

TACO JOHN'S - REMODEL

WAUKESHA, WI



ARCHITECTS | DESIGNERS | ENGINEERS
2051 KILLEBREW DRIVE, SUITE 680, BLOOMINGTON, MN 55425
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ABBREVIATIONS:

±	PLUS OR MINUS	INT	INTERIOR
AFF	ABOVE FINISHED FLOOR	INV	INVERT
ACT	ACoustICAL CEILING TILE	JAN	JANITOR
ADD	ADDITIONAL	JT	JOINT
ADJ	ADJUSTABLE, ADJACENT	JST	JOIST
AC	AIR CONDITIONING	LAM	LAMINATE
AHU	AIR HANDLING UNIT	LVL	LAMINATED VENEER LUMBER
ALT	ALTERNATE	LAV	LAVATORY
ALUM	ALUMINUM	L	LENGTH
ANOD	ANODIZED	LTG	LIGHTING
AP	ACCESS PANEL	LF	LINEAL FEET
APPROX	APPROXIMATE	LOC	LOCATION, LOCATE
ARCH	ARCHITECT(URAL)	LB	POUND
AVG	AVERAGE	LBS	POUNDS
BSMT	BASEMENT	MFR	MANUFACTURER
BRG	BEARING	MAS	MASONRY
BIT	BITUMINOUS	MO	MASONRY OPENING
BULKG	BLOCKING	MATL	MATERIAL
BD	BOARD	MAX	MAXIMUM
BO	BOTTOM OF	MECH	MECHANICAL
BLDG	BUILDING	MEMB	MEMBRANE
BUR	BUILT-UP ROOF	MTL	METAL
CUH	CABINET UNIT HEATER	MEZZ	MEZZANINE
CPT	CARPET	MIN	MINIMUM
CTP	CAST IN PLACE	MISC	MISCELLANEOUS
CLG	CEILING	MTD	MOUNTED
CMTBD	CEMENT BOARD	NOM	NOMINAL
CTR	CENTER	NIC	NOT IN CONTRACT
CT	CERAMIC TILE	NTS	NOT TO SCALE
CLR	CLEAR	N/A	NOT APPLICABLE
COL	COLUMN	OC	ON CENTER
CONC	CONCRETE	OPG	OPENING
CMU	CONCRETE MASONRY UNIT	OPP	OPPOSITE
CONST	CONSTRUCTION	OH	OVERHEAD
CONT	CONTINUOUS	OSCI	OWNER SUPPLIED, CONTRACTOR INSTALLED
CTRL	CONTROL	OSOI	OWNER SUPPLIED, OWNER INSTALLED
CJ	CONTROL JOINT		
COORD	COORDINATION		
CG	CORNER GUARD		
CTOP	COUNTERTOP	P	PAINT
DEMO	DEMOLISH, DEMOLITION	PKG	PARKING
DTL	DETAIL	PART	PARTITION
DIA	DIAMETER	PATT	PATTERN
DIM	DIMENSION	PL	PLATE
DN	DOWN	PLAM	PLASTIC LAMINATE
DWG	DRAWING	PVC	POLYVINYL CHLORIDE
DF	DRINKING FOUNTAIN	PT	PORCELAIN TILE
EA	EACH	PIV	POST INDICATOR VALVE
EW	EACH WAY	PRV	POWER ROOF VENTILATOR
EWC	ELECTRIC WATER COOLER	PC	PRECAST CONCRETE
ELEC	ELECTRIC(AL)	PREFIN	PREFINISHED
EP	ELECTRICAL PANEL	PROP	PROPERTY
EL	ELEVATION	QTY	QUANTITY
ELEV	ELEVATOR	QT	QUARRY TILE
EMER	EMERGENCY	R	RADIUS, RISER
ENG	ENGINEER	RWL	RAIN WATER LEADER
EQ	EQUAL	REF	REFERENCE, REFRIGERATOR
EQUIP	EQUIPMENT	RCP	REFLECTED CEILING PLAN
EPDM	ETHYLENE PROPYLENE DIENE MONOMER	REINF	REINFORCED
EF	EXHAUST FAN	REQD	REQUIRED
EXIST	EXISTING	REV	REVERSE(D), REVISED
EJ	EXPANSION JOINT	RD	ROOF DRAIN
EXT	EXTERIOR	RM	ROOM
EIFS	EXTERIOR INSULATION FINISH SYSTEM	RO	ROUGH OPENING
		RB	RUBBER BASE
		RT	RUBBER TILE
FAB	FABRICATE	SAN	SANITARY
FOC	FACE OF CONCRETE	SCHD	SCHEDULE
FOF	FACE OF FINISH	SEALNT	SEALANT
FOM	FACE OF MASONRY	SV	SHEET VINYL
FOS	FACE OF STUDS	SHWR	SHOWER
FT	FEET OR FOOT	SIM	SIMILAR
FRP	FIBER REINFORCED PLASTIC PANEL	SC	SOLID CORE
		SS	SOLID SURFACE
FIN	FINISH	STC	SOUND TRANSMISSION CLASS
FFE	FINISHED FLOOR ELEVATION	SPEC	SPECIFICATION(S)
FA	FIRE ALARM	SQ	SQUARE
FE	FIRE EXTINGUISHER	SF	SQUARE FEET
FEC	FIRE EXTINGUISHER CABINET	SSTL	STAINLESS STEEL
FIXT	FIXTURE	STD	STANDARD
FFBE	FIXTURES, FURNISHINGS, EQUIPMENT	STR	STRUCTURAL
		SUSP	SUSPENDED
FLOOR	FLUORESCENT FLOOR	TERR	TERRAZZO
FLR	FLOOR	T	TREAD
FD	FLOOR DRAIN	TOC	TOP OF CONCRETE
FTG	FOOTING	TOF	TOP OF FOOTING
FNDN	FOUNDATION	TOM	TOP OF MASONRY
FURN	FURNITURE	TOS	TOP OF STEEL
GALV	GALVANIZED	TOW	TOP OF WALL
GA	GAGE	T&G	TONGUE AND GROOVE
GC	GENERAL CONTRACTOR	TEMP	TEMPERED, TEMPORARY
GL	GLASS	TOPO	TOPOGRAPHY
GLAZ	GLAZING	TYP	TYPICAL
GFI	GROUND FAULT INTERRUPTER	UNO	UNLESS NOTED OTHERWISE
GBD	GYPSPUM BOARD	VERT	VERTICAL
HC	HOLLOW CORE	VIF	VERIFY IN FIELD
HDWR	HARDWARE	VB	VINYL BASE
HVAC	HEATING, VENTILATION & AIR CONDITIONING	VCT	VINYL COMPOSITION TILE
HT	HEIGHT	WSCT	WAINSCOT
HM	HOLLOW METAL	WC	WATER CLOSET
HORZ	HORIZONTAL	WH	WATER HEATER
HB	HOSE BIB	WT	WEIGHT
HR	HOUR	WWF	WELDED WIRE FABRIC
HYD	HYDRANT	WDW	WINDOW
IN	INCH(ES)	W	WITH
INCL	INCLUDE(D), INCLUDING	W/O	WITHOUT
ID	IDENTIFICATION	WD	WOOD
INSL	INSULATE, INSULATION	WRB	WATER RESISTIVE BARRIER

DRAWING SYMBOLS:

	SIM	DETAIL NUMBER		EARTH OR FILL
	SIM	BUILDING SECTION NUMBER		POROUS FILL OR GRAVEL
	SIM	ELEMENT SECTION NUMBER		CMU
		BUILDING ELEVATION NUMBER		CONCRETE
		ELEMENT ELEVATION NUMBER		MORTAR
		CLOUD AROUND REVISION		BITUMINOUS
		REVISION NUMBER		BRICK
		ROOM NAME		GYPSPUM BOARD
		ROOM NUMBER		STEEL STUD
		ROOM WHERE DOOR IS LOCATED		STRUCTURAL WOOD
		DOOR LETTER		FINISHED WOOD
		WORK POINT, CONTROL POINT OR DATUM POINT		PLYWOOD
		GRID REFERENCE		BATT INSULATION
		GRID LINE		RIGID INSULATION EXTRUDED
		EXISTING GRID REFERENCE		RIGID INSULATION EXPANDED
		WALL TYPE		STEEL
		WINDOW		
		WINDOW TAG		
		CENTERLINE SYMBOL		

EXTERIOR RENDERING - FOR ILLUSTRATIVE PURPOSES ONLY



GENERAL NOTES:

- THE FOLLOWING GENERAL NOTES SHALL APPLY TO DRAWINGS AND GOVERN UNLESS OTHERWISE NOTED OR SPECIFIED.
- THE CONSTRUCTION DOCUMENTS CONSIST OF DRAWINGS.
- THE WORK DELINEATED IN THESE DRAWINGS SHALL CONFORM TO CODES, STANDARDS, AND REGULATIONS THAT HAVE JURISDICTION IN THE STATE OF WISCONSIN AND THE CITY OF WAUKESHA.
- THE GENERAL CONTRACTOR AND ALL SUB CONTRACTORS SHALL COMPLY WITH THE APPROPRIATE MUNICIPAL AND REGULATORY AGENCIES, SHALL BE RESPONSIBLE FOR FILING FOR AND SECURING NECESSARY PERMITS AND APPROVALS FOR ALL TRADES, AND SHALL COMPLY WITH THE INSTRUCTIONS OF THE CONSTRUCTION DOCUMENTS.
- COMPARE FIELD CONDITIONS WITH ARCHITECTURAL DRAWINGS. ANY DISCREPANCIES SHALL BE DIRECTED TO THE ARCHITECT FOR CLARIFICATION PRIOR TO FABRICATION AND/OR CONSTRUCTION. SUBMIT ALL NECESSARY SHOP DRAWINGS PRIOR TO FABRICATION FOR APPROVAL BY ARCHITECT. NO INFORMATION OR DETAILS ON THESE SHEETS MAY BE USED ON OTHER PROJECTS WITHOUT THE PERMISSION OF THE ARCHITECT.
- THE FOLLOWING SHALL APPLY TO THE DRAWINGS AND GOVERN IN CASE OF AMBIGUITIES, DISCREPANCIES, OR IRREGULARITIES IN THE CONSTRUCTION DOCUMENTS, MANUFACTURER'S INSTRUCTIONS, SITE CONDITIONS, OR APPLICABLE CODES AND STANDARDS; REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING. THE COST OF WORK DONE AS A RESULT OF PROCEEDING WITHOUT OBTAINING CLARIFICATION WILL BE BORNE SOLELY BY THE CONTRACTOR.
- DO NOT SCALE DRAWINGS.
- UNLESS OTHERWISE SHOWN OR NOTED, TYPICAL DETAILS SHALL BE USED WHERE APPLICABLE.
- SAFETY MEASURES: THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF THE PERSONS AND PROPERTY AND FOR INDEPENDENT ENGINEERING REVIEWS OF THESE CONDITIONS. THE ARCHITECT'S OR ENGINEERS JOB SITE REVIEW IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES.
- ALL WORK IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.
- WITHIN THESE PLANS, "OWNER" MEANS THE DESIGNATED REPRESENTATIVE(S) OF PENTEX RESTAURANT GROUP.
- THE TERM "CONTRACTOR" AND "G.C." REFER TO THE OWNER'S GENERAL CONTRACTOR AND THE GENERAL CONTRACTOR'S SUB-CONTRACTORS. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE DIVISION OF WORK AMONG SUB-CONTRACTORS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISTRIBUTION OF DRAWINGS TO ALL TRADES UNDER HIS JURISDICTION.
- ALL SUBSTITUTIONS MUST BE APPROVED IN WRITING BY THE ARCHITECT PRIOR TO ORDER PLACEMENT.
- SIMILAR MATERIALS INDICATED ON DIFFERENT PLANS, SECTIONS AND DETAILS, AND ANNOTATED ON ONE OR MORE PLANS, SECTIONS OR DETAILS SHALL BE CONSIDERED ANNOTATED, NOTED OR LABELED COMPLETELY ON ALL PLANS, SECTIONS & DETAILS.
- CONTRACTORS ARE TO VERIFY SITE INFORMATION BEFORE STARTING CONSTRUCTION. EXISTING SITE CONDITIONS SHOWN ON THE DRAWINGS MAY NOT REPRESENT ALL EXISTING SITE CONDITIONS. CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES WITH THE DRAWINGS.
- THE LOCATION AND SIZE OF EXISTING UTILITIES ARE SHOWN IN AN APPROXIMATE LOCATION ONLY FOR CONVENIENCE. VERIFY EXISTING UTILITIES PRIOR TO CONSTRUCTION START.
- REGARDING CONTRACTOR'S USE OF PREMISES, TIME RESTRICTIONS FOR PERFORMING WORK ARE TO BE VERIFIED WITH LANDLORD AND ALL UTILITY OUTAGES AND SHUTDOWNS SHALL BE COORDINATED WITH THE LANDLORD.

SHEET SCHEDULE

SHEET NUMBER	SHEET NAME
ARCHITECTURAL	
A1	TITLE SHEET
A2	DEMO PLAN AND SITE PLAN
A3	DEMO ELEVATIONS
A4	FLOOR AND CEILING PLAN
A5	ELEVATIONS
A6	SECTIONS AND DETAILS
A7	SCHEDULES AND DETAILS

*CIVIL DRAWINGS, INTERIOR DECOR, AND KITCHEN PACKAGES REFERENCED BY THIS DOCUMENT ARE PROVIDED BY OTHERS

PROJECT DATA:

NOTE: THIS CODE ANALYSIS DOES NOT DELINEATE DETAILED REQUIREMENTS FOR THE MECHANICAL AND ELECTRICAL SYSTEMS.

CODE CRITERIA

- 2015 INTERNATIONAL BUILDING CODE (IBC); (CHAPTER SPS 362)
- 2015 INTERNATIONAL ENERGY CODE (IECC); (CHAPTER SPS 363)
- 2009 ICC A117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES

BUILDING

- OCCUPANCY CLASSIFICATION (SECTION 302)**
 - GROUP A-2 - RESTAURANT
- CONSTRUCTION TYPE**
 - V-B, NON-SPRINKLERED
- BUILDING AREA = APPROX 2,575 SF**
- OCCUPANT LOAD (SECTION 1004)**
 - OCCUPANT LOAD REMAINS UN-CHANGED
- EXIT AND EXIT ACCESS (SECTIONS 1005, 1015, 1016, AND 1017)**
 - EXISTING UNCHANGED

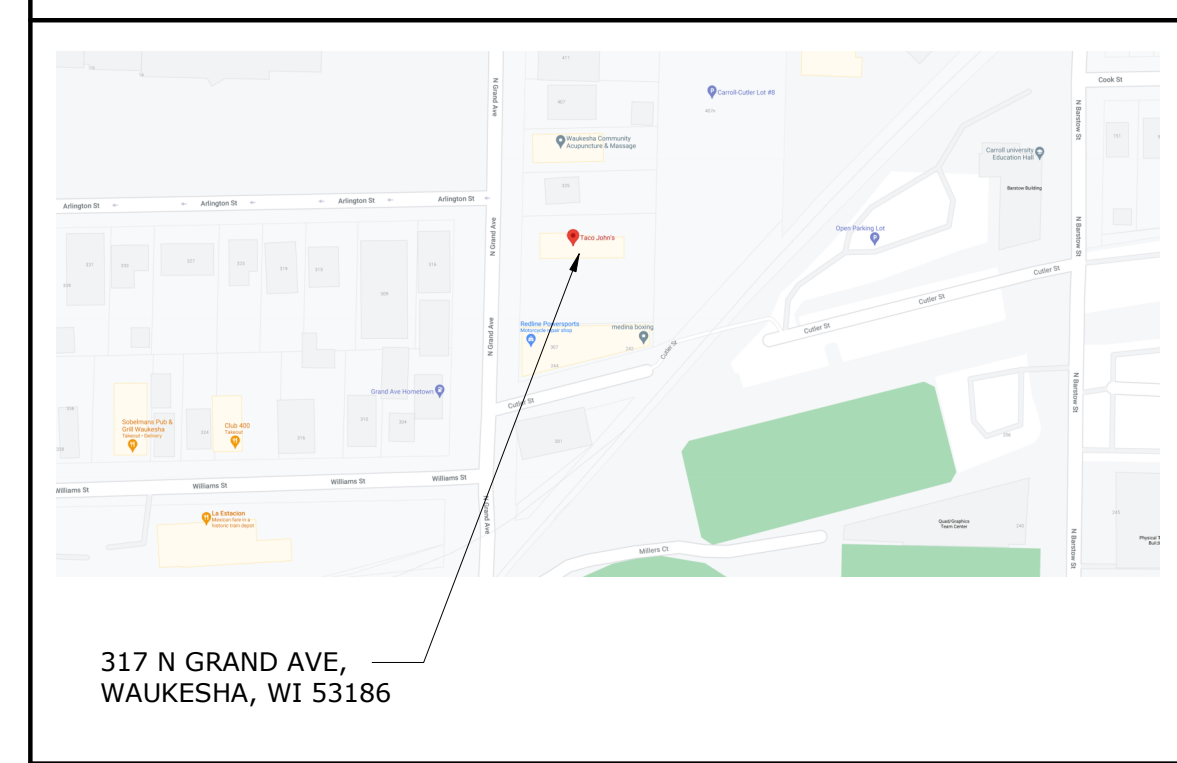
MINIMUM # OF REQUIRED PLUMBING FIXTURES (TABLE 2902.1; SECTION 2902)

PLUMBING FIXTURES COUNT REMAINS UN-CHANGED

PROJECT ROSTER

OWNER: PENTEX RESTAURANT GROUP 210 BROADWAY N SUITE 200 FARGO, ND 58102 605-229-2005 PHONE WWW.PENTEXRG.COM	DECOR CONSULTANT: FCC COMMERCIAL FURNITURE INC 2115 TAYLOR COURT NORTHFIELD, MN 55057 507-664-0541 PHONE 507-664-0542 FAX WWW.FCCFURN.COM
ARCHITECT/STRUCTURAL ENGINEER: KOMA, INC 2051 KILLEBREW DR, SUITE 680 BLOOMINGTON, MN 55425 651-789-4136 PHONE WWW.KOMAINC.COM	PLUMBING/ELECTRICAL/MECHANICAL ENGINEER: DESIGN BUILD UNDER GENERAL CONTRACTOR

VICINITY MAP:



TITLE SHEET

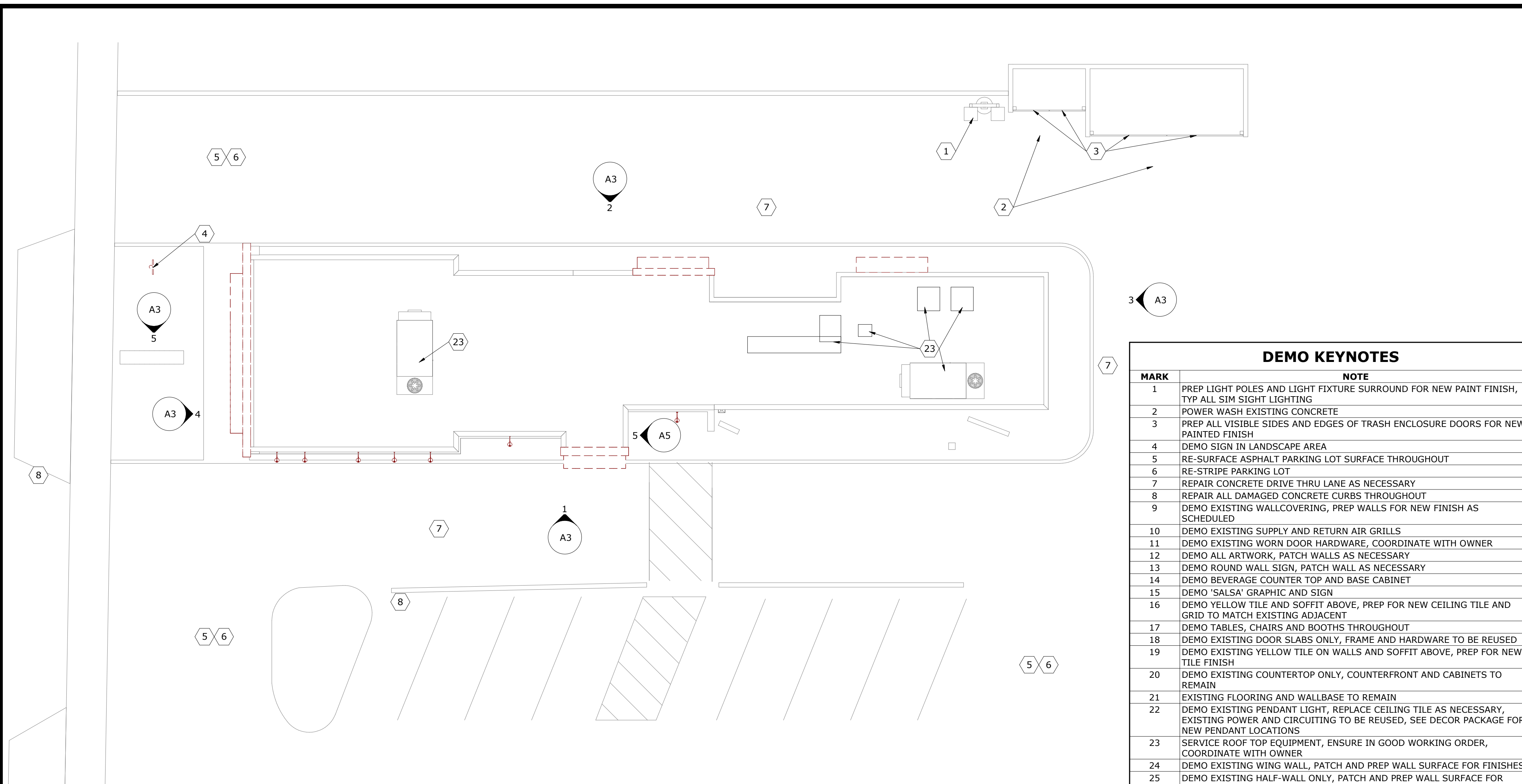
TACO JOHN'S - REMODEL

317 N GRAND AVE, WAUKESHA, WI 53186

PROJECT:	21170
DRAWN BY:	KDD
CHECKED BY:	KDD, STI
DATE:	8/20/2021
REVISIONS:	

PERMIT SET

A1

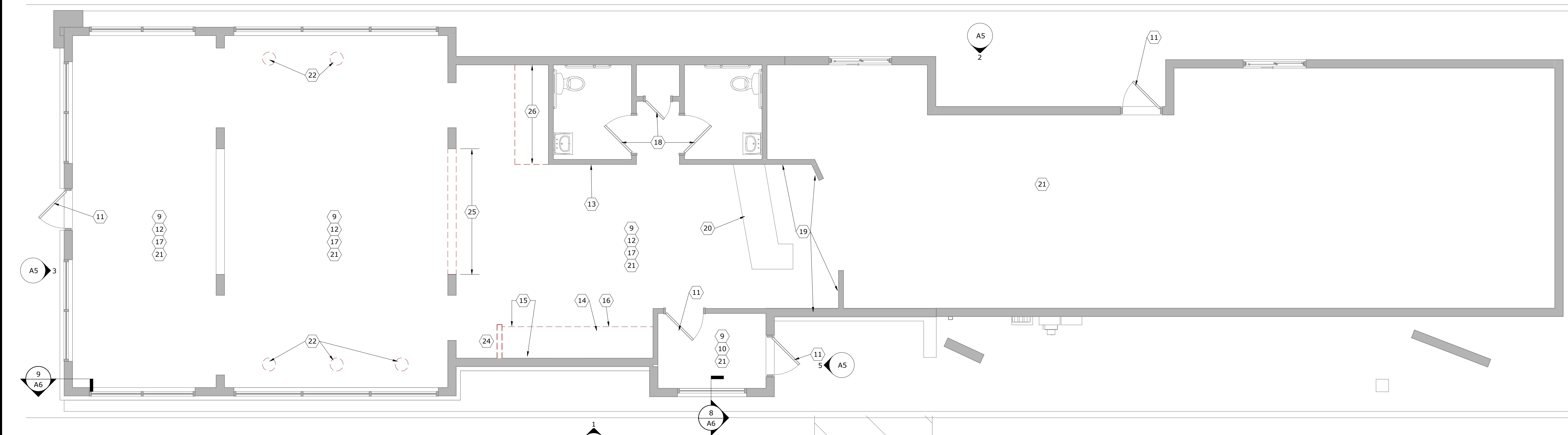


1 DEMO SITE PLAN
1" = 10'-0"

- GENERAL NOTES - DEMOLITION:**
- ITEMS INTENDED FOR DEMOLITION OR SALVAGE ARE INDICATED BY DASHED LINES
 - DEMOLISH: THE TERM "DEMOLISH" MEANS THE REMOVAL OF EXISTING MATERIAL OR ITEMS FROM THE SITE FOR DISPOSAL OFF-SITE IN AN APPROPRIATE AND LEGAL MANNER.
 - SALVAGE: THE TERM "SALVAGE" MEANS THE SELECTIVE REMOVAL OF EXISTING MATERIAL OR ITEMS IN A MANNER TO PRESERVE THE INTEGRITY OF THE MATERIAL OR ITEM FOR REINSTALLATION WITHIN THE LIMITS OF CONSTRUCTION OR TURNED OVER TO OWNER FOR FUTURE USE. COORDINATE RELOCATION W/ OWNER.
 - DEMOLITION KEY NOTE NUMBERING ON EACH DEMOLITION SHEET IS SPECIFIC TO THE SHEET ON WHICH THE KEYNOTE IS LOCATED.
 - FIELD VERIFY ALL EXISTING CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES IN WRITING PRIOR TO ONSET OF DEMOLITION.
 - REMOVE DEBRIS AND RUBBISH FROM THE SITE DAILY. DO NOT ALLOW DEBRIS TO ACCUMULATE IN BUILDING OR ON SITE. BROOM CLEAN CONSTRUCTION AREA AT END OF EACH WORK DAY.
 - THE AMOUNT OF DUST RESULTING FROM DEMOLITION SHALL BE CONTROLLED TO PREVENT THE SPREAD OF DUST TO OCCUPIED PORTIONS OF THE BUILDING AND TO AVOID CREATION OF A NUISANCE IN THE SURROUNDING AREA. USE OF WATER WILL NOT BE PERMITTED WHEN IT WILL RESULT IN OR CREATE HAZARDOUS / OBJECTIONABLE CONDITIONS SUCH AS ICE, FLOODING, & POLLUTION.
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER INDICATED ON THE PLANS OR NOT, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR THE EXPENSE OR REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONNECTION WITH EXECUTION OF THE WORK. INACTIVE OR ABANDONED UTILITIES SHALL BE CAPPED IN ACCORDANCE WITH LOCAL RESTRICTIONS. REMOVE INACTIVE SERVICES (PLUMBING, ELECTRICAL, MECHANICAL, ETC.) AS REQUIRED TO MAINTAIN OPERATIONS; COORDINATE WITH THE ENGINEERING DRAWINGS. ALL UTILITIES MUST BE REMOVED TO THEIR POINT OF ORIGIN.
 - ALL MASONRY DEMOLITION TO BE SAWCUT TO CREATE CLEAN LINE AND PRESERVE EXISTING TO REMAIN UNLESS NOTED OTHERWISE IN DETAILS WHERE NEW BRICK IS TOOTHED IN
 - PROTECT ALL STRUCTURAL MEMBERS AND FOUNDATIONS TO REMAIN FROM DAMAGE. BRACE AS NECESSARY DURING CONSTRUCTION. DO NOT CUT ANY EXISTING STRUCTURAL MATERIALS WITHOUT PRIOR NOTIFICATION TO THE STRUCTURAL ENGINEER AND OWNER.
 - ANY EXISTING REMAINING FIRE ASSEMBLIES DAMAGED DURING DEMOLITION SHALL BE REPAIRED TO MEET ORIGINAL FIRE PROTECTION REQUIREMENTS.
 - CONTRACTOR TO COORDINATE WORK AND ON-SITE TEMPORARY STORAGE LOCATIONS WITH OWNER
 - PRESERVE THE INTEGRITY OF EXISTING CONSTRUCTION NOT SPECIFICALLY SLATED FOR DEMOLITION. THIS INCLUDES TEMPORARY BRACING OF DEMOUNTABLE PARTITIONS DURING THE PERIOD OF TIME BETWEEN DEMOLITION OF EXISTING ACOUSTICAL CEILING GRID SYSTEM AND INSTALLATION OF NEW ACOUSTICAL CEILING GRID SYSTEM IN SAME PLACE.
 - REFER TO MECHANICAL, ELECTRICAL AND PLUMBING DOCUMENTS FOR RESPECTIVE SYSTEM DEMOLITION INFORMATION
 - PRIOR TO DEMOLITION OF THE CEILING GRID SYSTEM, CONTRACTOR TO VERIFY EXISTING CEILING HEIGHTS AND RECORD THEM. COORDINATE HEIGHTS WITH NEW REFLECTED CEILING PLANS AND INFORM ARCHITECT OF DISCREPANCIES. DESIGN INTENTION IS FOR REPLACEMENT CEILINGS TO BE INSTALLED AT THE SAME ELEVATIONS AS THOSE BEING REMOVED UNO
 - ALL EXISTING TO REMAIN CONSTRUCTION THAT IS DAMAGED DURING DEMOLITION IS TO BE PATCHED TO MATCH ADJACENT SURFACES AND BROUGHT BACK TO LIKE NEW CONDITION.
 - UNDER DEMOLITION, WHERE THE REMOVAL OR ABANDONMENT OF A FIXTURE, DUCT, CONDUIT, OR OTHER PIECE OF EQUIPMENT LEAVES AN OPENING IN A FIRE-RESISTIVE OR SMOKE-RESISTIVE ASSEMBLY, THE OPENING SHALL BE FIRE-STOPPED OR SEALED IN ACCORDANCE WITH IBC CHAPTER 7 FOR NECESSARY RATING PROTECTION.
 - THE CONTRACTOR SHALL VERIFY THE CONDITION OF EXISTING RATED CONSTRUCTION AS INDICATED ON THE CODE ANALYSIS. ANY DISCREPANCIES IN THE RATING OF CONSTRUCTION, OR NON-CONFORMING CONSTRUCTION NOTED BY THE GC SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNERS. THE NON-CONFORMING WORK SHALL BE CORRECTED TO CONFORMING.
 - ALL SYSTEMS, DEVICES, OR SAFEGUARDS THAT WERE REQUIRED BY THE CODE UNDER WHICH THE BUILDING WAS CONSTRUCTED SHALL BE MAINTAINED IN CONFORMANCE WITH THE REQUIREMENTS OF THAT CODE. THE FIRE WALLS/AREA SEPARATION WALLS MUST BE COMPLIANT WITH THE CODE UNDER WHICH THEY WERE CONSTRUCTED. THE CONTRACTOR SHALL SHOW THE FIELD INSPECTOR THE CONDITIONS OF THE EXISTING FIRE WALLS/AREA SEPARATION WALLS TO VERIFY COMPLETE FIRE-RESISTIVE INTEGRITY AS INDICATED ON THE CODE PLAN. REQUIRED FIRE WALLS/AREA SEPARATION WALLS MUST COMPLY WITH REQUIRED FIRE-RESISTIVE RATINGS AND PROVIDE COMPLETE BUILDING SEPARATION. NON-COMPLYING EXISTING FIRE WALLS/AREA SEPARATION WALLS OR PORTIONS THEREOF, WILL BE REQUIRED AND/OR SHALL BE UPGRADED TO MEET THE FIRE RESISTANCE RATING OF THE ASSEMBLY. THIS WORK SHALL BE COMPLETED PRIOR TO TEMPORARY CERTIFICATE OF OCCUPANCY OR CERTIFICATE OF OCCUPANCY ISSUANCE FOR THIS BUILDING.
 - EXISTING CEILING MOUNTED RETRACTABLE SCREENS, INCLUDING HARDWARE AND ALL MISC MOUNTING MATERIALS, SHALL BE REMOVED BY OWNER PRIOR TO WORK BY OTHERS.
 - CONTRACTOR RESPONSIBLE TO PATCH/REPAIR AND PAINT TO MATCH EXISTING ADJACENT AND AREAS DAMAGED BY REMOVAL OF EXISTING CEILING TILE AND GRID.
 - COORDINATE RELOCATION OF SECURITY CAMERAS WITH OWNER.
 - COORDINATE REMOVAL OF THE FOLLOWING WITH TENANT:
 - PORTABLE EQUIPMENT
 - WALL MOUNTED SHELVES AND RACKS
 - EXISTING STOCK, POSTERS, AND INTERIOR SIGNAGE

DEMO KEYNOTES

MARK	NOTE
1	PREP LIGHT POLES AND LIGHT FIXTURE SURROUND FOR NEW PAINT FINISH, TYP ALL SIM SIGHT LIGHTING
2	POWER WASH EXISTING CONCRETE
3	PREP ALL VISIBLE SIDES AND EDGES OF TRASH ENCLOSURE DOORS FOR NEW PAINTED FINISH
4	DEMO SIGN IN LANDSCAPE AREA
5	RE-SURFACE ASPHALT PARKING LOT SURFACE THROUGHOUT
6	RE-STRIP PARKING LOT
7	REPAIR CONCRETE DRIVE THRU LANE AS NECESSARY
8	REPAIR ALL DAMAGED CONCRETE CURBS THROUGHOUT
9	DEMO EXISTING WALLCOVERING, PREP WALLS FOR NEW FINISH AS SCHEDULED
10	DEMO EXISTING SUPPLY AND RETURN AIR GRILLS
11	DEMO EXISTING WORN DOOR HARDWARE, COORDINATE WITH OWNER
12	DEMO ALL ARTWORK, PATCH WALLS AS NECESSARY
13	DEMO ROUND WALL SIGN, PATCH WALL AS NECESSARY
14	DEMO BEVERAGE COUNTER TOP AND BASE CABINET
15	DEMO 'SALSA' GRAPHIC AND SIGN
16	DEMO YELLOW TILE AND SOFFIT ABOVE, PREP FOR NEW CEILING TILE AND GRID TO MATCH EXISTING ADJACENT
17	DEMO TABLES, CHAIRS AND BOOTHS THROUGHOUT
18	DEMO EXISTING DOOR SLABS ONLY, FRAME AND HARDWARE TO BE REUSED
19	DEMO EXISTING YELLOW TILE ON WALLS AND SOFFIT ABOVE, PREP FOR NEW TILE FINISH
20	DEMO EXISTING COUNTERTOP ONLY, COUNTERFRONT AND CABINETS TO REMAIN
21	EXISTING FLOORING AND WALLBASE TO REMAIN
22	DEMO EXISTING PENDANT LIGHT, REPLACE CEILING TILE AS NECESSARY, EXISTING POWER AND CIRCUITING TO BE REUSED, SEE DECOR PACKAGE FOR NEW PENDANT LOCATIONS
23	SERVICE ROOF TOP EQUIPMENT, ENSURE IN GOOD WORKING ORDER, COORDINATE WITH OWNER
24	DEMO EXISTING WING WALL, PATCH AND PREP WALL SURFACE FOR FINISHES
25	DEMO EXISTING HALF-WALL ONLY, PATCH AND PREP WALL SURFACE FOR FINISHES
26	DEMO PORTION OF EXISTING CEILING TILE AND GRID, ACCOMMODATE NEW CONSTRUCTION ONLY; RELOCATE EXISTING CEILING DIFFUSER



2 DEMO PLAN
1/4" = 1'-0"

taco john's
SINCE 1989

KOMA
ARCHITECTS | DESIGNERS | ENGINEERS

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P. 651.451.4605 KOMAINC.COM

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STEPHEN T. AREA
A-11343-S
UNIVERSITY HEIGHTS
WI
ARCHITECT

DATE: 08/20/2021
WI ARCHITECTURAL FIRM

REG. NO.: 11343-S
REG. NO.: 3772-11

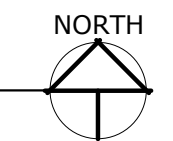
DEMO PLAN AND SITE PLAN

TACO JOHN'S - REMODEL
317 N GRAND AVE,
WAUKESHA, WI 53186

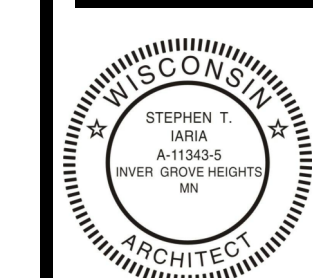
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CHECKED BY: KDD, STI
DATE: 8/20/2021
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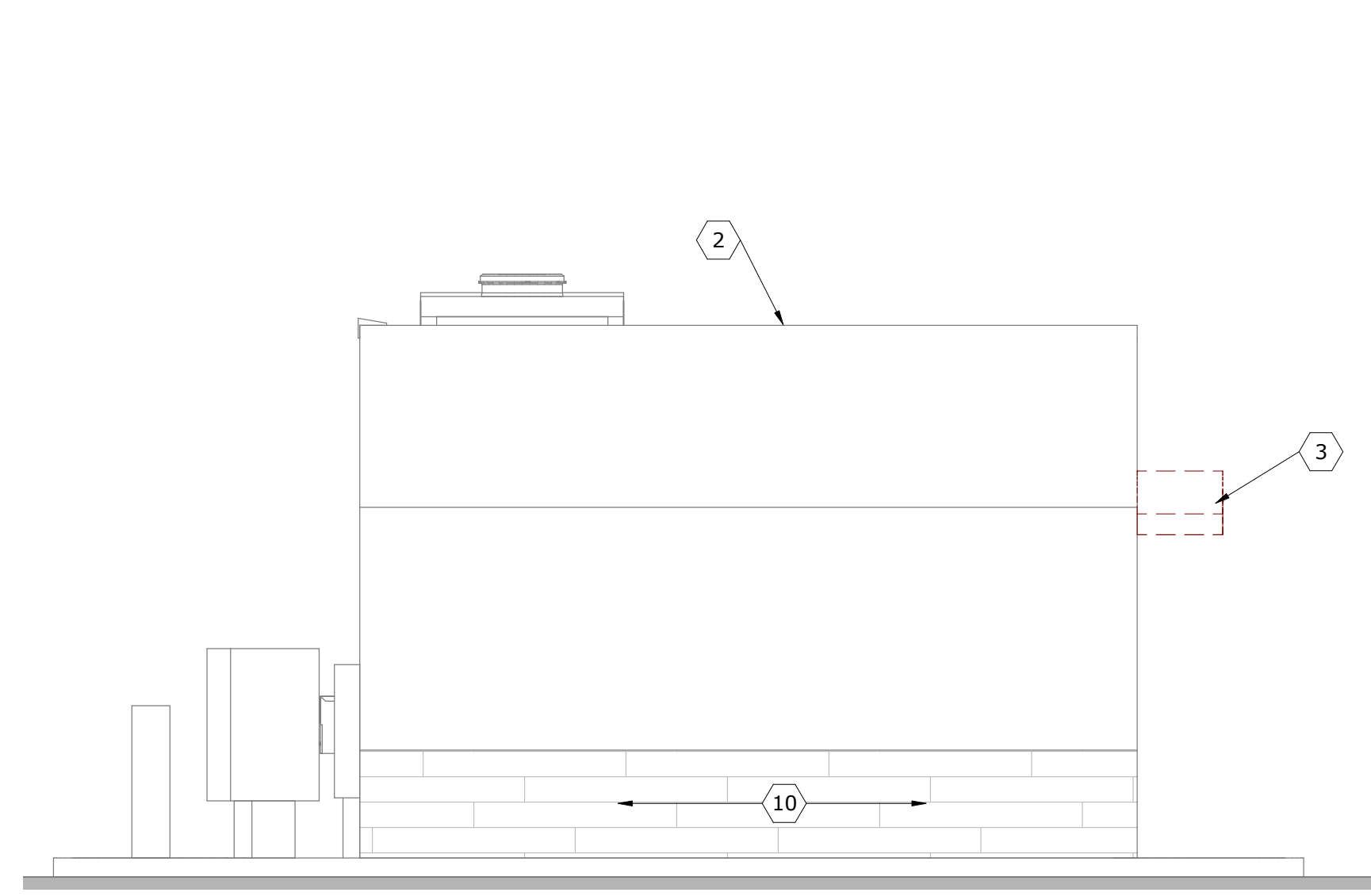


STEPHEN T. KOMA
A11343-S
INDEPENDENT REGISTERED ARCHITECT
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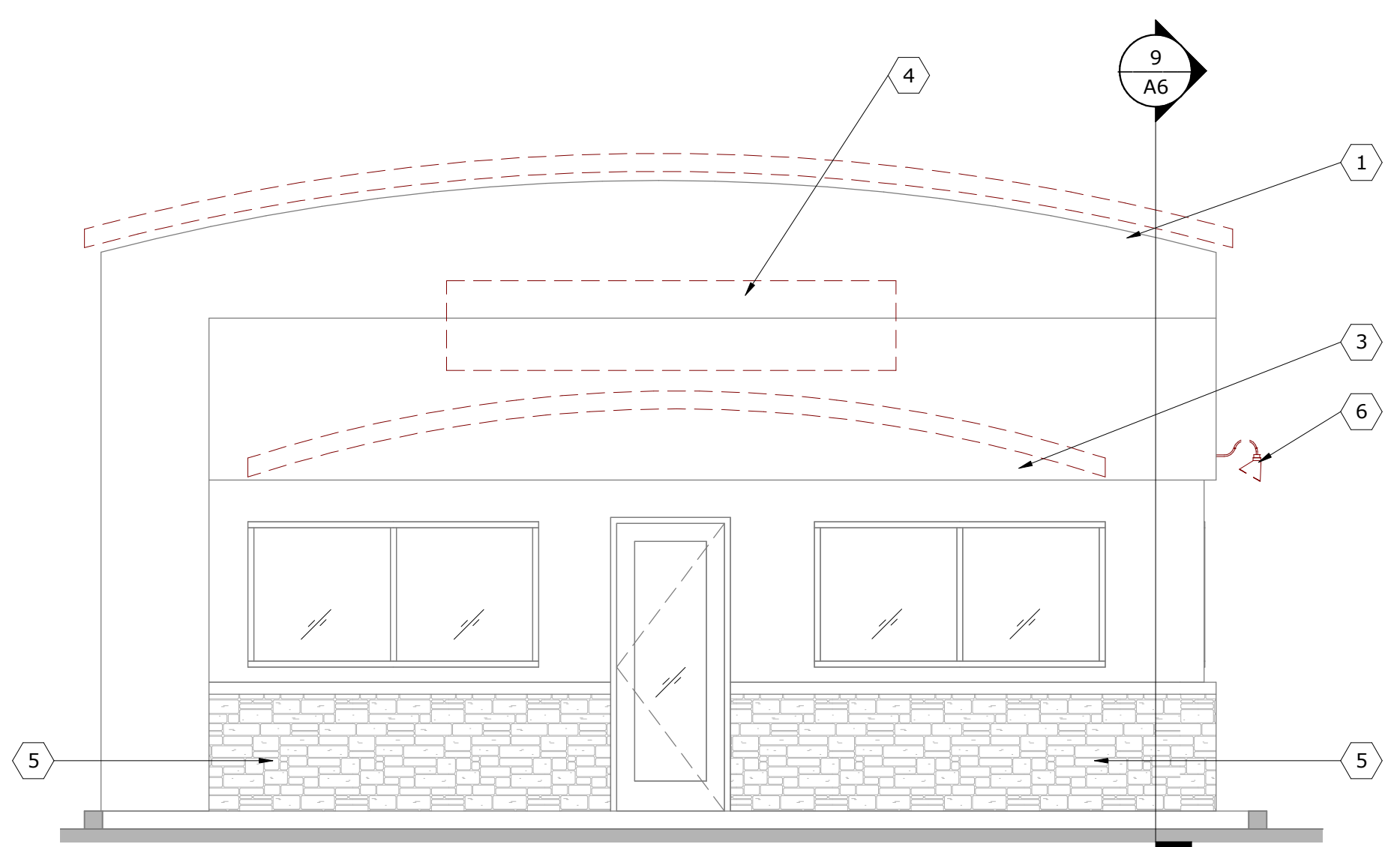
DATE: 08/20/2021
WI ARCHITECTURAL FIRM

REG. NO.: 11343-S
REG. NO.: 3772-11

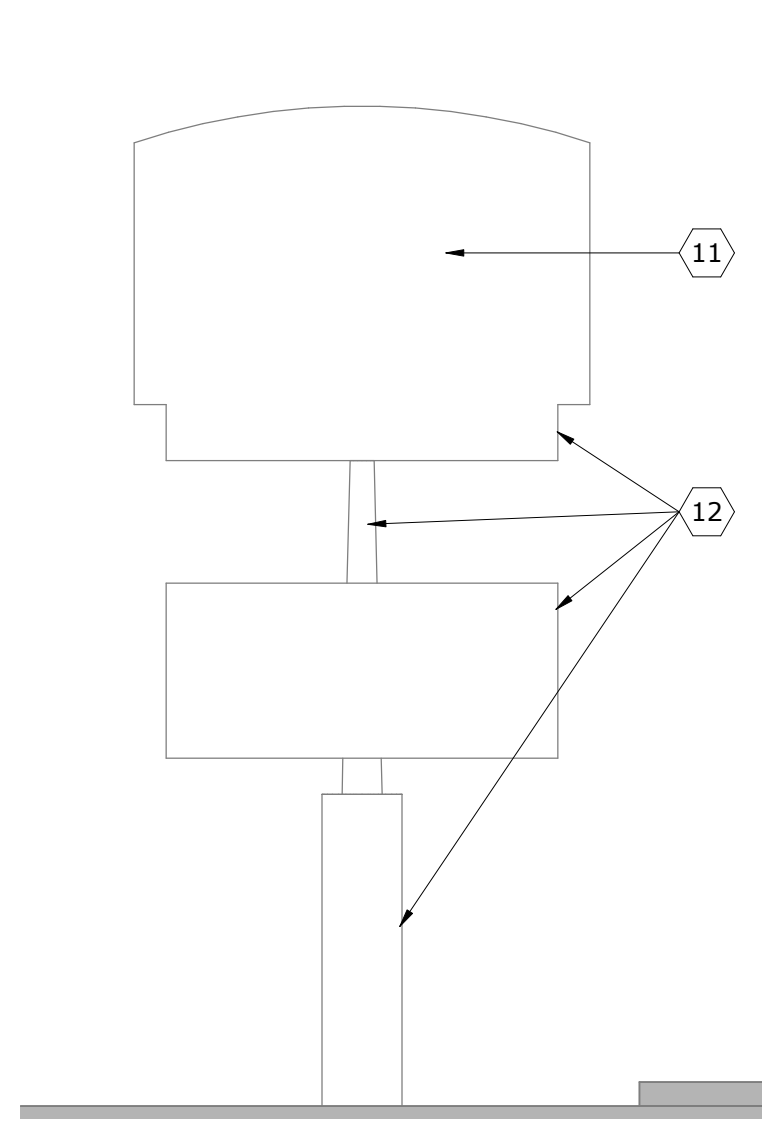
DEMO KEYNOTES	
MARK	NOTE
1	DEMO EXISTING RED CAP FLASHING AND BLOCKING AS NECESSARY, SEE NEW ELEVATIONS
2	PREP EXISTING METAL CAP FLASHING FOR NEW PAINT, PATCH, REPAIR OR REPLACE IF NECESSARY
3	DEMO ARCHED 'EYEBROW', PATCH WALL AS NECESSARY
4	DEMO EXISTING SIGNAGE LETTERS, PATCH WALL AS NECESSARY, REUSE EXISTING POWER AND CIRCUITING FOR NEW SIGN
5	EXISTING VENEER STONE TO REMAIN, CLEAN AND PREP FOR NEW PAINTED FINISH
6	DEMO LIGHT FIXTURE, PATCH WALL AS NECESSARY, CAP POWER
7	REMOVE ROUND LOGO FROM WALL, PATCH AND PREP FOR NEW PAINTED WALL FINISH AS SCHEDULED
8	DEMO EXISTING STUCCO/EIFS FINISH, EXISTING SUBSTRATE TO REMAIN
9	PREP DOOR AND FRAME FOR NEW PAINT FINISH
10	PATCH, REPAIR AND REPLACED DAMAGED SIDING, PREP FOR NEW PAINTED FINISH
11	DEMO SIGN FACE
12	PREP SIGN CABINET AND POLE FOR NEW PAINT FINISH, SCRAPE AS NECESSARY
13	PREP PREVIEW/MENU BOARD CABINET FOR NEW PAINT FINISH
14	DEMO EXISTING STONE BASE AND CAP, PREP FOR NEW FINISH



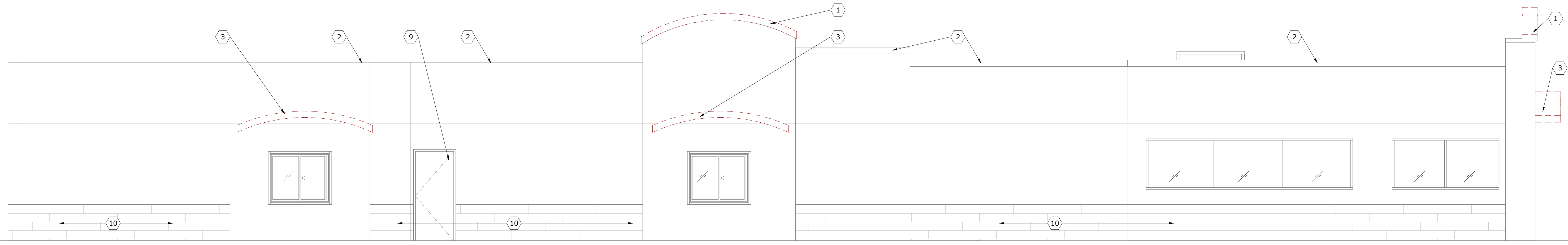
3 DEMO ELEVATION - EAST
1/4" = 1'-0"



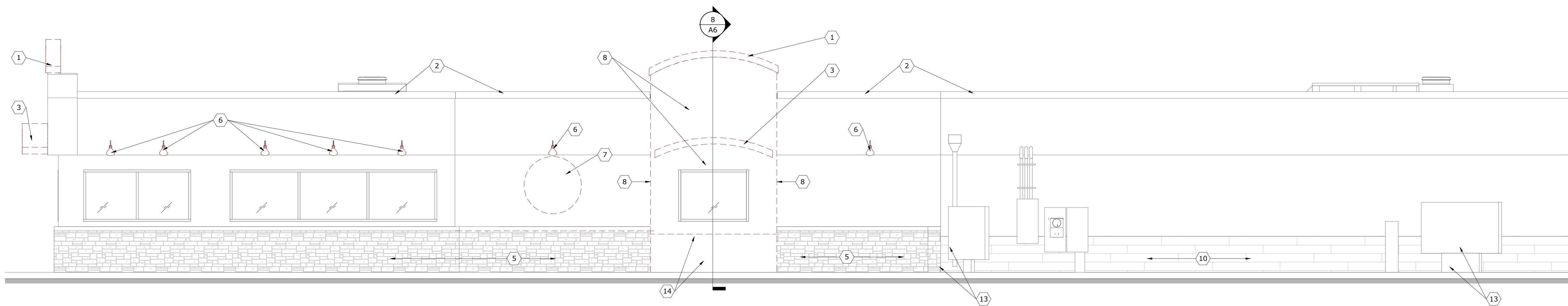
4 DEMO ELEVATION - WEST
1/4" = 1'-0"



5 DEMO ELEVATION - PYLON SIGN
1/4" = 1'-0"



2 DEMO ELEVATION - NORTH
1/4" = 1'-0"



1 DEMO ELEVATION - SOUTH
1/4" = 1'-0"

DEMO ELEVATIONS

TACO JOHN'S - REMODEL

317 N GRAND AVE,
WAUKESHA, WI 53186

PROJECT: 21170
DRAWN BY: KDD
CHECKED BY: KDD, STI
DATE: 8/20/2021
REVISIONS:

PERMIT SET

A3

GENERAL NOTES - FINISH:

1. REFER TO DECOR PACKAGE FOR ALL INTERIOR FINISH INFORMATION
2. PRIOR TO INSTALLATION OF ALL FLOOR TILE, GC TO TREAT EVERY CONCRETE CRACK AND CONTROL JOINTS WITH AN 18" WIDE STRIP (CENTERED ON JOINT) OF CRACK ISOLATION LIQUID MEMBRANE INSTALLED PER MANUFACTURERS RECOMMENDATIONS; PRODUCT TO BE FROM REDGUARD OR GREEN SEAL OR APPROVED EQUAL

GENERAL NOTES - FLOOR AND CEILING PLAN:

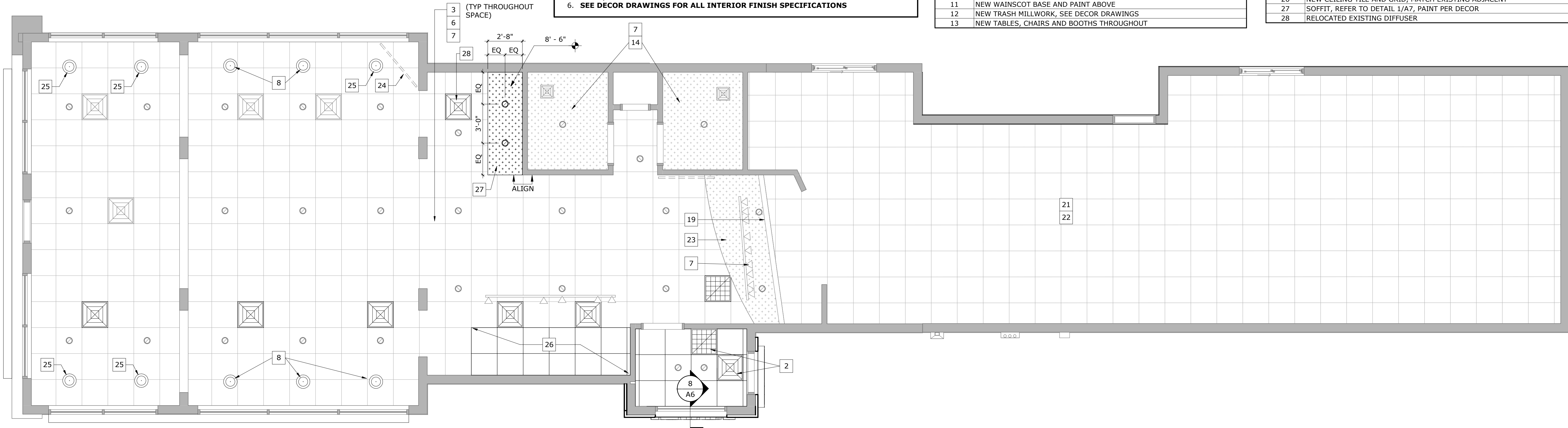
1. DIMENSIONS (UNLESS NOTED OTHERWISE) ARE TO:
 - FACE OF EXISTING (FOE)
 - FACE OF STUD (FOS)
 - FACE OF MASONRY (FOM)
 - CENTERLINE (CL) OF FIXTURES AND EQUIPMENT
2. WALL PATCHES EXPOSED TO VIEW ARE TO BE PREPARED AND FINISHED TO MATCH ADJACENT SURFACES
3. CLEAN / RESTORE EXISTING SURFACES TO REMAIN IN INCLUDING BUT NOT LIMITED TO:
 - FLOORS, WALLS, CEILINGS
 - FIXTURES, EQUIPMENT, VENT HOOD
 - LIGHT FIXTURES
 - MECHANICAL RETURN AND SUPPLY GRILLS
4. IN BACK-OF-HOUSE - EQUIPMENT, SHELVING, AND FIXTURES NOT SPECIFICALLY INDICATED FOR DEMOLITION OR REMOVAL SHALL REMAIN. CLEAN / RESTORE TO LIKE-NEW CONDITION
5. FOR GYPSUM BOARD TERMINATIONS AT THE JUNCTION OF GYPSUM BOARD, WINDOWS, WINDOW STOOLS, AND DOOR FRAMES; FURNISH AND INSTALL CORNER BEAD LEVEL, TAPED, AND FINISH CAULKED
6. **SEE DECOR DRAWINGS FOR ALL INTERIOR FINISH SPECIFICATIONS**

FLOOR AND CEILING PLAN KEYNOTES

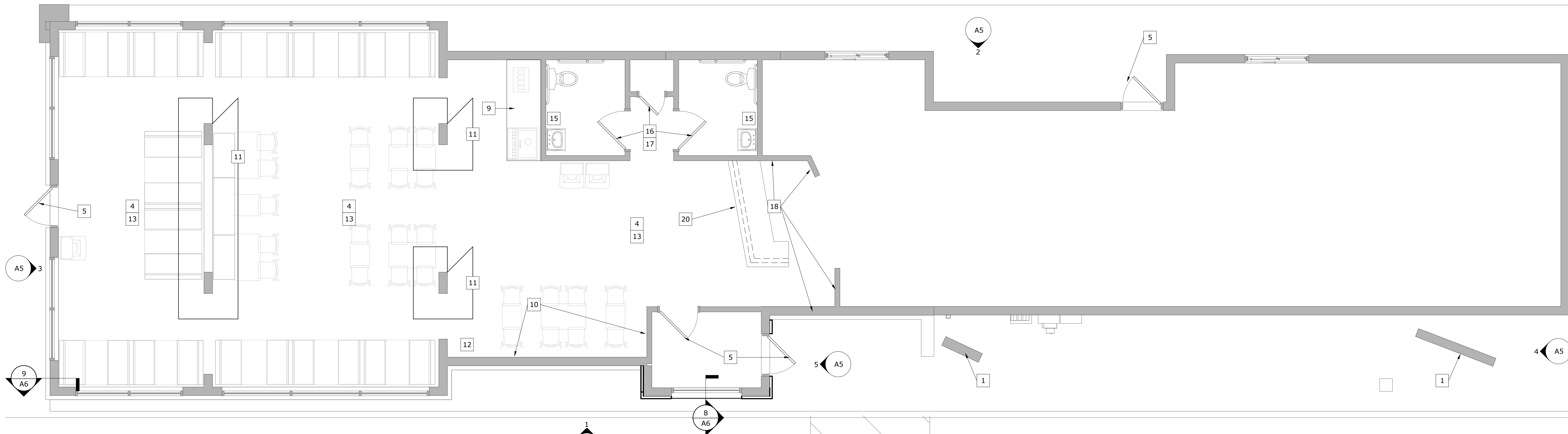
MARK	NOTE
1	PAINT PREVIEW/MENU CABINET AND POST
2	NEW WHITE PLASTIC SUPPLY / RETURN GRILL, REPLACE 1 FOR 1
3	REPLACE ALL STAINED OR DAMAGED CEILING TILE
4	PAINT ALL WALL
5	REPLACE ALL WORN DOOR HARDWARE WITH NEW, MATCH EXISTING, COORDINATE WITH OWNER
6	CLEAN EXISTING SUPPLY / RETURN GRILLS
7	CLEAN, REPAIR, RE-LAMP ALL EXISTING LIGHTS WITH LED BULBS, INSTALL NEW LENSES WHERE MISSING
8	NEW PENDANT LIGHT IN PREVIOUS PENDANT LIGHT LOCATION
9	NEW BEVERAGE COUNTER MILLWORK, SEE DECOR DRAWINGS; GC TO DESIGN AND PROVIDE ALL POWER, WATER, DRAIN, AND SODA LINE CONNECTIONS REQUIRED FOR SERVICE COUNTER, COORDINATE WITH OWNER AND EQUIPMENT SUPPLIER
10	PATCH AND PAINT WALL AT PREVIOUS SALSA CABINET LOCATION
11	NEW WAINSCOT BASE AND PAINT ABOVE
12	NEW TRASH MILLWORK, SEE DECOR DRAWINGS
13	NEW TABLES, CHAIRS AND BOOTHS THROUGHOUT

FLOOR AND CEILING PLAN KEYNOTES

MARK	NOTE
14	PATCH HOLES IN GBD CEILING AS NECESSARY, REPAINT FULL CEILING
15	REPLACE NON-WORKING HAND DRYER
16	PAINT EXISTING DOOR FRAMES
17	NEW DOOR SLAB
18	NEW WALL TILE
19	NEW TILE AT SOFFIT
20	NEW COUNTERTOP
21	CLEAN ALL EXISTING CEILING GRID, CEILING TILES AND SUPPLY / RETURN GRILLS
22	REPLACE ALL RUSTING SUPPLY / RETURN GRILLS WITH NEW WHITE PLASTIC GRILLS
23	PAINT EXISTING SOFFIT
24	EXISTING TV SCREEN TO REMAIN
25	NEW PENDANT LIGHT FIXTURE; REFER TO DECOR PACKAGE
26	NEW CEILING TILE AND GRID, MATCH EXISTING ADJACENT
27	SOFFIT, REFER TO DETAIL 1/A7, PAINT PER DECOR
28	RELOCATED EXISTING DIFFUSER



② CEILING PLAN
1/4" = 1'-0"



① FLOOR PLAN
1/4" = 1'-0"

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Stephen Y. Fain
STEPHEN Y. FAIN
A-11343-S
REGISTERED ARCHITECT
WI
DATE: 08/20/2021
WI ARCHITECTURAL FIRM

REG. NO. -11343-S
REG. NO. -3772-11

FLOOR AND CEILING PLAN

TACO JOHN'S - REMODEL

317 N GRAND AVE,
WAUKESHA, WI 53186

PROJECT:	21170
DRAWN BY:	KDD
CHECKED BY:	KDD, STI
DATE:	8/20/2021
REVISIONS:	

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A4

EXTERIOR FINISH SCHEDULE				
LEGEND CODE	DESCRIPTION	MANUFACTURER	COLOR	COMMENTS
AP-1	ALUMINUM PANEL SYSTEM	ALPOLIC PE	TOR RED	
MC-1	STANDARD TOP OF WALL COPING	TBD	CLEAR ANODIZED	
P3	PAINT	TBD	PAINT TO MATCH PMS 187C (RED)	TRIM AT MURAL WALL USE OPEN OUTSIDE CORNER WITH CLEAR ANODIZED FINISH
P5	PAINT	TBD	PAINT TO MATCH PMS 427C (LT GRAY)	TRIM AT MURAL WALL USE OPEN OUTSIDE CORNER WITH CLEAR ANODIZED FINISH
P6	PAINT	TBD	PAINT TO MATCH PMS 429C (MD GRAY)	TYPICAL TRIM CORNER KEY AND J-MOLD, COLOR MATCH; TRIM AT MURAL WALL OPEN OUTSIDE CORNER WITH CLEAR ANODIZED FINISH
P-3	PAINT	TBD	MATCH I-P2	FACTORY OR FIELD FINISHED WITH EXTERIOR GRADE PAINT; MUST MATCH ADJACENT WALL
S-1	CONCRETE SEALER	TBD	CLEAR	EXTERIOR GRADE CLEAR CONCRETE SEAL

- GENERAL ELEVATION NOTES:**
- GC TO COORDINATE REUSE OR SUPPLY NEW POWER AT SIGNAGE LOCATIONS; COORDINATE WITH SIGNAGE VENDOR AND OWNER
 - GC TO INSTALL ALL FIBER CEMENT PRODUCTS IN STRICT ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS INCLUDING BUT NOT LIMITED TO MOISTURE RESISTIVE BARRIER, FLASHING, ETC

ELEVATION KEYNOTES	
MARK	NOTE
1	PAINT EXISTING METAL CAP FLASHING TO MATCH (MC1)
2	EXTEND NEW WOOD FRAMING, SHEATHING AND STUCCO FINISH, SEE SECTIONS
3	PATCH, REPAIR AND PAINT EXISTING STUCCO AS NOTED
4	PATCH, REPAIR AND REPLACE DAMAGED SIDING, PAINT AS NOTED
5	PAINT EXISTING VENEER STONE, MORTAR AND CAP AS NOTED
6	PAINT PREVIEW/MENU CABINET AND POST
7	EXISTING GAS AND ELECTRICAL SERVICE TO REMAIN
8	EXTERIOR SIGNAGE BY SIGNAGE VENDOR, UNDER SEPARATE COVER



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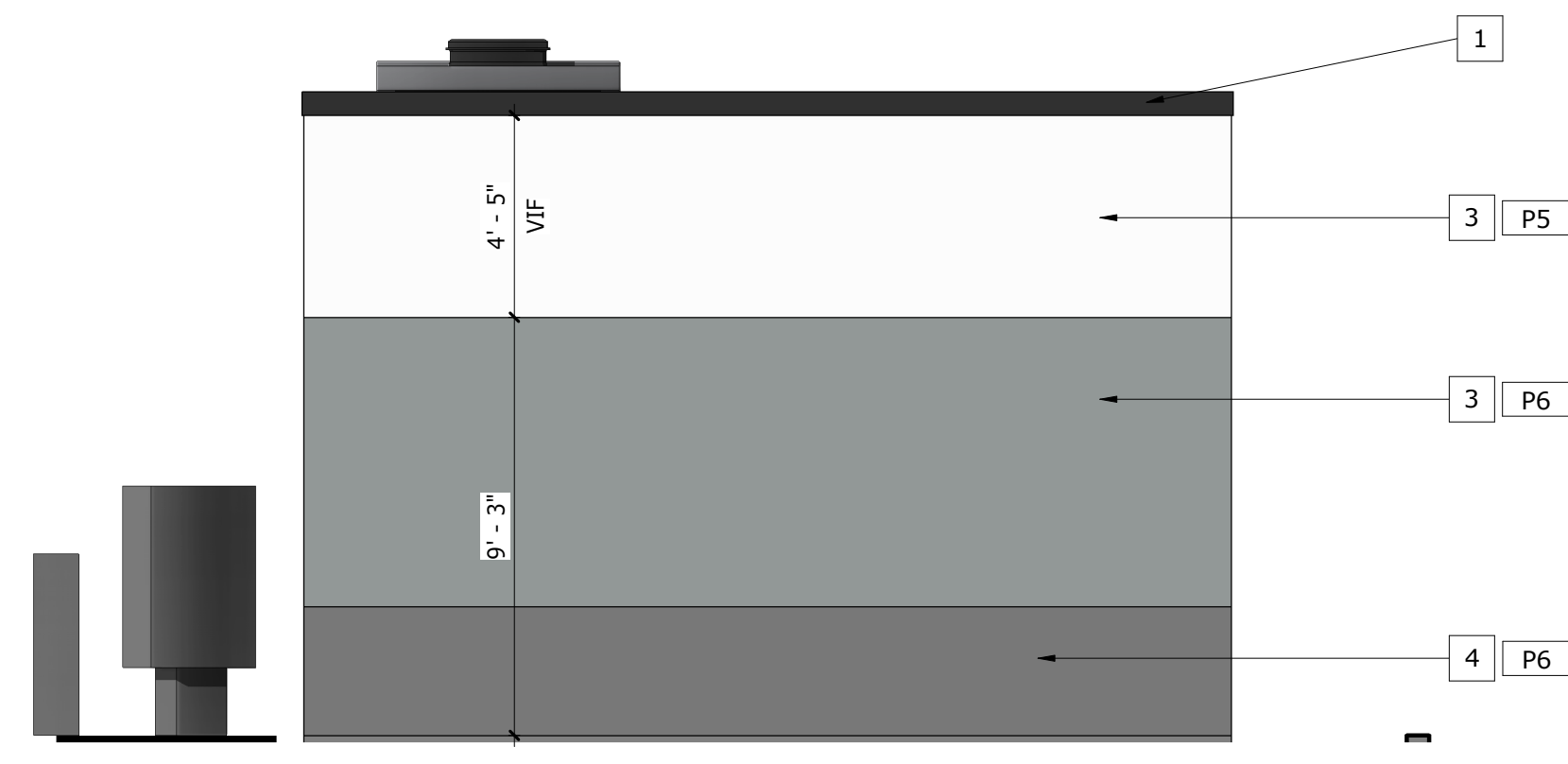
STEPHEN T. KRECH
A13435
INVER GROVE HEIGHTS, MN
ARCHITECT

DATE: 08/20/2021
WI ARCHITECTURAL FIRM

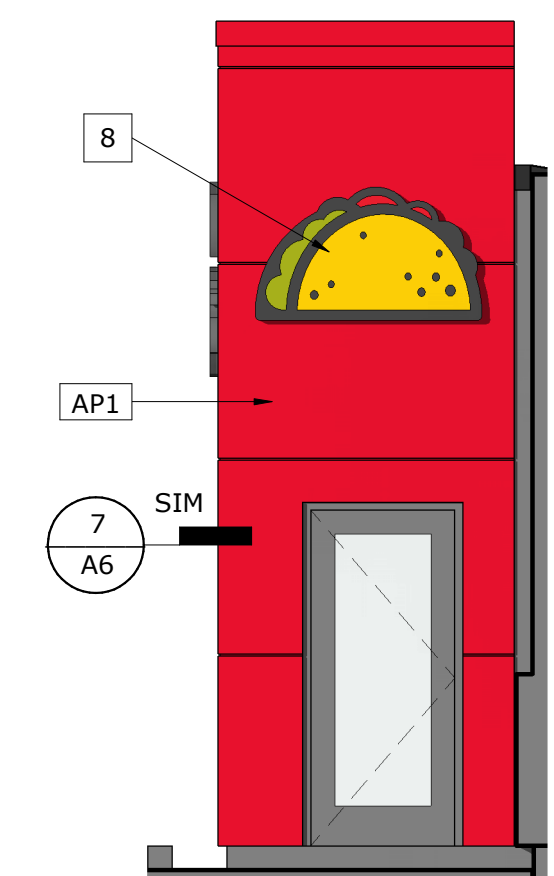
REG. NO.: 11343-5
REG. NO.: 3772-11



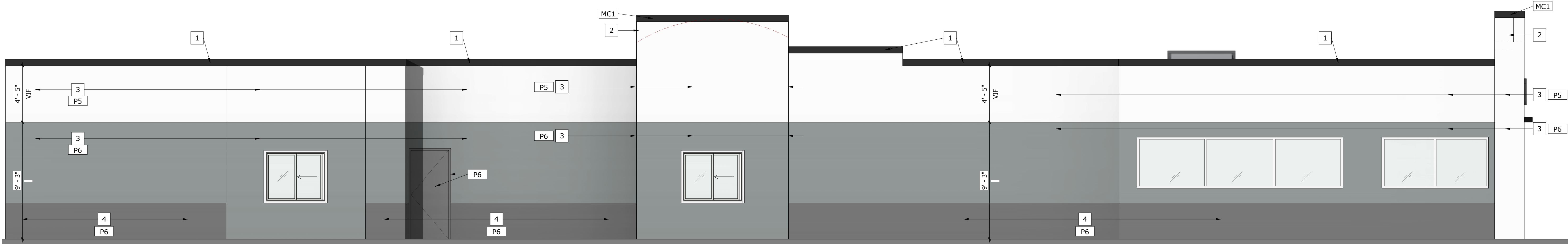
③ ELEVATION - WEST
1/4" = 1'-0"



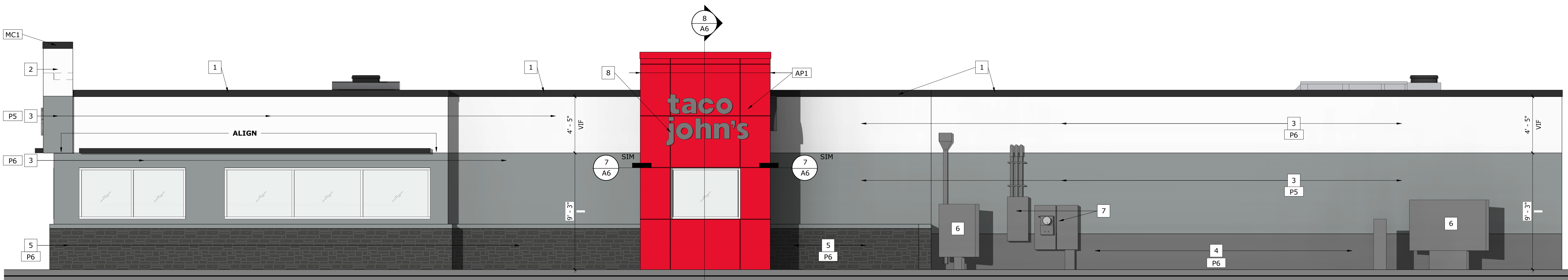
④ ELEVATION - EAST
1/4" = 1'-0"



⑤ ELEVATION - ENTRY DOOR
1/4" = 1'-0"



② ELEVATION - NORTH
1/4" = 1'-0"



① ELEVATION - SOUTH
1/4" = 1'-0"

ELEVATIONS

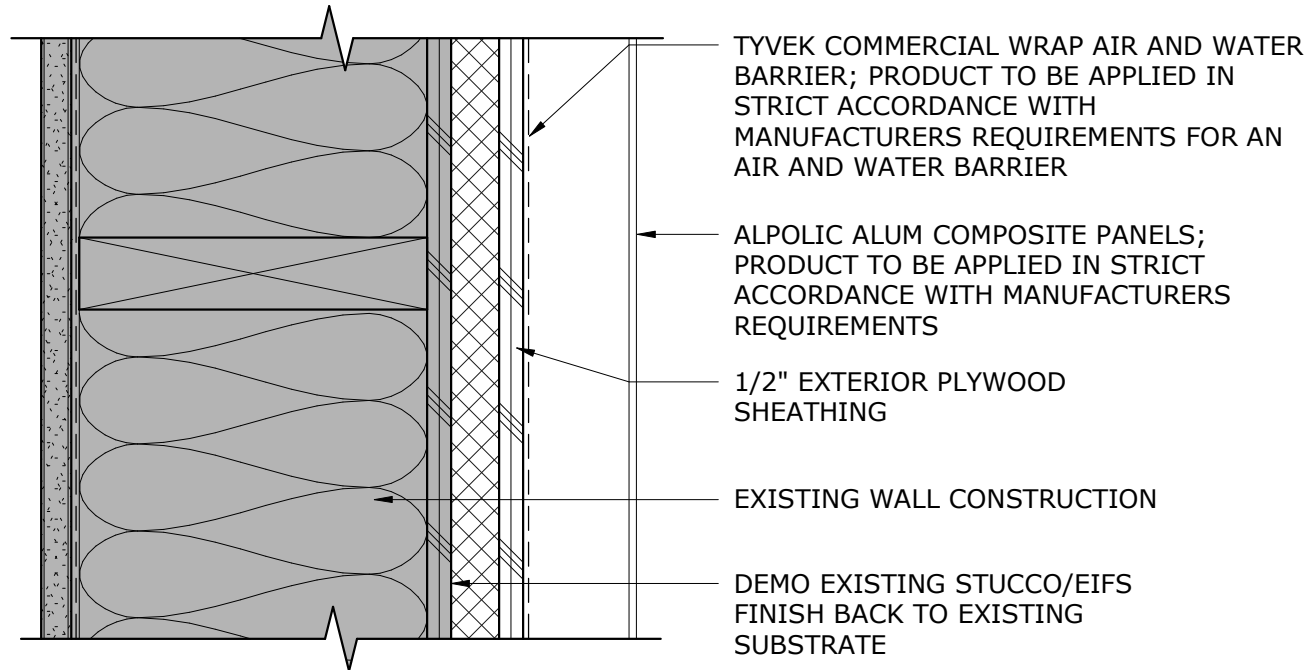
TACO JOHN'S - REMODEL

317 N GRAND AVE,
WAUKESHA, WI 53186

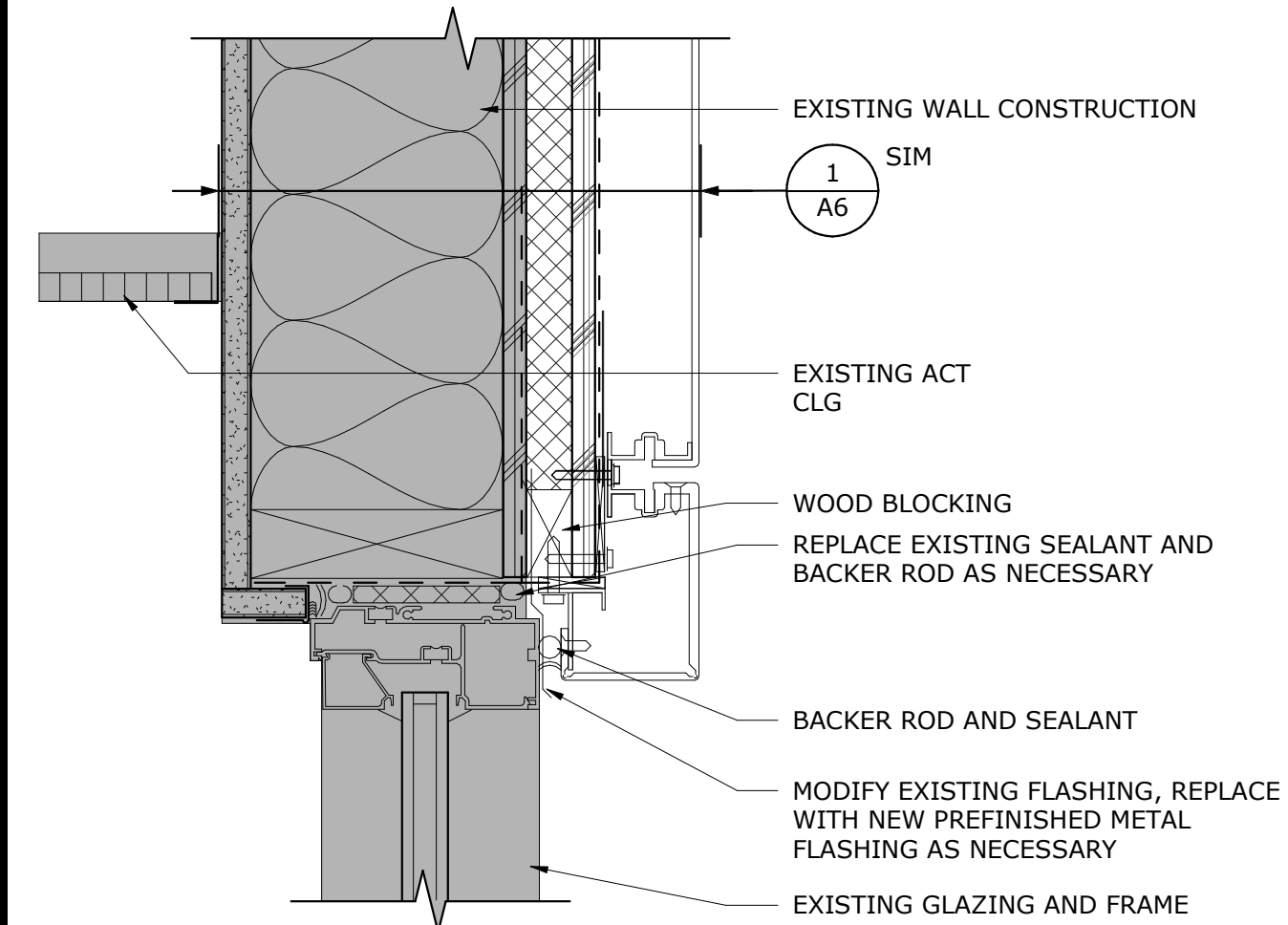
PROJECT: 21170
DRAWN BY: KDD
CHECKED BY: KDD, STI
DATE: 8/20/2021
REVISIONS:

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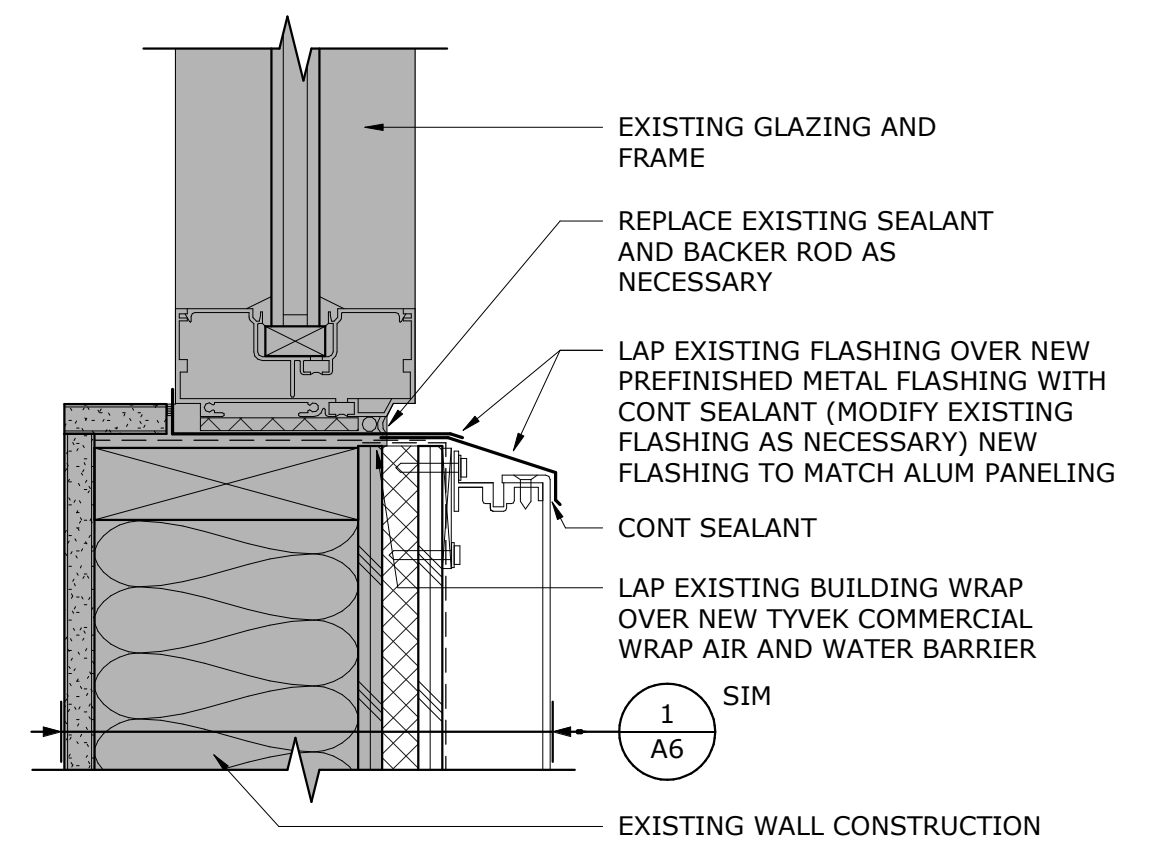
A5



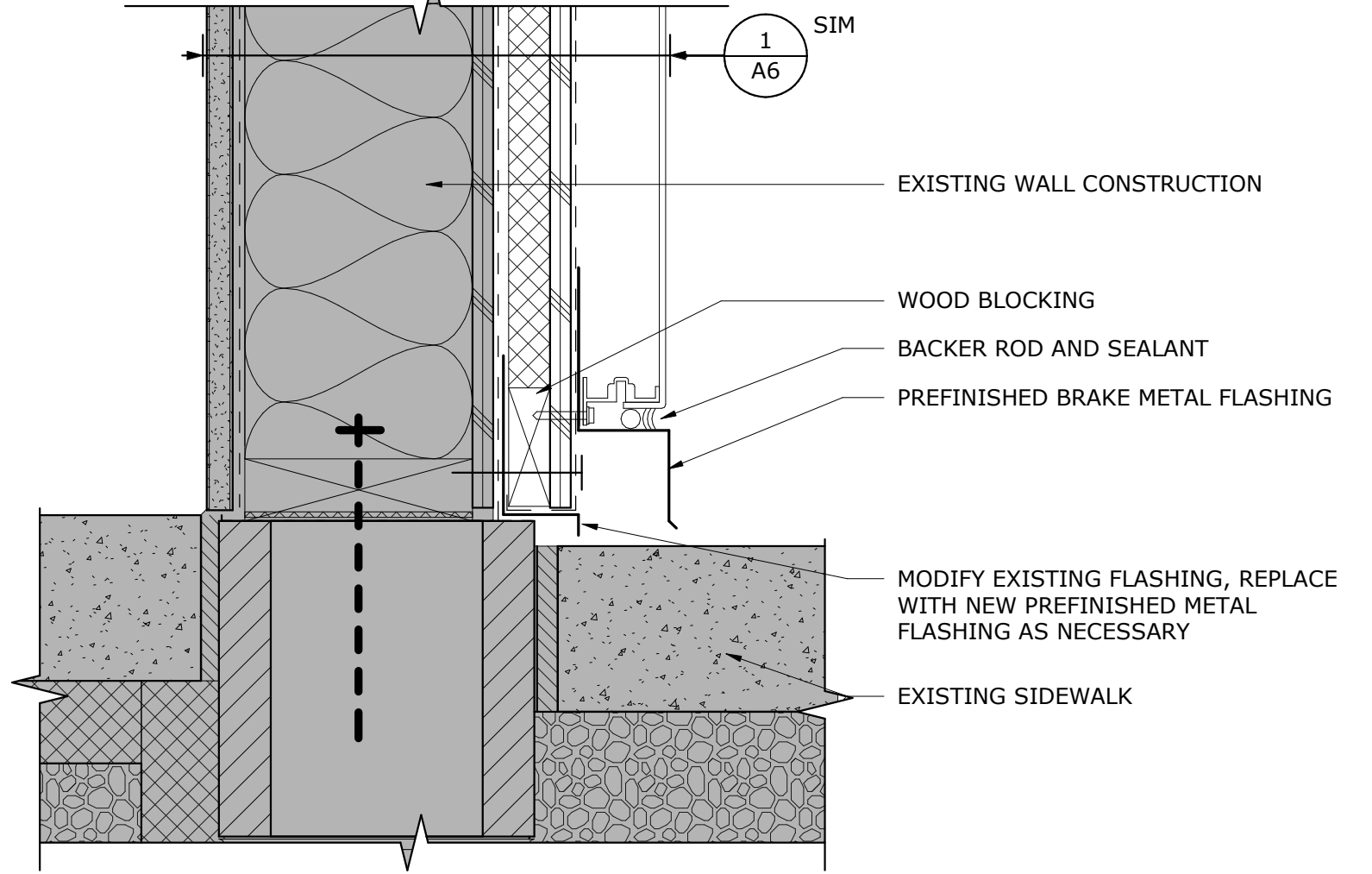
1 WALL ASSEMBLY - ALUMINUM PANELING
3" = 1'-0"



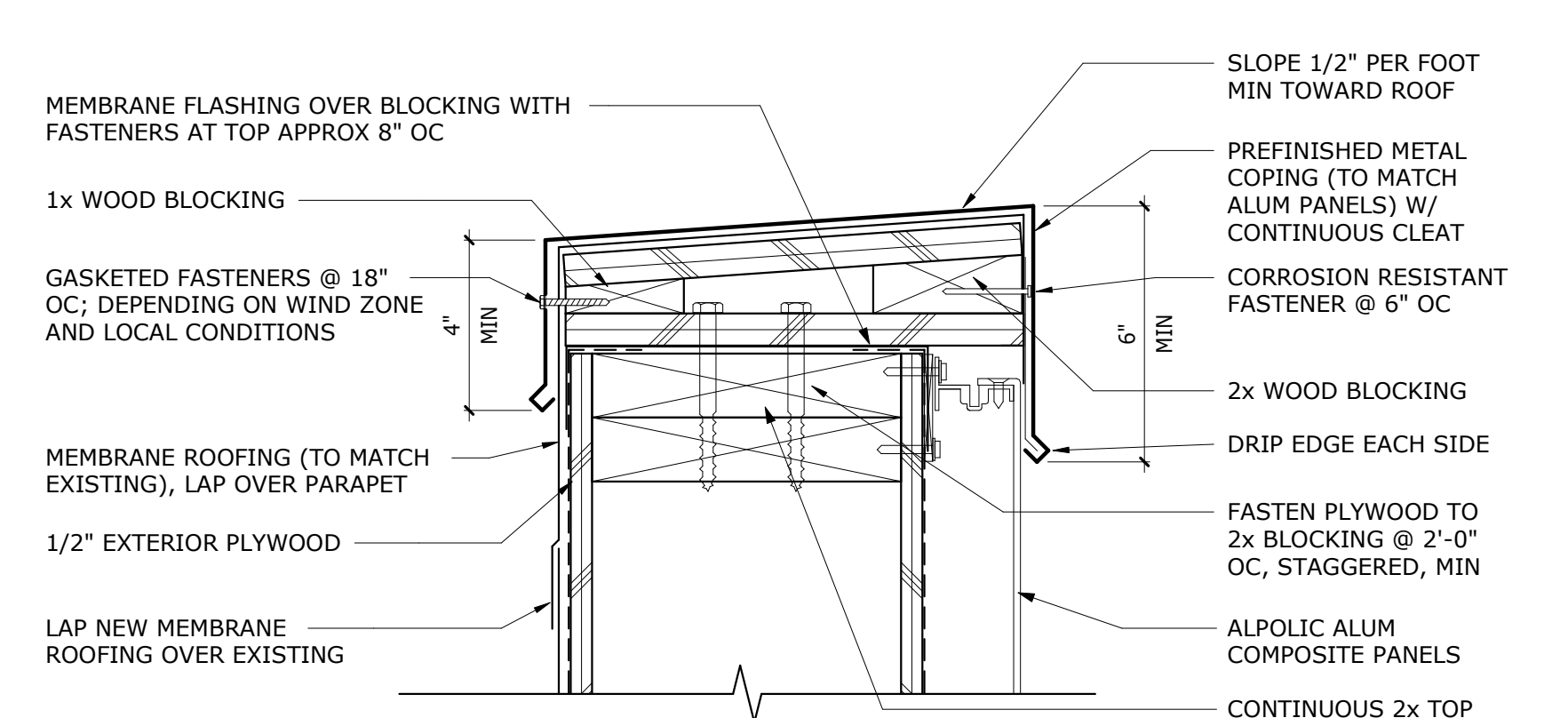
3 DETAIL - WINDOW HEAD AT ALUM PANELING
3" = 1'-0"



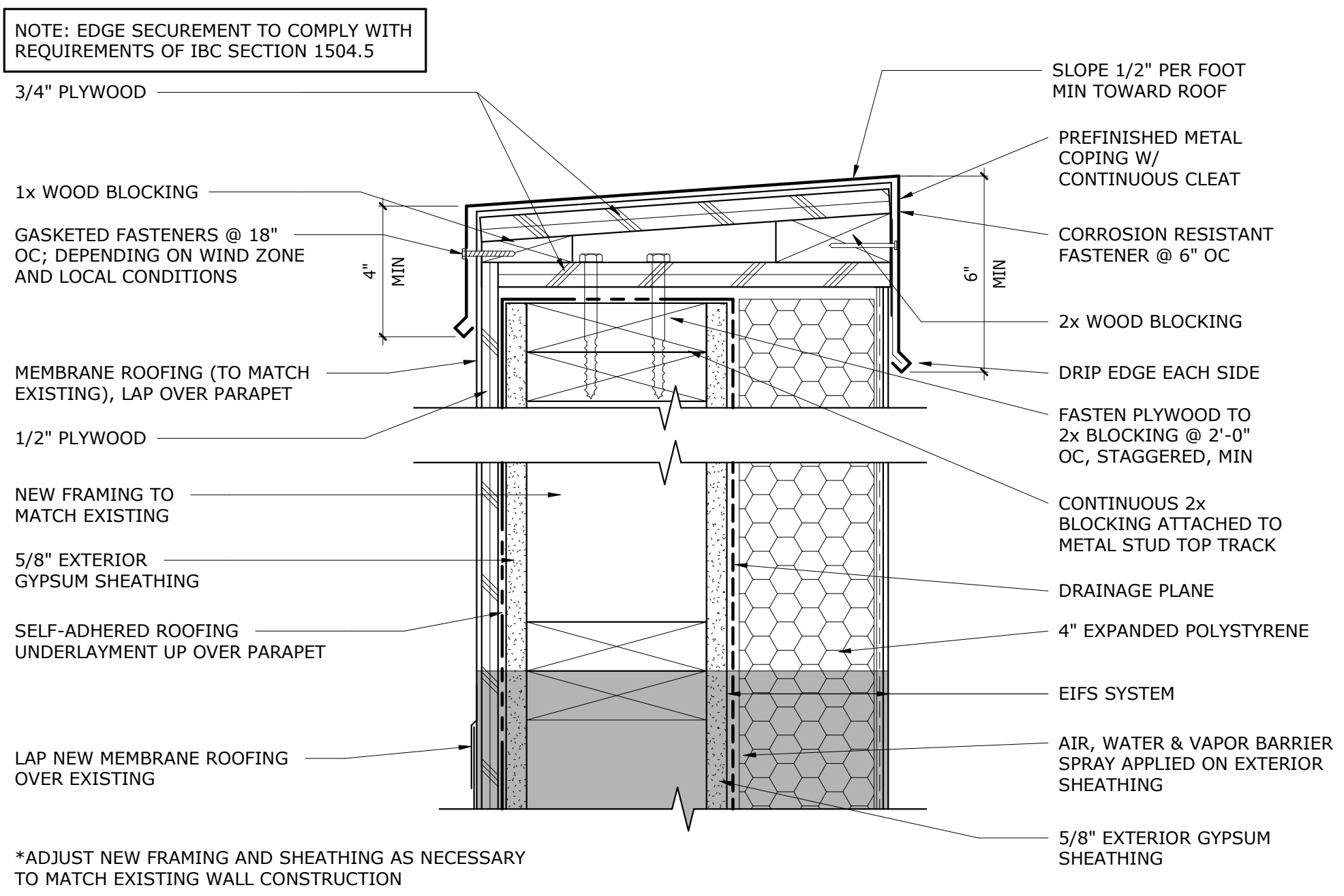
5 DETAIL - WINDOW SILL AT ALUM PANELING
3" = 1'-0"



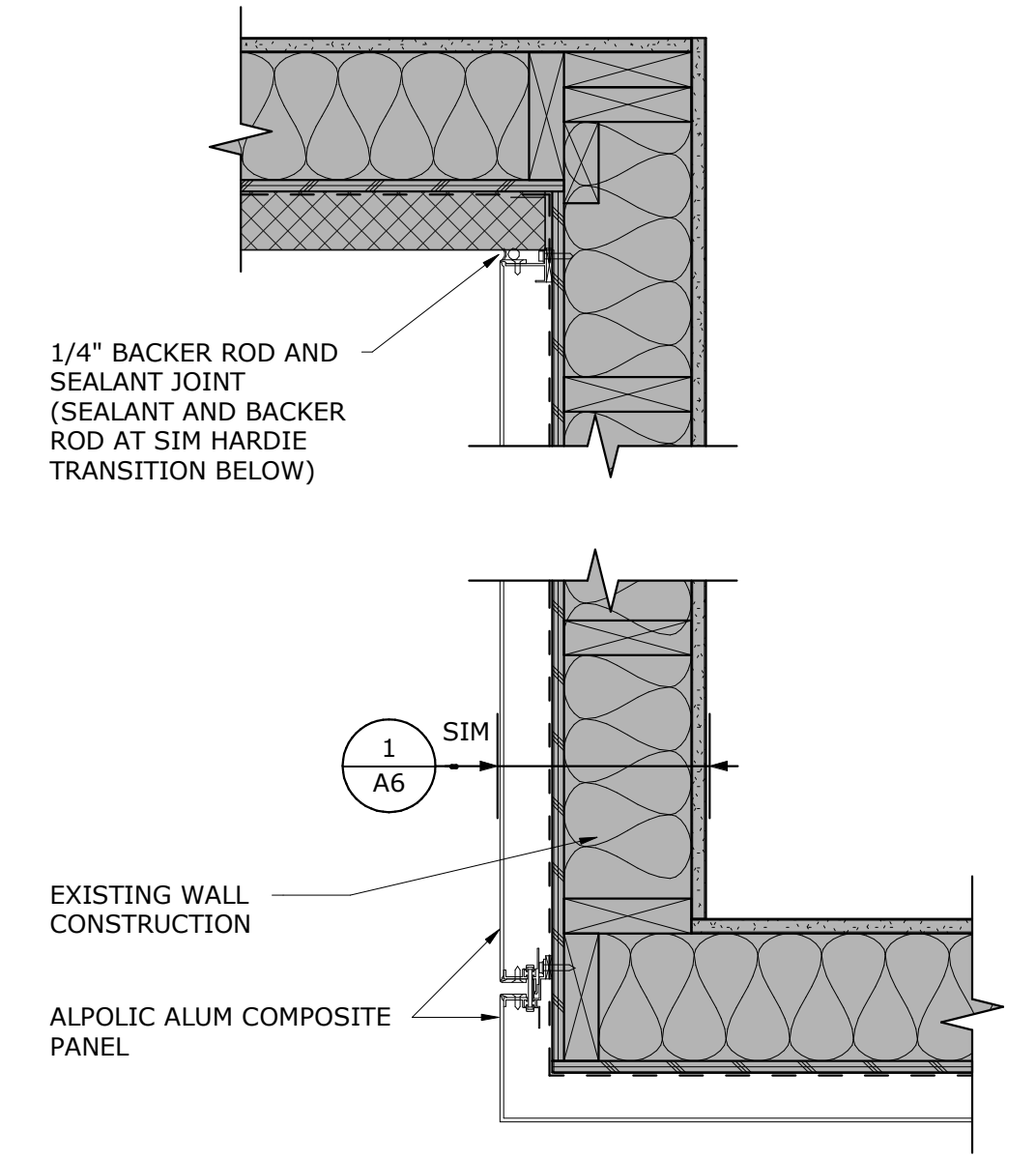
6 DETAIL - ALUM PANELING AT BASE
3" = 1'-0"



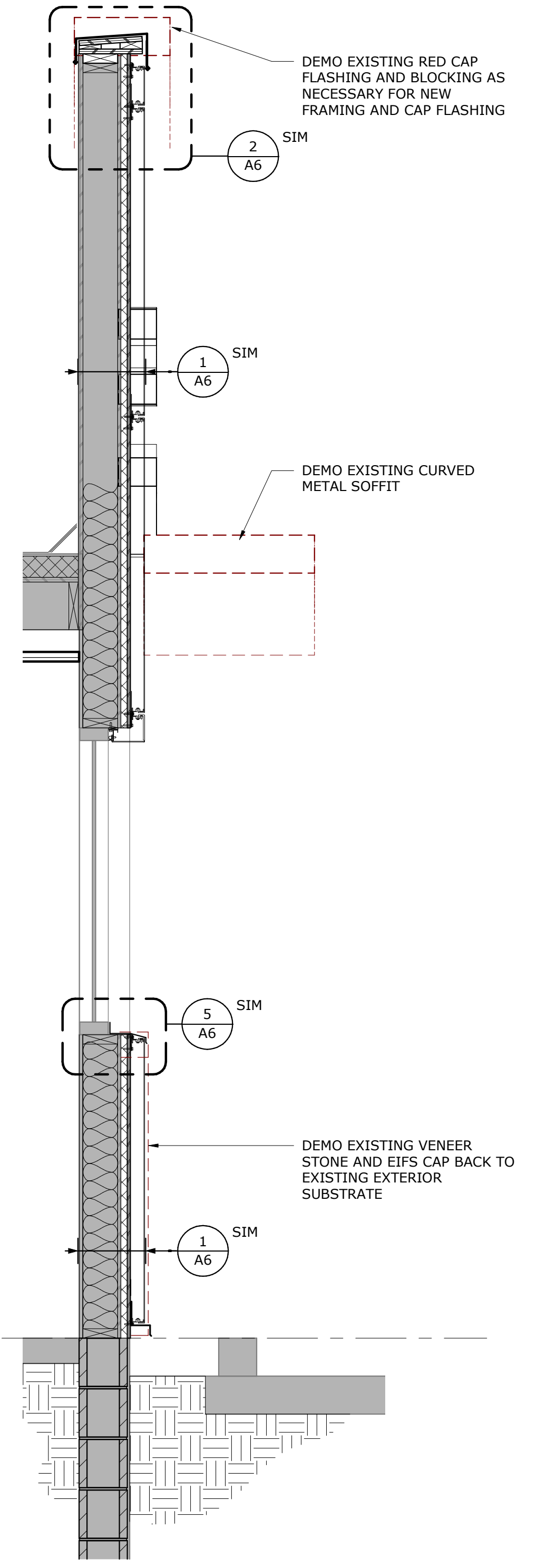
2 DETAIL - PARAPET AT ALUMINUM PANELING
3" = 1'-0"



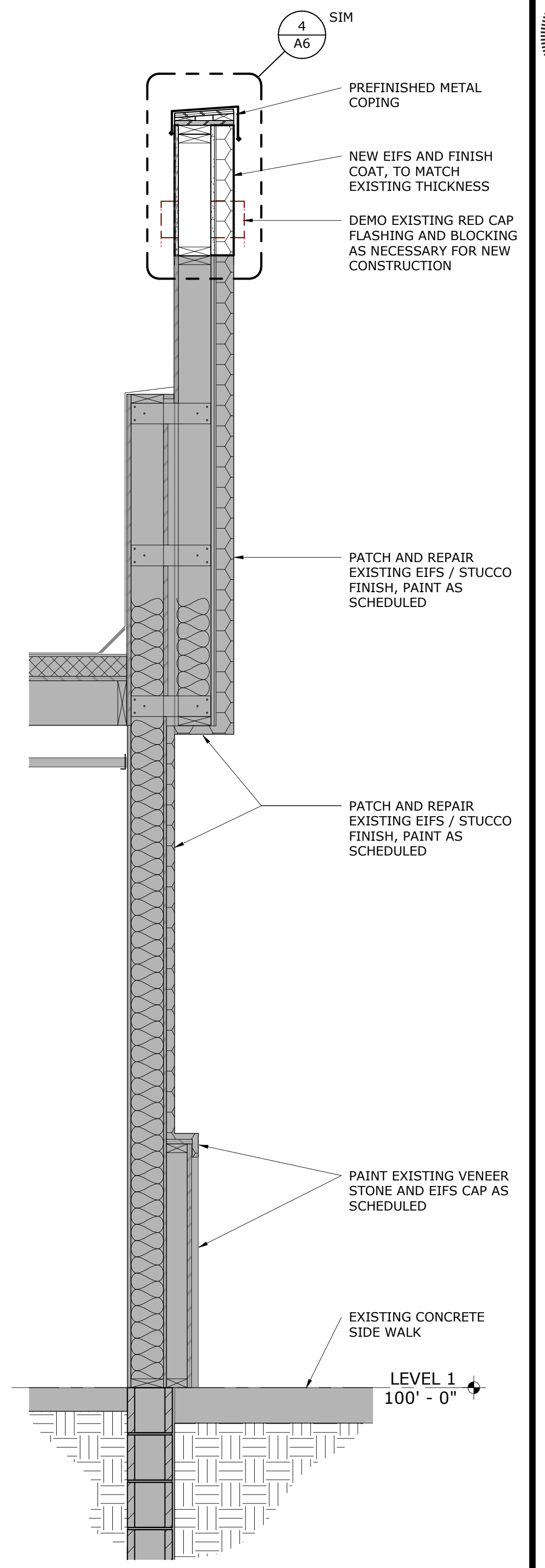
4 DETAIL - PARAPET AT EIFS
3" = 1'-0"



7 DETAIL - ALUM PANELING - OUTSIDE CORNER - EIFS
1 1/2" = 1'-0"



8 WALL SECTION - ALUMINUM PANELS
3/4" = 1'-0"



9 SECTION - WEST WALL
3/4" = 1'-0"

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STEPHEN T. KRECH
A-11343-S
REGISTERED ARCHITECT
WI ARCHITECTURAL FIRM

DATE: 08/20/2021
REG. NO.: 11343-S
WI ARCHITECTURAL FIRM
REG. NO.: 3772-11

SECTIONS AND DETAILS

TACO JOHN'S - REMODEL

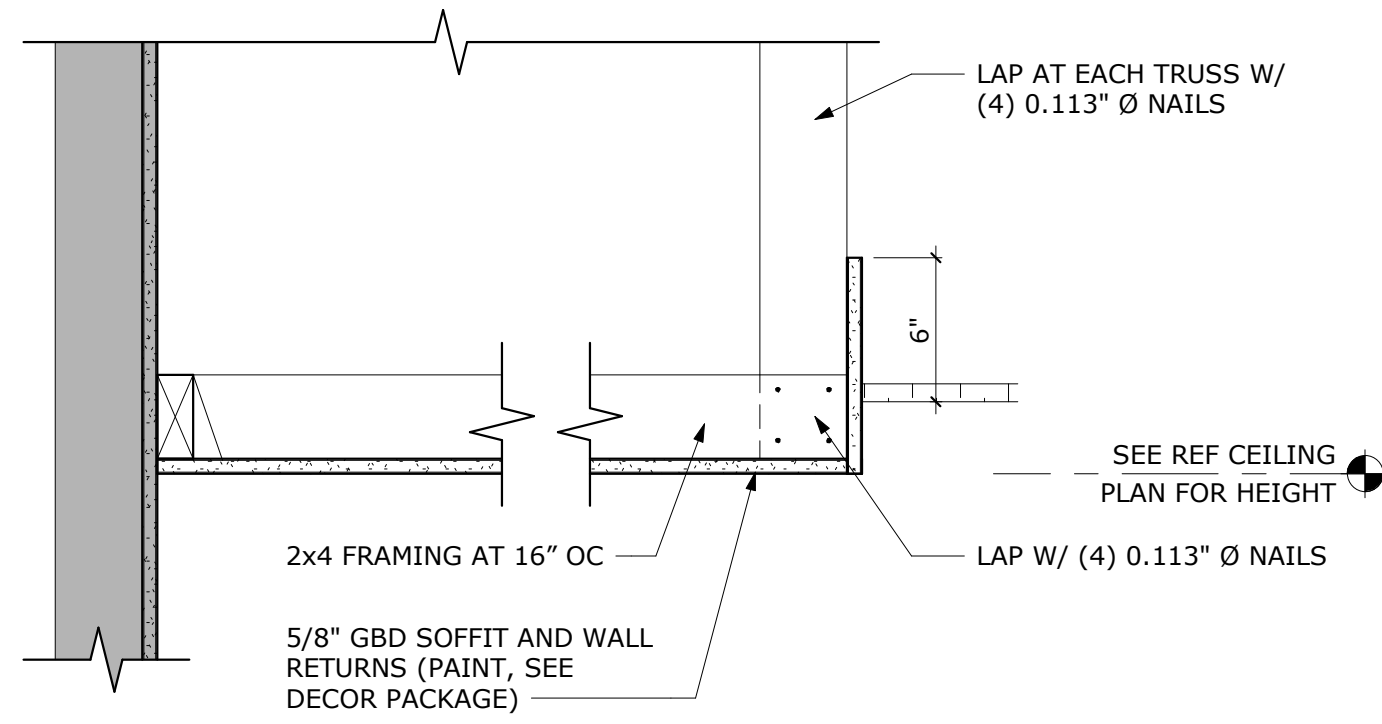
317 N GRAND AVE,
WAUKESHA, WI 53186

PROJECT:	21170
DRAWN BY:	KDD
CHECKED BY:	KDD, STI
DATE:	8/20/2021
REVISIONS:	

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A6

EXTERIOR FINISH SCHEDULE				
LEGEND CODE	DESCRIPTION	MANUFACTURER	COLOR	COMMENTS
AP-1	ALUMINUM PANEL SYSTEM	ALPOLIC PE	TOR RED	
MC-1	STANDARD TOP OF WALL COPING	TBD	CLEAR ANODIZED	
P3	PAINT	TBD	PAINT TO MATCH PMS 187C (RED)	TRIM AT MURAL WALL USE OPEN OUTSIDE CORNER WITH CLEAR ANODIZED FINISH
P5	PAINT	TBD	PAINT TO MATCH PMS 427C (LT GRAY)	TRIM AT MURAL WALL USE OPEN OUTSIDE CORNER WITH CLEAR ANODIZED FINISH
P6	PAINT	TBD	PAINT TO MATCH PMS 429C (MD GRAY)	TYPICAL TRIM CORNER KEY AND J-MOLD, COLOR MATCH; TRIM AT MURAL WALL OPEN OUTSIDE CORNER WITH CLEAR ANODIZED FINISH
P-3	PAINT	TBD	MATCH I-P2	FACTORY OR FIELD FINISHED WITH EXTERIOR GRADE PAINT; MUST MATCH ADJACENT WALL
S-1	CONCRETE SEALER	TBD	CLEAR	EXTERIOR GRADE CLEAR CONCRETE SEAL



① SOFFIT DETAIL
1 1/2" = 1'-0"

NATIONAL ACCOUNTS: <small>(MUST CALL FOR QUOTES; NATIONAL ACCOUNTS OFFER DISCOUNTED PRICING)</small>	
HARDIE PANELS	POINT OF SALES (POS)
TBD	TACO JOHNS 808 W 20TH STREET CHEYENNE, WY 82001 PHONE: 307-275-2022 CONTACT: STEVE SMYTH ssmyth@tacojohns.com QUIKSERVE SOLUTIONS 3730 SOUTH 149TH STREET SUITE 107 OMAHA, NE 68144 PHONE: 402-697-6058 CONTACT: MELISSA FOUNTAS mfountas@quikserve.com
FURNITURE / MILLWORK	SIGNAGE / AWNINGS
MSW INC 7159 COUNTRY ROAD 200 JOPLIN, MO 64801 PHONE: 417-673-1901 EXT 40 CONTACT: ADAM MURRAY adam@mswinc.com ECC COMMERCIAL FURNITURE 8452 OLD HIGHWAY 99 NORTH ROSEBURG, OR 97470 PHONE: 587-581-1056 CONTACT: CURTIS TIANO curtis.tiano@gmail.com	DESIGN TEAM SIGN COMPANY 350 PINHOOK ROAD SAVANNAH, TN 38372 PHONE: 731-926-5621 CONTACT: CADE DURHAM cdurham@designteam.net PERSONA INC 700 21ST STREET SOUTHWEST WATERTOWN, SD 57201 PHONE: 800-843-9888 CONTACT: KELLY FISHBECK-WATKINS kfishbeck@personasigns.com
KITCHEN HOOD DESIGN	LIGHTING INTERIOR / EXTERIOR
CAPTIVE AIRE 6547 S RACINE CIRCLE SUITE 150 CENTENNIAL, CO 80111 PHONE: 720-570-0981 CONTACT: MOLLY RICE molly.rice@captivaire.com	CREE LIGHTING 9201 WASHINGTON AVENUE RACINE, WI 53406 PHONE: 224-250-1561 CONTACT: MIKE KREINER mike.kreiner@cree.com
KITCHEN EQUIPMENT	WALK-IN COOLER / FREEZER
HOCKENBERG EQUIPMENT & SUPPLY 7002 F STREET OMAHA, NE 68117 PHONE: 402-609-5149 CONTACT: BARB PETERS barbp@trimarkusa.com	KOLPAK 5808 S RAPP STREET SUITE 205 LITTLETON, CO 80120 PHONE: 303-797-2241 CONTACT: CHRIS KANNAWIN chris@engster.com
MENU BOARDS	WALL MURALS
(INTERIOR & EXTERIOR) PERSONA INC 700 21ST STREET SOUTHWEST WATERTOWN, SD 57201 PHONE: 800-843-9888 CONTACT: KELLY FISHBECK-WATKINS kfishbeck@personasigns.com	US SIGNS 444 IRWIN AVENUE MUSKEGON, MI 49442 PHONE: 800-821-6530 CONTACT: RICK BOGUE rbogue@unitedsigns.com
(INTERIOR) VGS INC 174 WILD FERN DRIVE WINCHESTER, OR 97495 PHONE: 330-268-7587 CONTACT: GREG MOROZ gmoroz@vgs-inc.com	PHONE / INTERNET / TV SAGENET - PHONE: 800-296-5162 CONTACT: - tacojohns@sagenet.com
(DIGITAL) QUIKSERVE SOLUTIONS 3730 SOUTH 149TH STREET SUITE 107 OMAHA, NE 68144 PHONE: 402-697-6058 CONTACT: MELISSA FOUNTAS mfountas@quikserve.com	ROOF TOP UNITS TRANE NATIONAL ACCOUNT EXECUTIVE: JUSTIN BARNES, LEED AP, CEM TRANE - INGERSOLL RAND DIRECT: 303-228-2896 MOBILE: 303-588-2869 FAX: 303-228-2828
SODA	
PEPSI-COLA COMPANY 27422 PORTOLA PARKWAY SUITE 330 FOOTHILL RANCH, CA 92610 PHONE: 949-420-2027 CONTACT: CONNIE OFTEDAHL connie.oftedah@pepsico.com	

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WI
ARCHITECT

DATE: 08/20/2021
WI ARCHITECTURAL FIRM

REG. NO.: 11343-S
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SCHEDULES AND DETAILS

TACO JOHN'S - REMODEL

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WAUKESHA, WI 53186

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