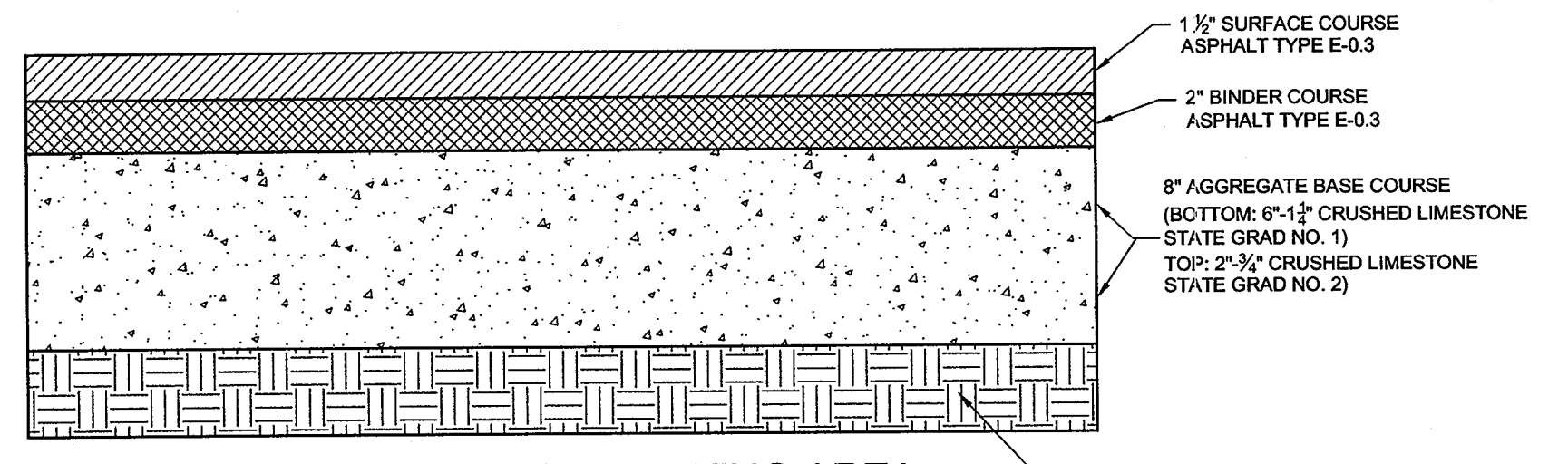
TRACKING PAD DETAIL

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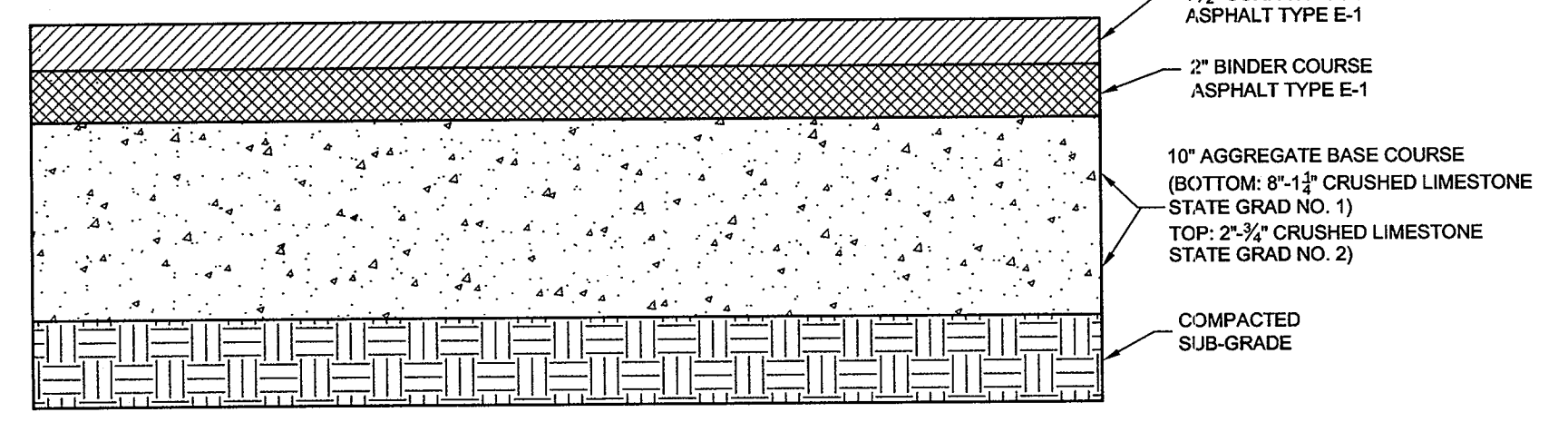
CURB RAMP DETAIL

NOT TO SCALE



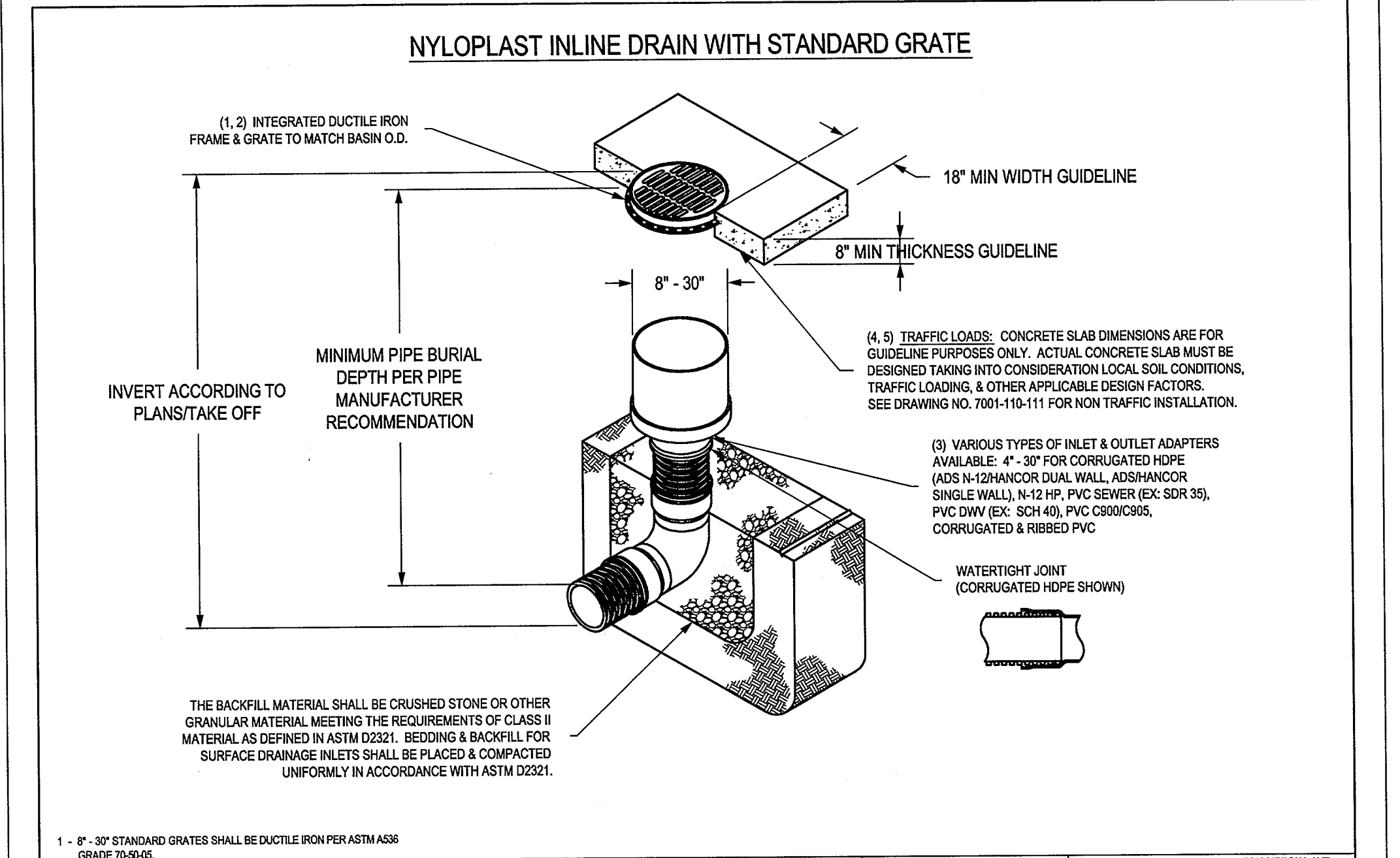
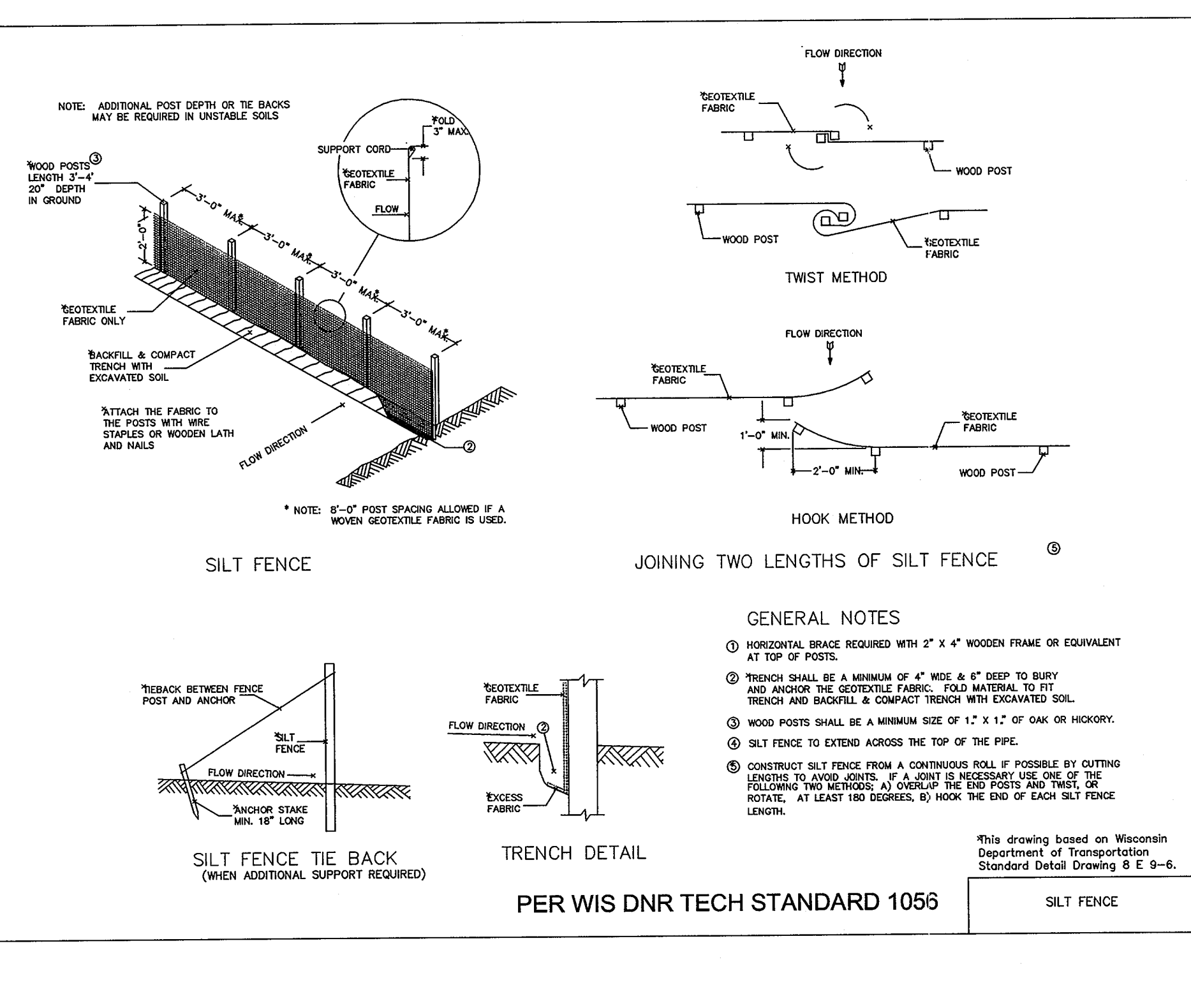
PAVEMENT X-SECTION PARKING AREA

NOT TO SCALE



PAVEMENT X-SECTION HEAVY DUTY TRUCK TRAFFIC

NOT TO SCALE



1 - 8" - 30" STANDARD GRATES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 60-60.	DATE	3-18-10	SCALE	1:4	SHEET	1 OF 1	DWG NO.	7001-110-022	REV	H
2 - 12" - 30" FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 60-60.	DATE	1-23-06	SCALE	1:4	SHEET	1 OF 1	DWG NO.	7001-110-022	REV	H
3 - 8" & 10" STANDARD GRATES FIT DIRECTLY ONTO INLINE DRAINS SEE DRAWING NO. 7001-110-004 & 7001-110-005.	DATE	3-18-10	SCALE	1:4	SHEET	1 OF 1	DWG NO.	7001-110-022	REV	H
4 - 12" - 30" STANDARD GRATES SHALL MEET H-20 LOAD RATING.	DATE	3-18-10	SCALE	1:4	SHEET	1 OF 1	DWG NO.	7001-110-022	REV	H
5 - 8" & 10" STANDARD GRATES ARE RATED FOR LIGHT DUTY APPLICATIONS ONLY; NO CONCRETE COLLAR NEEDED FOR LIGHT DUTY RATING.	DATE	3-18-10	SCALE	1:4	SHEET	1 OF 1	DWG NO.	7001-110-022	REV	H

Section 2722

Engineered Surface Drainage Products

GENERAL

PVC surface drainage inlets shall be of the inline drain type as indicated on the contract drawing and referenced within the contract specifications. The ductile iron grates for each of these fittings are to be considered an integral part of the surface drainage inlet and shall be furnished by the same manufacturer. The surface drainage inlets shall be as manufactured by Nyloplast a division of Advanced Drainage Systems, Inc., or prior approved equal.

MATERIALS

The inline drain required for this contract shall be manufactured from PVC pipe stock utilizing a thermo-molding process to reform the pipe stock to the furnished configuration. The drainage pipe connection stubs shall be manufactured from PVC pipe stock and formed to provide a watertight connection with the specified pipe system. This joint tightness shall conform to ASTM D3212 for joints for drain and sewer plastic pipe using flexible elastomeric seals. The flexible elastomeric seals shall conform to ASTM F477. The pipe bell spigot shall be joined to the inline drain body by use of a swage mechanical joint. The raw material used to manufacture the pipe stock that is used to manufacture the inline drain body and pipe stubs of the surface drainage inlets shall conform to ASTM D1784 cell class 12454.

The grates furnished for all surface drainage inlets shall be ductile iron grates for sizes 8", 10", 12", 15", 18", 24" and 30" shall be made specifically for each fitting so as to provide a round bottom flange that closely matches the diameter of the surface drainage inlet. Grates for inline drains shall be capable of supporting H-20 wheel loading for traffic areas or H-10 loading for pedestrian areas. 12" and 15" square grates will be hinged to the frame using pins. Metal used in the manufacture of the castings shall conform to ASTM A536 grade 70-50-05 for ductile iron. Grates shall be provided painted black.

INSTALLATION

The specified PVC surface drainage inlet shall be installed using conventional flexible pipe backfill materials and procedures. The backfill material shall be crushed stone or other granular material meeting the requirements of class 2 material as defined in ASTM D2321. Bedding and backfill for surface drainage inlets shall be placed and compacted uniformly in accordance with ASTM D2321. The drain basin body will be cut at the time of the final grade. No brick, stone or concrete block will be required to set the grate to the final grade height. For H-20 load rated installations, a concrete ring will be poured under and around the grate and frame. The concrete slab must be designed taking into consideration local soil conditions, traffic loading, and other applicable design factors. For other installation considerations such as migration of fines, ground water, and soft foundations refer to ASTM D2321 guidelines.

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RE: HALL PROJECT

CONSTRUCTION DETAILS

FOR: GRIES ARCHITECTURAL GROUP

PART OF THE SE 1/4 OF SEC. 22, T.7N., R.19E. AND PART OF THE NE 1/4 OF SEC. 27, T.7N., R.19E. CITY OF WAUKESHA, WAUKESHA COUNTY, WISCONSIN

JAHNKE & JAHNKE ASSOCIATES INC.

PLANNERS & PROFESSIONAL ENGINEERS

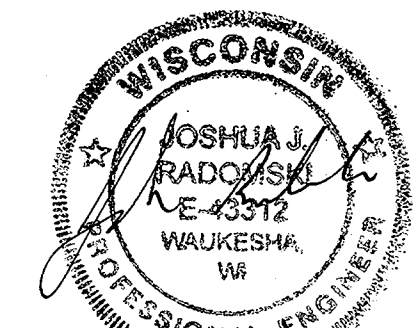
711 W. MORELAND BLVD. WAUKESHA, WI 53188

TEL. No. (262) 542-5797 FAX (262) 542-7698

DATE: MARCH 8, 2011

FILE NO.: WAUKESHA 1111

SHEET 5 OF 6



REVISED: APRIL 19, 2011

REVISED: APRIL 26, 2011

REVISED: MAY 6, 2011

REVISED: JUNE 13, 2011

REVISED: JUNE 30, 2011

REVISED: NOVEMBER 29, 2012

REVISED: JULY 30, 2013

REVISED: JULY 31, 2013

REVISED: AUGUST 20, 2013

REVISED: SEPTEMBER 24, 2013

REVISED: NOVEMBER 19, 2013

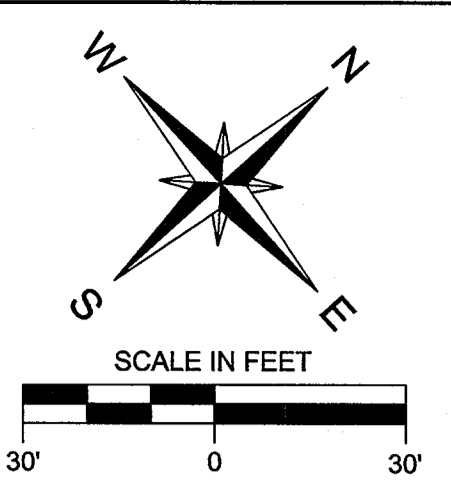
REVISED: NOVEMBER 12, 2014

REVISED: OCTOBER 20, 2014

REVISED: NOVEMBER 12, 2014

REVISED: JANUARY 9, 2015

FILE NAME: S:\PROJECTS\157908\DWG\57908.dwg



REFERENCE BEARING: THE SOUTH LINE OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 22-7-19 WAS USED AS THE REFERENCE BEARING AND HAS A BEARING OF N 89°01'27" E PER THE WISCONSIN STATE PLANE COORDINATE SYSTEM SOUTH ZONE, DATED APRIL, 2001.

REFERENCE BENCHMARK: 847.85 (USGS) TOP OF CONCRETE MONUMENT WITH BRASS CAP MARKING THE SE CORNER OF THE (SE 1/4) SECTION 22-7-19. CONVERT TO CITY OF WAUKESHA DATUM BY DEDUCTING 780.56.

TITLE COMMITMENT NO. WG-182350 SCHEDULE B II EXCEPTION "16": NOTICE OF DISCONTINUANCE AND VACATION OF PORTION OF THOMAS STREET BEING A PART OF THE SE 1/4 OF SECTION 34, TOWN 7, NORTH, RANGE 19 EAST IN THE CITY OF WAUKESHA, WAUKESHA COUNTY, WISCONSIN, RECORDED ON FEBRUARY 20, 2003 IN THE REGISTER OF DEEDS OFFICE FOR WAUKESHA COUNTY INCLUSIVE AS DOCUMENT NO. 295704. THIS DOCUMENT DOES NOT AFFECT THIS PARCEL.

TITLE COMMITMENT NO. WG-182350 SCHEDULE B II EXCEPTION "12": A UTILITY EASEMENT GRANTED TO MILWAUKEE ELECTRIC RAILWAY AND LIGHT COMPANY THE RIGHT, PERMISSION AND AUTHORITY TO CONSTRUCT, ERECT, INSTALL, OPERATE, MAINTAIN AND REPLACE A LINE OF POLES TOGETHER WITH THE NECESSARY ANCHORS, GUY WIRES, BRACE POLES AND OTHER APPLIANCES NECESSARY AND USUAL IN THE CONDUCT OF ITS BUSINESS, AND TO STRING, MAINTAIN AND REPLACE WIRES AND CABLES THEREON FOR THE PURPOSE OF SUPPLYING LIGHT, HEAT, POWER AND SIGNALS, OR FOR SUCH OTHER PURPOSE AS ELECTRIC CURRENT MAY HEREAFTER BE USED, AND FOR TELEPHONE SERVICE, UPON, OVER AND ACROSS ITS PREMISES AND S.T.H. 30. ALSO THE RIGHT, PERMISSION AND AUTHORITY IS ALSO GRANTED TO WISCONSIN ELECTRIC POWER COMPANY AND WISCONSIN TELEPHONE COMPANY TO TRIM AND KEEP TRIMMED ALL TREES NOW OR HEREAFTER EXISTING ALONG THE LINE SO THEY WILL CLEAR WIRES STRUNG NOT LESS THAN EIGHTEEN (18) FEET ABOVE THE PRESENTLY EXISTING GROUND LEVEL BY AS MUCH AS FIVE (5) FEET, AND SO THAT THE TREES WILL NOT BE LIABLE TO INTERFERE WITH THE TRANSMISSION OF ELECTRICITY OR WITH TELEPHONE SERVICE AND TO ENTER UPON SAID PREMISES TO DO THE WORK CONTEMPLATED, TO MAINTAIN AND REPLACE SAID LINE AND TO TRIM TREES, BEING A PART OF THE SE 1/4 OF SECTION 22, TOWN 7, NORTH, RANGE 19 EAST IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN, RECORDED ON JULY 30, 1926 IN THE REGISTER OF DEEDS OFFICE FOR WAUKESHA COUNTY IN VOLUME 203 OF DEEDS PAGE 344 INCLUSIVE AS DOCUMENT NO. 145067. EXACT LOCATION IS UNKNOWN.

TITLE COMMITMENT NO. WG-182350 SCHEDULE B II EXCEPTION "13": A UTILITY EASEMENT GRANTED TO WISCONSIN ELECTRIC POWER COMPANY THE RIGHT, PERMISSION AND AUTHORITY TO CONSTRUCT, ERECT, INSTALL, OPERATE, MAINTAIN AND REPLACE A LINE OF POLES TOGETHER WITH THE NECESSARY ANCHORS, GUY WIRES, BRACE POLES AND OTHER APPLIANCES NECESSARY AND USUAL IN THE CONDUCT OF ITS BUSINESS, AND TO STRING, MAINTAIN AND REPLACE WIRES AND CABLES THEREON FOR THE PURPOSE OF SUPPLYING LIGHT, HEAT, POWER AND SIGNALS, OR FOR SUCH OTHER PURPOSE AS ELECTRIC CURRENT MAY HEREAFTER BE USED, AND FOR TELEPHONE SERVICE, UPON, OVER AND ACROSS ITS PREMISES AND S.T.H. 30. ALSO THE RIGHT, PERMISSION AND AUTHORITY IS ALSO GRANTED TO WISCONSIN ELECTRIC POWER COMPANY AND WISCONSIN TELEPHONE COMPANY TO TRIM AND KEEP TRIMMED ALL TREES NOW OR HEREAFTER EXISTING ALONG THE LINE SO THEY WILL CLEAR WIRES STRUNG NOT LESS THAN EIGHTEEN (18) FEET ABOVE THE PRESENTLY EXISTING GROUND LEVEL BY AS MUCH AS FIVE (5) FEET, AND SO THAT THE TREES WILL NOT BE LIABLE TO INTERFERE WITH THE TRANSMISSION OF ELECTRICITY OR WITH TELEPHONE SERVICE AND TO ENTER UPON SAID PREMISES TO DO THE WORK CONTEMPLATED, TO MAINTAIN AND REPLACE SAID LINE AND TO TRIM TREES, BEING A PART OF THE SE 1/4 OF SECTION 22, TOWN 7, NORTH, RANGE 19 EAST AND THE NE 1/4 OF SECTION 27, TOWN 7, NORTH, RANGE 19 EAST IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN, RECORDED ON AUGUST 15, 1933 IN THE REGISTER OF DEEDS OFFICE FOR WAUKESHA COUNTY IN VOLUME 610 OF DEEDS PAGE 103 INCLUSIVE AS DOCUMENT NO. 384758.

TITLE COMMITMENT NO. WG-182350 SCHEDULE B II EXCEPTION "14": A UTILITY EASEMENT GRANTED TO WISCONSIN ELECTRIC POWER COMPANY AND WISCONSIN TELEPHONE COMPANY THE RIGHT, PERMISSION AND AUTHORITY TO CONSTRUCT, ERECT, INSTALL, OPERATE, MAINTAIN AND REPLACE A LINE OF POLES TOGETHER WITH THE NECESSARY ANCHORS, GUY WIRES, BRACE POLES AND OTHER APPLIANCES NECESSARY AND USUAL IN THE CONDUCT OF ITS BUSINESS, AND TO STRING, MAINTAIN AND REPLACE WIRES AND CABLES THEREON FOR THE PURPOSE OF SUPPLYING LIGHT, HEAT, POWER AND SIGNALS, OR FOR SUCH OTHER PURPOSE AS ELECTRIC CURRENT MAY HEREAFTER BE USED, AND FOR TELEPHONE SERVICE, UPON, OVER AND ACROSS ITS PREMISES AND S.T.H. 30. ALSO THE RIGHT, PERMISSION AND AUTHORITY IS ALSO GRANTED TO WISCONSIN ELECTRIC POWER COMPANY AND WISCONSIN TELEPHONE COMPANY TO TRIM AND KEEP TRIMMED ALL TREES NOW OR HEREAFTER EXISTING ALONG THE LINE SO THEY WILL CLEAR WIRES STRUNG NOT LESS THAN EIGHTEEN (18) FEET ABOVE THE PRESENTLY EXISTING GROUND LEVEL BY AS MUCH AS FIVE (5) FEET, AND SO THAT THE TREES WILL NOT BE LIABLE TO INTERFERE WITH THE TRANSMISSION OF ELECTRICITY OR WITH TELEPHONE SERVICE AND TO ENTER UPON SAID PREMISES TO DO THE WORK CONTEMPLATED, TO MAINTAIN AND REPLACE SAID LINE AND TO TRIM TREES, BEING A PART OF THE SE 1/4 OF SECTION 22, TOWN 7, NORTH, RANGE 19 EAST IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN, RECORDED ON OCTOBER 12, 1960 IN THE REGISTER OF DEEDS OFFICE FOR WAUKESHA COUNTY IN VOLUME 864 OF DEEDS PAGE 285 INCLUSIVE AS DOCUMENT NO. 532475. EXACT LOCATION IS UNKNOWN.

TITLE COMMITMENT NO. WG-182350 SCHEDULE B II EXCEPTION "15": AN AVIATION EASEMENT DISCLOSED IN AWARD OF DAMAGES EXECUTED BY WAUKESHA COUNTY FOR WAUKESHA COUNTY AIRPORT IMPROVEMENT WHICH STATES THAT THE AIRSPACE SHALL BE 917 FEET ABOVE MEAN SEA LEVEL WHICH IS APPROXIMATELY 22 FEET ABOVE GROUND, BEING A PART OF THE SE 1/4 OF SECTION 27, TOWN 7, NORTH, RANGE 19 EAST AND THE SE 1/4 OF SECTION 27, TOWN 7, NORTH, RANGE 19 EAST IN THE CITY OF PEWAUKEE, WAUKESHA COUNTY, WISCONSIN, RECORDED ON OCTOBER 25, 1963 IN THE REGISTER OF DEEDS OFFICE FOR WAUKESHA COUNTY IN VOLUME 892 OF DEEDS PAGE 461 INCLUSIVE AS DOCUMENT NO. 598699.

LEGAL DESCRIPTION:

All that part of the Southwest 1/4 of the Southeast 1/4 of Section 22, Township 7 North, Range 19 East, and the Northwest 1/4 of the Northeast 1/4 of Section 27, Township 7 North, Range 19 East, City of Waukesha, Waukesha County, Wisconsin, bounded and described as follows:

Commencing at the South 1/2 corner of said Section 22; thence North 1° 00' East along the South 1/2 line, 271.98 feet; thence South 46° 54' East along the Northernly line of County Trunk Highway JJ, 362.90 feet to the point of beginning of lands herein described; thence North 43° 06' East, 501.10 feet; thence South 46° 54' East 325.00 feet; thence North 43° 06' West, 501.10 feet to the Northernly line of aforesaid highway; thence North 46° 54' West along said Northernly line 325.00 feet to the point of beginning.

Except the Northeasterly 60 feet (as measured normal to the Northeasterly line which bears South 46° 54' East 300.00 feet); and

Except that part conveyed to the Waukesha County Investment Association, Inc., in Warranty Deed recorded in the office of the Register of Deeds for Waukesha County, Wisconsin, on November 20, 1961 in Volume 900 of Deeds, Page 649, as Document No. 556208.

Tax Key No. WAKC 0952994

ADDRESS: 704 BLUEMOUND ROAD

SUGGESTED LEGAL DESCRIPTION:

All that part of the Southwest 1/4 of the Southeast 1/4 of Section 22, Township 7 North, Range 19 East, and the Northwest 1/4 of the Northeast 1/4 of Section 27, Township 7 North, Range 19 East, City of Waukesha, Waukesha County, Wisconsin, bounded and described as follows:

Commencing at the southwest corner of said Southeast Quarter (SE 1/4) being marked by a concrete monument with brass cap; thence North 00° 05' 27" West along the west line of said Southeast Quarter (SE 1/4), 271.98 feet to the northerly right of way line West Bluemound Road; thence South 47° 59' 27" East along said northerly right of way line, 387.90 feet to the place of beginning of lands hereinafter described; thence North 42° 00' 33" East, 441.10 feet; thence South 47° 59' 27" East, 300.00 feet; thence South 42° 00' 33" West, 441.10 feet to the northerly right of way line West Bluemound Road; thence North 47° 59' 27" West along said northerly right of way line, 300.00 feet to the place of beginning. Containing an area of 3.0378 acres (132,330 sq. ft.) of land.

SURVEY CERTIFICATE: I have surveyed the above described property and the map shown is a true representation thereof and shows the size and location of the property, its exterior boundaries, the location and dimensions of all visible structures thereon, fences, apparent easements and roadways and visible encroachments if any. This survey is made for the exclusive use of the present owners of the property and also those who purchase, mortgage or guarantee the title thereto within one (1) year from the date hereof and as to them I warrant the accuracy of said survey and map.

John R. Stigler
JOHN R. STIGLER - Wis. Reg. No. S-1820

- Dated this 8th day of November, 2010
- Revised this 19th day of April, 2011
- Revised this 26th day of April, 2011
- Revised this 13th day of June, 2011
- Revised this 30th day of June, 2011
- Revised this 28th day of November, 2012
- Revised this 30th day of July, 2013
- Revised this 28th day of August, 2013
- Revised this 24th day of September, 2013
- Revised this 19th day of November, 2013
- Revised this 6th day of December, 2013
- Revised this 20th day of October, 2014
- Revised this 12th day of November, 2014
- Revised this 9th day of January, 2014

- REVISED: APRIL 19, 2011
- REVISED: APRIL 26, 2011
- REVISED: MAY 6, 2011
- REVISED: JUNE 13, 2011
- REVISED: JUNE 30, 2011
- REVISED: NOVEMBER 28, 2012
- REVISED: JULY 30, 2013
- REVISED: JULY 31, 2013
- REVISED: AUGUST 28, 2013
- REVISED: SEPTEMBER 24, 2013
- REVISED: NOVEMBER 19, 2013
- REVISED: DECEMBER 5, 2013
- REVISED: OCTOBER 20, 2014
- REVISED: NOVEMBER 12, 2014
- REVISED: JANUARY 9, 2015

NOTE: The location and size of the underground structures and utilities shown hereon have been located to a reasonable degree of accuracy, but the Engineer and/or Surveyor does not guarantee their exact location or the location of others not shown.
Contact Diggers Hotline, Inc., etc.



CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
WISCONSIN REGISTRATION NO. 1000000000
NOTICE BEFORE YOU DIGGATE
MLW AREA 259-1181



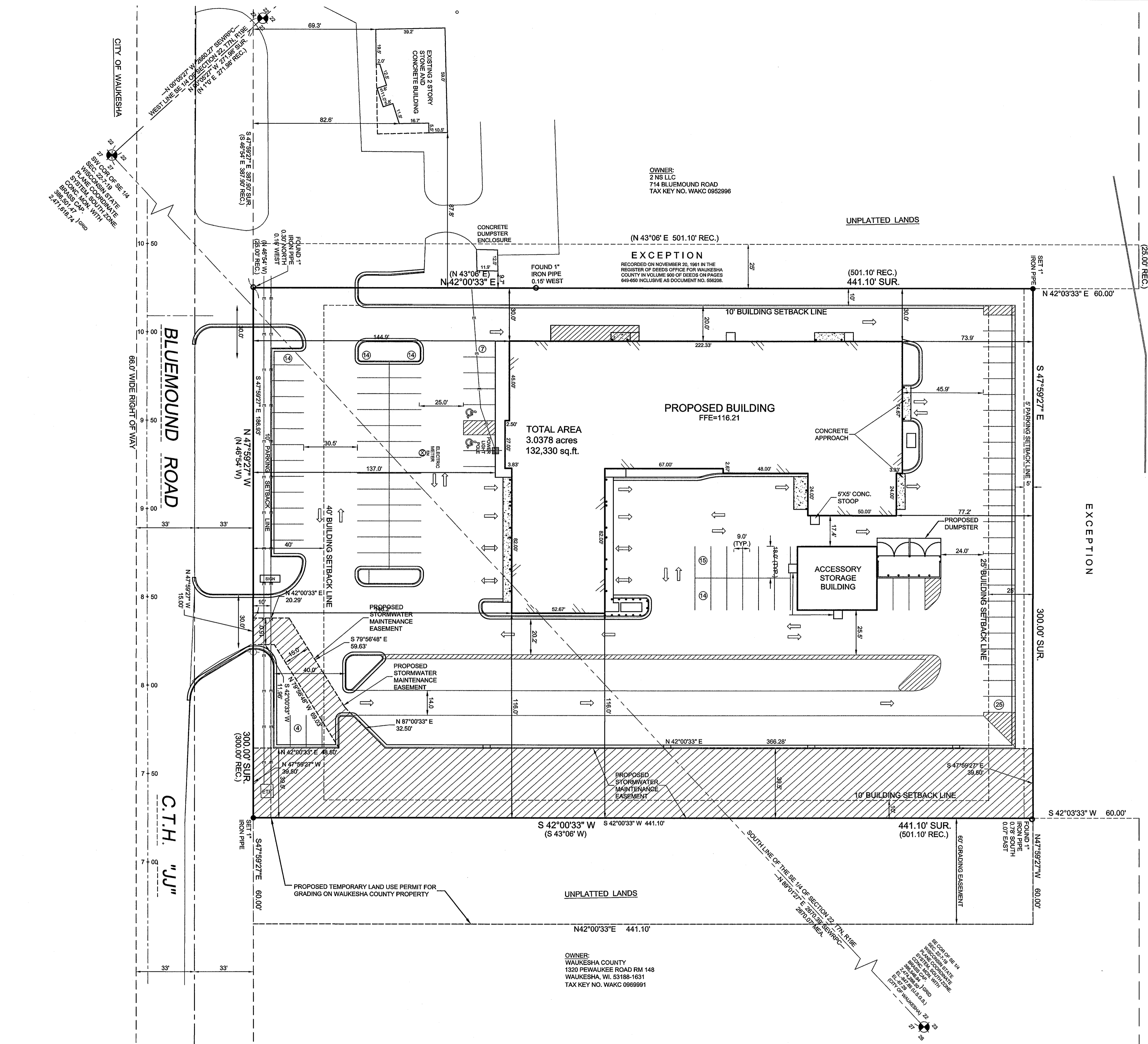
- 22 27 SEC. CORNER MON.
- FOUND IRON PIPE

RE: HALL PROJECT

PLAT OF SURVEY
FOR: GRIES ARCHITECTURAL GROUP
PART OF THE SE 1/4 OF SEC. 22, T.7N., R.19E. AND
PART OF THE NE 1/4 OF SEC. 27, T.7N., R.19E.
CITY OF WAUKESHA, WAUKESHA COUNTY, WISCONSIN

JAHNKE & JAHNKE ASSOCIATES INC.
PLANNERS & PROFESSIONAL ENGINEERS
711 W. MORELAND BLVD.-WAUKESHA, WI. 53188
TEL No. (262) 542-5797 FAX (262) 542-7698 (E-MAIL mjhain@jahnkeandjahnke.com)

SCALE: 1" = 30'	DATE: APRIL 26, 2011
DRAWN BY: M.L.H./B.R./B.L.	CHECKED BY: J.R.S.
BOOK NO.: PEWAUKEE 159	JOB: S7908
	FILE NO.: WAUKESHA 1111
	SHEET 6 OF 6



NOTES:
1. THE TITLE POLICY PROVIDED TO JAHNKE & JAHNKE ASSOC. INC., WAS COMPLETED BY HERITAGE TITLE SERVICES INC., AS AGENT FOR CHICAGO TITLE INSURANCE COMPANY, INC., ON DECEMBER 29, 2004 AS FILE NO. WG-182350.
2. PER THE FEMA FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 55133C0211F DATED NOVEMBER 19, 2008. THE LANDS DEPICTED ON THIS SURVEY LIE ENTIRELY WITHIN ZONE X.

REFERENCE BEARING: THE SOUTH LINE OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 22-7-19 WAS USED AS THE REFERENCE BEARING AND HAS A BEARING OF N 89°01'27" E PER THE WISCONSIN STATE PLANE COORDINATE SYSTEM SOUTH ZONE, DATED APRIL, 2001.

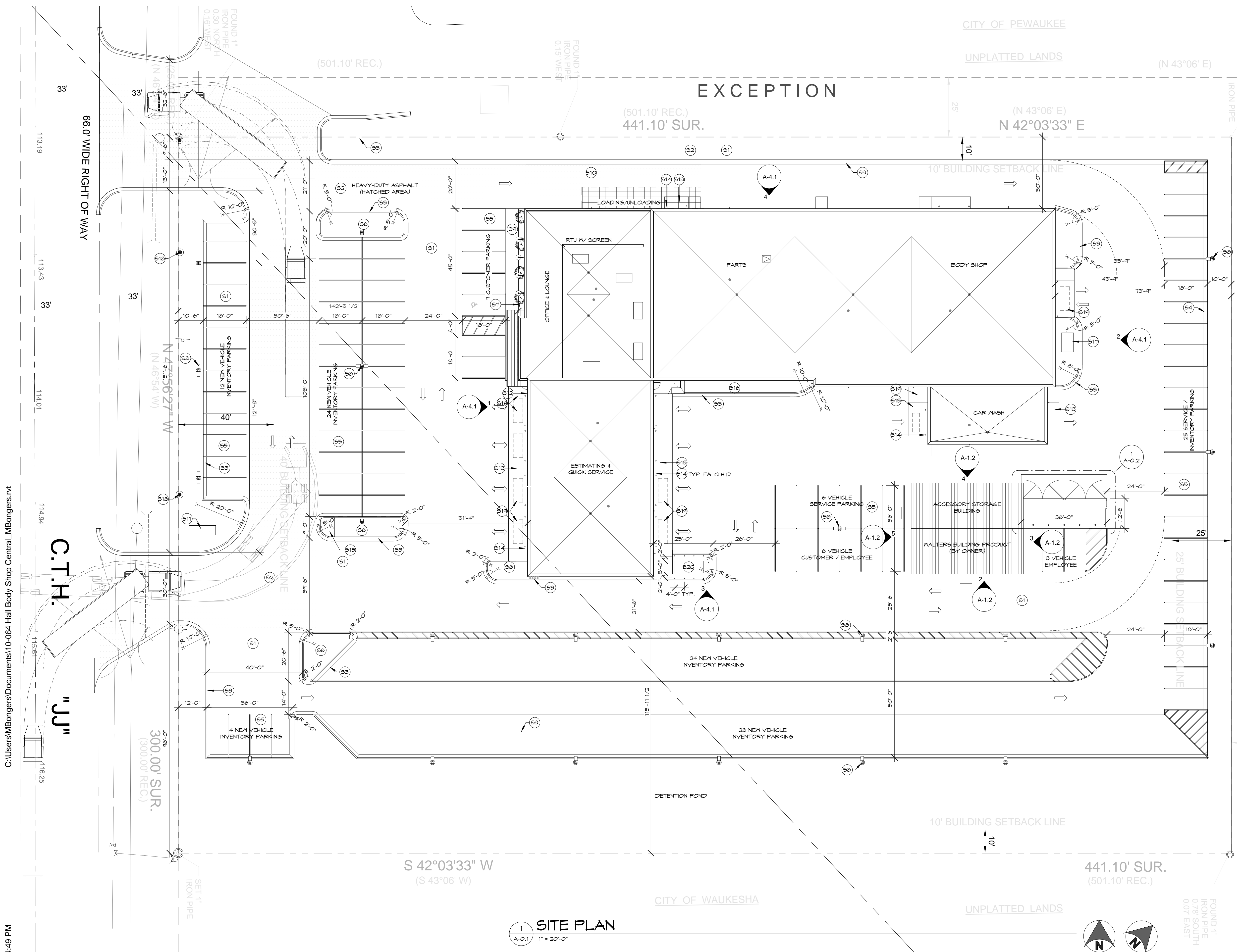
REFERENCE BENCHMARK: 847.85 (USGS) TOP OF CONCRETE MONUMENT WITH BRASS CAP MARKING THE SE CORNER OF THE (SE 1/4) SECTION 22-7-19. CONVERT TO CITY OF WAUKESHA DATUM BY DEDUCTING 780.56.

ZONING:
B-5 HIGHWAY BUSINESS DISTRICT

SETBACKS:
FRONT YARD - 40 FEET
SIDE YARD - 10 FEET
REAR YARD - 25 FEET

PARKING SETBACKS:
STREET SETBACK - 10 FEET EXCEPTION WITH LANDSCAPE BERM
OTHER LOT LINES - 5 FEET

OWNER:
ACQUICRE SPECIALTIES INC.
TAX KEY NO. WAKC 0952994



GENERAL SITE PLAN NOTES:

- GENERAL CONTRACTOR TO PROVIDE CONCRETE MECHANICAL EQUIPMENT PADS, COORDINATE SIZE & REIN. REQUIREMENTS WITH MECHANICAL & ELECTRICAL CONTRACTOR.
- GENERAL CONTRACTOR TO PROVIDE SILT FENCE / EROSION CONTROL MEASURES PER CIVIL DRAWINGS AND CITY OF WAUKESHA'S REQUIREMENTS. EROSION CONTROL MEASURES MUST BE IMPLEMENTED AND MAINTAINED THROUGHOUT CONSTRUCTION.
- ALL SITE UTILITIES MUST BE VERIFIED PRIOR TO CONSTRUCTION.
- PATCH ANY AREA OF ASPHALT PAVING OR CONCRETE PAVING AND CONC. CURB, DISTURBED BY CONSTRUCTION.
- GENERAL CONTRACTOR TO ROUGH GRADE AND FINISH GRADE ANY AREAS DISTURBED BY CONSTRUCTION. SEEDING OF AREAS BY GENERAL CONTRACTOR. ALL DRIVEWAY CUTS AND CURBING SHALL COMPLY WITH THE CITY OF WAUKESHA STANDARDS.
- SEE LANDSCAPE PLAN SHEET LO.1 FOR PLANTING INFORMATION.
- HANDICAP ACCESSIBILITY MUST BE MAINTAINED AT ALL FRONT AND REAR DOORS. COORDINATE PARKING LOT GRADING AND RAMPS WITH DOOR LOCATIONS.
- EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION UNTIL THE SITE IS STABILIZED BY VEGETATION OR OTHER APPROVED MEANS.
- ALL ACTIVITIES SHALL BE CONDUCTED IN A LOGICAL SEQUENCE AS TO MINIMIZE THE AMOUNT OF BARE SOIL EXPOSED AT ANY ONE TIME. MAINTAIN EXISTING VEGETATION AS LONG AS POSSIBLE.
- ALL SEDIMENT LADEN WATER PUMPED FROM THE SITE SHALL BE TREATED BY A TEMPORARY SEDIMENT BASIN OR BE FILTERED BY OTHER APPROVED MEANS. WATER SHALL NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE OR RECEIVING CHANNELS.
- DISTURBED GROUND OUTSIDE OF THE EVERYDAY CONSTRUCTION AREA, INCLUDING SOIL STOCKPILES LEFT INACTIVE FOR MORE THAN 10 DAYS, SHALL AT A MINIMUM BE TEMPORARILY STABILIZED BY SEEDING / MULCHING OR OTHER METHODS APPROVED BY THE CITY OF WAUKESHA EROSION CONTROL INSPECTOR.
- WASTE MATERIAL GENERATED ON THE CONSTRUCTION SITE SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO RUN INTO A RECEIVING WATER OR STORM SEWER SYSTEM.
- IN THE CASE OF LATE SEASON AND WINTER CONSTRUCTION, RESTORATION / LANDSCAPING OF THE SITE SHALL OCCUR NO LATER THAN JUNE 1st OF THE NEXT CONSTRUCTION SEASON. EROSION CONTROL MEASURES SHALL REMAIN INTACT UNTIL FINAL RESTORATION OF THE SITE IS COMPLETE. FABRIC INSIDE THE INLET AND CATCH BASIN GRATING SHALL BE REMOVED AS SOON AS FREEZING WEATHER OCCURS SO DRAINAGE IS NOT IMPAIRED THROUGHOUT THE WINTER MONTHS. ALL EROSION CONTROL PRACTICES REMOVED OR DAMAGED DUE TO WINTER WEATHER SHALL BE REPLACED IN THE SPRING IMMEDIATELY AFTER THE THAW.
- EROSION CONTROL DEVICES DESTROYED AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE END OF THE WORK DAY.
- TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AT THE CONCLUSION OF CONSTRUCTION AFTER STABILIZATION OF DISTURBED SOIL HAS OCCURRED.

GENERAL PROJECT NOTES:

PROJECT NAME: HALL SERVICE/BODY SHOP/WHOLESALE PARTS CENTER
PROPERTY ADDRESS: N11 W24440 BLUEMOUND ROAD WAUKESHA, WI 53188
ZONING DESCRIPTION: B-5
SITE AREA: 132,330 S.F. / 3.0318 ACRES
AREA PERCENTAGE:

BUILDING AREA	23,484 S.F.	17.75%
IMPERVIOUS AREA:		
- PARKING LOT	11,049 S.F.	8.35%
- WALKS & APRONS	2,889 S.F.	2.19%
- DUMPSTER	493 S.F.	0.37%
LANDSCAPE AREA	28,405 S.F.	21.43%
TOTAL SITE AREA	132,330 S.F.	100.00%

PARKING CALCULATIONS:

Auto Body Repair, Motor Vehicle Repair, Maintenance, and Service Stations: Three (3) spaces per indoor service bay plus one (1) space per employee for the shift with the largest number of employees.

15 BAYS X 3/PER BAY	45 SPACES REQUIRED
1 SPACE X 10 EMPLOYEES	10 SPACES REQUIRED

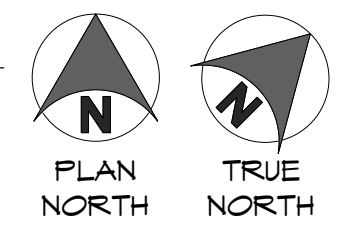
PARKING PROVIDED:

CUSTOMER/EMPLOYEE	16 STALLS
ACCESSIBLE PARKING	1 STALLS (1 PER 25 PUBLIC)
SERVICE/INVENTORY	123 STALLS
TOTAL PARKING PROVIDED	140 STALLS

KEYED SITE PLAN NOTES

- S1 STANDARD ASPHALT PAVING OVER COMPACTED GRANULAR FILL. REFER TO CIVIL DRAWINGS FOR TYPICAL PAVING SECTION.
- S2 HEAVY-DUTY ASPHALT PAVING OVER COMPACTED GRANULAR FILL. REFER TO CIVIL DRAWINGS FOR HEAVY-DUTY PAVING SECTION.
- S3 MOUNTABLE CURB. REFER TO CIVIL.
- S4 FLAT CURB. REFER TO CIVIL.
- S5 STANDARD PARKING LOT STRIPING. VERIFY COLOR WITH OWNER.
- S6 LANDSCAPE ISLAND, TOPSOIL, RIVER ROCK AND PLANTS. REFER TO LANDSCAPE PLAN.
- S7 ADA PARKING W/ H.C. SIGN AND POST PER D.O.T. ADMIN. RULE TRANS 200.01 TYPICAL. PROVIDE ONE POST MOUNTED SIGN W/ ADDITIONAL D.O.T. APPROVED SIGN STATING "VAN ACCESSIBLE" AT A SPACE WITH AN ADJACENT 8'-0" WIDE AISLE. ADA PARKING SPACE & ACCESS AISLE SHALL HAVE A SURFACE SLOPE NOT TO EXCEED 1:50 (2%) IN ALL DIRECTIONS. REFER TO ADA DETAILS A-0.2.
- S8 LIGHT POLE WITH CONCRETE BASE REFER TO PHOTO MTRIC. ELECTRICAL CONTRACTOR TO PROVIDE WATER-PROOF DUPLEX OUTLET AT LIGHT POLE.
- S9 5" THK. CONCRETE SIDEWALK OVER COMP. GRANULAR BASE. REFER TO CIVIL.
- S10 9'-0" X 50'-0" OFF-STREET LOADING SPACE PER CITY OF WAUKESHA REQUIREMENTS.
- S11 MOUNTMENT SIGN BY OWNER - (CONTRACTOR TO PROVIDE ELECTRICAL/DATA CONDUIT & POWER AS REQUIRED).
- S12 KNOX-BOX BY GENERAL CONTRACTOR. COORDINATE WITH WAUKESHA FIRE DEPARTMENT. VERIFY FINAL LOCATION WITH FIRE DEPARTMENT PRIOR TO INSTALLATION.
- S13 THICKEND EDGE CONCRETE APRON. REFER TO CIVIL.
- S14 6" DIAMETER STEEL PIPE BOLLARD, FILLED SOLID W/ CONC. EPOXY PAINTED. REFER TO A-0.2, TYPICAL.
- S15 FILL ISLAND ENDS WITH 5" THICK REINFORCED CONCRETE AS INDICATED. (TO PROTECT TRUCK TURNING RADIUS)
- S16 LANDSCAPE ISLAND, TOPSOIL, RIVER ROCK AND NO PLANTS. REFER TO LANDSCAPE PLAN.
- S17 PROPOSED LOCATION FOR NEW ELECTRICAL TRANSFORMER PAD. REFER TO CIVIL.
- S18 REMOVE EXISTING SITE LIGHT FIXTURE, POLE, BASE & CONDUIT AS REQUIRED. ELECTRICAL CONTRACTOR TO REMOVE EXISTING WIRING BACK TO PANEL.
- S19 LOOP DETECTORS BY CONTRACTOR. PROVIDE SWITCH BY DOOR LOCATION. ELECTRICAL CONTRACTOR TO CONNECT. NO SANGUT JOINTS.
- S20 WASTE OIL TANK W/ 4" CONCRETE FILLED PIPE BOLLARDS.

1 SITE PLAN
A-0.1
1" = 20'-0"



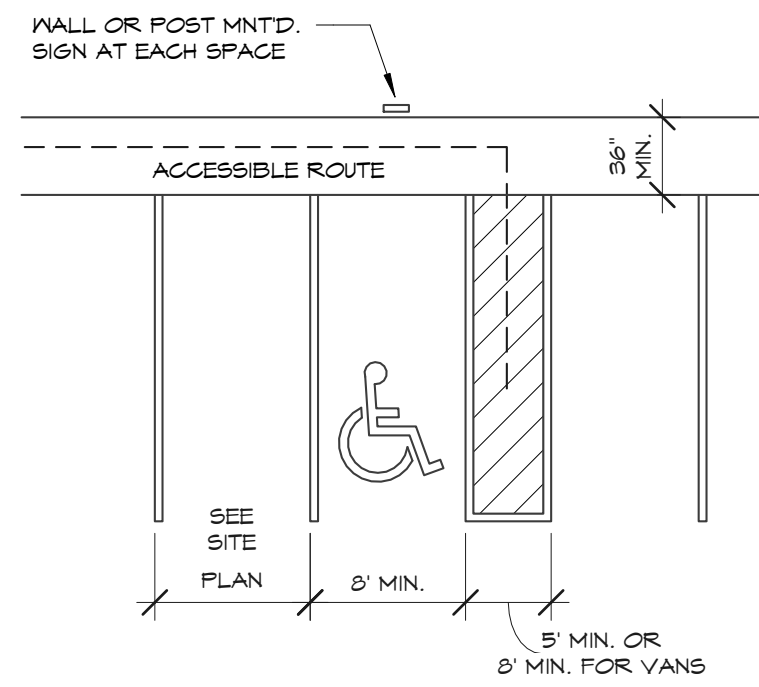
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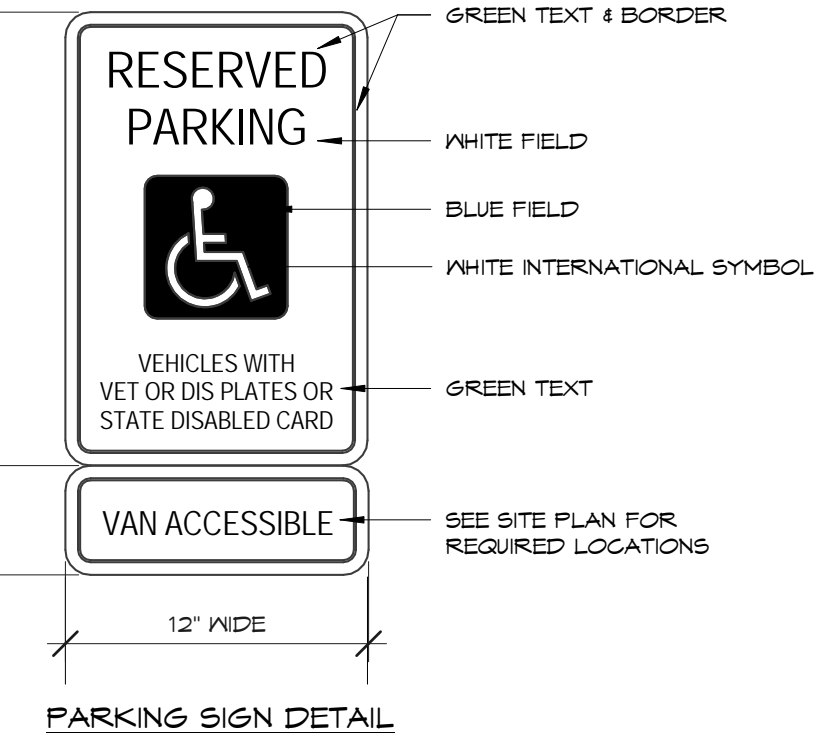
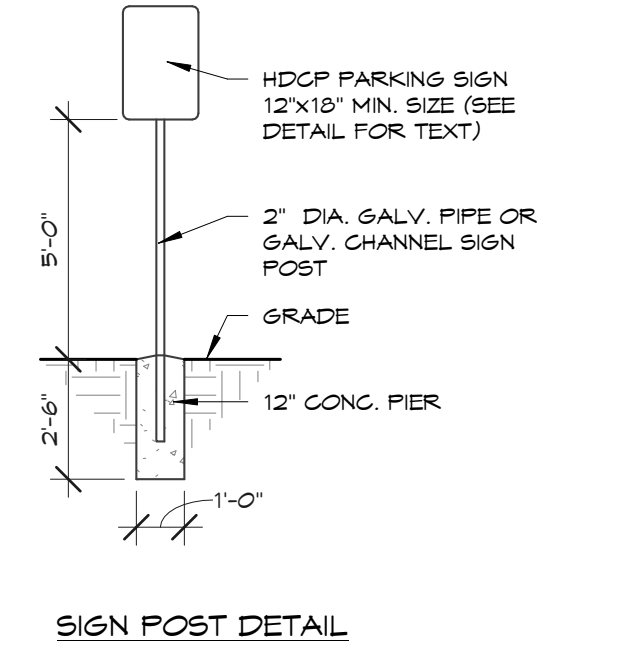
**A NEW BUILDING FOR:
 HALL AUTOMOTIVE
 WAUKESHA,
 WISCONSIN**

date: 01/14/15
 job: 10-064
 d. by: BJS, MJB
 rev: ---

A-0.1



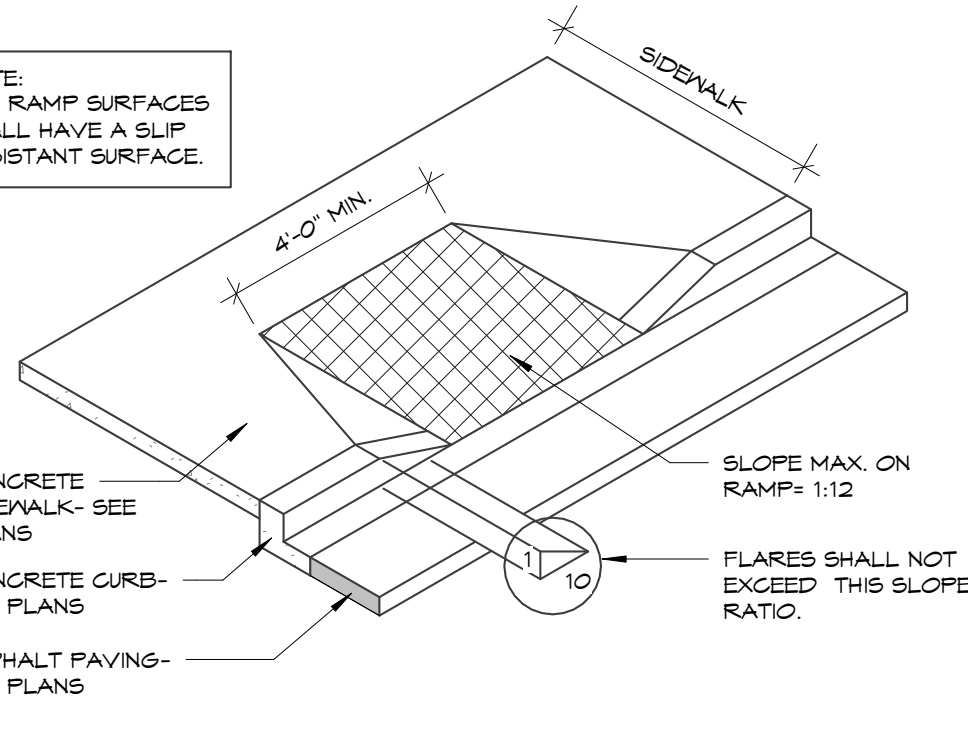
IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO INSTALL (WHERE SHOWN HEREON), BARRIER FREE PARKING SIGNS IN CONFORMITY TO WISCONSIN ADMINISTRATIVE CODE: TRANS #200.07



SIGN POST DETAIL

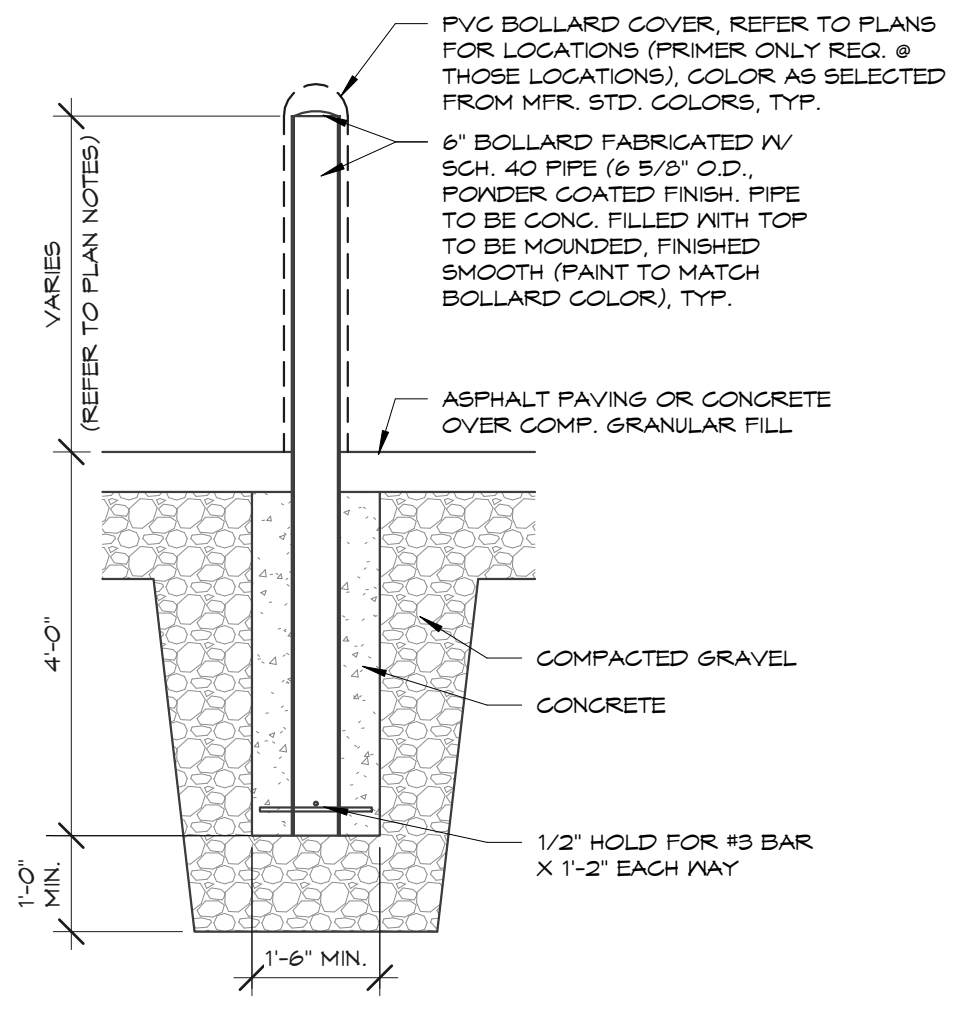
PARKING SIGN DETAIL

NOTE: ALL RAMP SURFACES SHALL HAVE A SLIP RESISTANT SURFACE.



8 CURB RAMP DETAIL

A-0.2 NOT TO SCALE

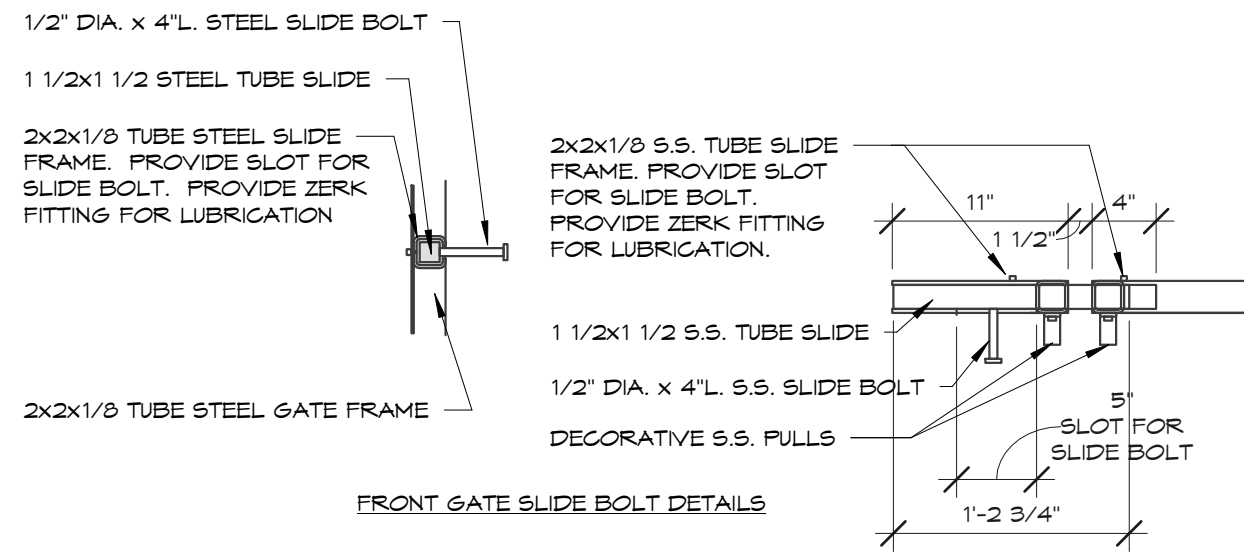
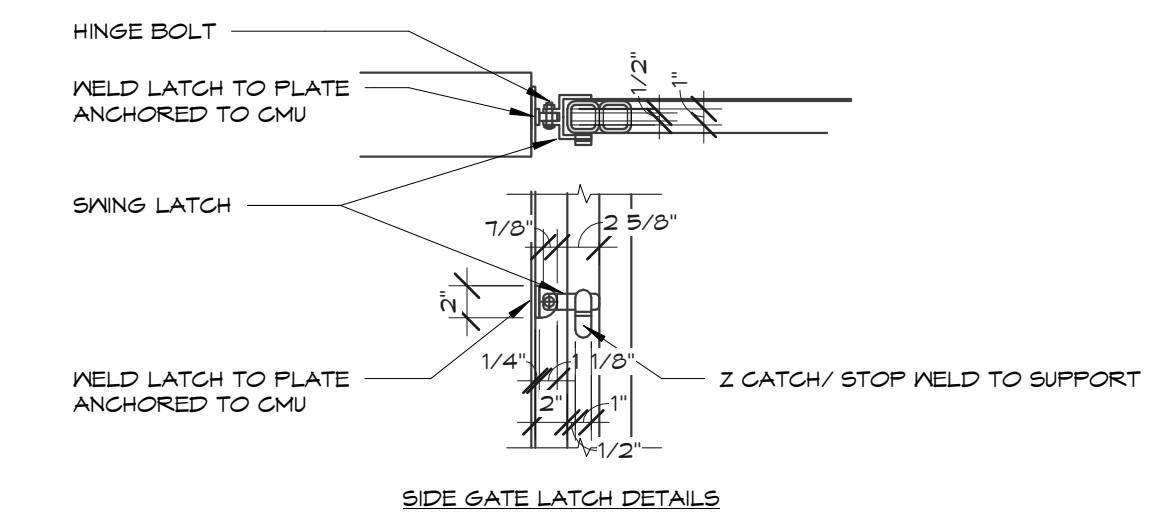


7 BOLLARD DETAIL

A-0.2 1/2" = 1'-0"

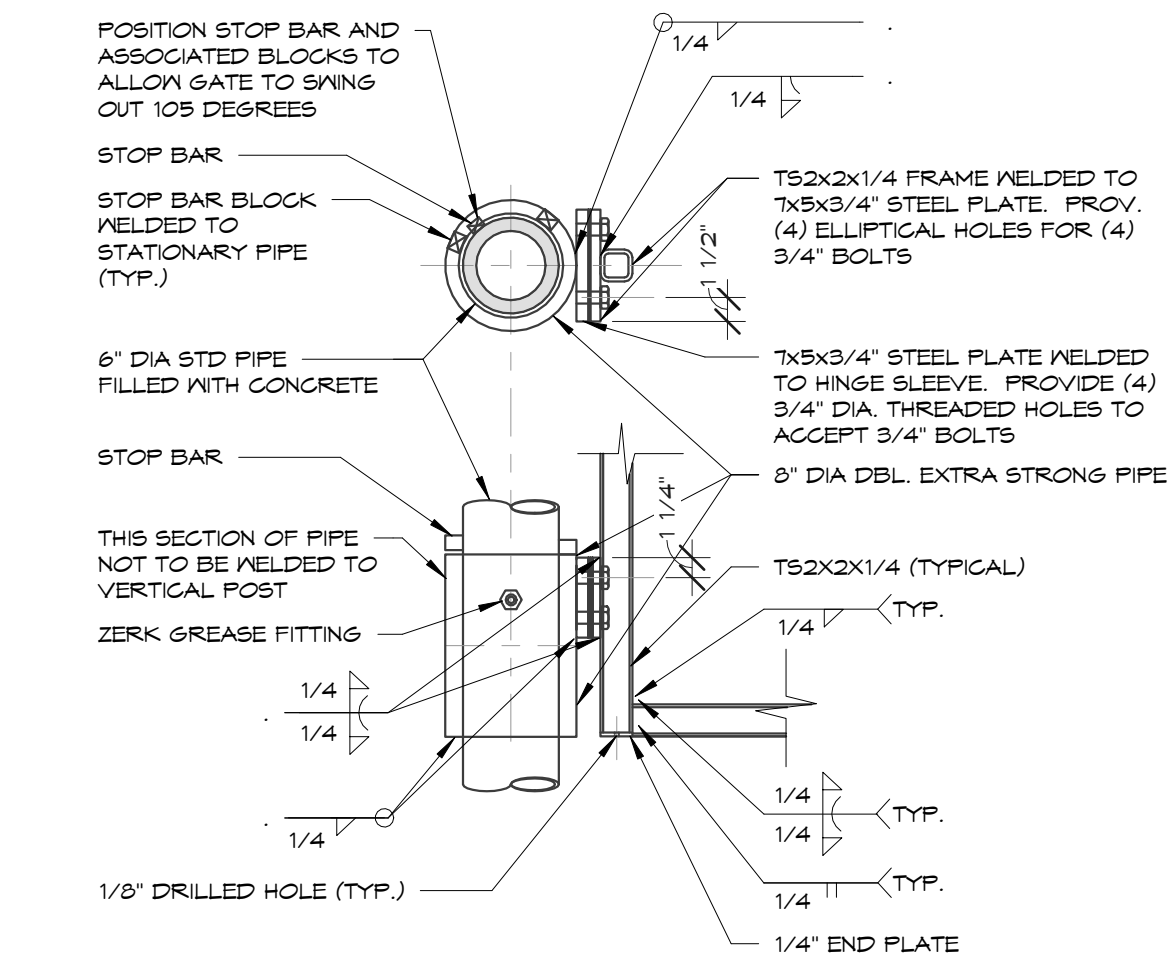
9 HC PARKING DETAILS

A-0.2 NOT TO SCALE



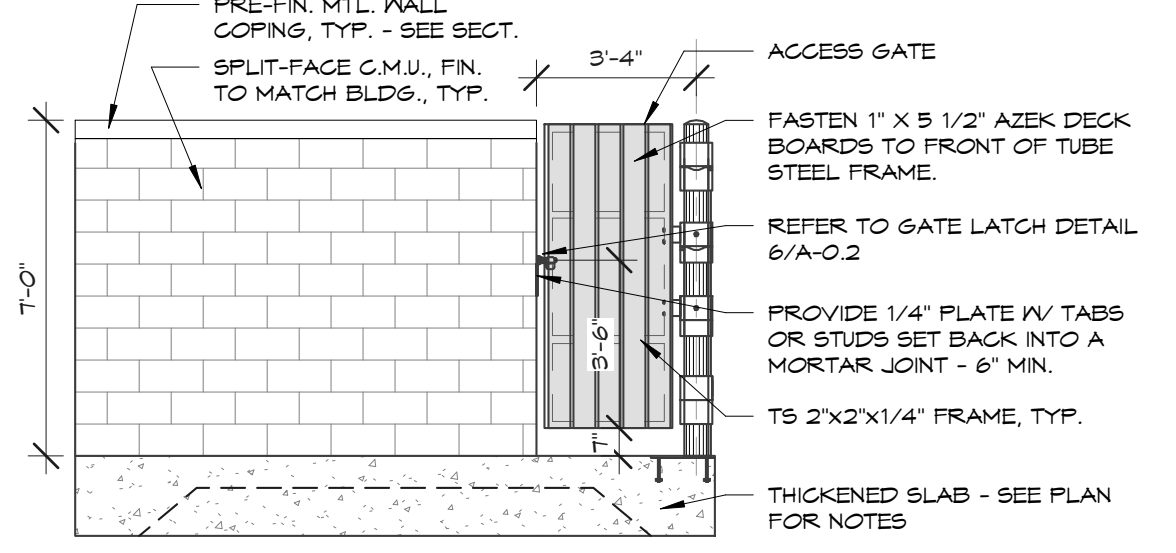
6 GATE LATCH DETAIL

A-0.2 1" = 1'-0"



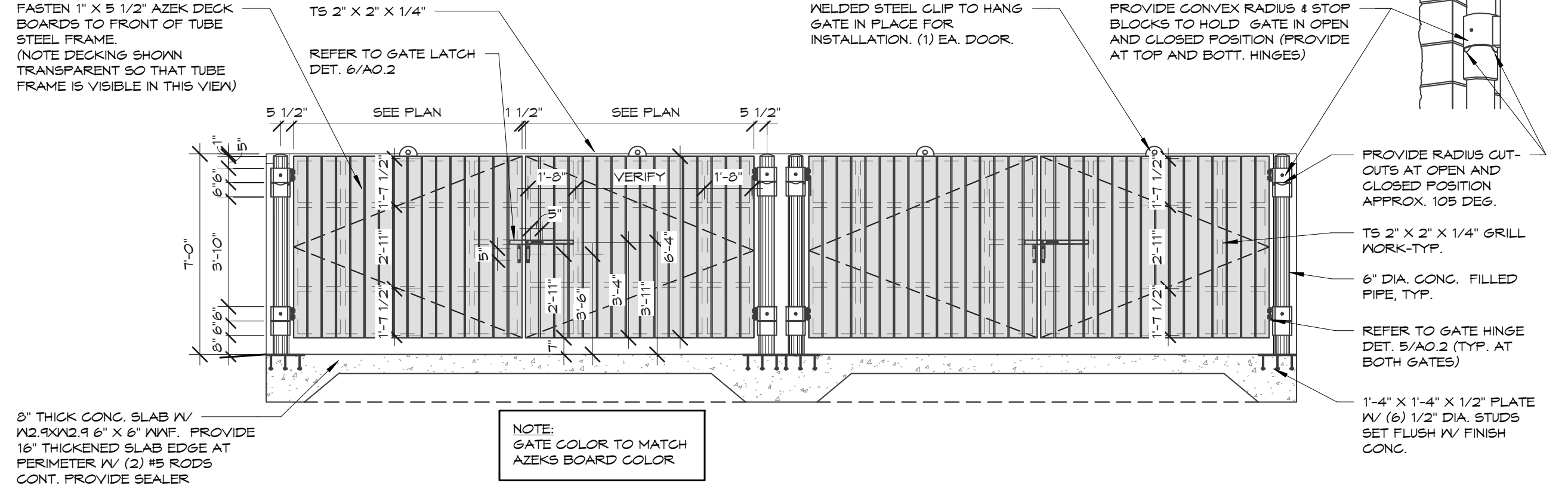
5 GATE HINGE DETAIL

A-0.2 1" = 1'-0"



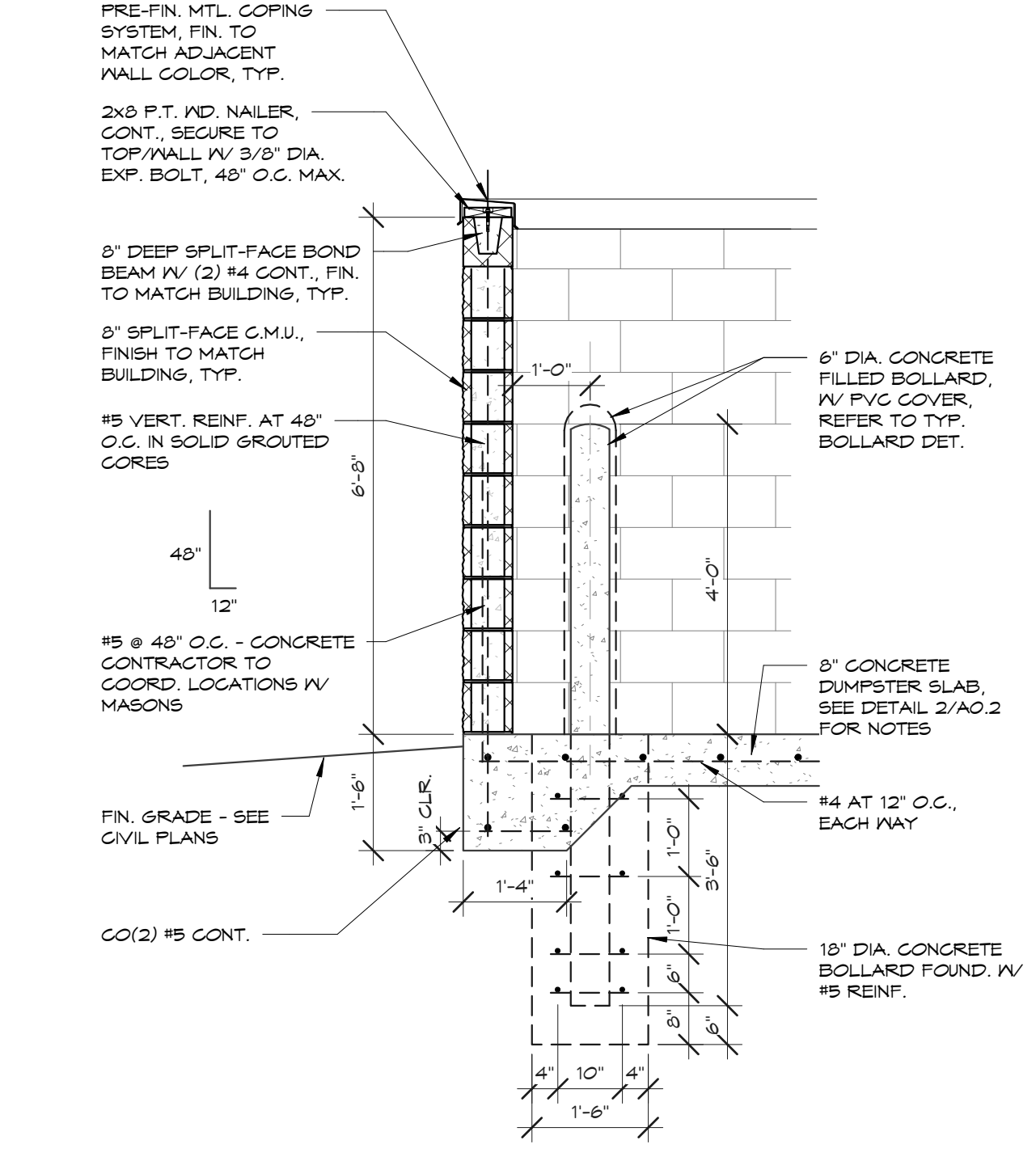
3 DUMPSTER - SIDE ELEVATION

A-0.2 1/4" = 1'-0"



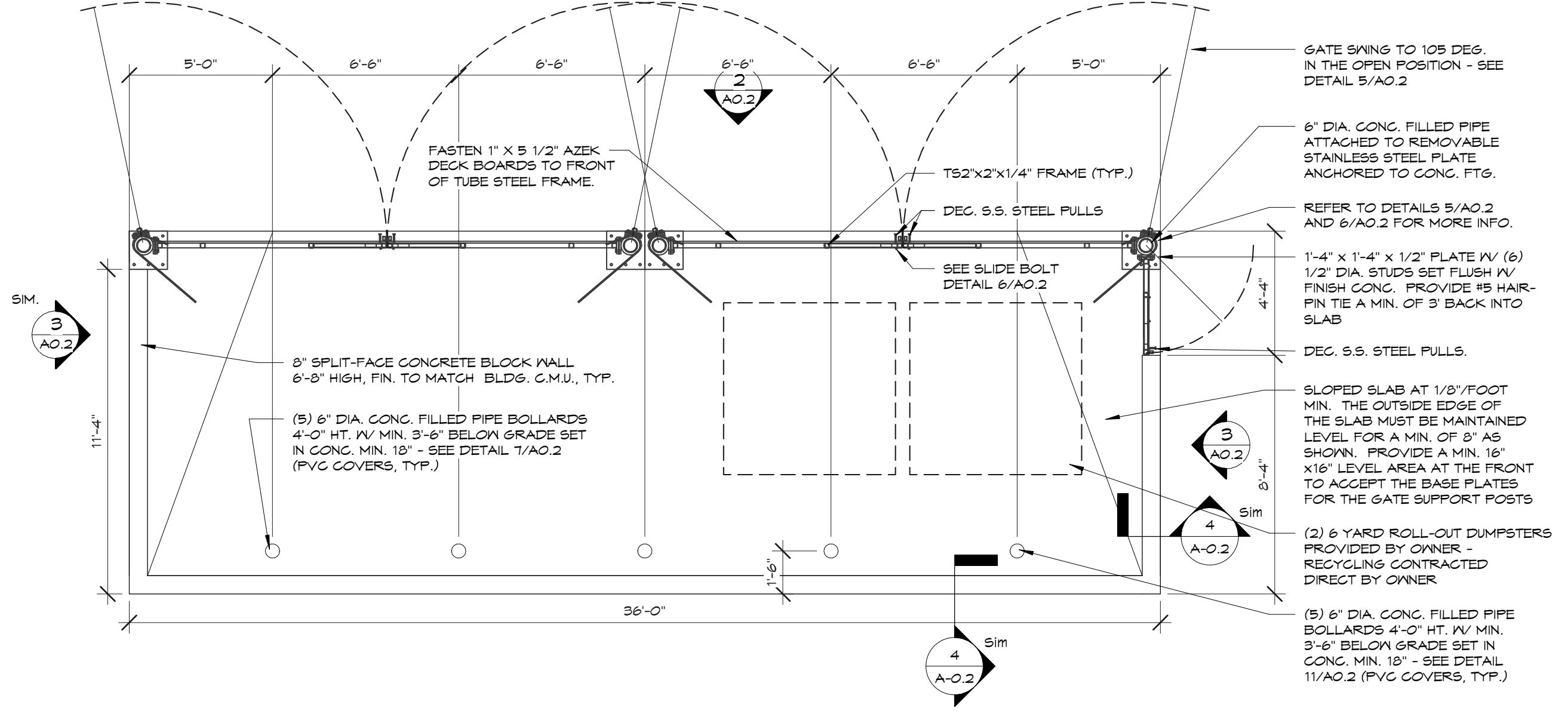
2 DUMPSTER - FRONT ELEVATION

A-0.2 1/4" = 1'-0"



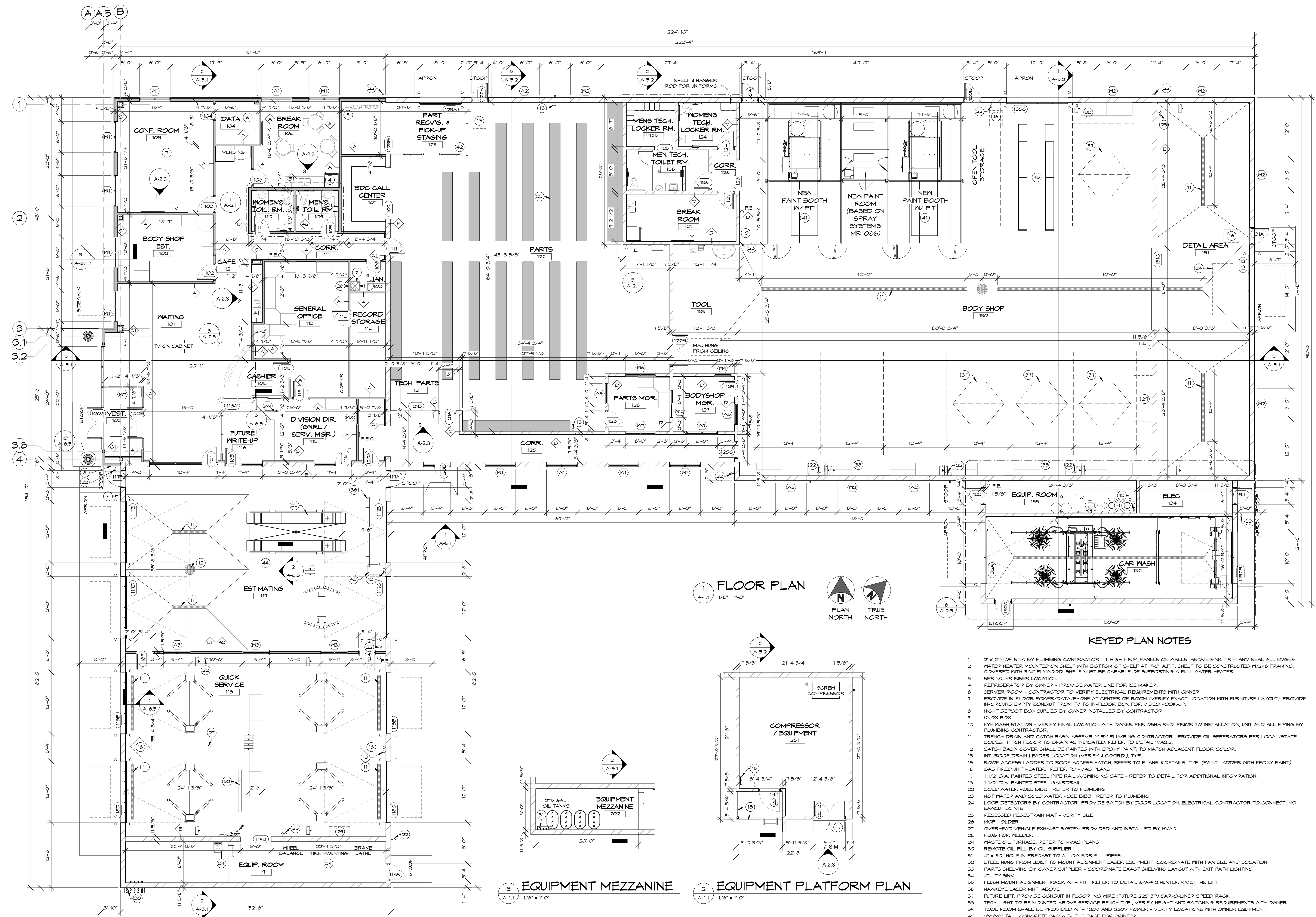
4 DUMPSTER SECTION

A-0.2 1/2" = 1'-0"

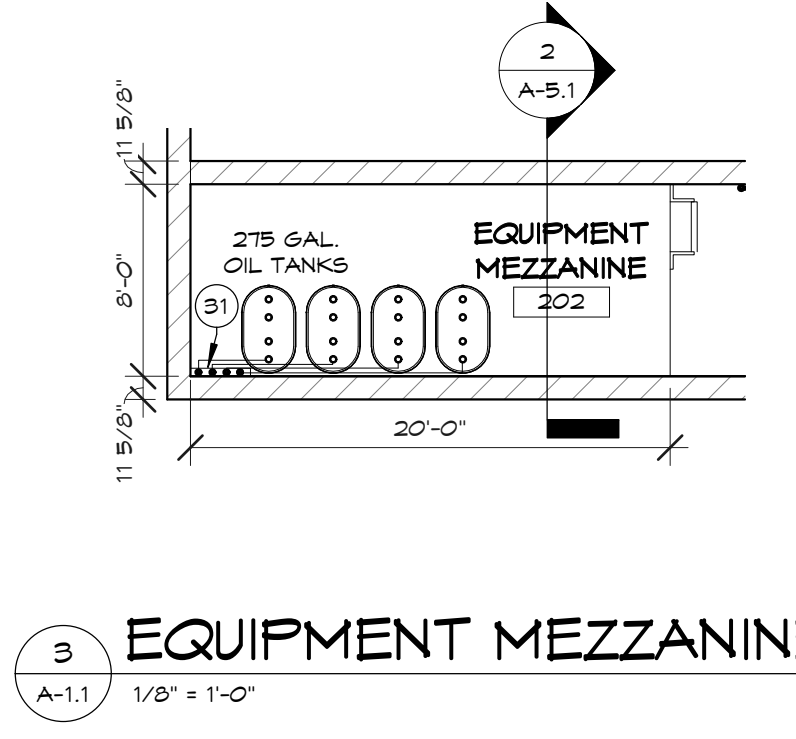


1 ENLARGED DUMPSTER ENCLOSURE

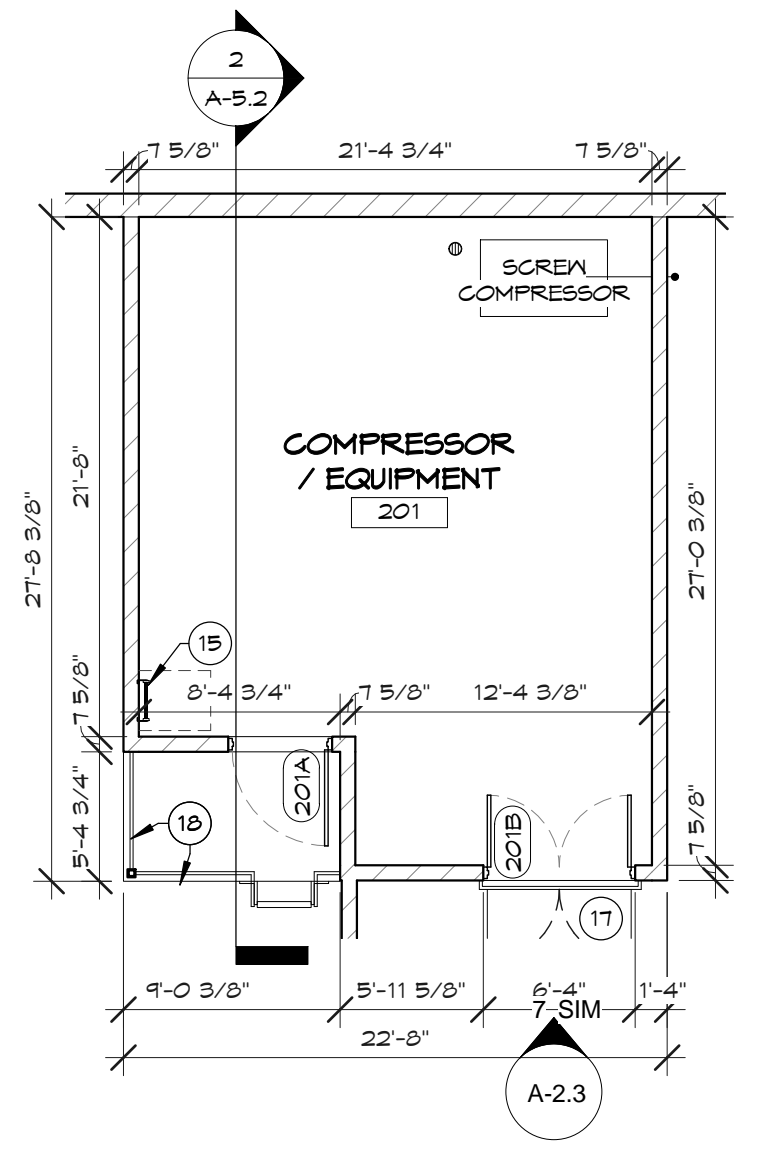
A-0.2 1/4" = 1'-0"



1 FLOOR PLAN
 1-A-1 1/8" = 1'-0"
 PLAN NORTH
 TRUE NORTH



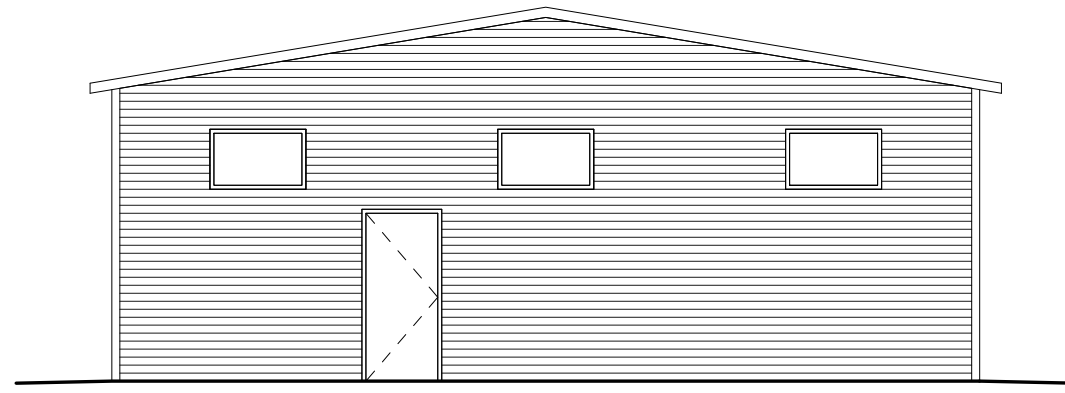
3 EQUIPMENT MEZZANINE
 3-A-1 1/8" = 1'-0"



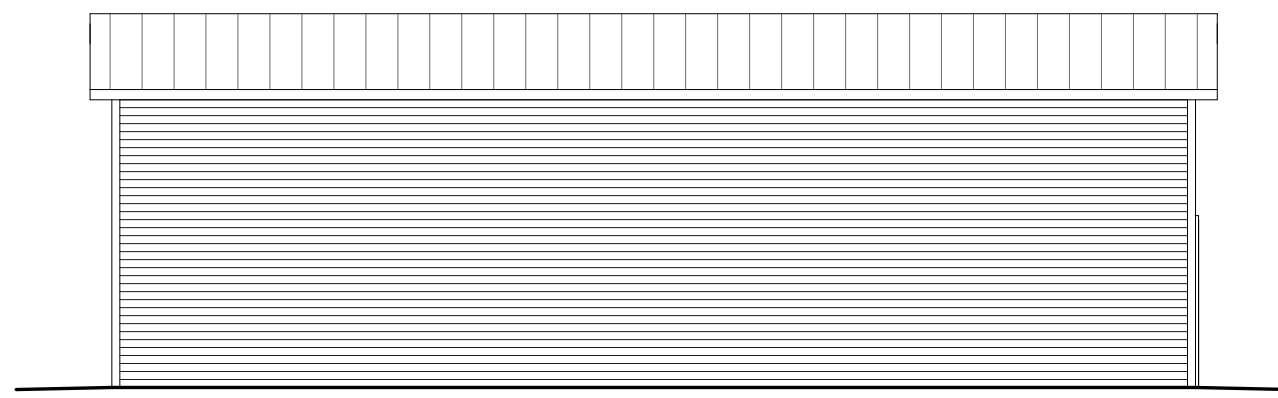
2 EQUIPMENT PLATFORM PLAN
 2-A-1 1/8" = 1'-0"

KEYED PLAN NOTES

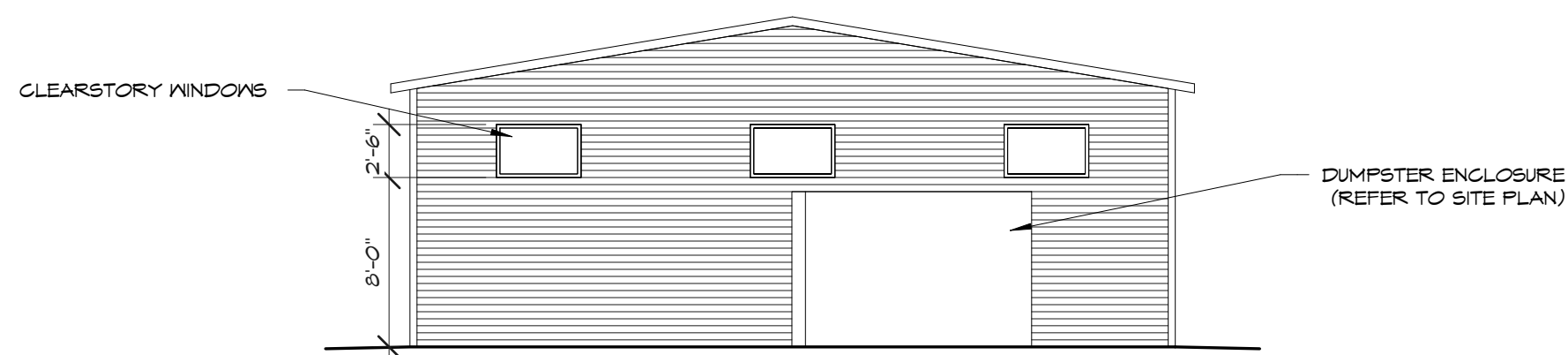
- 1 2' x 2' MOP SINK BY PLUMBING CONTRACTOR. 4' HIGH F.R.P. PANELS ON WALLS, ABOVE SINK. TRIM AND SEAL ALL EDGES.
- 2 WATER HEATER MOUNTED ON SHELF WITH BOTTOM OF SHELF AT 7'-0" A.F.F. SHELF TO BE CONSTRUCTED W/2X6 FRAMING, COVERED WITH 3/4" PLYWOOD. SHELF MUST BE CAPABLE OF SUPPORTING A FULL WATER HEATER.
- 3 SPRINKLER RISER LOCATION.
- 4 REFRIGERATOR BY OWNER - PROVIDE WATER LINE FOR ICE MAKER.
- 5 SERVER ROOM - CONTRACTOR TO VERIFY ELECTRICAL REQUIREMENTS WITH OWNER.
- 6 PROVIDE IN-FLOOR POWER/DATA/PHONE AT CENTER OF ROOM (VERIFY EXACT LOCATION WITH FURNITURE LAYOUT). PROVIDE IN-GROUND EMPTY CONDUIT FROM TV TO IN-FLOOR BOX FOR VIDEO HOOK-UP.
- 7 NIGHT DEPOSIT BOX SUPPLIED BY OWNER INSTALLED BY CONTRACTOR.
- 8 KNOX BOX.
- 9 EYE WASH STATION - VERIFY FINAL LOCATION WITH OWNER PER OSHA REQ. PRIOR TO INSTALLATION. UNIT AND ALL PIPING BY PLUMBING CONTRACTOR.
- 10 TRENCH DRAIN AND CATCH BASIN ASSEMBLY BY PLUMBING CONTRACTOR. PROVIDE OIL SEPARATORS PER LOCAL/STATE CODES. PITCH FLOOR TO DRAIN AS INDICATED. REFER TO DETAIL 1/A2.2.
- 11 CATCH BASIN COVER SHALL BE PAINTED WITH EPOXY PAINT, TO MATCH ADJACENT FLOOR COLOR.
- 12 INT. ROOF DRAIN LEADER LOCATION (VERIFY & COORD.). TYP.
- 13 ROOF ACCESS LADDER TO ROOF ACCESS HATCH, REFER TO PLANS 4 DETAILS, TYP. (PAINT LADDER WITH EPOXY PAINT).
- 14 GAS FIRED UNIT HEATER. REFER TO HVAC PLANS.
- 15 1 1/2" DIA. PAINTED STEEL PIPE RAIL W/SWINGING GATE - REFER TO DETAIL FOR ADDITIONAL INFORMATION.
- 16 1 1/2" DIA. PAINTED STEEL GAURDRAIL.
- 17 COLD WATER HOSE BIBB. REFER TO PLUMBING.
- 18 HOT WATER AND COLD WATER HOSE BIBB. REFER TO PLUMBING.
- 19 LOOP DETECTORS BY CONTRACTOR. PROVIDE SWITCH BY DOOR LOCATION. ELECTRICAL CONTRACTOR TO CONNECT. NO SMOKE JOINTS.
- 20 RECESSED PEDESTAL MAT - VERIFY SIZE.
- 21 MOP HOLDER.
- 22 OVERHEAD VEHICLE EXHAUST SYSTEM PROVIDED AND INSTALLED BY HVAC.
- 23 PLUG FOR WELDER.
- 24 WASTE OIL FURNACE. REFER TO HVAC PLANS.
- 25 REMOTE OIL FILL BY OIL SUPPLIER.
- 26 4" x 30" HOLE IN PRECAST TO ALLOW FOR FILL PIPES.
- 27 STEEL HUNG FROM JOIST TO MOUNT ALIGNMENT LASER EQUIPMENT. COORDINATE WITH FAN SIZE AND LOCATION.
- 28 PARTS SHELVING BY OWNER SUPPLIER - COORDINATE EXACT SHELVING LAYOUT WITH EXIT PATH LIGHTING.
- 29 UTILITY SINK.
- 30 FLUSH MOUNT ALIGNMENT RACK WITH PIT. REFER TO DETAIL 6/A-12 HUNTER RX10FT-15 LIFT.
- 31 HAYKKEYE LASER MNT. ABOVE.
- 32 FUTURE LIFT. PROVIDE CONDUIT IN FLOOR, NO WIRE (FUTURE 220 3P) CAR-O-LINER SPEED RACK.
- 33 TECH LIGHT TO BE MOUNTED ABOVE SERVICE BENCH TYP. VERIFY HEIGHT AND SWITCHING REQUIREMENTS WITH OWNER.
- 34 TOOL ROOM SHALL BE PROVIDED WITH 120V AND 220V POWER - VERIFY LOCATIONS WITH OWNER EQUIPMENT.
- 35 2X2X8" TALL CONCRETE PAD WITH TILE BASE FOR PRINTER.
- 36 REFER TO DETAIL 9/2.3 FOR FIT DETAILS. VERIFY FIT SIZE AND DEPTH WITH EQUIPMENT SUPPLIER.
- 37 WIRE MESH PARTITION WITH GATE. REFER TO SPEC.
- 38 OWNER TO RELOCATE EXISTING 9200 FRAME RACK.
- 39 PROVIDE 3" CONDUIT FROM PIT TO LIFT CONTROL LOCATION.



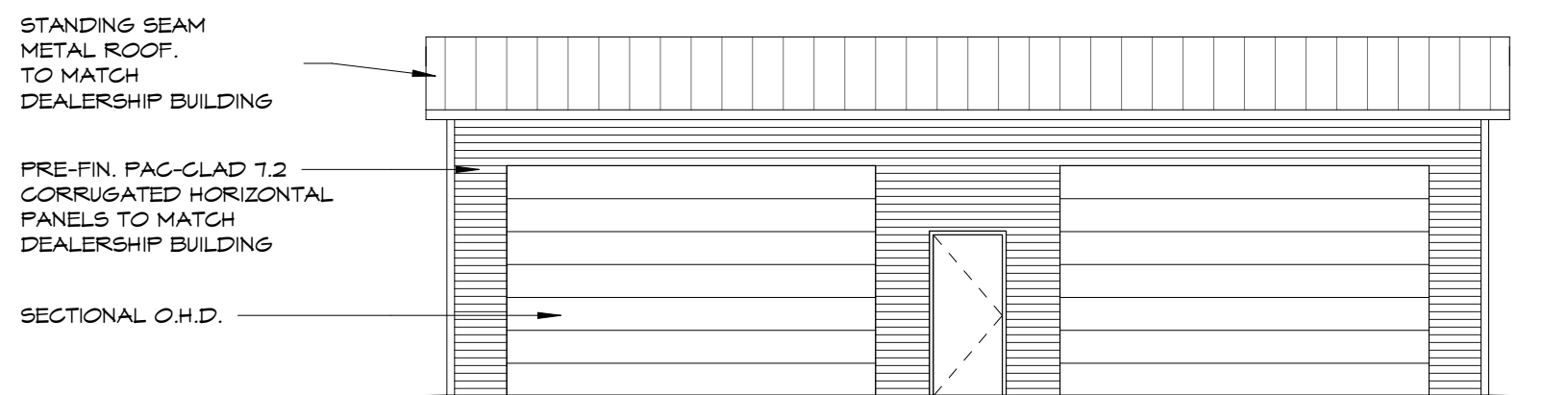
5 ACCY. BUILDING SOUTHWEST ELEVATION
A-1.2 1/8" = 1'-0"



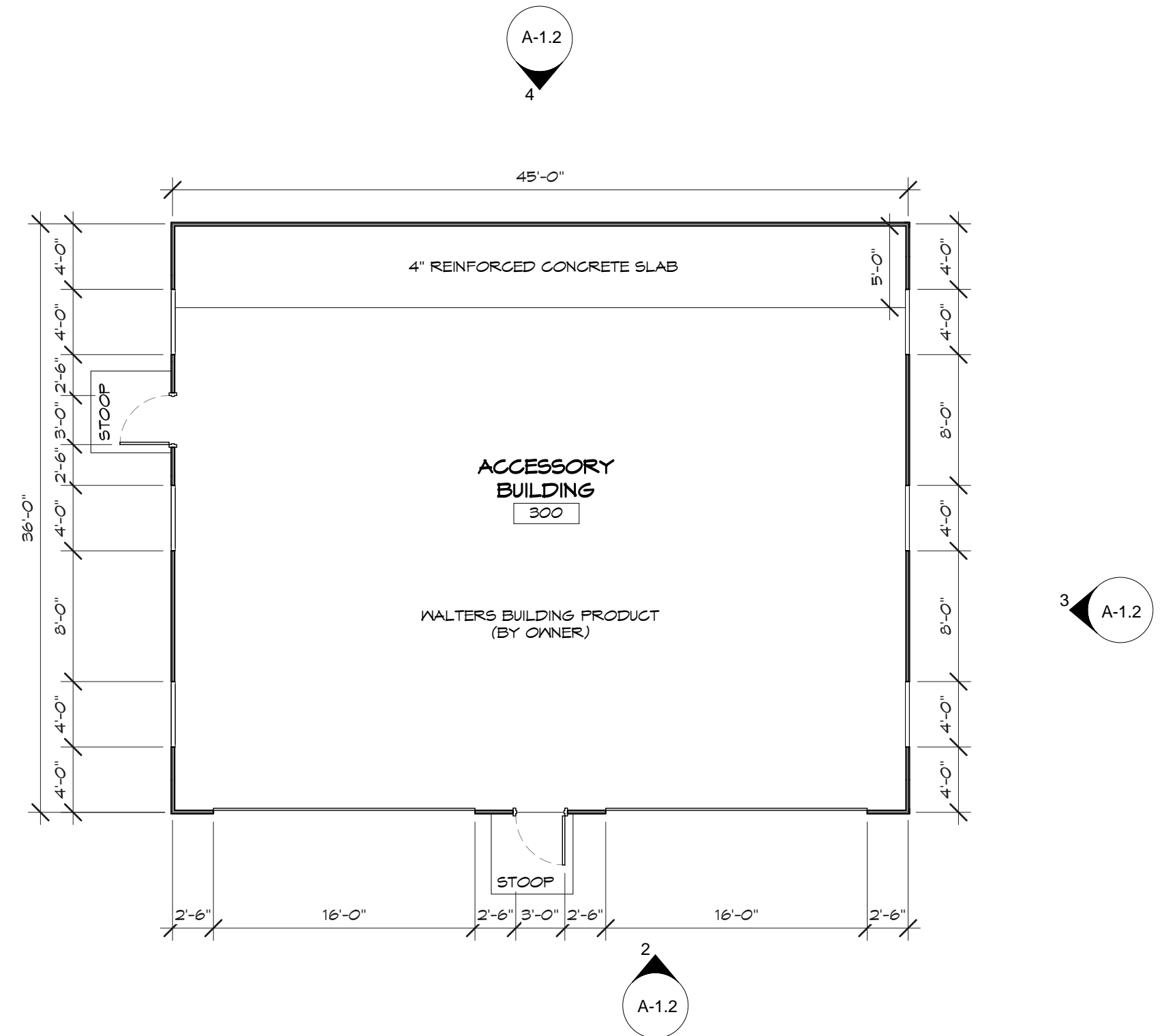
4 ACCY. BUILDING NORTHWEST ELEVATION
A-1.2 1/8" = 1'-0"



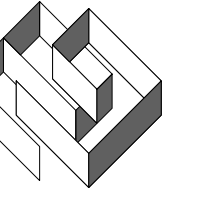
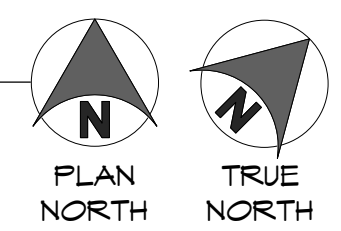
3 ACCY. BUILDING NORTHEAST ELEVATION
A-1.2 1/8" = 1'-0"



2 ACCY. BUILDING SOUTHEAST ELEVATION
A-1.2 1/8" = 1'-0"

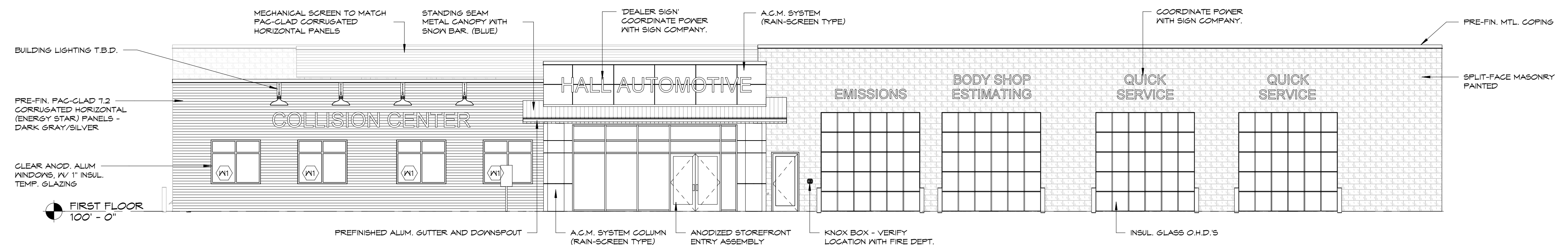


1 ACCY. BUILDING FLOOR PLAN
A-1.2 1/8" = 1'-0"

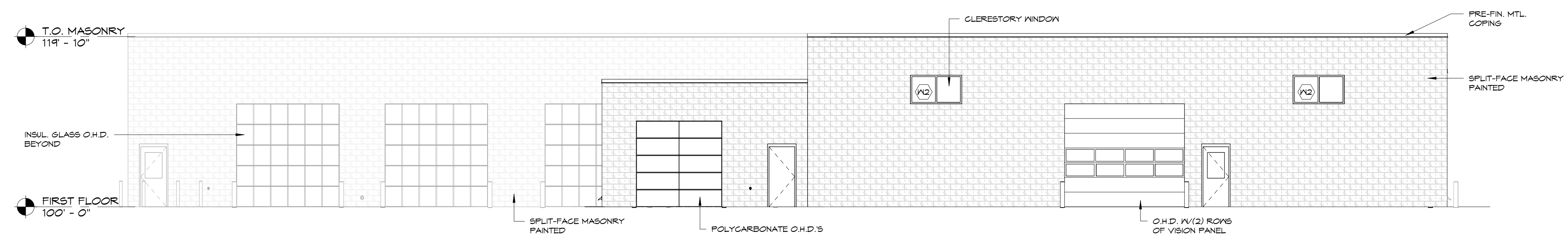


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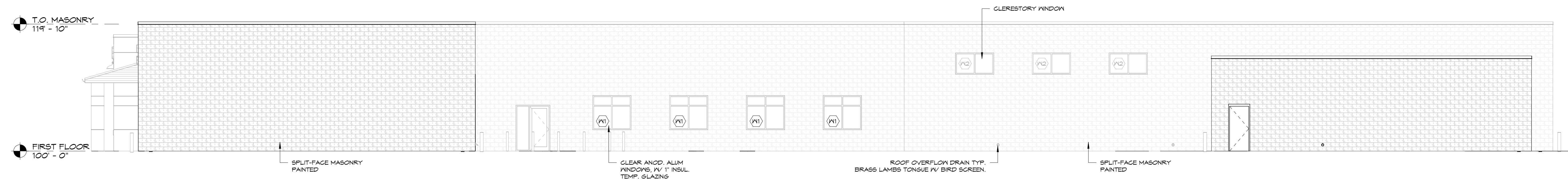
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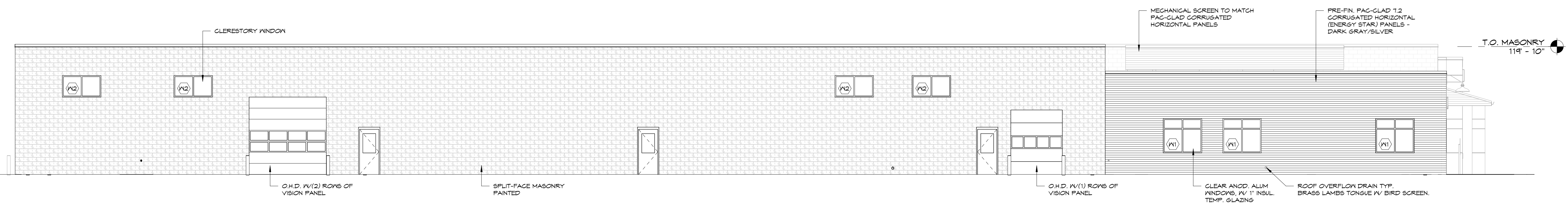
1 **SOUTHWEST ELEVATION**
A-4.1 1/8" = 1'-0"



2 **NORTHEAST ELEVATION**
A-4.1 1/8" = 1'-0"

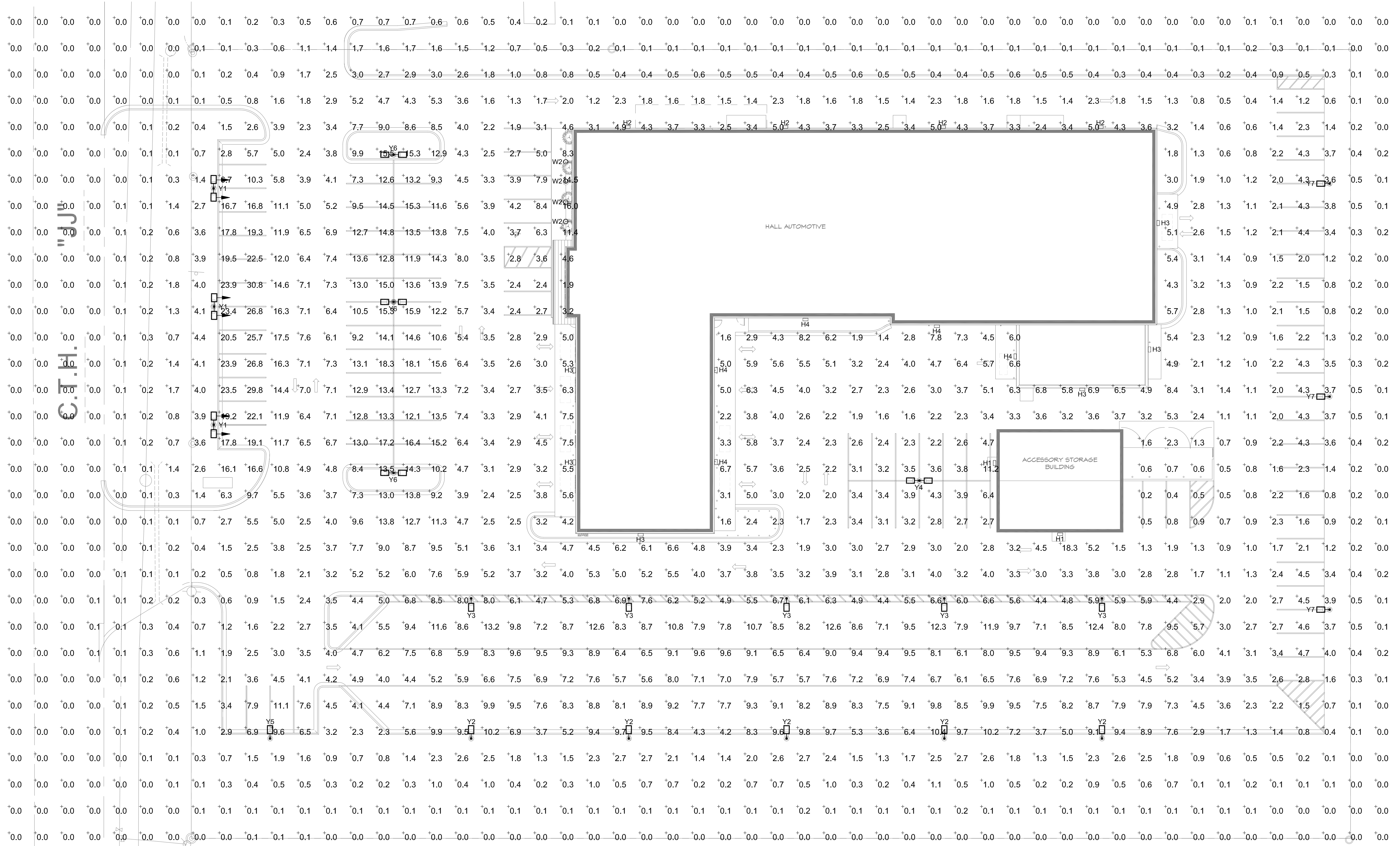


3 **SOUTHEAST ELEVATION**
A-4.1 1/8" = 1'-0"

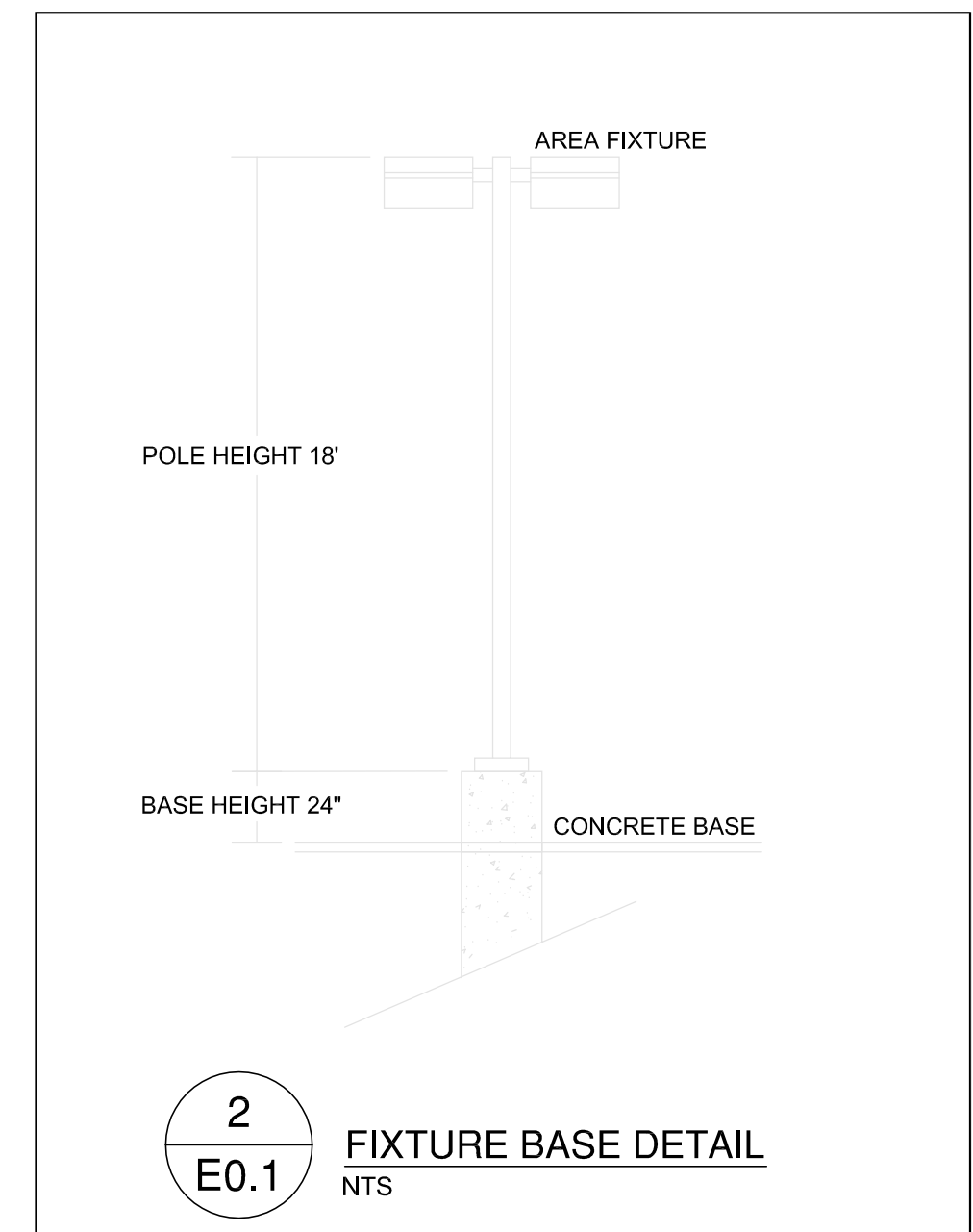
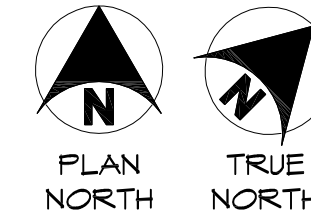


4 **NORTHWEST ELEVATION**
A-4.1 1/8" = 1'-0"

NOTE:
EXTERIOR MASONRY TO BE PAINTED WITH ELASTOMERIC MASONRY COATING.



1 SITE PLAN - PHOTOMETRIC
E-0.1 T = 20'-0"



2 FIXTURE BASE DETAIL
E0.1 NTS

NOTES

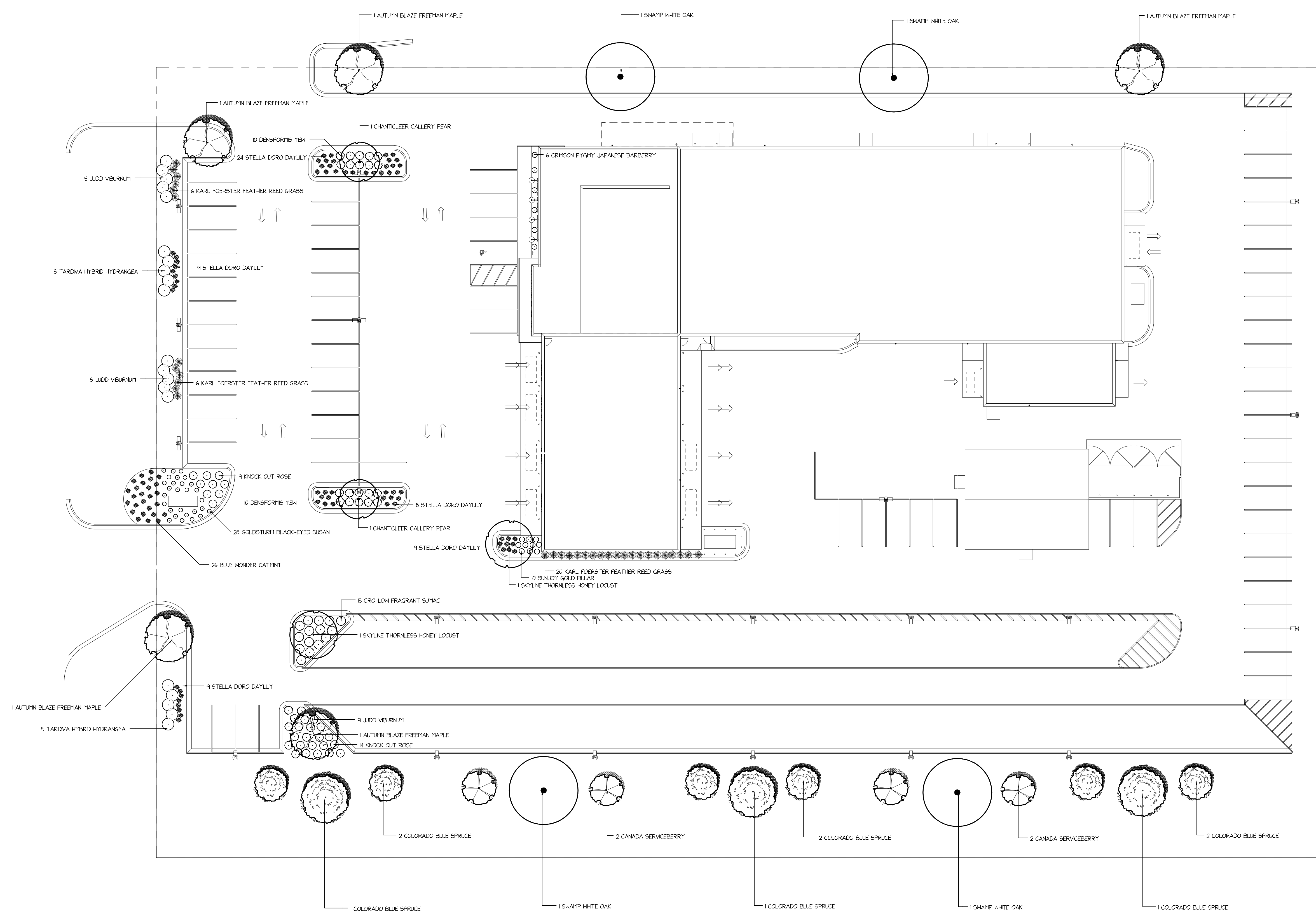
No.	Date	Description
1	05/27/20	BUILDING LAYOUT
2	09/24/20	ADD 8' BUFFER BETWEEN STREET AND PINE LOT
3	01/28/21	CHANGES TO SITE LAYOUT



LANDSCAPE PLAN

HALL BODY SHOP
IN W244440 BLUEMOUND RD
WALKESHA, WISCONSIN

SCALE: 1:20	PROJECT NO.
DRAWN BY: BEN H	SHEET NO.
CHECKED BY: BEN H	L-10
DATE: 01-28-21	DATE OF PRINT: 01-28-21



PLANT SCHEDULE

Qty	Botanical Name	Common Name	Size/Condition
Trees			
5	Acer x freemanii 'Jeffersred'	AUTUMN BLAZE FREEMAN MAPLE	25" Caliper
4	Amelanchier canadensis	CANADA SERVICEBERRY	6"
2	Gleditsia triacanthos f. 'Inermis Skyline'	SKYLINE THORNLESS HONEY LOCUST	25" Caliper
6	Picea pungens f. glauca	COLORADO BLUE SPRUCE	6"
3	Picea pungens f. glauca	COLORADO BLUE SPRUCE	6"
2	Pyrus calleryana 'Chanticleer'	CHANTICLEER GALLERY PEAR	25" Caliper
4	Quercus bicolor	SWAMP WHITE OAK	25" Caliper
Shrubs			
6	Berberis thunbergii 'Crimson Pygmy'	CRIMSON PYGMY JAPANESE BARBERRY	3 gal.
10	Berberis thunbergii 'Varial'	SUNJOY GOLD PILLAR	18"
10	Hydrangea paniculata 'Tardiva'	TARDIVA HYBRID HYDRANGEA	24"
15	Rhus aromatica 'Gro-low'	GRO-LOW FRAGRANT SUMAC	18"
23	Rosa 'Radrazz'	KNOCK OUT ROSE	18"
20	Taxus x media 'Densiformis'	DENSIFORMIS YEW	18"
11	Viburnum x juddi	JDD VIBURNUM	24"
Ornamental Grasses			
32	Calamagrostis x acutiflora 'Karl Foerster'	KARL FOERSTER FEATHER REED GRASS	1 gal.
Perennials and Annuals			
54	Hemerocallis 'Stella d'Oro'	STELLA DORO DAYLILY	1 gal.
26	Nepeta x faassenii 'Blue Wonder'	BLUE WONDER CATMINT	1 gal.
28	Rudbeckia fulgida 'Goldsturm'	GOLDSTURM BLACK-EYED SUSAN	1 gal.

