

A REMODELING FOR:

INTERNATIONAL PORSCHE OF WAUKESHA

2228 E. MORELAND BLVD.
WAUKESHA, WI 53186



ARCHITECTS
700 W. VIRGINIA STREET, SUITE 604
MILWAUKEE, WI 53204
414.277.8000
MADISENMAHER.COM

PROPOSED REMODEL FOR:

INTERNATIONAL PORSCHE OF WAUKESHA

2228 E. MORELAND BLVD
WAUKESHA, WI 53186



CLIENT:

INTERNATIONAL AUTOS GROUP
2400 SOUTH 108TH ST.
WEST ALLIS, WI 53227

Drawings and Specifications as instruments of service are the property of Madisen Maher Architects, whether the work for which they are made be executed or not and are not to be used or copied on other work except by written agreement with Madisen Maher Architects.

DATE	ISSUED SET
03.08.19	PROJECT START
03.29.19	FLAT STALL, VEHICLE DISPLAY
04.09.19	ADDRESS PORSCHE COMMENTS
04.19.19	ADDRESS OWNER COMMENTS
09.27.19	ADDRESS PORSCHE COMMENTS

CODE INFORMATION (IBC 2015, IEBC 2015)	
PROJECT ADDRESS: 2228 E. MORELAND BLVD.	
OCCUPANCY CLASSIFICATION:	B, BUSINESS, MODERATE HAZARD. S-1, STORAGE, MODERATE HAZARD.
ZONING DESIGNATION:	B-5 COMMUNITY BUSINESS
CONSTRUCTION TYPE:	IB, UNPROTECTED NON-COMBUSTIBLE
ALLOWABLE AREA (PER TABLE 506.2):	23,000 SF/FLOOR.
PROJECT AREAS:	EXISTING AREA: 17,098 SQ. FT. SHOWROOM ADDITION: 312 SQ. FT. NEW VEHICLE DELIVERY: 227 SQ. FT. SERVICE LOUNGE: 252 SQ. FT. TOTAL AREA: 17,889 SQ. FT.
FIRE RESISTIVE RATING REQUIREMENTS:	STRUCTURAL FRAME: 0 HOUR BEARING WALLS: 0 HOUR NONBEARING WALLS: 0 HOUR FLOOR CONSTRUCTION: 0 HOUR ROOF CONSTRUCTION: 0 HOUR B/S1 OCCUPANCY SEPARATION: 2 HOURS
FIRE PROTECTION:	BUILDING FULLY SPRINKLERED PER NFPA 13.
OCCUPANT LOADS (PER TABLE 1004.1.2):	B, BUSINESS: 100 GSF/PERSON: 116 PERSONS S-1, STORAGE: 300 GSF/PERSON: 21 PERSONS TOTAL OCCUPANT LOAD: 147 PERSONS
REQUIRED EGRESS WIDTH (PER SECTION 1005.3):	OTHER EGRESS COMPONENTS: 2(147) = 294" OTHER EGRESS PROVIDED: 324" STAIR WIDTH REQUIRED: 3(3) = 9" STAIR WIDTH PROVIDED: 46"
REQUIRED SANITARY FACILITIES (PER TABLE 2902.1):	WC'S LAV'S BUSINESS: 1 PER 25 PERSONS FIRST 50 1 PER 40 PERSONS FIRST 80 1 PER 50 PERSONS AFTER 1 PER 80 AFTER
MISCELLANEOUS SANITARY FIXTURES REQUIRED:	1 SERVICE SINK 2 DRINKING FOUNTAINS
FIRE SEPARATION (PER 406.6.2):	2-HOUR FIRE SEPARATION IS REQUIRED BETWEEN REPAIR GARAGE AND OTHER PARTS OF THE BUILDING.
IEBC ALTERATION LEVEL (PER SECTION 404):	2
ALTERATION LEVEL 1 COMPLIANCE:	PER 701.2, ALL WORK SHALL COMPLY WITH REQUIREMENTS OF CHAPTER 4, PER 701.3, ALL NEW CONSTRUCTION ELEMENTS SHALL COMPLY WITH THE INTERNATIONAL BUILDING CODE.

OWNER

INTERNATIONAL AUTOS GROUP
2400 S. 108TH STREET
WEST ALLIS, WI 53227
P: 414.543.3000
INTERNATIONALAUTOS.COM

ARCHITECT

MADISEN MAHER ARCHITECTS
700 W. VIRGINIA STREET, SUITE 604
MILWAUKEE, WI 53204
P: 414.277.8000
MADISENMAHER.COM

SURVEYOR

TRIO ENGINEERING
4100 N. CALHOUN ROAD
SUITE 300
BROOKFIELD, WI 53005
262-790-1480
TRIOENG.COM

STRUCTURAL ENGINEER

PIERCE ENGINEERS, INC.
181 N. BROADWAY
MILWAUKEE, WI 53202
414-278-6060
PIERCEENGINEERS.COM

LIGHTING CONSULTANT

SOLAVANTI
9659 WENDELL ROAD
DALLAS, TX 75243
866-356-4458
SOLAVANTILIGHTING.COM

LIGHTING CONSULTANT

COOLEGELIGHTING
13551 COMMERCE PARKWAY
#110
RICHMOND, BC V6V2L1
604-273-2665
COOLEGELIGHTING.COM

FURNITURE & GRAPHICS

IDEAL IMAGE INC.
115 HAAS DRIVE
ENGLEWOOD, OH 45322
800-774-7617
IDEALIMAGE.COM

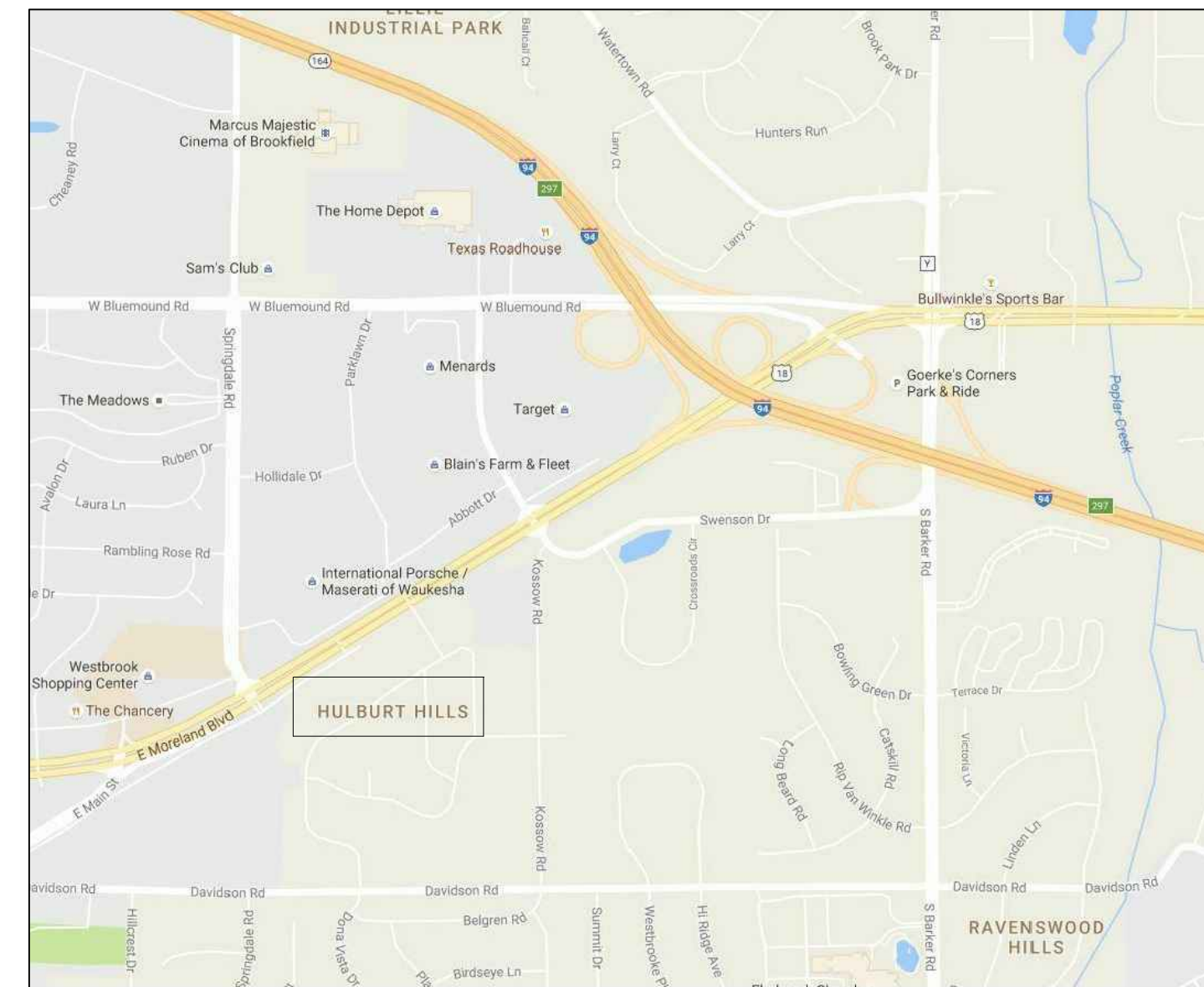
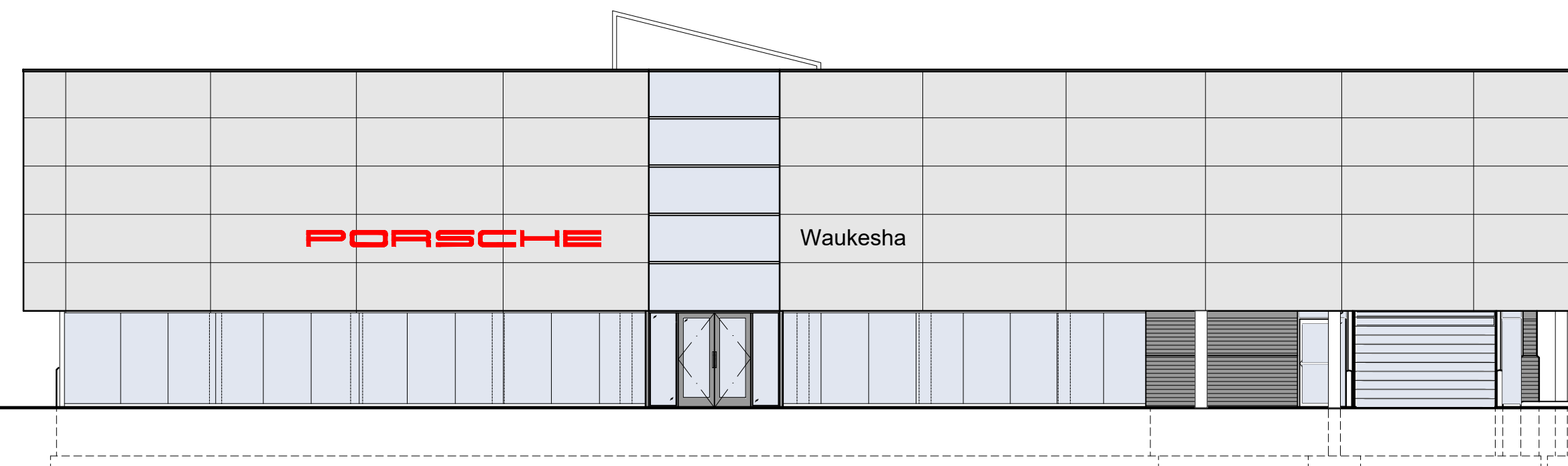
LANDSCAPE ARCHITECT

DURHAM HILL
599 W12707 LOOMIS DRIVE
MUSKEGO, WI 53150
414-529-5262
DURHAMHILL.COM

PROJECT AREAS	
EXISTING BUILDING AREA	17,098 S.F.
SHOWROOM ADDITION	312 S.F.
SERVICE LOUNGE	252 S.F.
NEW CAR DELIVERY	227 S.F.
TOTAL BUILDING AREA:	17,889 S.F.

NOTE: AREAS ARE MEASURED FROM THE INSIDE FACE OF EXTERIOR WALLS.

SHEET INDEX			
A0.00	TITLE SHEET	A2.01	BUILDING ELEVATIONS
LS1.01	ACCESSIBILITY & LIFE SAFETY PLAN	A2.02	BUILDING ELEVATIONS
C1.01	OVERALL SITE PLAN	A3.01	WALL SECTIONS
C1.02	ENLARGED SITE PLAN & DETAILS	A3.02	WALL SECTIONS
C1.03	PLAT OF SURVEY	A3.03	WALL SECTIONS
C2.00	GRADING & EROSION CONTROL PLAN	A4.01	INTERIOR ELEVATIONS
LT.01	LANDSCAPING PLAN	A4.02	INTERIOR ELEVATIONS
		A4.03	INTERIOR ELEVATIONS
D1.01	DEMO PLAN	A5.01	DETAILS
D1.02	REFLECTED CEILING DEMO PLAN	A5.02	FIN WALL DETAILS
		A5.03	LIGHT WELL DETAILS
A1.01	FLOOR PLAN	A5.04	LIGHT WELL DETAILS
A1.02	REFLECTED CEILING PLAN	A6.01	DOOR SCHEDULE
A1.03	ROOF PLAN	A6.02	ROOM FINISH SCHEDULE
A1.04	FINISH FLOOR PLAN		
A1.05	FURNITURE PLAN		
A1.06	ENLARGED FIN WALL PLAN		
29 SHEETS			



PROJECT LOCATION
N.T.S.

SOUTH ELEVATION
N.T.S.

GENERAL NOTES

- ALL CONSTRUCTION WORK SHALL BE DONE IN STRICT COMPLIANCE W/ THE ADA AND THE LATEST EDITION OF THE STANDARD BUILDING CODE AS AMENDED BY THE APPLICABLE STATE, AND ALL OTHER CODES AND BUILDING REQUIREMENTS WHICH APPLY, AS WELL AS, MEET ALL APPLICABLE STANDARDS. IN INSTANCES WHERE SEVERAL DIFFERENT STANDARDS ARE APPLICABLE, THE STRICTEST STANDARD SHALL APPLY UNLESS PROHIBITED BY APPLICABLE CODES.
- GENERAL CONTRACTOR TO SUPPLY ALL SUBCONTRACTORS WITH A FULL SET OF CONSTRUCTION DOCUMENTS, INCLUDING, BUT NOT LIMITED TO BUILDING PERMIT FEES, SEWER AND WATER TAP FEES, ENVIRONMENTAL IMPACT FEES, ETC., THE SELECTED QUALIFIED BIDDER WILL BE REQUIRED TO PROVIDE A COMPLETE LINE-ITEM LIST OF ALL FEES INCLUDED IN HIS BID AND SUBSTANTIATE HOW HE ARRIVED AT THOSE AMOUNTS
- BIDDING CONTRACTORS AND SUBCONTRACTORS SHALL CAREFULLY EXAMINE THE SITE AND THE APPLICABLE CONSTRUCTION DOCUMENTS. DISCREPANCIES IN THE EXISTING FIELD CONDITIONS SHALL BE CALLED TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE SUBMISSION OF THE BID. FAILURE TO DO SO ON THE PART OF THE CONTRACTOR DOES NOT RELIEVE SAID CONTRACTOR OF THE RESPONSIBILITY TO PROVIDE A CORRECT AND FINISHED PRODUCT.
- THE GENERAL CONTRACTOR SHALL OBTAIN AND PAY FOR ALL CONSTRUCTION/DEVELOPMENT RELATED FEES, INCLUDING, BUT NOT LIMITED TO BUILDING PERMIT FEES, SEWER AND WATER TAP FEES, ENVIRONMENTAL IMPACT FEES, ETC., THE SELECTED QUALIFIED BIDDER WILL BE REQUIRED TO PROVIDE A COMPLETE LINE-ITEM LIST OF ALL FEES INCLUDED IN HIS BID AND SUBSTANTIATE HOW HE ARRIVED AT THOSE AMOUNTS
- GENERAL CONTRACTOR SHALL PAY FOR ALL UTILITIES, (INCLUDING TELEPHONE AND MODEM LINES) USED DURING THE CONSTRUCTION PERIOD UNTIL SUCH TIME THAT THE TENANT/FRANCHISEE TAKES OCCUPANCY.
- GENERAL CONTRACTOR SHALL PROVIDE AND PAY FOR A DUMPSTER AND TEMPORARY TOILET FACILITIES (IF TOILET FACILITIES ARE NOT ALREADY ON SITE) FOR HIS AND HER SUBCONTRACTORS USE.
- GENERAL CONTRACTOR SHALL KEEP THE AREA OF WORK FREE OF GARBAGE AND DEBRIS ON A DAILY BASIS.
- GENERAL CONTRACTOR'S EMPLOYEES AND SUBCONTRACTORS SHALL PICK UP AND DISPOSE OF DEBRIS ON A DAILY BASIS, INCLUDING ALL ACCESS AREAS.

- OWNER SHALL NOT BE RESPONSIBLE FOR TOOLS OR MATERIALS STOLEN OR DAMAGED ON SITE.
- UPON THE COMPLETION OF WORK, GENERAL CONTRACTOR SHALL THOROUGHLY CLEAN THE PREMISES AND WASH THE INSIDE & OUTSIDE OF ALL WINDOWS SO THAT THE SPACE IS READY FOR OCCUPANCY BY TENANT/FRANCHISEE. THIS INCLUDES VACUUMING, SWEEPING, DUSTING, AND PICKING UP ALL THE TRASH AND DEBRIS LEFT FROM CONSTRUCTION.
- GENERAL CONTRACTOR SHALL WARRANTY ALL PARTS, LABOR, EQUIPMENT AND MATERIAL PROVIDED UNDER THIS CONTRACT FOR A MINIMUM PERIOD OF ONE (1) YEAR, OR AS REQUIRED BY LAW, WHICHEVER IS GREATER.
- NO SUBSTITUTIONS ARE ALLOWED FOR PRODUCTS WITH A SPECIFIC MANUFACTURER AND MODEL NUMBER UNLESS APPROVED BY OWNER AND ARCHITECT.
- SUBMIT ANY SHOP DRAWINGS FOR REVIEW BY GENERAL CONTRACTOR FIRST THEN ARCHITECT SECOND.
- GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES SUCH AS: SANITARY AND STORM SEWER, WATER, NATURAL GAS AND ELECTRICAL LINES. CONTRACTOR SHALL VERIFY EXISTING ELECTRICAL SERVICE AND SHALL PROVIDE ADDITIONAL SERVICE AS REQUIRED.
- MATERIALS SPECIFIED BY THEIR BRAND NAMES ARE TO ESTABLISH STANDARDS OF QUALITY AND PERFORMANCE. REQUESTS FOR SUBSTITUTION SHALL BE SUBMITTED FOR APPROVAL TO OWNER AND ARCHITECT.
- ALL WORK LISTED, SHOWN OR IMPLIED ON THE CONSTRUCTION DOCUMENTS SHALL BE SUPPLIED AND INSTALLED BY THE GENERAL CONTRACTOR EXCEPT WHERE OTHERWISE NOTED. THE GENERAL CONTRACTOR SHALL CLOSELY COORDINATE HIS WORK WITH THAT OF OTHER CONTRACTORS OR VENDORS TO ASSURE THAT ALL SCHEDULES ARE MET AND THAT ALL WORK IS DONE IN CONFORMANCE TO MANUFACTURER REQUIREMENTS.
- DETAILS ARE INTENDED TO SHOW THE INTENT OF THE DESIGN. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT THE FIELD DIMENSIONS OR CONDITIONS AND SUCH MODIFICATIONS SHALL BE INCLUDED AS A PART OF THE WORK OF THE CONTRACTOR.
- ALL WOOD TRIM OR OTHER PRE FINISHED ITEMS SHALL BE TRIMMED TO FIT AND RAW EXPOSED SURFACES SHALL BE STAINED AND FINISHED TO MATCH.

- ALL DIMENSIONS ARE TO THE FACE OF GYPSUM BOARD (U.N.O.) OR FINISHED MATERIAL OR CENTER LINE OF OBJECT AS SPECIFICALLY NOTED. CONTRACTOR IS RESPONSIBLE FOR LOCATING STUD WALLS ACCORDINGLY.
- ALL WOOD BLOCKING AND BACKING MATERIALS SHALL BE FIRE RETARDANT TREATED WHEN REQUIRED BY CODE.
- ALL FINISH MATERIALS SHALL BE CLASS A FLAME SPREAD RATED IN PUBLIC AREAS.
- GENERAL CONTRACTOR ACCEPTS DELIVERIES OF ALL ITEMS NOTED ON PLANS, WHETHER OR NOT IN CONTRACT, AND IS RESPONSIBLE FOR THE LOSS/DAMAGE OF THESE ITEMS. ADDITIONALLY, GENERAL CONTRACTOR IS TO RECEIVE, UNPACK, INSPECT AND VERIFY QUANTITY, AND CONDITION OF FOIC ITEMS. CONTRACTOR IS TO NOTIFY OWNER OF ANY DISCREPANCIES IN QUANTITY, AND MATERIAL DAMAGE. FAILURE TO DO SO PLACES RESPONSIBILITY FOR ALL ITEMS ON THE GENERAL CONTRACTOR.
- UPON COMPLETION OF WORK, GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE RETURN OF ALL MASTER KEY ORIGINALS OR SHALL PAY EXPENSES REQUIRED TO RE-KEY BUILDING.
- ALL FINISH MATERIALS TO BE PER FINISH SCHEDULE.
- GIVE ALL SURPLUS PAINT MATERIALS TO OWNER. DO NOT POUR PAINT DOWN DRAIN, CATCH BASINS, OR IN LANDSCAPING.
- ALL GYPSUM WALL BOARD TO BE MIN. OF 5/8" THICK AND SHALL BE SCREWED TO SUBSTRATE AS INDICATED. ALL GWB SURFACES TO BE PAINTED SHALL BE TAPED AND SANDED TO A LEVEL 5 FINISH PER ASTM C-840 AND FREE OF ANY DEFECTS PRIOR TO PAINT APPLICATION. ALL GWB SURFACES THAT SHALL BE CONCEALED BEHIND PANELS OR ABOVE THE CEILING SHALL BE LEVEL 2 PER ASTM C-840.
- APPLICATION OF MATERIALS BY A SUBCONTRACTOR TO EXISTING SURFACES OR PROVIDED UNDER THIS CONTRACT, SHALL IMPLY ACCEPTANCE AND SUITABILITY OF EXISTING CONDITIONS. SUCH SUBCONTRACTOR SHALL BE HELD RESPONSIBLE FOR DAMAGE AND IRREGULARITIES TO HIS WORK PRODUCT AS A RESULT OF PREVIOUS CONDITIONS.

- INSTALL INSULATION IN WALLS U.N.O. ALL THERMAL INSULATION SHALL COMPLY WITH STANDARD BUILDING CODE. AS A MINIMUM, VAPOR BARRIERS SHALL HAVE A FLAME-SPREAD RATING NOT TO EXCEED 25 AND A SMOKE DEVELOPMENT NOT TO EXCEED 450 OR BETTER AS REQUIRED BY CODE, OCCUPANCY AND CONSTRUCTION TYPE. ONE PERM VAPOR BARRIERS SHALL BE INSTALLED ON THE WARM SIDE IN ALL WALLS AND CEILINGS AS REQUIRED.
- PROVIDE DRAFT/FIRE STOPS AS REQUIRED BY GOVERNING CODES AND OFFICIALS.
- GENERAL CONTRACTOR TO PROVIDE MECHANICAL AND ELECTRICAL AS-BUILTS, ALL WARRANTIES, AND OPERATING MANUALS, TO OWNER WITHIN TWO (2) WEEKS OF COMPLETION OF WORK.
- PLUMBING, ELECTRICAL, AND HVAC SUBCONTRACTORS SHALL BE CITY AND STATE LICENSED. THE ABOVE SUBCONTRACTORS SHALL OBTAIN THEIR OWN PERMITS.
- PROVIDE SMOKE DETECTORS, FIRE SPRINKLER SYSTEMS, AND FIRE EXTINGUISHERS PER LOCAL FIRE MARSHAL'S AND CODE REQUIREMENTS.
- PROVIDE AND INSTALL ALL REQUIRED CEILING MOUNTED EXIT SIGNS ABOVE ALL REQUIRED EXITS.
- ALL FURNITURE, FIXTURES, EQUIPMENT ARE TO BE PROVIDED BY THE OWNER UNLESS NOTED.
- PROVIDE ALL "HANDICAP" RELATED SIGNAGE AS PROVIDED PER APPLICABLE CODES AND LAWS.

PROGRESS DOCUMENTS

Project Number	19-005
Start Date	03/08/2019
Drawn By	ELM
Checked By	ELM
Scale	AS NOTED

TITLE SHEET
A0.00

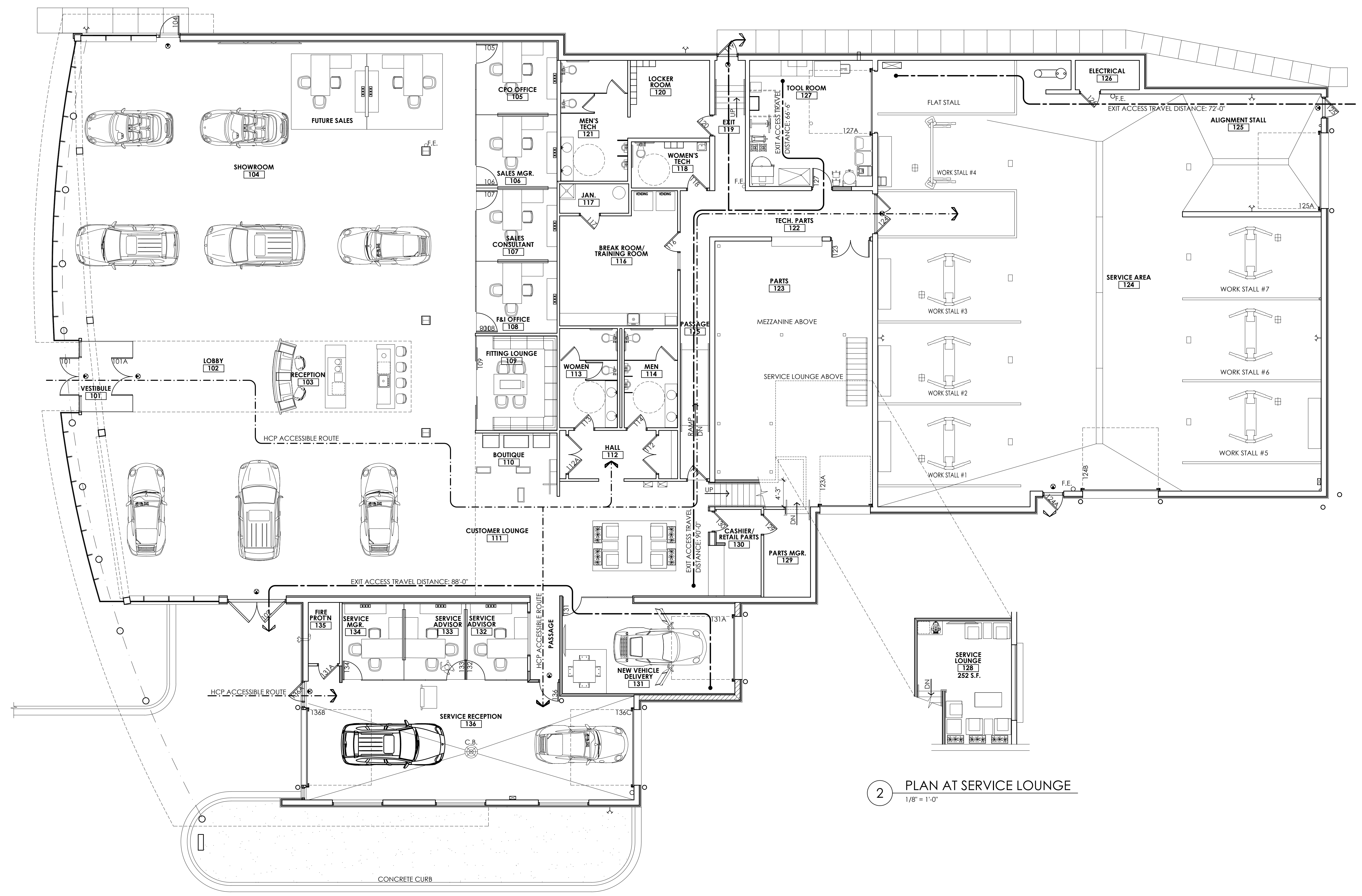
414.277.8000



Drawings and Specifications as instruments of service are the property of Madisen Maher Architects, whether the work for which they are made be executed or not and are not to be used or copied on other work except by written agreement with Madisen Maher Architects.

DATE	ISSUED SET
03.08.19	PROJECT START
03.29.19	FLAT STALL, VEHICLE DISPLAY
04.09.19	ADDRESS PORSCHE COMMENTS
04.19.19	ADDRESS OWNER COMMENTS
09.27.19	ADDRESS PORSCHE COMMENTS

Project Number	19-005
Start Date	03/08/2019
Drawn By	ELM
Checked By	ELM
Scale	AS NOTED



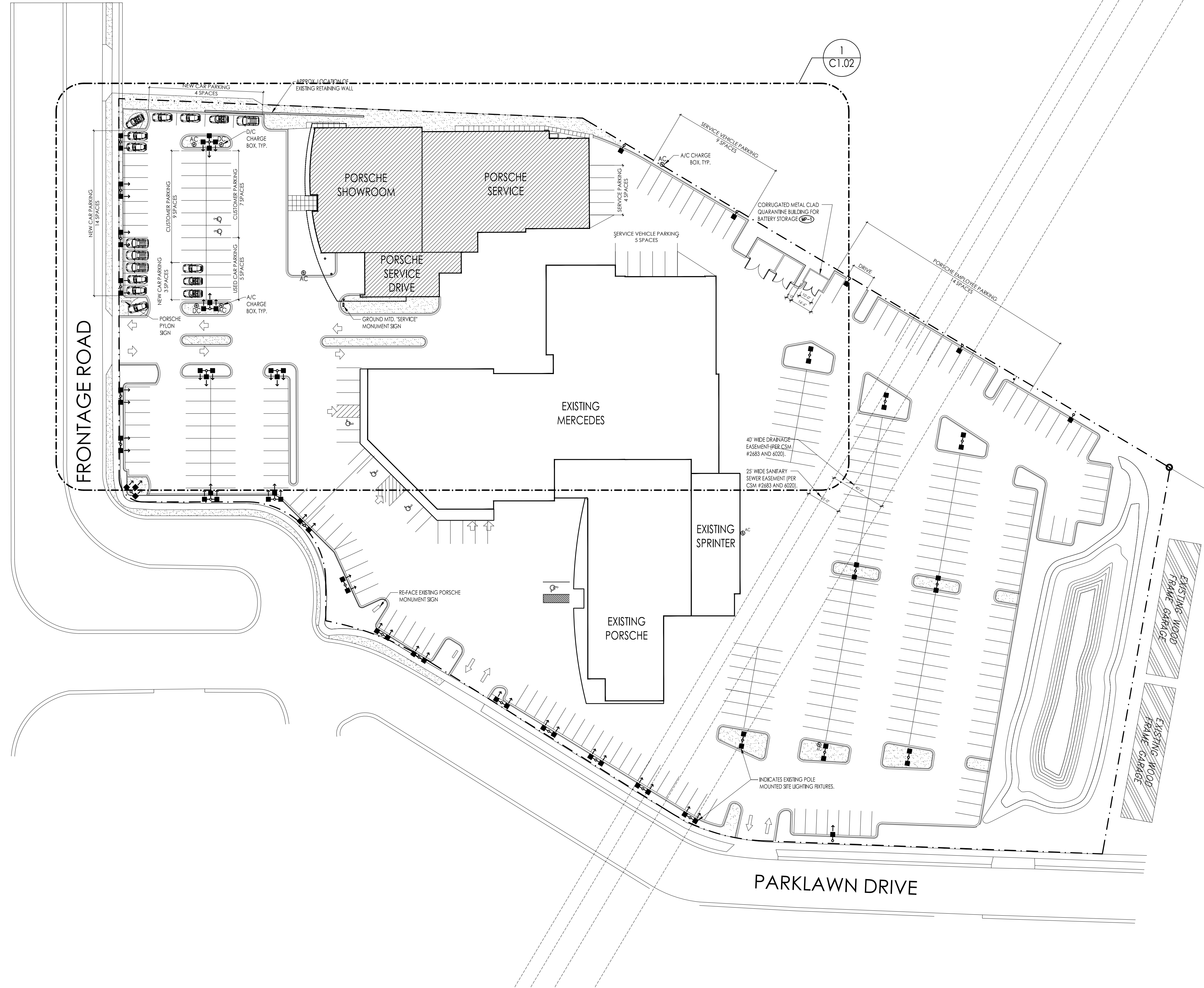
1 LIFE SAFETY PLAN
1/8" = 1'-0"

2 PLAN AT SERVICE LOUNGE
1/8" = 1'-0"

LEGEND	
—	PATH OF EGRESS
- - -	HCP ACCESSIBILITY ROUTE
●	EGRESS LIGHTING
○	FIRE EXTINGUISHER

PROGRESS DOCUMENTS

EAST MORELAND BOULEVARD



LEGEND			
T	TELEPHONE PEDESTAL	○	UTILITY POLE
E	ELECTRIC PEDESTAL	⊕	A/C CHARGE BOX
C	CABLE PEDESTAL	⊖	D/C CHARGE BOX
⊕	GAS METER		
○	LIGHT POLE		

PROPOSED BUILDING AREAS	
PORSCHE FOOTPRINT:	17,889 S.F.
MERCEDES/SPRINTER FOOTPRINT:	44,660 S.F.
TOTAL BUILDING FOOTPRINT:	62,549 S.F.



ARCHITECTS
700 W. VIRGINIA STREET, SUITE 604
MILWAUKEE, WI 53204
414.277.8000
MADISENMAHER.COM

PROPOSED REMODEL FOR:

INTERNATIONAL PORSCHE OF WAUKESHA

2228 E. MORELAND BLVD
WAUKESHA, WI 53186



CLIENT:
INTERNATIONAL AUTOS GROUP
2400 SOUTH 108TH ST.
WEST ALLIS, WI 53227

Drawings and Specifications as Instruments of service are the property of Madisen Maher Architects, whether the work for which they are made be executed or not and are not to be used or copied on other work except by written agreement with Madisen Maher Architects.

DATE	ISSUED SET
03.08.19	PROJECT START
03.29.19	FLAT STALL, VEHICLE DISPLAY
04.09.19	ADDRESS PORSCHE COMMENTS
04.19.19	ADDRESS OWNER COMMENTS
09.27.19	ADDRESS PORSCHE COMMENTS

Project Number	19-005
Start Date	03/08/2019
Drawn By	ELM
Checked By	ELM
Scale	AS NOTED

PROGRESS DOCUMENTS

PROPOSED SITE PLAN

C1.01

1 PROPOSED SITE PLAN
1" = 40'-0"

PORSCHE PARKING INFORMATION

PARKING SPACE ALLOCATION:	
EXTERIOR DISPLAY - NEW CARS:	21 SPACES
EXTERIOR DISPLAY - PRE-OWNED CARS:	5 SPACES
CUSTOMER PARKING:	16 SPACES
INCLUDES 2 HCP PARKING SPACES	
SERVICE VEHICLES:	18 SPACES
EMPLOYEE PARKING:	14 SPACES
TOTAL PARKING SPACES:	74 SPACES

CHARGING STATIONS

A/C CHARGING STATIONS:	4
D/C CHARGING STATIONS:	2



ARCHITECTS
 700 W. VIRGINIA STREET, SUITE 604
 MILWAUKEE, WI 53204
 414.277.8000
 MADISENMAHER.COM

PROPOSED REMODEL FOR:

INTERNATIONAL PORSCHE OF WAUKESHA

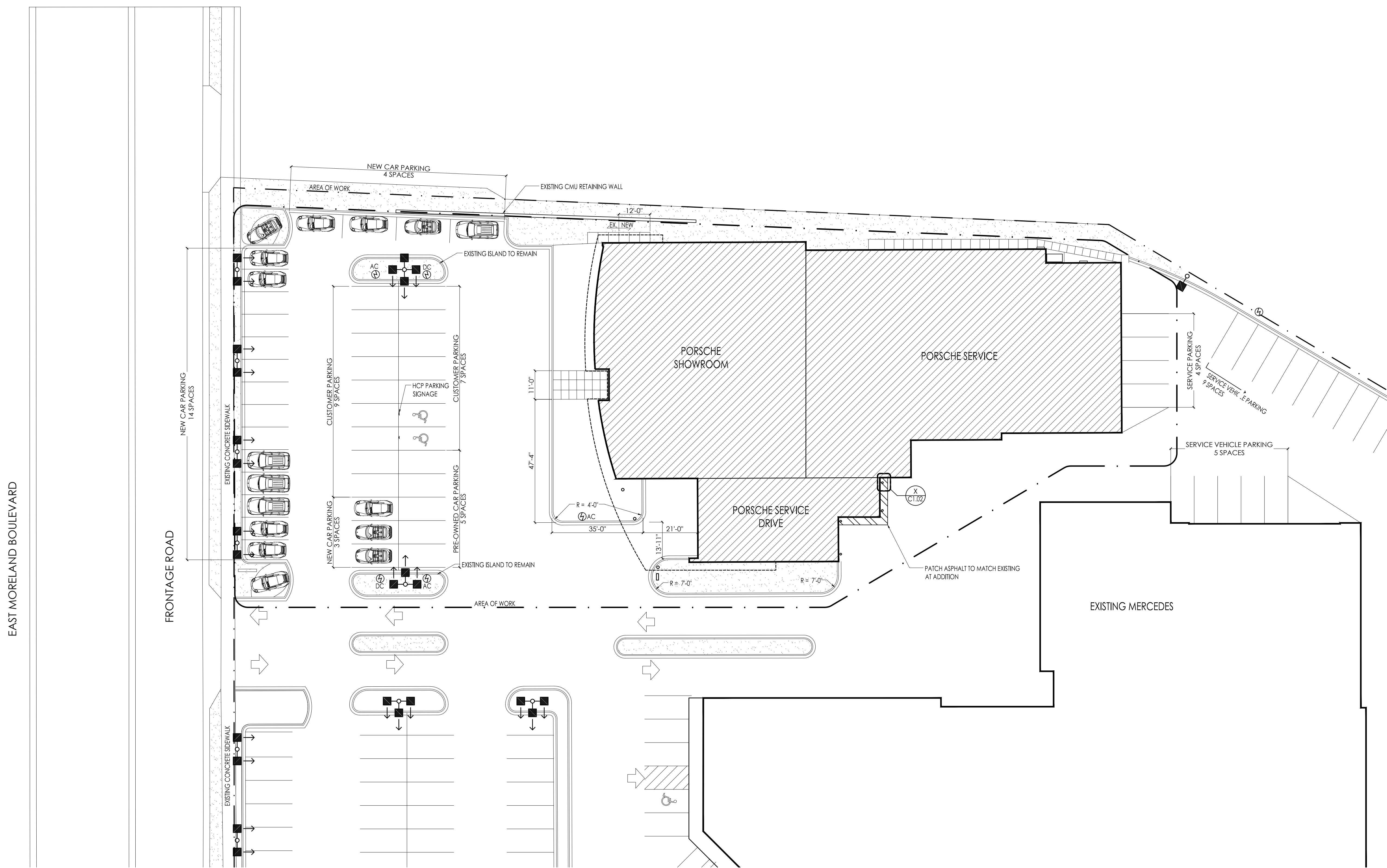
2228 E. MORELAND BLVD
 WAUKESHA, WI 53186



CLIENT:
 INTERNATIONAL AUTOS GROUP
 2400 SOUTH 108TH ST.
 WEST ALLIS, WI 53227

Drawings and Specifications as Instruments of service are the property of Madisen Maher Architects, whether the work for which they are made be executed or not and are not to be used or copied on other work except by written agreement with Madisen Maher Architects.

DATE	ISSUED SET
03.08.19	PROJECT START
03.29.19	FLAT STALL, VEHICLE DISPLAY
04.09.19	ADDRESS PORSCHE COMMENTS
04.19.19	ADDRESS OWNER COMMENTS
09.27.19	ADDRESS PORSCHE COMMENTS



EAST MORELAND BOULEVARD

FRONTAGE ROAD

1 ENLARGED SITE PLAN 1" = 20'-0"

PROGRESS DOCUMENTS

Project Number	19-005
Start Date	03/08/2019
Drawn By	ELM
Checked By	ELM
Scale	AS NOTED

ENLARGED SITE PLAN/DETAILS

C1.02

PLAT OF SURVEY



4100 N. CALHOUN RD., SUITE 300
BROOKFIELD, WI 53005
PHONE: (262) 790-1480
FAX: (262) 790-1481
EMAIL: ggosser@trioeng.com

PROJECT:
INTERNATIONAL AUTOS
WAUKESHA, WI
PREPARED FOR:
MADISEN MAHER ARCHITECTS, INC.
700 W. VIRGINIA STREET, SUITE 604
MILWAUKEE, WI 53204

REVISIONS:

JOB NUMBER:
04-001-693-01

DESCRIPTION:
PLAT OF SURVEY

SHEET

1 OF 1

LEGEND:

- 1" IRON PIPE
- SIGN
- ⚡ POWER POLE
- POWER POLE ANCHOR
- ⊗ LIGHT POLE
- MANHOLE
- STORM INLET
- ⊙ FIRE HYDRANT
- ⊙ GATE VALVE
- X—X— FENCE
- E—E— BURIED ELECTRIC LINE
- OW—OW— OVERHEAD WIRE
- ⊞ BELL PEDESTAL
- ⊞ TELEPHONE PEDESTAL
- ⊞ ELECTRIC METER
- ⊞ GAS METER
- (M) MEASURED
- (R) RECORDED AS
- ⊕ PROPOSED A/C CHARGE BOX
- ⊕ PROPOSED D/C CHARGE BOX



SCALE: 1"=50'
0 25 50 100

CURVE TABLE:

NUMBER	RADIUS	I-ANGLE	ARC	CHORD	CHORD BEARING
C1 (M)	138.56	29°51'40"	72.21	71.40	S15°39'49"E
(R)	138.56	29°51'40"	72.21	71.40	S16°24'10"E
C2 (M)	214.73	21°23'38"	80.18	79.71	S11°25'48"E
(R)	214.73	21°23'38"	80.17	79.71	S10°13'35"E
C3 (M)	57.50	90°00'00"	90.32	81.32	S12°09'22"W
(R)	57.50	90°00'00"	90.32	81.32	S13°21'35"W
C4 (M)	17.50	90°00'00"	27.49	24.75	S12°09'22"W
(R)	17.50	90°00'00"	27.49	24.75	S13°21'35"W

NOTES:

- ALL BEARINGS ARE REFERENCED TO GRID NORTH OF THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (NAD-27), IN WHICH THE NORTH LINE OF THE N.W. 1/4 OF SECTION 31, TOWN 7 NORTH, RANGE 20 EAST, BEARS N87°59'01"E.

LEGAL DESCRIPTION:

Parcel No. 2 of Certified Survey Map No. 6020, recorded on November 8, 1989 in Volume 49 of Certified Survey Maps on Pages 194 through 197 inclusive, as Document No. 1563786, being a Redivision of Parcel No. 1 of Certified Survey Map No. 5490, being a part of the Southwest 1/4 of the Southwest 1/4 of Section 30, Town 7 North, Range 20 East, in the City of Waukesha, County of Waukesha, State of Wisconsin, and corrected by Affidavit of Correction recorded December 22, 1989, on Reel 1165, Image 1204, as Document No. 1570537.

AND

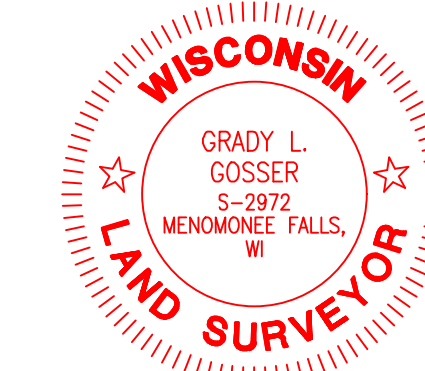
Parcel No. 1 of Certified Survey Map No. 2683, recorded on September 1, 1976 in Volume 19 of Certified Survey Maps on Pages 299 through 302 inclusive, as Document No. 965501, Part of the Northwest 1/4 of Section 31, Town 7 North, Range 20 East, City of Waukesha, Waukesha County, Wisconsin.

SURVEYOR'S CERTIFICATE:

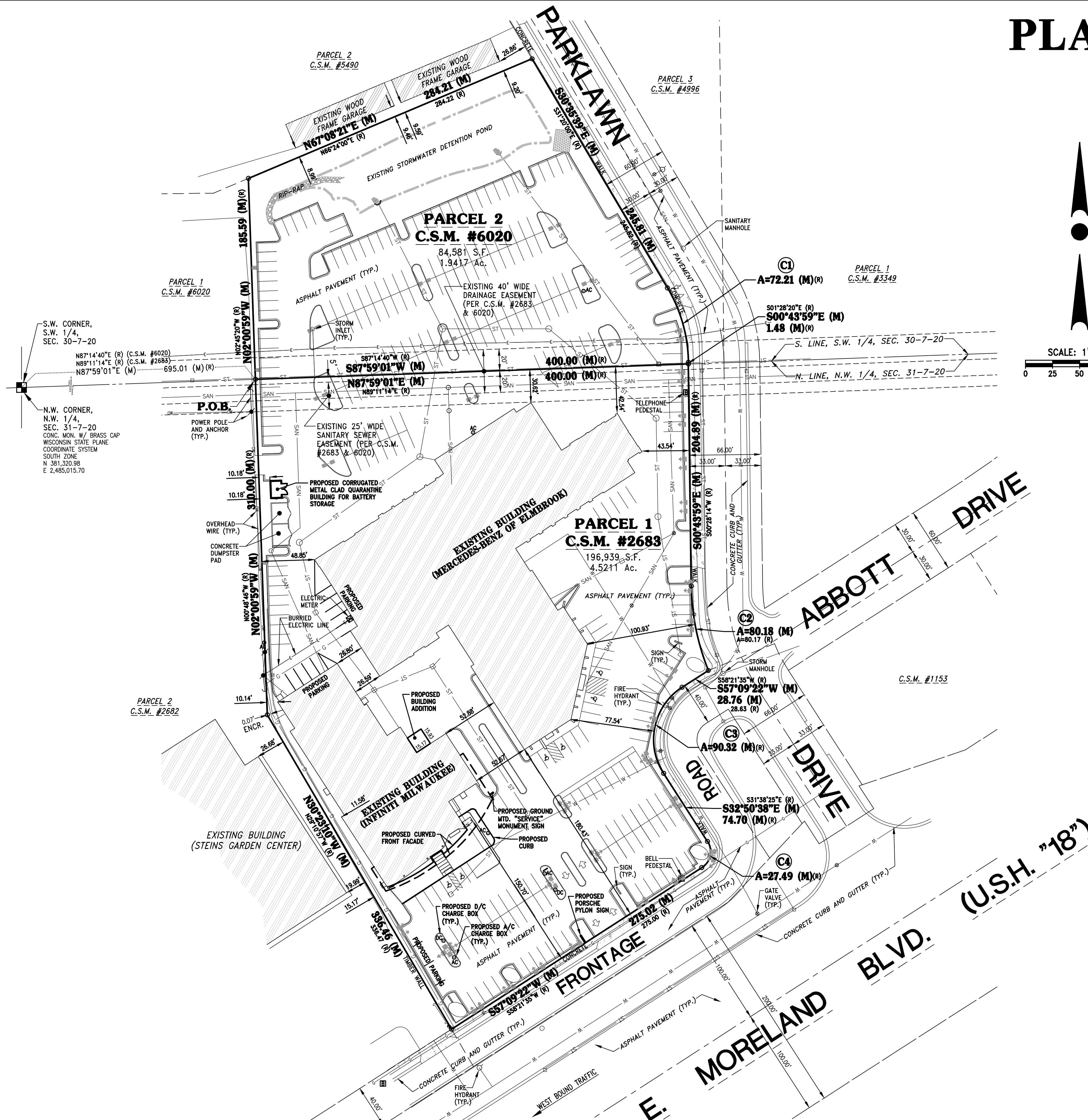
I have surveyed the above described property and the map hereon is a true representation thereof, and shows the size and location of the property, its exterior boundaries, the location and dimensions of all visible structures thereon, fences, apparent easements, and roadways, and visible encroachments, if any.

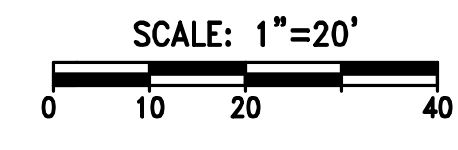
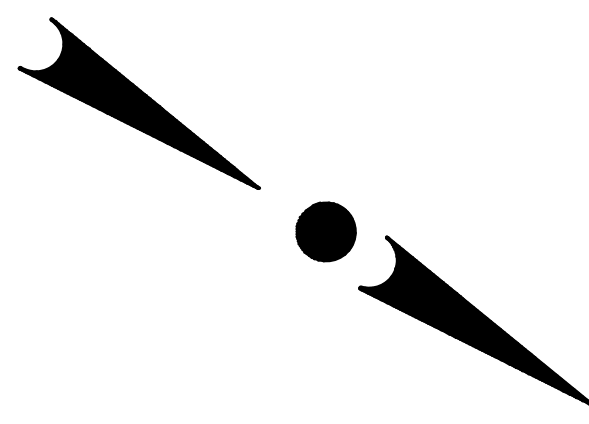
This survey is made for the exclusive use of the present owners of the property, and also those who purchase, mortgage or guarantee title thereto within one year from the date hereof.

Dated this 14th day of OCTOBER 20 19



Grady L. Gosser
Grady L. Gosser, P.L.S.
Professional Land Surveyor S-2972



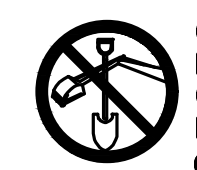


CONSTRUCTION SEQUENCE PLAN

1. INSTALL TRACKING PAD. PROVIDE APPROPRIATE DITCH CHECK AND TEMPORARY STABILIZATION AS NECESSARY.
2. CLEAR AND GRUB EXISTING VEGETATION CONCURRENT WITH STEP 1.
3. ROUGH GRADE SITE.
4. BUILDING CONSTRUCTION MAY COMMENCE AS ALLOWED BY VILLAGE BUILDING PERMIT (NON-SEQUENTIAL).
5. FINISH GRADE SITE. RE-SPREAD TOPSOIL AND SEED, MULCH AND FERTILIZE OUTSIDE OF PAVEMENT AREAS UPON COMPLETION OF FINISH GRADING. INSTALL EROSION MATTING AS INDICATED ON PLAN AND AS NECESSARY TO STABILIZE SITE.
6. COMPLETE LANDSCAPING AND FINAL STABILIZATION AROUND BUILDINGS CONCURRENT WITH BUILDING CONSTRUCTION. AT THE TIME OF FINAL STABILIZATION CONTRACTOR SHALL REMOVE ALL SEDIMENT FROM TEMPORARY SILT TRAP AND FINISH CONSTRUCTING SITE TO PROPOSED GRADES.
7. REMOVE INLET PROTECTION AND CLOSE OUT CONSTRUCTION SITE. PERMITS ONCE THE SITE IS SUBSTANTIALLY VEGETATED (>70% GROUND COVER).

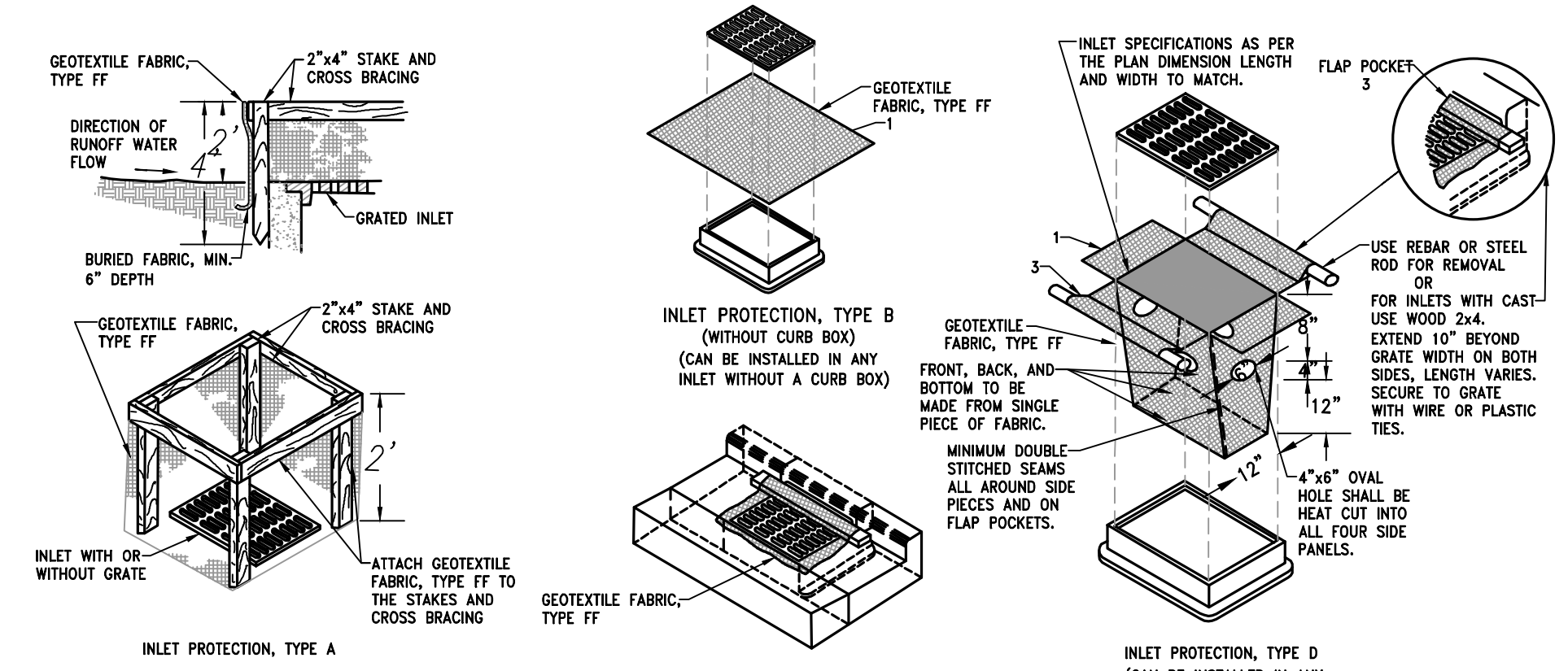
WISCONSIN DEPARTMENT OF NATURAL RESOURCES.
CONSERVATION PRACTICE STANDARD:
 1057 - STONE TRACKING PAD AND TIRE WASHING
 1058 - MULCHING FOR CONSTRUCTION SITES
 1059 - TEMPORARY SEEDING
 1060 - STORM DRAIN INLET PROTECTION FOR CONST. SITES

WINTER STABILIZATION PROVISIONS:
 IF FINAL SITE STABILIZATION OCCURS AFTER OCTOBER 15, CONTRACTOR SHALL UTILIZE ANIONIC POLYACRYLAMIDE AND TEMPORARY SEEDING, AS WELL AS, COORDINATE WITH VILLAGE ENGINEER FOR LATE SEASON STABILIZATION REQUIREMENTS.



CONTRACTOR IS REQUIRED TO CONTACT DIGGERS HOTLINE TOLL FREE TO OBTAIN LOCATION OF UNDERGROUND UTILITIES PRIOR TO COMMENCING THE WORK. WISCONSIN STATUTE 182.0715 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.
CALL DIGGERS HOTLINE 1-800-242-8511

NOTE:
 EXISTING UNDERGROUND UTILITY INFORMATION WAS OBTAINED FROM AVAILABLE RECORDS. THE ENGINEER MAKES NO GUARANTEE AS TO THE ACCURACY OF THIS INFORMATION. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN LOCATION OF UTILITIES IN THE FIELD AND LOCATIONS SHOWN ON THE PLANS.



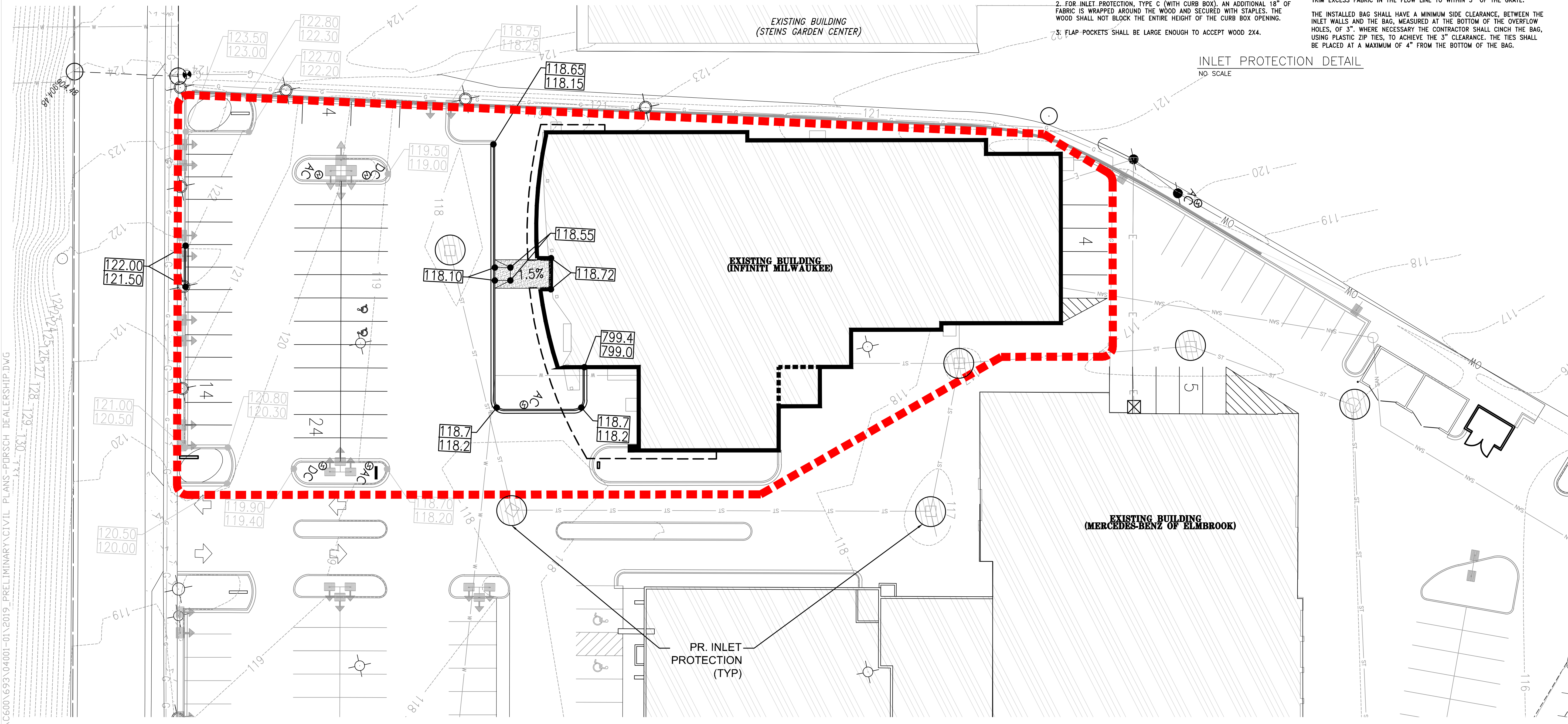
GENERAL NOTES:

- MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.
- WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
1. FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
 2. FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
 3. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.

INSTALLATION NOTES:

- TYPE B & C**
 TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE. THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP. HAND HOLDS OF OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.
- TYPE D**
 DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.
- TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
- THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

INLET PROTECTION DETAIL
 NO SCALE



H:\606\693\04001-01\2019 PRELIMINARY\CIVIL PLANS-PORSCH DEALERSHIP.DWG



4100 N. CALHOUN ROAD, STE 300
 BROOKFIELD, WI 53005
 PHONE: (262) 790-1480
 FAX: (262) 790-1481
 EMAIL: jps@trioeng.com

PROJECT:
INTL. PORSCH OF WAUKESHA
 WAUKESHA, WISCONSIN
PREPARED FOR:
 MADISEN MAHER ARCHITECTS, INC.
 700 W. VIRGINIA STREET, SUITE 604
 MILWAUKEE, WI 53204

REVISION HISTORY	
DATE	DESCRIPTION

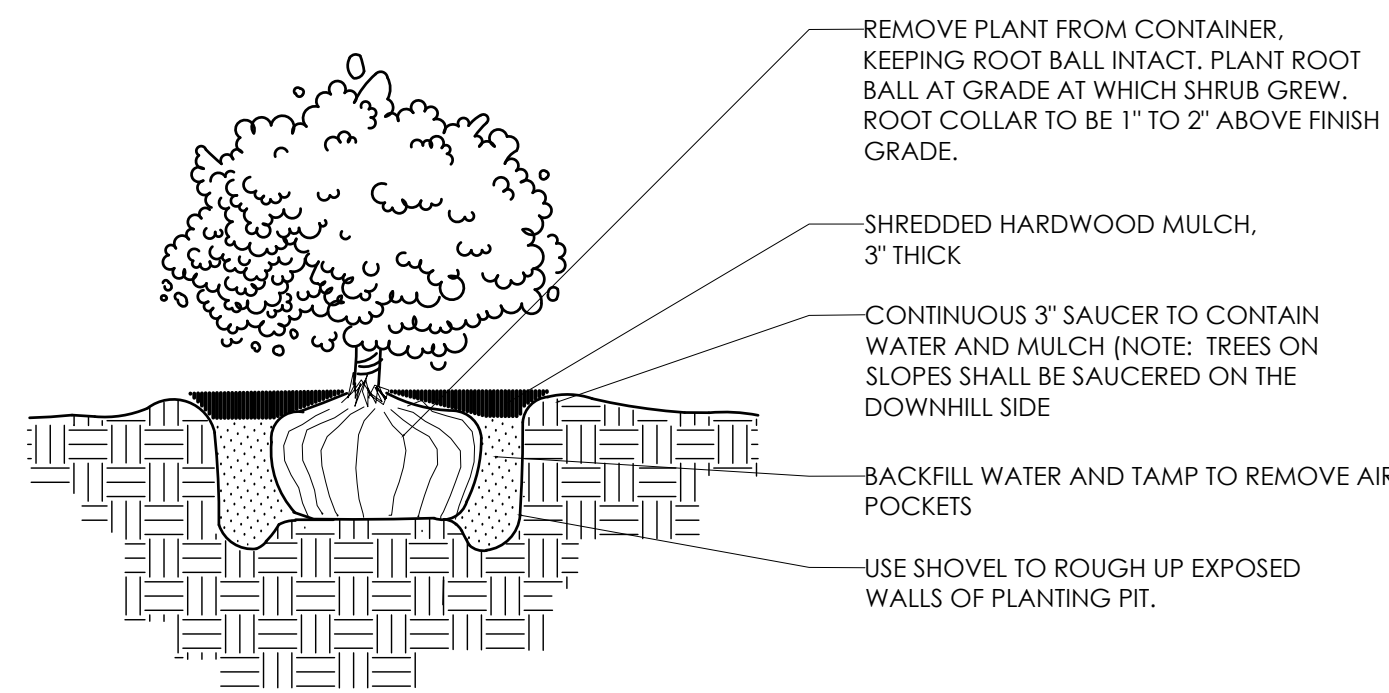
DATE:
 OCTOBER 14, 2019

JOB NUMBER:
 04001-01

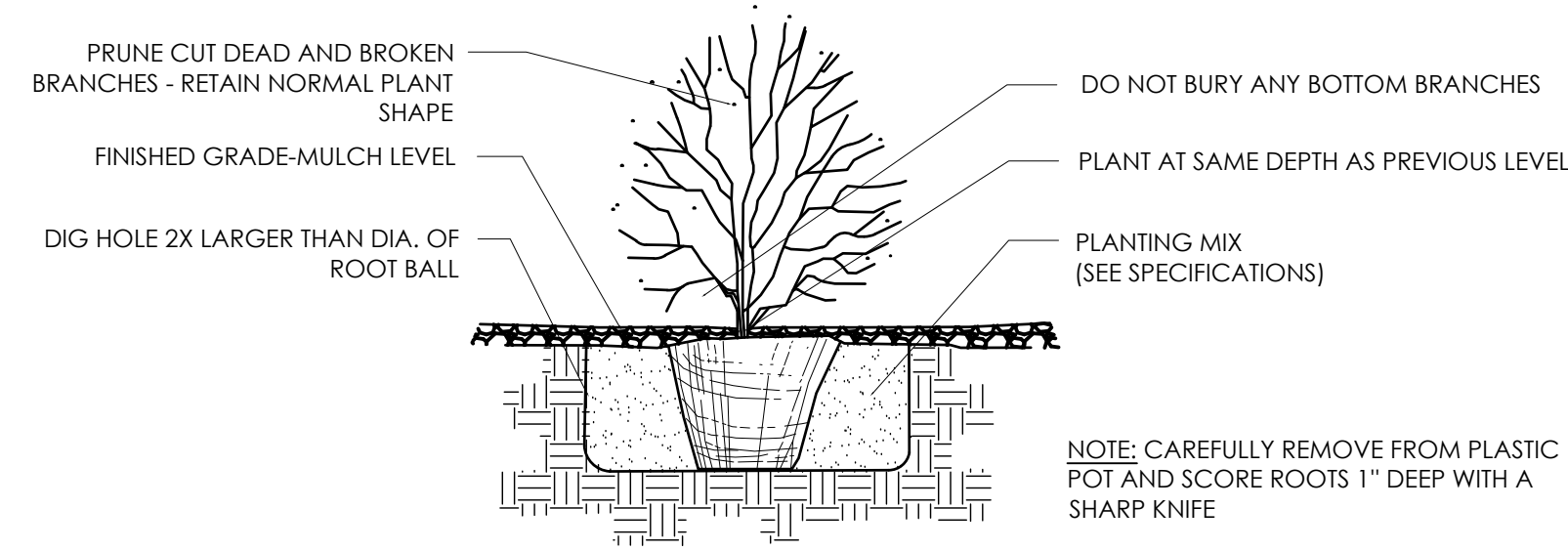
DESCRIPTION:
 GRADING &
 EROSION
 CONTROL PLAN

SHEET

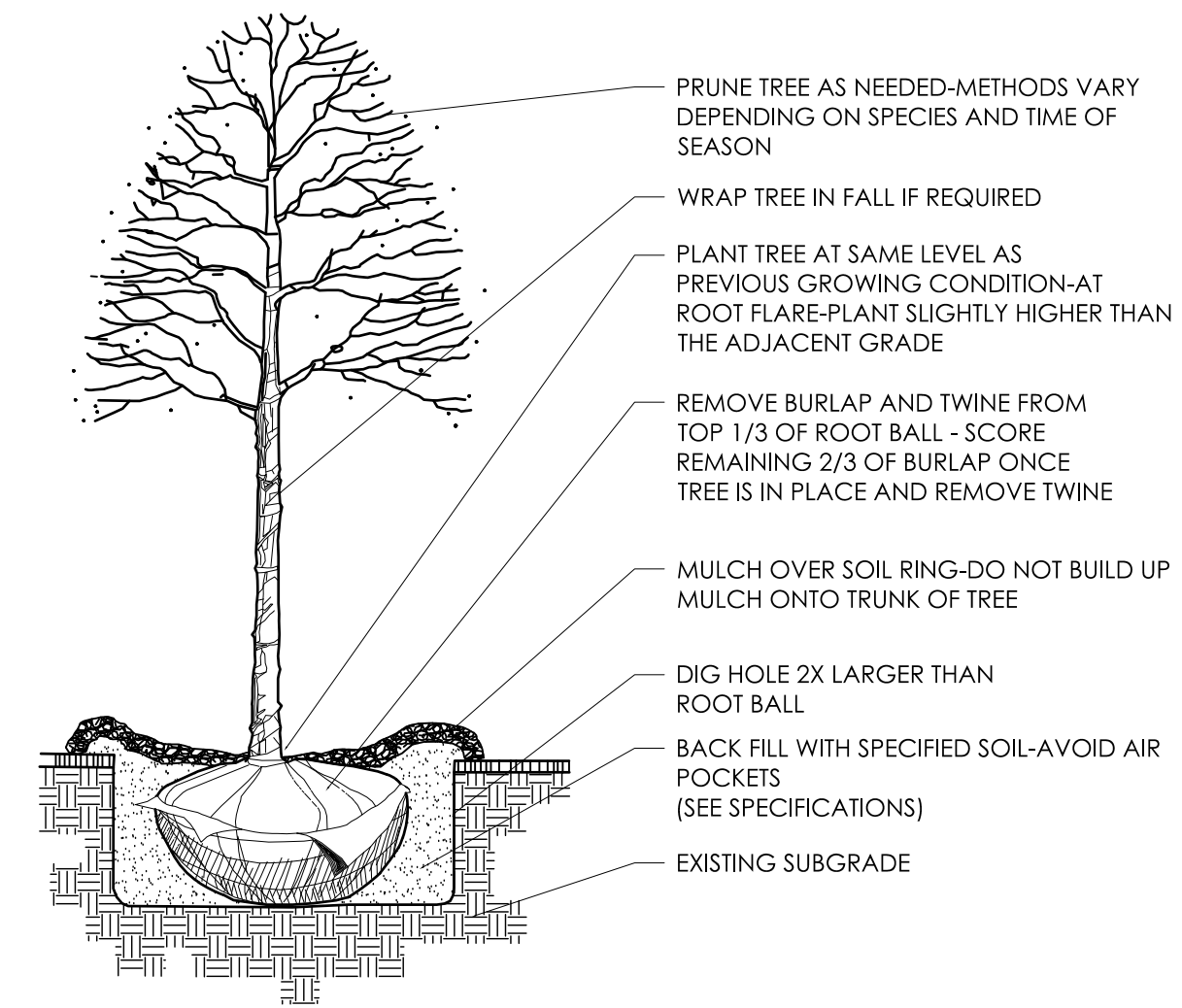
C2.0



4 SHRUB PLANTING DETAIL
NOT TO SCALE



3 PERENNIAL PLANTING DETAIL
NOT TO SCALE

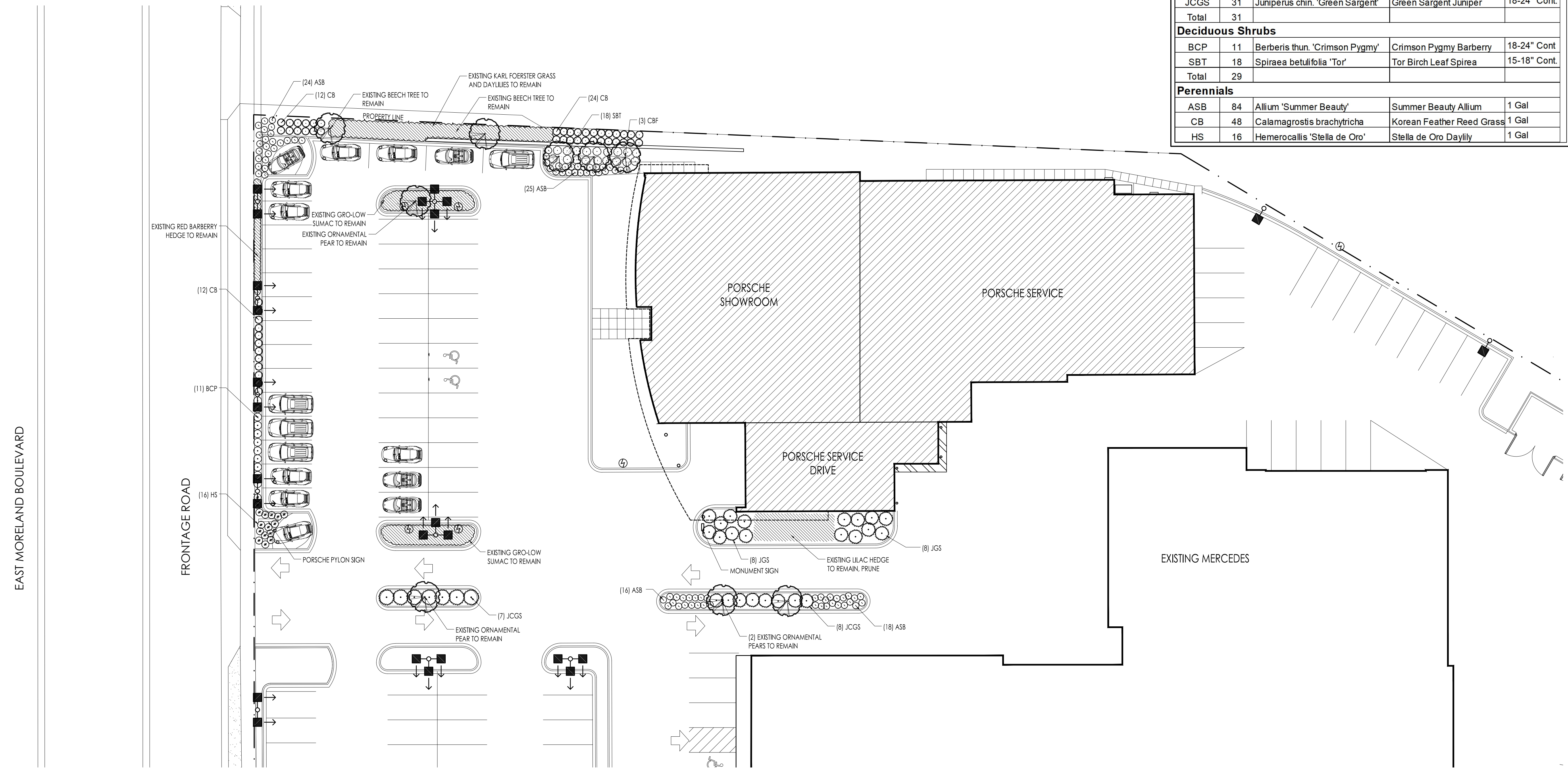


2 TREE PLANTING DETAIL
NOT TO SCALE

- ### GENERAL NOTES
- ONE WEEK TO 10 DAYS BEFORE PLANTING, CUT AND SPRAY EXISTING WEEDS WITH ROUND-UP IN PLANTING AREAS TO BE ADDRESSED.
 - UPON START OF PROJECT, REMOVE SPRAYED WEEDS FROM PLANT BEDS.
 - REMOVE EXISTING JUNIPERS AND PERENNIALS IN PLANTING ISLAND EAST OF PORSCHE SERVICE BAY AREA. REMOVE SPIREA AND CALAMAGROSIS KARL FOERSTER EAST OF PORSCHE SERVICE BAY BUILDING FOUNDATION. REMOVE JUNIPER ON SW CORNER OF PROPERTY.
 - FURNISH AND INSTALL BLENDED TOPSOIL SOIL MIX IN PLANTING HOLES WHEN ADDING TREES, SHRUBS AND A MIX OF 1/2 COMPOST AND 1/2 BLENDED SOIL FOR PERENNIALS TO EXISTING PLANTING BEDS AND ISLANDS.
 - FURNISH AND INSTALL A 2-3" DEPTH AMERICAN HERITAGE 1 1/2" STONE MULCH AND LANDSCAPE FABRIC AROUND NEW AND EXISTING TREES AND SHRUBS IN ALL PLANTING AREAS FOR PORSCHE PORTION OF SITE. USE EXISTING WASHED STONE MULCH AREA ON TOP OF RETAINING WALL SW OF FRONT FOUNDATION OF PORSCHE BUILDING. FURNISH AND INSTALL NEW WEED BARRIER FOR PLANTINGS IN WASHED STONE AREA-AS NEEDED.
 - PRUNE EXISTING LILAC HEDGE EAST OF FOUNDATION OF PORSCHE SERVICE BAY.
 - REMOVE ANY WEEDS FROM EXISTING GRO-LOW SUMAC NOTED TO REMAIN IN PLANTING ISLANDS FOR PORSCHE.

PLANT TABLE

Shade Trees			
Existing	4	<i>Pyrus calleryana</i>	Bradford Pear 6-8"
Total	4		
Ornamental Trees			
Existing	2	<i>Fagus</i> Species	Beech 1.5-2"
New	3	<i>Carpinus betulus fastigiata</i>	Pyramidal Hornbeam 2-2.5" BB
Total	5		
Evergreen Shrubs			
JCGS	31	<i>Juniperus chin. 'Green Sargent'</i>	Green Sargent Juniper 18-24" Cont.
Total	31		
Deciduous Shrubs			
BCP	11	<i>Berberis thun. 'Crimson Pygmy'</i>	Crimson Pygmy Barberry 18-24" Cont.
SBT	18	<i>Spiraea betulifolia 'Tor'</i>	Tor Birch Leaf Spirea 15-18" Cont.
Total	29		
Perennials			
ASB	84	<i>Allium 'Summer Beauty'</i>	Summer Beauty Allium 1 Gal
CB	48	<i>Calamagrostis brachytricha</i>	Korean Feather Reed Grass 1 Gal
HS	16	<i>Hemerocallis 'Stella de Oro'</i>	Stella de Oro Daylily 1 Gal



1 LANDSCAPE PLAN
1" = 20'-0"



ARCHITECTS
700 W. VIRGINIA STREET, SUITE 604
MILWAUKEE, WI 53204
414.277.8000
MADISENMAHER.COM

PROPOSED REMODEL FOR:
INTERNATIONAL PORSCHE OF WAUKESHA
2228 E. MORELAND BLVD
WAUKESHA, WI 53186



CLIENT:
INTERNATIONAL AUTOS GROUP
2400 SOUTH 108TH ST.
WEST ALLIS, WI 53227

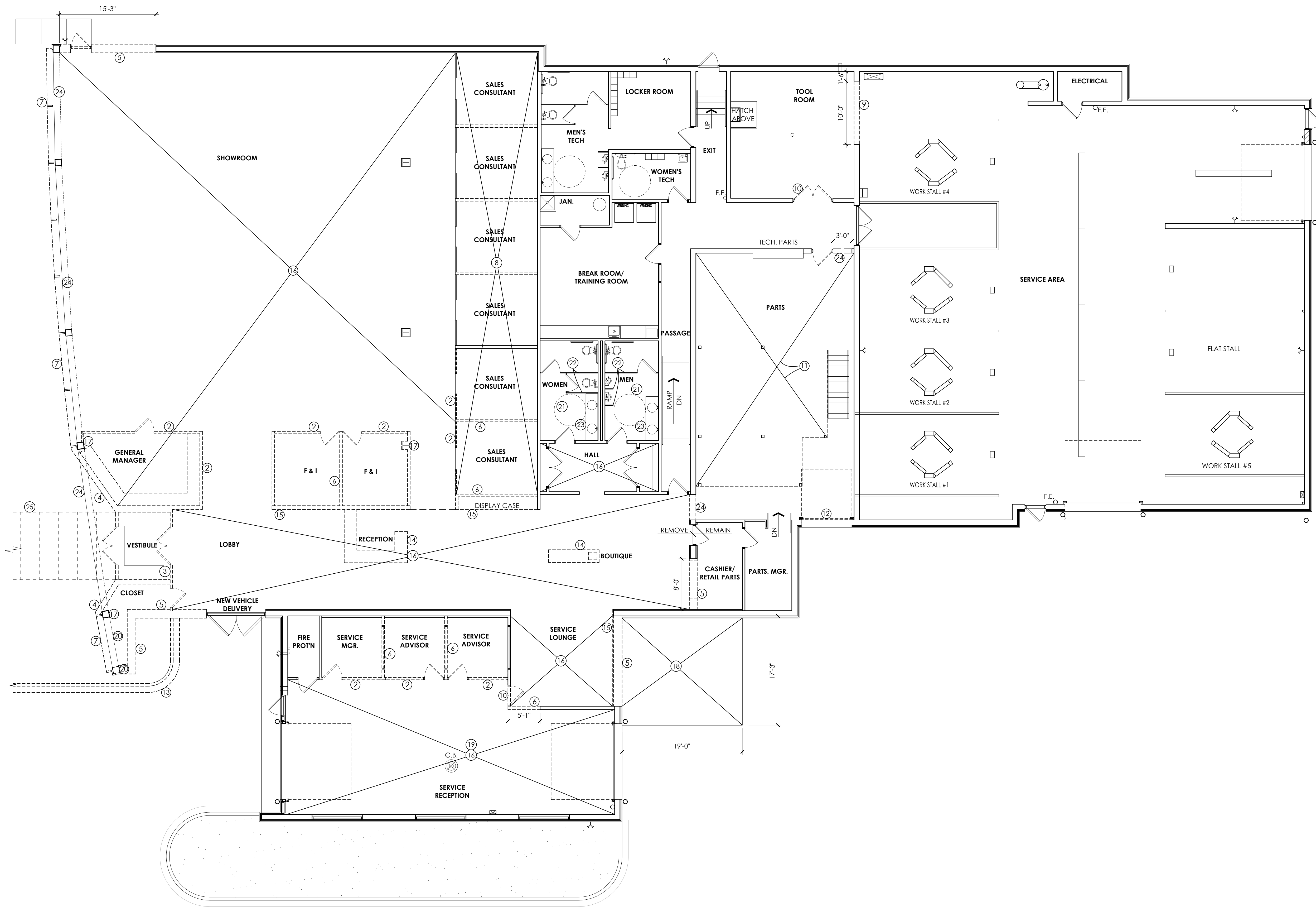
Drawings and Specifications as Instruments of service are the property of Madisen Maher Architects, whether the work for which they are made be executed or not and are not to be used or copied on other work except by written agreement with Madisen Maher Architects.

DATE	ISSUED SET
03.08.19	PROJECT START
03.29.19	FLAT STALL, VEHICLE DISPLAY
04.09.19	ADDRESS PORSCHE COMMENTS
04.19.19	ADDRESS OWNER COMMENTS
09.27.19	ADDRESS PORSCHE COMMENTS

Project Number	19-005
Start Date	03/08/2019
Drawn By	ELM
Checked By	ELM
Scale	AS NOTED

LANDSCAPING PLAN
L1.01

PROGRESS DOCUMENTS



DEMOLITION LEGEND

- EXISTING WALL TO REMAIN
- EXISTING PARTITION TO BE REMOVED
- EXISTING DOOR TO BE REMOVED
- EXISTING DOOR TO REMAIN
- DEMO. KEYED NOTE

DEMO. GENERAL NOTES

1. CONTRACTORS TO VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO CONSTRUCTION.
2. THESE DRAWINGS WERE PREPARED UTILIZING VISUAL AND FIELD MEASURED VERIFICATION. ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF DETAILS OR DESCRIPTION OF EXISTING CONDITIONS.
3. GENERAL CONTRACTOR SHALL TAKE PRECAUTIONS AS REQUIRED TO PREVENT THE INFILTRATION OF DUST TO OTHER PARTS OF THE BUILDING.
4. NOTIFY OWNER AT LEAST 24 HOURS PRIOR TO ANY PLANNED UTILITY OUTAGES.
5. THE OWNER HAS THE RIGHT OF FIRST REFUSAL ON ALL ITEMS REMOVED DURING DEMOLITION.
6. HVAC CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL, CAPPING, AND CODE COMPLIANCE OF ALL HVAC EQUIPMENT AND RELATED SYSTEMS REMOVED DURING DEMOLITION.
7. PLUMBING CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL, CAPPING, AND CODE COMPLIANCE OF ALL PLUMBING FIXTURES AND RELATED PIPING REMOVED DURING DEMOLITION.
8. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL, CAPPING, AND CODE COMPLIANCE OF ALL ELECTRICAL FIXTURES AND RELATED WIRING REMOVED DURING DEMOLITION.

DEMO. KEYED NOTES

- 1 REMOVE EXISTING GRAB BARS; SAVE FOR REINSTALLATION.
- 2 REMOVE EXISTING GLASS WALL SYSTEM AND DOORS.
- 3 REMOVE EXISTING VESTIBULE COMPLETE.
- 4 REMOVE EXISTING STONE VENEER.
- 5 REMOVE EXISTING CMU WALL.
- 6 REMOVE EXISTING PARTITION WALL.
- 7 REMOVE EXISTING GLASS FACADE ASSEMBLY COMPLETE.
- 8 REMOVE EXISTING CARPET COMPLETE.
- 9 REMOVE 10x10FT PORTION OF EXISTING WALL AND PREP FOR NEW DOOR(S). COORDINATE WITH STRUCTURAL FOR LINTEL SIZE & INSTALLATION.
- 10 REMOVE DOORS & FRAME COMPLETE.
- 11 REMOVE MODULAR MEZZANINE AND STAIR; SAVE FOR REINSTALLATION.
- 12 REMOVE 10FT OVERHEAD DOOR & RELATED HARDWARE. SAVE FOR REINSTALLATION.
- 13 REMOVE PORTION OF EXISTING CURB AS REQUIRED TO ACCOMMODATE NEW CURB.
- 14 REMOVE EXISTING MILLWORK.
- 15 REMOVE EXISTING HARDWOOD PANELING - TURN OVER TO OWNER.
- 16 REMOVE EXISTING FLOOR TILE & BASE.
- 17 EXISTING STRUCTURAL COLUMN TO REMAIN. PROTECT IN PLACE DURING CONSTRUCTION.
- 18 REMOVE PAVEMENT AS REQUIRED FOR ADDITION.
- 19 REMOVE EXISTING METAL PANEL CEILING.
- 20 REMOVE COLUMN AND PORTION OF BEAM ABOVE. COORDINATE WITH STRUCTURAL.
- 21 REMOVE EXISTING TILE ON WALLS AND FLOOR COMPLETE THIS ROOM.
- 22 REMOVE STALL PARTITIONS.
- 23 REMOVE EXISTING COUNTERTOP AND BACKSPASH. SAVE PLUMBING FIXTURES FOR REINSTALLATION.
- 24 REMOVE 3x7FT PORTION OF EXISTING WALL AND PREP FOR NEW DOOR(S). COORDINATE WITH STRUCTURAL FOR LINTEL SIZE & INSTALLATION.
- 25 EXISTING CONCRETE SIDEWALK TO BE REMOVED.
- 26 REMOVE THE TOP 5" OF EXISTING FROST WALL AT EXISTING SHOW ROOM TO ACCOMMODATE NEW FLOOR SLAB.

1 FIRST FLOOR DEMO PLAN
1/8" = 1'-0"



ARCHITECTS
700 W. VIRGINIA STREET, SUITE 604
MILWAUKEE, WI 53204
414.277.8000
MADISENMAHER.COM

PROPOSED REMODEL FOR:
INTERNATIONAL PORSCHE OF WAUKESHA
2228 E. MORELAND BLVD
WAUKESHA, WI 53186



CLIENT:
INTERNATIONAL AUTOS GROUP
2400 SOUTH 108TH ST.
WEST ALLIS, WI 53227

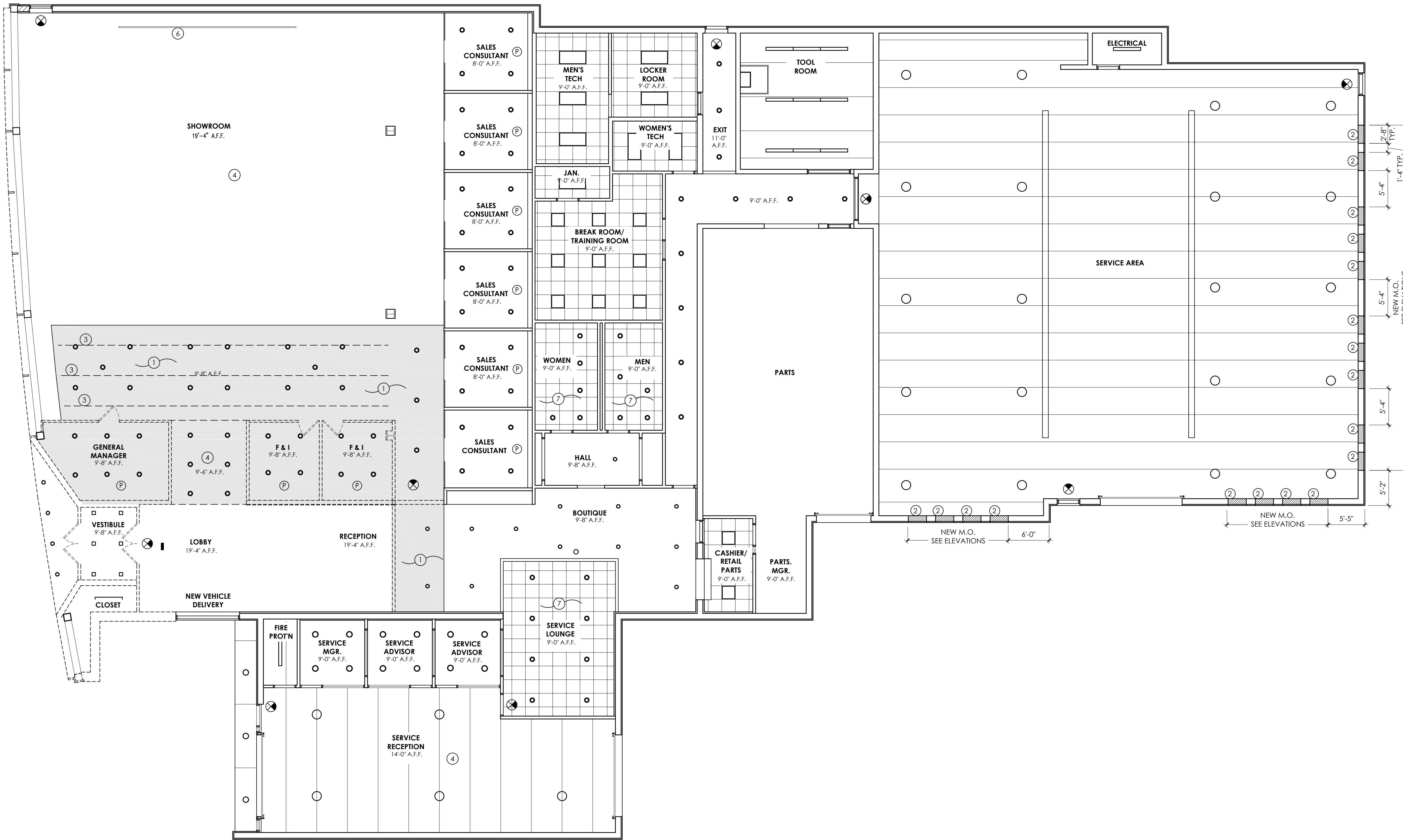
Drawings and Specifications as Instruments of service are the property of Madisen Maher Architects, whether the work for which they are made be executed or not and are not to be used or copied on other work except by written agreement with Madisen Maher Architects.

DATE	ISSUED SET
03.08.19	PROJECT START
03.29.19	FLAT STALL, VEHICLE DISPLAY
04.09.19	ADDRESS PORSCHE COMMENTS
04.19.19	ADDRESS OWNER COMMENTS
09.27.19	ADDRESS PORSCHE COMMENTS

Project Number	19-005
Start Date	03/08/2019
Drawn By	ELM
Checked By	ELM
Scale	AS NOTED

PROGRESS DOCUMENTS

DEMO PLAN
D1.01



DEMOLITION LEGEND

- EXISTING WALL TO REMAIN
- EXISTING PARTITION TO BE REMOVED
- EXISTING DOOR TO BE REMOVED
- EXISTING DOOR TO REMAIN
- DEMO. KEYED NOTE

DEMO. GENERAL NOTES

1. CONTRACTORS TO VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO CONSTRUCTION.
2. THESE DRAWINGS WERE PREPARED UTILIZING VISUAL AND FIELD MEASURED VERIFICATION. ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF DETAILS OR DESCRIPTION OF EXISTING CONDITIONS.
3. GENERAL CONTRACTOR SHALL TAKE PRECAUTIONS AS REQUIRED TO PREVENT THE INFILTRATION OF DUST TO OTHER PARTS OF THE BUILDING.
4. NOTIFY OWNER AT LEAST 24 HOURS PRIOR TO ANY PLANNED UTILITY OUTAGES.
5. THE OWNER HAS THE RIGHT OF FIRST REFUSAL ON ALL ITEMS REMOVED DURING DEMOLITION.
6. HVAC CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL, CAPPING, AND CODE COMPLIANCE OF ALL HVAC EQUIPMENT AND RELATED SYSTEMS REMOVED DURING DEMOLITION.
7. PLUMBING CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL, CAPPING, AND CODE COMPLIANCE OF ALL PLUMBING FIXTURES AND RELATED PIPING REMOVED DURING DEMOLITION.
8. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL, CAPPING, AND CODE COMPLIANCE OF ALL ELECTRICAL FIXTURES AND RELATED WIRING REMOVED DURING DEMOLITION.

DEMO. KEYED NOTES

- ① REMOVE GWB SOFFIT; SHOWN SHADED.
- ② REMOVE 2'-8" W x 3'-8" H PORTION OF EXISTING WALL AND PREP FOR NEW WINDOWS. COORDINATE WITH STRUCTURAL FOR LINTEL SIZE & INSTALLATION.
- ③ REMOVE THREE EXISTING JOISTS. SEE STRUCTURAL.
- ④ REMOVE EXISTING METAL PANEL CEILING COMPLETE THIS ROOM.
- ⑤ REMOVE COLUMN AND PORTION OF BEAM ABOVE. COORDINATE WITH STRUCTURAL.
- ⑥ REMOVE HANGING INSTALLATION COMPLETE.
- ⑦ REMOVE EXISTING ACOUSTIC TILE CEILING COMPLETE THIS ROOM.



ARCHITECTS
 700 W. VIRGINIA STREET, SUITE 604
 MILWAUKEE, WI 53204
 414.277.8000
 MADISENMAHER.COM

PROPOSED REMODEL FOR:
INTERNATIONAL PORSCHE OF WAUKESHA
 2228 E. MORELAND BLVD
 WAUKESHA, WI 53186



CLIENT:
INTERNATIONAL AUTOS GROUP
 2400 SOUTH 108TH ST.
 WEST ALLIS, WI 53227

Drawings and Specifications as Instruments of service are the property of Madisen Maher Architects, whether the work for which they are made be executed or not and are not to be used or copied on other work except by written agreement with Madisen Maher Architects.

DATE	ISSUED SET
03.08.19	PROJECT START
03.29.19	FLAT STALL, VEHICLE DISPLAY
04.09.19	ADDRESS PORSCHE COMMENTS
04.19.19	ADDRESS OWNER COMMENTS
09.27.19	ADDRESS PORSCHE COMMENTS

Project Number	19-005
Start Date	03/08/2019
Drawn By	ELM
Checked By	ELM
Scale	AS NOTED

① CEILING DEMO PLAN 1/8" = 1'-0"

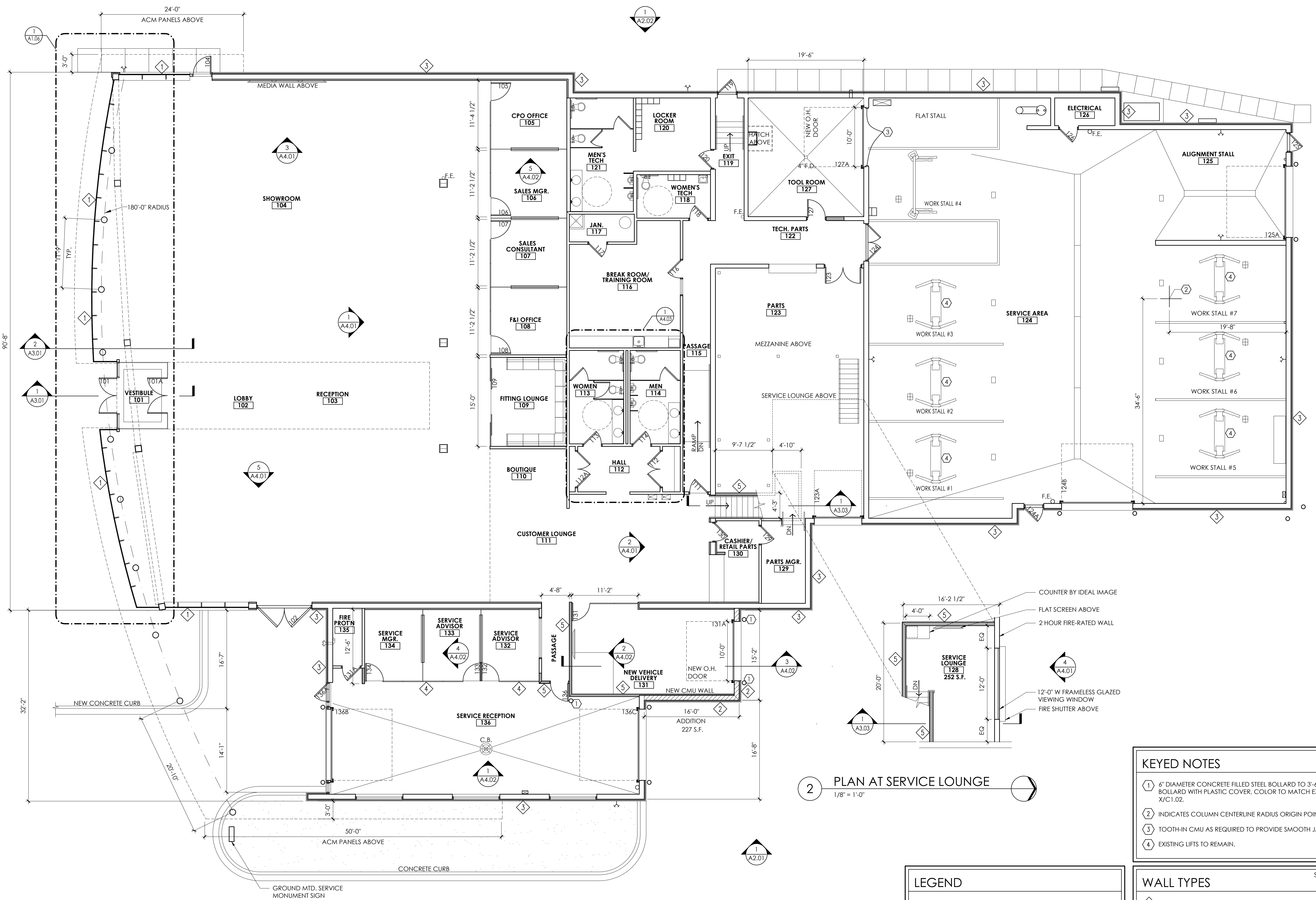
PROGRESS DOCUMENTS

CEILING DEMO PLAN
D1.02



Drawings and Specifications as instruments of service are the property of Madisen Maher Architects, whether the work for which they are made be executed or not and are not to be used or copied on other work except by written agreement with Madisen Maher Architects.

DATE	ISSUED SET
03.08.19	PROJECT START
03.29.19	FLAT STALL, VEHICLE DISPLAY
04.09.19	ADDRESS PORSCHE COMMENTS
04.19.19	ADDRESS OWNER COMMENTS
09.27.19	ADDRESS PORSCHE COMMENTS



1 OVERALL FLOOR PLAN
1/8" = 1'-0"
NOTE: SEE A1.05 FOR FURNITURE PLAN AND CORRESPONDING OUTLET PLACEMENT

2 PLAN AT SERVICE LOUNGE
1/8" = 1'-0"

LEGEND

	EXISTING WALL TO REMAIN
	NEW METAL STUD PARTITION
	NEW CMU WALL
	EXISTING DOOR TO REMAIN
	NEW DOOR
	KEYED NOTE
	WALL TYPE
	REVISIONS

KEYED NOTES

- 6" DIAMETER CONCRETE FILLED STEEL BOLLARD TO 3'-6" HIGH. COVER BOLLARD WITH PLASTIC COVER, COLOR TO MATCH EXISTING. SEE DETAIL X/C.1.02.
- INDICATES COLUMN CENTERLINE RADIUS ORIGIN POINT.
- TOOTH-IN CMU AS REQUIRED TO PROVIDE SMOOTH JAMBS.
- EXISTING LIFTS TO REMAIN.

WALL TYPES
SEE ROOM FINISH SCHEDULE FOR WALL FINISHES

- FRAMELESS GLAZING: 1" CLEAR LOW-E GLASS PANELS SET IN ALUMINUM CHANNELS. SILICONE JOINT AT GLASS FIN STRUCTURE @ 48" O.C. SEE DETAIL SHEET AX.XX
- EXTERIOR WALL: BLACK CORRUGATED METAL PANELS (MP-1) ATTACHED TO EXTERIOR FACE OF 10" CMU WALL WITH HORIZONTAL REINFORCING EVERY SECOND COURSE. 5/8" GWB OVER 4 MIL. VAPOR BARRIER ATTACHED TO 2" Z CHANNELS AT 24" O.C. INTERIOR FACE OF CMU. FILL VOIDS WITH 2" RIGID INSULATION. EXTEND GWB AND FURRING TO UNDERSIDE OF ROOF DECK.
- BLACK CORRUGATED METAL PANELS (MP-1) OVER EXISTING CMU WALL. SEE EXTERIOR ELEVATIONS. A1
- GLASS PARTITION:
- INTERIOR PARTITION, TYP.: (1) LAYER MOISTURE RESISTANT 5/8" GWB EACH SIDE OF 8" METAL STUDS @ 16" O.C. EXTEND PARTITION TO UNDERSIDE OF STRUCTURE.

PROGRESS DOCUMENTS

Project Number	19-005
Start Date	03/08/2019
Drawn By	ELM
Checked By	ELM
Scale	AS NOTED



ARCHITECTS
700 W. VIRGINIA STREET, SUITE 604
MILWAUKEE, WI 53204
414.277.8000
MADISENMAHER.COM

PROPOSED REMODEL FOR:

INTERNATIONAL PORSCHE OF WAUKESHA

2228 E. MORELAND BLVD
WAUKESHA, WI 53186



CLIENT:

INTERNATIONAL AUTOS GROUP
2400 SOUTH 108TH ST.
WEST ALLIS, WI 53227

Drawings and Specifications as instruments of service are the property of Madisen Maher Architects, whether the work for which they are made be executed or not and are not to be used or copied on other work except by written agreement with Madisen Maher Architects.

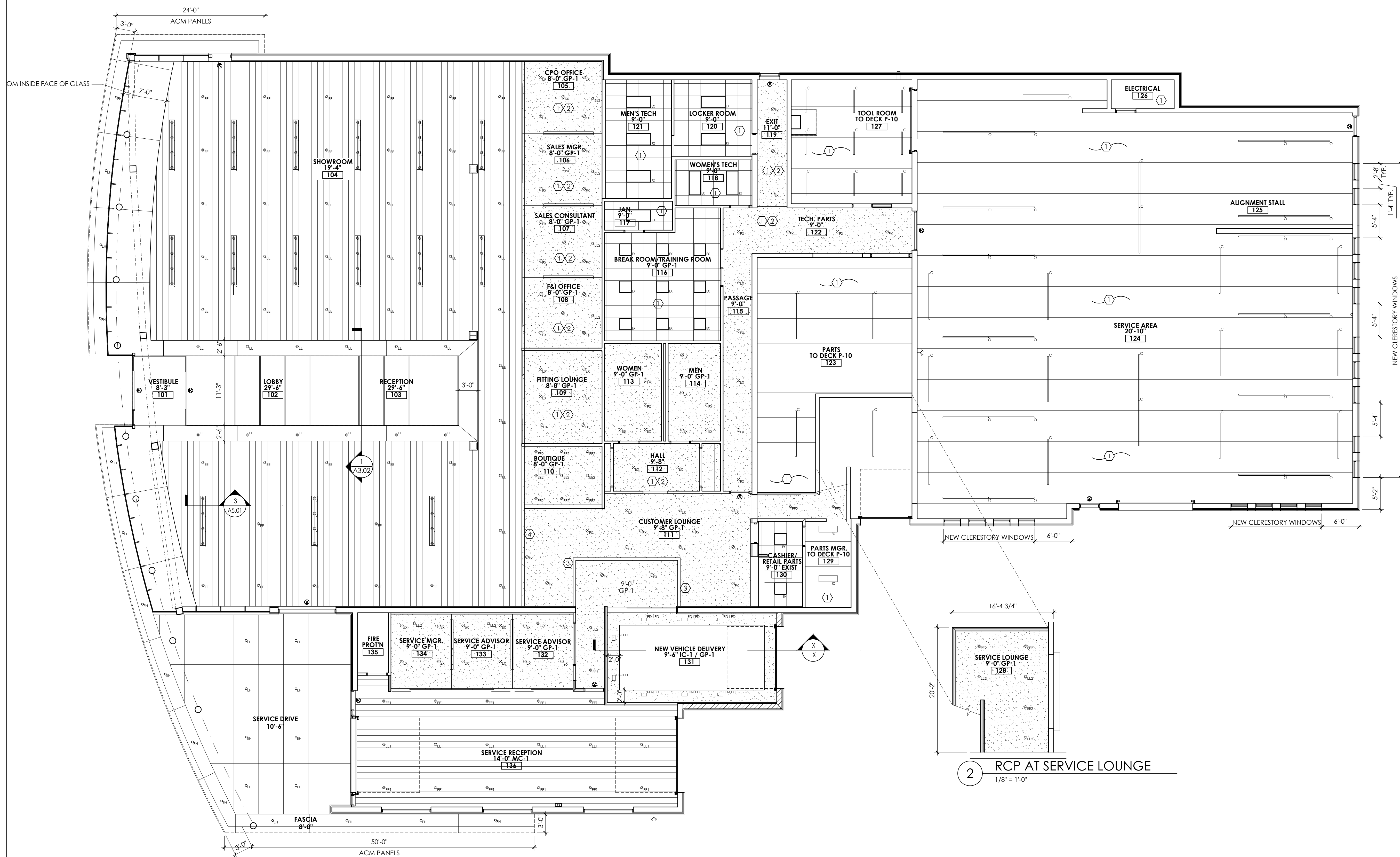
DATE	ISSUED SET
03.08.19	PROJECT START
03.29.19	FLAT STALL, VEHICLE DISPLAY
04.09.19	ADDRESS PORSCHE COMMENTS
04.19.19	ADDRESS OWNER COMMENTS
09.27.19	ADDRESS PORSCHE COMMENTS

Project Number	19-005
Start Date	03/08/2019
Drawn By	ELM
Checked By	ELM
Scale	AS NOTED

PROGRESS DOCUMENTS

REFLECTED CEILING PLAN

A1.02



1 REFLECTED CEILING PLAN
1/8" = 1'-0"

2 RCPT AT SERVICE LOUNGE
1/8" = 1'-0"

KEYED NOTES

- 1 EXISTING CEILING TO REMAIN
- 2 PATCH, PREP, PRIME & PAINT EXISTING GWB CEILINGS
- 3 EXISTING GWB BULKHEAD
- 4 NEW GWB BULKHEAD

CEILING LEGEND

- GWB CEILING
- PRE-FINISHED METAL PANELS
- 2x2 SUSPENDED ACOUSTICAL CEILING PANELS
- EXIT LIGHT
- EGRESS LIGHTING

EXTERIOR LIGHTING FIXTURE SCHEDULE

MARK	NAME	MANUFACTURER	ITEM NUMBER	FITTING	LUMINOUS FLUX	LIGHT LOSS FACTOR	CONNECTED LOAD	QUANTITY	NOTES
EH	DOWNITO 110 70° 800mA	SOLAVANTI	7112022-90-4K	1xLED	2106 lm	0.80	28W	22	

INTERIOR LIGHTING FIXTURE SCHEDULE

MARK	NAME	MANUFACTURER	FITTING	LUMINOUS FLUX	LIGHT LOSS FACTOR	CONNECTED LOAD	QUANTITY	NOTES
J	JETT 103.40.25.2	SOLAVANTI	1xLED SPOT 38W 750mA	3430 lm	0.80	30W	60	TRACK HEAD MOUNTED ON 8'-0" SURFACE TRACK
EE	CSALP 60.3040.25	SOLAVANTI	1xLED SPOT 900mA	3810 lm	0.80	36W	57	COORDINATE FINISH WITH CEILING
C	LK70 PC 8	SOLAVANTI	2x4380 lm, 48W	8760 lm	0.80	96W	47	ANODIZED, SUSPENDED AT 12'-0" A.F.F. IN SERVICE AREA
EE1	CSALP 60.3040.35 1x36W 35A°	SOLAVANTI	1xLED SPOT 36W 900mA	3320 lm	0.80	36W	17	SILVER FINISH
EE2	CSALP 60.1041.50	SOLAVANTI	1xLED SPOT 350mA	1470 lm	0.80	14W	41	WHITE FINISH
ED-LED	/114/21-90-4K DOWNITO 70 DOBLE SQ 50°	SOLAVANTI	2xLED SPOT 10W	1724 lm	0.80	20W	8	WHITE FINISH
-	-	COOLEGDE	-	-	-	-	1	-
EX	EXISTING FIXTURE TO REMAIN							

SOLAVANTI LIGHTING CONTACT: ALEX KARZALOW, 1.866.356.4458

PROPOSED REMODEL FOR:

INTERNATIONAL
PORSCHE OF
WAUKESHA

2228 E. MORELAND BLVD
WAUKESHA, WI 53186



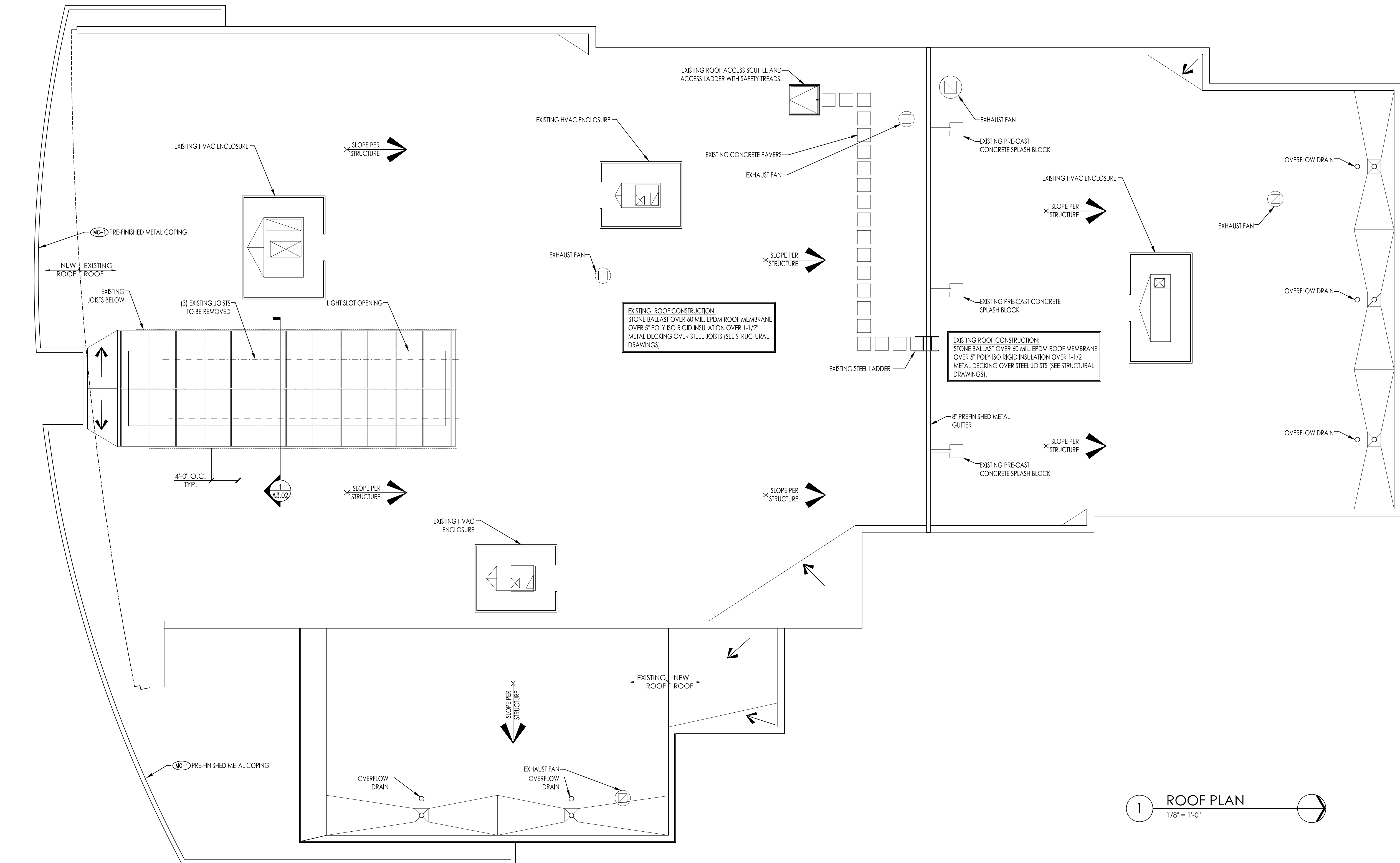
CLIENT:

INTERNATIONAL AUTOS
GROUP
2400 SOUTH 108TH ST.
WEST ALLIS, WI 53227

Drawings and Specifications as instruments of service are the property of Madison Maher Architects, whether the work for which they are made be executed or not and are not to be used or copied on other work except by written agreement with Madison Maher Architects.

DATE	ISSUED SET
03.08.19	PROJECT START
03.29.19	FLAT STALL, VEHICLE DISPLAY
04.09.19	ADDRESS PORSCHE COMMENTS
04.19.19	ADDRESS OWNER COMMENTS
09.27.19	ADDRESS PORSCHE COMMENTS

Project Number	19-005
Start Date	03/08/2019
Drawn By	ELM
Checked By	ELM
Scale	AS NOTED



1 ROOF PLAN
1/8" = 1'-0"

PROGRESS DOCUMENTS



ARCHITECTS
700 W. VIRGINIA STREET, SUITE 604
MILWAUKEE, WI 53204
414.277.8000
MADISENMAHER.COM

PROPOSED REMODEL FOR:

INTERNATIONAL PORSCHE OF WAUKESHA

2228 E. MORELAND BLVD
WAUKESHA, WI 53186

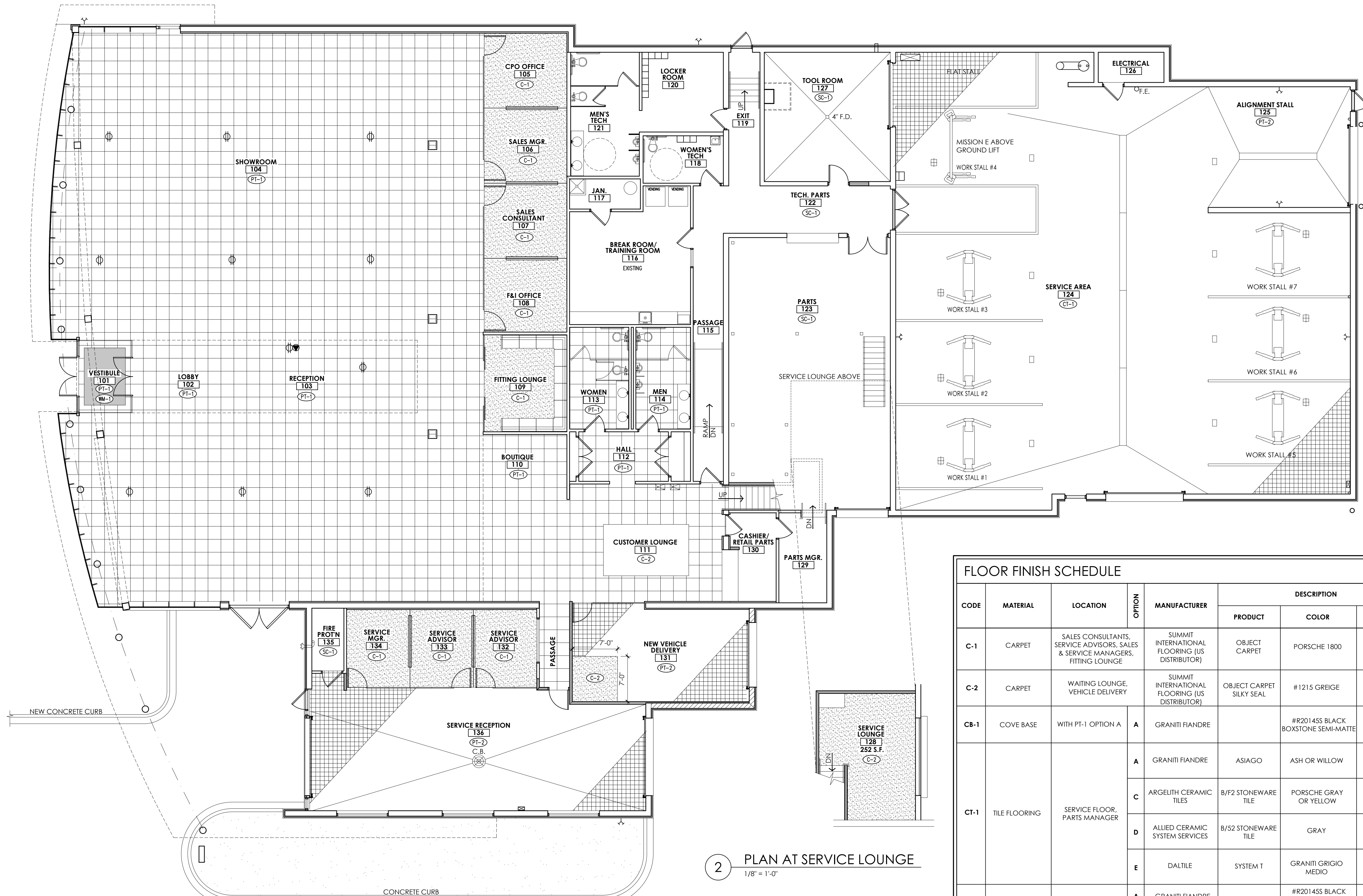


CLIENT:

INTERNATIONAL AUTOS GROUP
2400 SOUTH 108TH ST.
WEST ALLIS, WI 53227

Drawings and Specifications as instruments of service are the property of Madisen Maher Architects, whether the work for which they are made be executed or not and one not to be used or copied on other work except by written agreement with Madisen Maher Architects.

DATE	ISSUED SET
03.08.19	PROJECT START
03.29.19	FLAT STALL, VEHICLE DISPLAY
04.09.19	ADDRESS PORSCHE COMMENTS
04.19.19	ADDRESS OWNER COMMENTS
09.27.19	ADDRESS PORSCHE COMMENTS



1 FINISH FLOOR PLAN
1/8" = 1'-0"

2 PLAN AT SERVICE LOUNGE
1/8" = 1'-0"

FLOOR FINISH SCHEDULE									
CODE	MATERIAL	LOCATION	OPTION	MANUFACTURER	DESCRIPTION		ADDITIONAL INFORMATION		
					PRODUCT	COLOR		DIMENSION	
C-1	CARPET	SALES CONSULTANTS, SERVICE ADVISORS, SALES & SERVICE MANAGERS, FITTING LOUNGE		SUMMIT INTERNATIONAL FLOORING (US DISTRIBUTOR)	OBJECT CARPET	PORSCHE 1800	13'-2" WIDTH	DAVID S. NUMARK, SUMMIT INT. (877)496-3566 DNUMARK@SUMMIT-FLOORING.COM	
C-2	CARPET	WAITING LOUNGE, VEHICLE DELIVERY		SUMMIT INTERNATIONAL FLOORING (US DISTRIBUTOR)	OBJECT CARPET SILKY SEAL	#1215 GREIGE	13'-2" WIDTH	DAVID S. NUMARK, SUMMIT INT. (877)496-3566 DNUMARK@SUMMIT-FLOORING.COM	
CB-1	COVE BASE	WITH PT-1 OPTION A	A	GRANITI FIANDRE	#R201455 BLACK BOXSTONE SEMI-MATTE		3.5" x 24"	CLARICE CAWOOD, GRANITI FIANDRE (865) 776-2252 CCAWOOD@TRANSCERAMICA.COM	
CT-1	TILE FLOORING	SERVICE FLOOR, PARTS MANAGER	A	GRANITI FIANDRE	ASIAGO	ASH OR WILLOW	12" x 12"	CLARICE CAWOOD, GRANITI FIANDRE (865) 776-2252 CCAWOOD@TRANSCERAMICA.COM	
			C	ARGELITH CERAMIC TILES	B/F2 STONEWARE TILE	PORSCHE GRAY OR YELLOW	8" x 4"	SPENCER MARTIN (630) 444-0665 @ARGELITHUS.COM	
			D	ALLIED CERAMIC SYSTEM SERVICES	B/S2 STONEWARE TILE	GRAY	8" x 4"	KAIPRYSTAV@ACSS.DE (770) 484-5520 WWW.ACSS.DE/ACSS_USA	
			E	DALTILE	SYSTEM T	GRANITI GRIGIO MEDIO	8" x 8"	EMILY HATCH (678) 614-3473 EMILY.HATCH@DAL TILE.COM	
			PT-1	PORCELAIN TILE	FLOOR FIELD, RESTROOM FLOOR AND WALL TILE	A	GRANITI FIANDRE	#R201455 BLACK BOXSTONE SEMI-MATTE	
PT-2	PORCELAIN TILE	DRIVE-THROUGH WASH BAYS (A-FIELD, B-LANE MARKERS)	B	ITALGRANITI	LE GEMME	#19947 BLACK LAVA FINISH: SEMI-MATTE		8" x 8"	
PT-3	PORCELAIN TILE	SERVICE WAINSCOT UP TO 4'-5" A.F.F.	A	GRANITI FIANDRE	UNI COLOR	UNI GRIGIO	12" x 12"	GRANITI FIANDRE (888) 903-4263	
			B	SHERWIN WILLIAMS	INDUSTRIAL ENAMEL	#4026 SLATE GRAY	FROM GROUND 4'-7" A.F.F.	KRISTY RUFF, AUTOSTONE (DISTRIBUTOR) (864) 616-5235 KRUFF@AUTOSTONEUSA.COM	
SC-1	SEALED CONCRETE	MECH. & ELEC. ROOM, WASH BAYS, PARTS		SONNEBORN	LAPIDOLITH	CLEAR			
VB-1	VINYL BASE	BACK AREA CARPET		JOHNSONITE	TIGHTLOCK WALL BASE	BLACK		JOHNSONITE (800) 899-8916	
WM-1	WALK-OFF MAT	ENTRY		NUWAY	TUFGUARD HEAVY DUTY	CHARCOAL	12MM	MATSINC.COM / NUMWAY WWW.C-SGROUP.COM	

PROGRESS DOCUMENTS

Project Number	19-005
Start Date	03/08/2019
Drawn By	ELM
Checked By	ELM
Scale	AS NOTED

FLOOR FINISH PLAN

A1.04



ARCHITECTS
700 W. VIRGINIA STREET, SUITE 604
MILWAUKEE, WI 53204
414.277.8000
MADISENMAHER.COM

PROPOSED REMODEL FOR:

INTERNATIONAL PORSCHE OF WAUKESHA

2228 E. MORELAND BLVD
WAUKESHA, WI 53186



CLIENT:

INTERNATIONAL AUTOS GROUP
2400 SOUTH 108TH ST.
WEST ALLIS, WI 53227

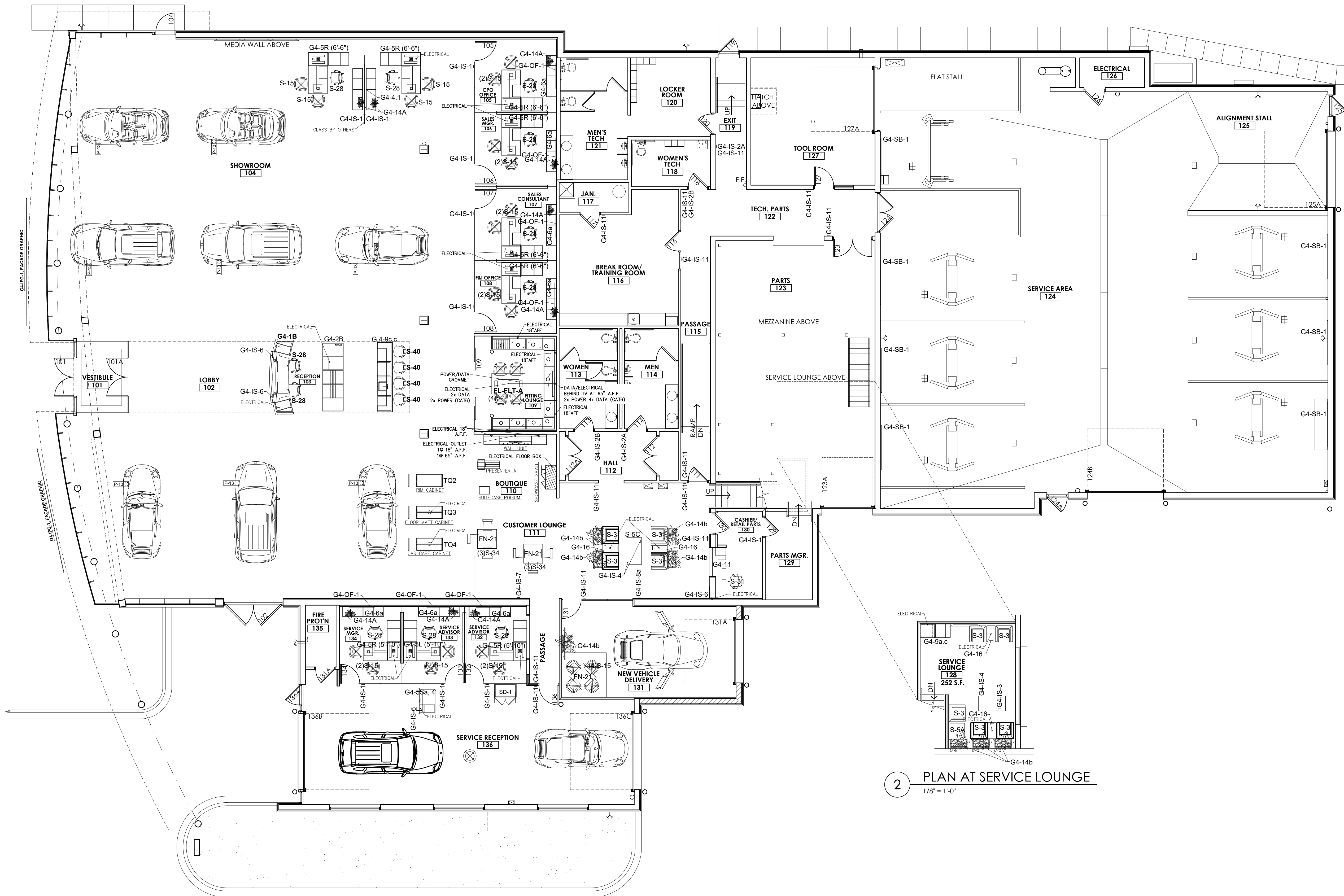
Drawings and Specifications as instruments of service are the property of Madisen Maher Architects, whether the work for which they are made be executed or not and are not to be used or copied on other work except by written agreement with Madisen Maher Architects.

DATE	ISSUED SET
03.08.19	PROJECT START
03.29.19	FLAT STALL, VEHICLE DISPLAY
04.09.19	ADDRESS PORSCHE COMMENTS
04.19.19	ADDRESS OWNER COMMENTS
09.27.19	ADDRESS PORSCHE COMMENTS

Project Number	19-005
Start Date	03/08/2019
Drawn By	ELM
Checked By	ELM
Scale	AS NOTED

FURNITURE PLAN

A1.05



1 FURNITURE PLAN
1/8" = 1'-0"

2 PLAN AT SERVICE LOUNGE
1/8" = 1'-0"

PROGRESS DOCUMENTS



ARCHITECTS
 700 W. VIRGINIA STREET, SUITE 604
 MILWAUKEE, WI 53204
 414.277.8000
 MADISENMAHER.COM

PROPOSED REMODEL FOR:

**INTERNATIONAL
 PORSCHE OF
 WAUKESHA**

2228 E. MORELAND BLVD
 WAUKESHA, WI 53186

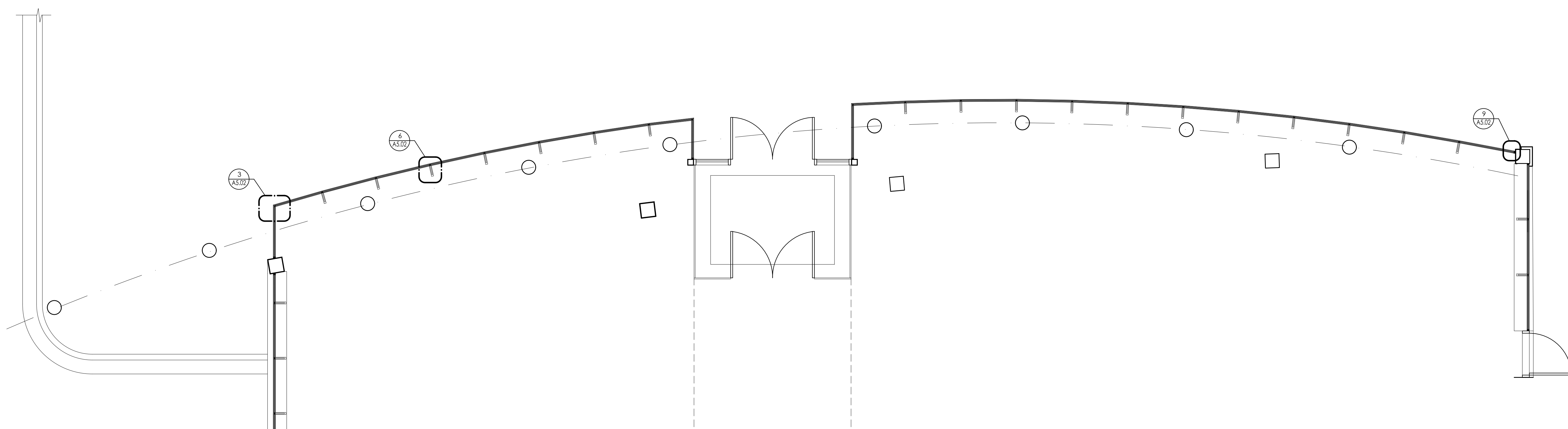


CLIENT:

INTERNATIONAL AUTOS
 GROUP
 2400 SOUTH 108TH ST.
 WEST ALLIS, WI 53227

Drawings and Specifications as instruments of service are the property of Madisen Maher Architects, whether the work for which they are made be executed or not and are not to be used or copied on other work except by written agreement with Madisen Maher Architects.

DATE	ISSUED SET
03.08.19	PROJECT START
03.29.19	FLAT STALL, VEHICLE DISPLAY
04.09.19	ADDRESS PORSCHE COMMENTS
04.19.19	ADDRESS OWNER COMMENTS
09.27.19	ADDRESS PORSCHE COMMENTS



1 ENLARGED PLAN AT FACADE
 1/4" = 1'-0"

PROGRESS DOCUMENTS

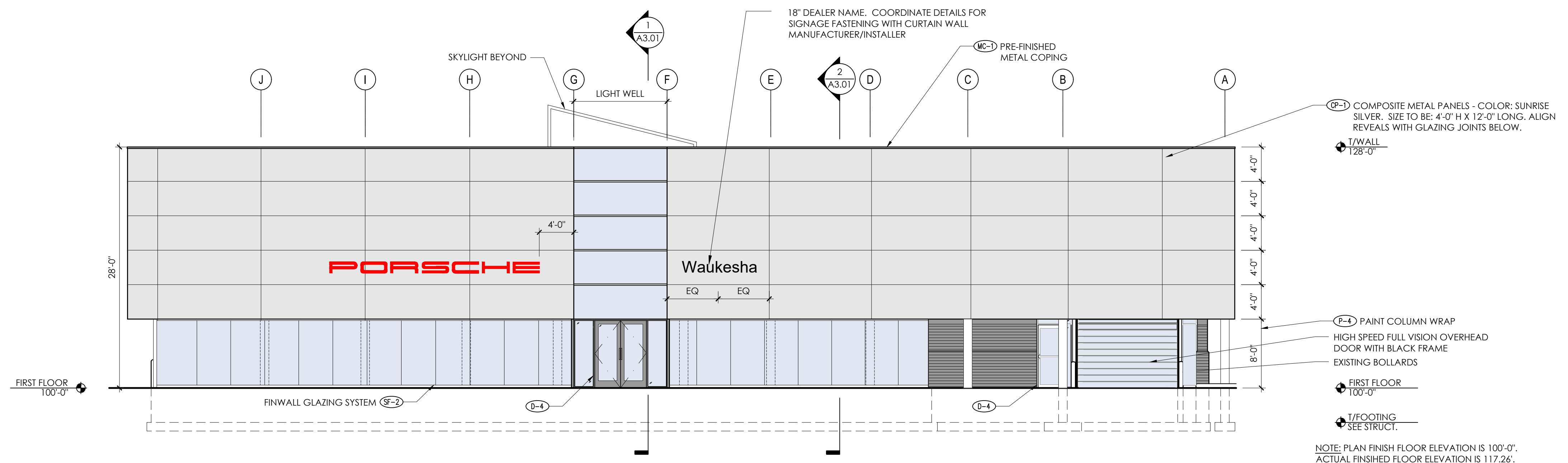
Project Number 19-005
 Start Date 03/08/2019
 Drawn By ELM
 Checked By ELM
 Scale AS NOTED

ENLARGED
 GLAZING PLAN

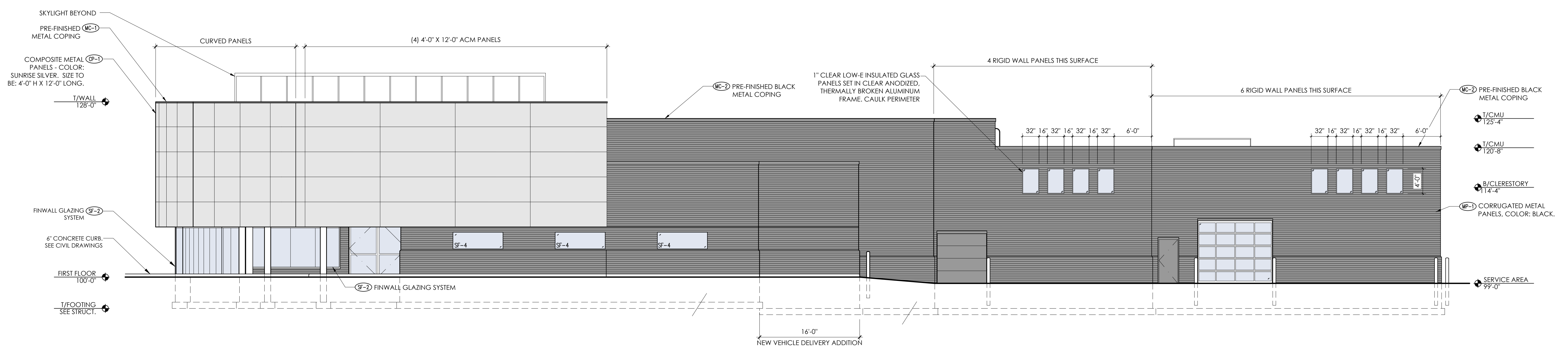
A1.06

EXTERIOR FINISH SCHEDULE

CODE	MATERIAL	LOCATION	OPTION	MANUFACTURER	DESCRIPTION			ADDITIONAL INFORMATION	CODE	MATERIAL	LOCATION	OPTION	MANUFACTURER	DESCRIPTION			ADDITIONAL INFORMATION
					PRODUCT	COLOR	DIMENSION							PRODUCT	COLOR	DIMENSION	
CP-1	COMPOSITE METAL PANELS	EXTERIOR FAÇADE	A	ALCAN COMPOSITES	ALUCOBOND	SUNRISE SILVER	4' x 12'	MIKE CALDWELL (470) 554-2651 MIKE.CALDWELL@3ACOMPOSITES.COM ALUCOBONDUSA.COM	MC-2	METAL COPING	PARAPET		BY ARCHITECT OF RECORD		BLACK TO MATCH MP-1	BY ARCHITECT OF RECORD	
			B	PATISON		RAL 9006	4' x 12'	TORY WEBB (604) 674-0049 TWEBB@PATISONSIGN.COM									
CP-2	PERFORATED METAL PANELS	EXTERIOR FAÇADE		PATISON	PERFORATED	SILVER TO MATCH CP-1	4' x 12'	TORY WEBB (604) 674-0049 TWEBB@PATISONSIGN.COM	P-4	PAINT	STRUCTURAL COLUMNS	A	TNEMEC	NEW STEEL PRIMER 90-97 FIRST 27FC SECOND 1077	A7460A DARK SILVER (TO MATCH RAL 9007)	TNEMEC AT (800) 890-7580 NOTE: PLEASE USE THE FOLLOWING MANUFACTURER RECOMMENDATION FOR SHOP/FIELD SURF-PREP: SP6 ON SS STEEL WITH SHOP 394-FIELD, 27/1077 METALLIC SP1 WITH ETCH ON G90 DECK WITH 27/1077	
D-3	OVERHEAD DOOR	SEE ELEVATIONS		BY ARCHITECT OF RECORD	BY ARCHITECT OF RECORD	EXTERIOR FRAME: EP-1; INTERIOR FRAME: P-8	BY ARCHITECT OF RECORD	DOOR TO BE 50% TRANSPARENT	P-5	PAINT	EXTERIOR DOORS SEE D-1		SHERWIN WILLIAMS	SW WATERBASED ACRYLON 100	SW 6990 CAVIAR FINISH: SEMIGLOSS	SHERWIN WILLIAMS (800) 321-8194	
D-4	EXTERIOR STOREFRONT DOORS	ENTRY DOORS		BLUMCREAFT OR APPROVED EQUAL	1303 WITH FLOOR CLOSER	CLEAR GLASS WITH LOW-E COATING	SEE ELEVATIONS	(412) 678-2400 PROVIDE TYPE "C" HANDLES @ EXTERIOR DOORS - IF FRAMES ARE REQUIRED, CONTACT PCNA FOR APPROVED COLORS	PT-2	PORCELAIN TILE	SERVICE RECEPTION		GRANITI FIANDRE	SLATE	AGATA	12" x 12"	NICOLE LYNCH (615) 209-1626 NLYNCH@TRANSCERAMICA.COM
MP-1	CORRUGATED METAL PANELS	EXTERIOR SIDE WALLS		ATAS INTERNATIONAL OR APPROVED EQUAL	MFN160 RIGID WALL	#2 BLACK SMOOTH TEXTURE	22 GAUGE STEEL	MARK BROWN (800) 468-1441 x 227 MBROWN@ATAS.COM WWW.ATAS.COM/PRODUCTS/WALLPANELS	SF-2	EXTERIOR STOREFRONT SYSTEM	SHOWROOM EXTERIOR GLASS WALL	A	FAOUR GLASS	SLIMPACT MULLIONLESS GLAZING	CLEAR GLASS WITH LOW-E COATING	SEE ELEVATIONS	ANGELO RIVERA (813) 884-3297 x 204 ARIVERA@FAOURGLASS.COM
				CENTRIA	RIGID WALL	#9916 RICH BLACK SMOOTH TEXTURE		BOB WALTERSDORF (860) 651-0174 RWALTERSDORF@CENTRIA.COM				B	OLDCASTLE	FINWALL OR STACKWALL		MARK LEHMAN (651) 253-5062 MLEHMAN@OLDCASTLEBE.COM	
				BERRIDGE	RIGID WALL	#2 BLACK SMOOTH TEXTURE		BILL LABBATH (800) 669-0009 x 1410 BLABBATH@BERRIDGE.COM									
MC-1	METAL COPING	EXTERIOR FAÇADE COPING		ALCAN COMPOSITES	ALUCOBOND	SUNRISE SILVER	SEE ELEVATIONS	MIKE CALDWELL (470) 554-2651 MIKE.CALDWELL@3ACOMPOSITES.COM ALUCOBONDUSA.COM	SF-3	SPANDREL GLASS	APPROVABLE FINISH FOR LIGHT SLOT RENOVATIONS; CONTACT PCNA		BY GLASS MANUFACTURER		BLACK FRIT COATING	BY ARCHITECT OF RECORD	
									SF-4	EXTERIOR STOREFRONT SYSTEM	WINDOWS IN WALLS WITH MP-1 FINISH		BY ARCHITECT OF RECORD		BLACK MATCHING MP-1	BY ARCHITECT OF RECORD	



2 SOUTH ELEVATION
1/8" = 1'-0"



1 EAST ELEVATION
1/8" = 1'-0"



ARCHITECTS
700 W. VIRGINIA STREET, SUITE 604
MILWAUKEE, WI 53204
414.277.8000
MADISENMAHER.COM

PROPOSED REMODEL FOR:
INTERNATIONAL PORSCHE OF WAUKESHA
2228 E. MORELAND BLVD
WAUKESHA, WI 53186



CLIENT:
INTERNATIONAL AUTOS GROUP
2400 SOUTH 108TH ST.
WEST ALLIS, WI 53227

Drawings and Specifications as instruments of service are the property of Madisen Maher Architects, whether the work for which they are made be executed or not and are not to be used or copied on other work except by written agreement with Madisen Maher Architects.

DATE	ISSUED SET
03.08.19	PROJECT START
03.29.19	FLAT STALL, VEHICLE DISPLAY
04.09.19	ADDRESS PORSCHE COMMENTS
04.19.19	ADDRESS OWNER COMMENTS
09.27.19	ADDRESS PORSCHE COMMENTS

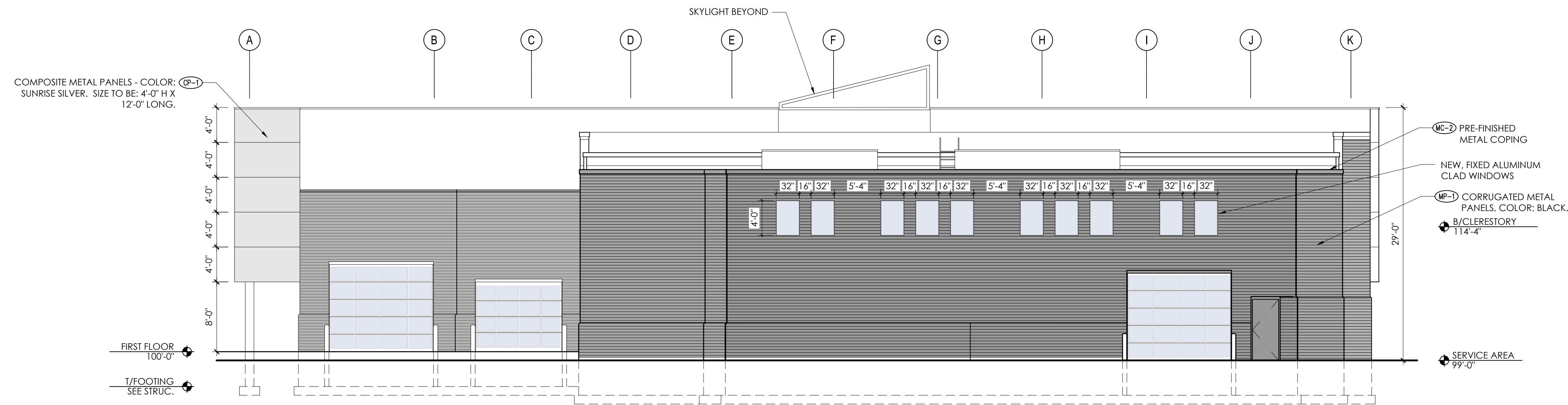
Project Number	19-005
Start Date	03/08/2019
Drawn By	ELM
Checked By	ELM
Scale	AS NOTED

PROGRESS DOCUMENTS

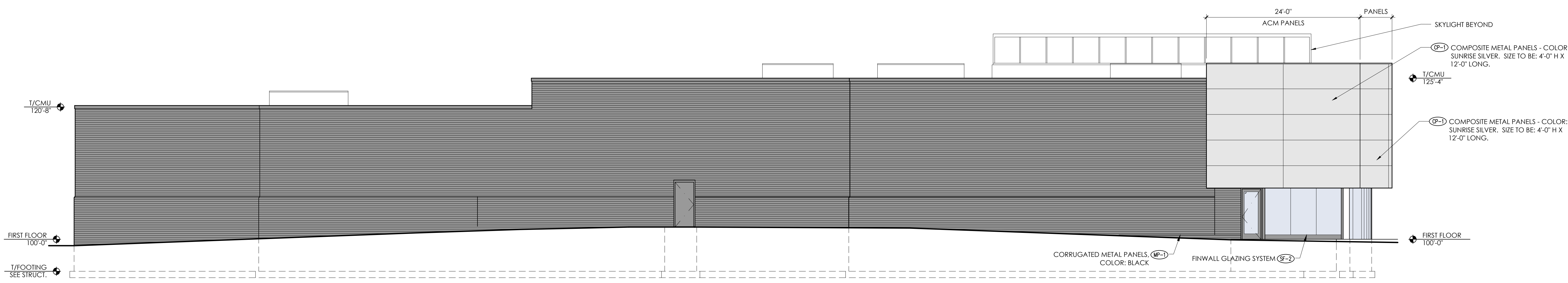
BUILDING ELEVATIONS
A2.01

EXTERIOR FINISH SCHEDULE

CODE	MATERIAL	LOCATION	OPTION	MANUFACTURER	DESCRIPTION			ADDITIONAL INFORMATION	CODE	MATERIAL	LOCATION	OPTION	MANUFACTURER	DESCRIPTION			ADDITIONAL INFORMATION
					PRODUCT	COLOR	DIMENSION							PRODUCT	COLOR	DIMENSION	
CP-1	COMPOSITE METAL PANELS	EXTERIOR FAÇADE	A	ALCAN COMPOSITES	ALUCOBOND	SUNRISE SILVER	4' x 12'	MIKE CALDWELL (470) 554-2651 MIKE.CALDWELL@3ACOMPOSITES.COM ALUCOBONDUSA.COM	MC-2	METAL COPING	PARAPET		BY ARCHITECT OF RECORD		BLACK TO MATCH MP-1		BY ARCHITECT OF RECORD
			B	PATISON		RAL 9006	4' x 12'										
CP-2	PERFORATED METAL PANELS	EXTERIOR FAÇADE		PATISON	PERFORATED	SILVER TO MATCH CP-1	4' x 12'	TORY WEBB (604) 674-0049 TWEBB@PATISONSIGN.COM	P-4	PAINT	STRUCTURAL COLUMNS	A	TNEMEC	NEW STEEL PRIMER 90-97 FIRST 27FC SECOND 1077	A7460A DARK SILVER (TO MATCH RAL 9007)		STEVE GIBBS (770) 664-7732 SGGIBBS@BELLSOUTH.NET
D-3	OVERHEAD DOOR	SEE ELEVATIONS		BY ARCHITECT OF RECORD	BY ARCHITECT OF RECORD	EXTERIOR FRAME: EP-1; INTERIOR FRAME: P-8		BY ARCHITECT OF RECORD	P-5	PAINT	EXTERIOR DOORS SEE D-1		SHERWIN WILLIAMS	SW WATERBASED ACRYLON 100	SW 6990 CAVIAR FINISH: SEMIGLOSS		SHERWIN WILLIAMS (800) 321-8194
D-4	EXTERIOR STOREFRONT DOORS	ENTRY DOORS		BLUMCREAF OR APPROVED EQUAL	1303 WITH FLOOR CLOSER	CLEAR GLASS WITH LOW-E COATING	SEE ELEVATIONS	(412) 678-2400 PROVIDE TYPE "C" HANDLES @ EXTERIOR DOORS - IF FRAMES ARE REQUIRED, CONTACT PCNA FOR APPROVED COLORS	PT-2	PORCELAIN TILE	SERVICE RECEPTION		GRANITI FIANDRE	SLATE	AGATA	12" x 12"	NICOLE LYNCH (615) 209-1626 NLYNCH@TRANSCERAMICA.COM
MP-1	CORRUGATED METAL PANELS	EXTERIOR SIDE WALLS		ATAS INTERNATIONAL OR APPROVED EQUAL	MFN160 RIGID WALL	#2 BLACK SMOOTH TEXTURE	22 GAUGE STEEL	MARK BROWN (800) 468-1441 x 227 MBROWN@ATAS.COM WWW.ATAS.COM/PRODUCTS/WALLPANELS	SF-2	EXTERIOR STOREFRONT SYSTEM	SHOWROOM EXTERIOR GLASS WALL	A	FAOUR GLASS	SLIMPACT MULLIONLESS GLAZING	CLEAR GLASS WITH LOW-E COATING	SEE ELEVATIONS	ANGELO RIVERA (813) 884-3297 x 204 ARIVERA@FAOURGLASS.COM
				CENTRIA	RIGID WALL	#9916 RICH BLACK SMOOTH TEXTURE						B	OLDCASTLE	FINWALL OR STACKWALL			MARK LEHMAN (651) 253-5062 MLEHMAN@OLDCASTLEBE.COM
				BERRIDGE	RIGID WALL	#2 BLACK SMOOTH TEXTURE							BY GLASS MANUFACTURER		BLACK FRIT COATING		
MC-1	METAL COPING	EXTERIOR FAÇADE COPING		ALCAN COMPOSITES	ALUCOBOND	SUNRISE SILVER	SEE ELEVATIONS	MIKE CALDWELL (470) 554-2651 MIKE.CALDWELL@3ACOMPOSITES.COM ALUCOBONDUSA.COM	SF-3	SPANDREL GLASS	APPROVABLE FINISH FOR LIGHT SLOT RENOVATIONS; CONTACT PCNA						BY ARCHITECT OF RECORD
									SF-4	EXTERIOR STOREFRONT SYSTEM	WINDOWS IN WALLS WITH MP-1 FINISH		BY ARCHITECT OF RECORD		BLACK MATCHING MP-1		BY ARCHITECT OF RECORD



2 NORTH ELEVATION
1/8" = 1'-0"



1 WEST ELEVATION
1/8" = 1'-0"



ARCHITECTS
700 W. VIRGINIA STREET, SUITE 604
MILWAUKEE, WI 53204
414.277.8000
MADISENMAHER.COM

PROPOSED REMODEL FOR:
INTERNATIONAL PORSCHE OF WAUKESHA
2228 E. MORELAND BLVD
WAUKESHA, WI 53186



CLIENT:
INTERNATIONAL AUTOS GROUP
2400 SOUTH 108TH ST.
WEST ALLIS, WI 53227

Drawings and Specifications as instruments of service are the property of Madisen Maher Architects, whether the work for which they are made be executed or not and are not to be used or copied on other work except by written agreement with Madisen Maher Architects.

DATE	ISSUED SET
03.08.19	PROJECT START
03.29.19	FLAT STALL, VEHICLE DISPLAY
04.09.19	ADDRESS PORSCHE COMMENTS
04.19.19	ADDRESS OWNER COMMENTS
09.27.19	ADDRESS PORSCHE COMMENTS

Project Number	19-005
Start Date	03/08/2019
Drawn By	ELM
Checked By	ELM
Scale	AS NOTED

PROGRESS DOCUMENTS

BUILDING ELEVATIONS
A2.02



ARCHITECTS
700 W. VIRGINIA STREET, SUITE 604
MILWAUKEE, WI 53204
414.277.8000
MADISENMAHER.COM

PROPOSED REMODEL FOR:
INTERNATIONAL PORSCHE OF WAUKESHA
2228 E. MORELAND BLVD
WAUKESHA, WI 53186



CLIENT:
INTERNATIONAL AUTOS GROUP
2400 SOUTH 108TH ST.
WEST ALLIS, WI 53227

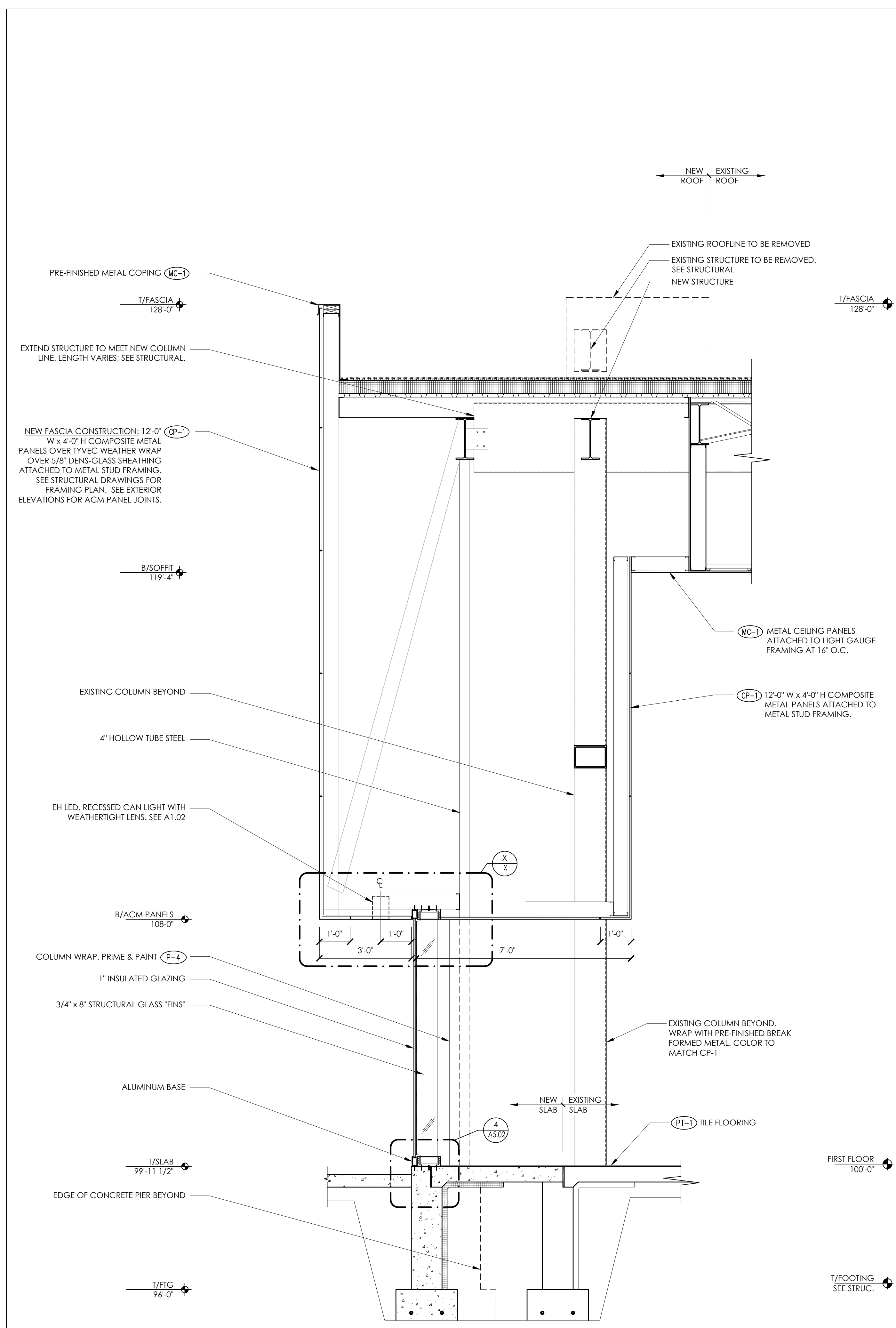
Drawings and Specifications as instruments of service are the property of Madisen Maher Architects, whether the work for which they are made be executed or not and are not to be used or copied on other work except by written agreement with Madisen Maher Architects.

DATE	ISSUED SET
03.08.19	PROJECT START
03.29.19	FLAT STALL, VEHICLE DISPLAY
04.09.19	ADDRESS PORSCHE COMMENTS
04.19.19	ADDRESS OWNER COMMENTS
09.27.19	ADDRESS PORSCHE COMMENTS

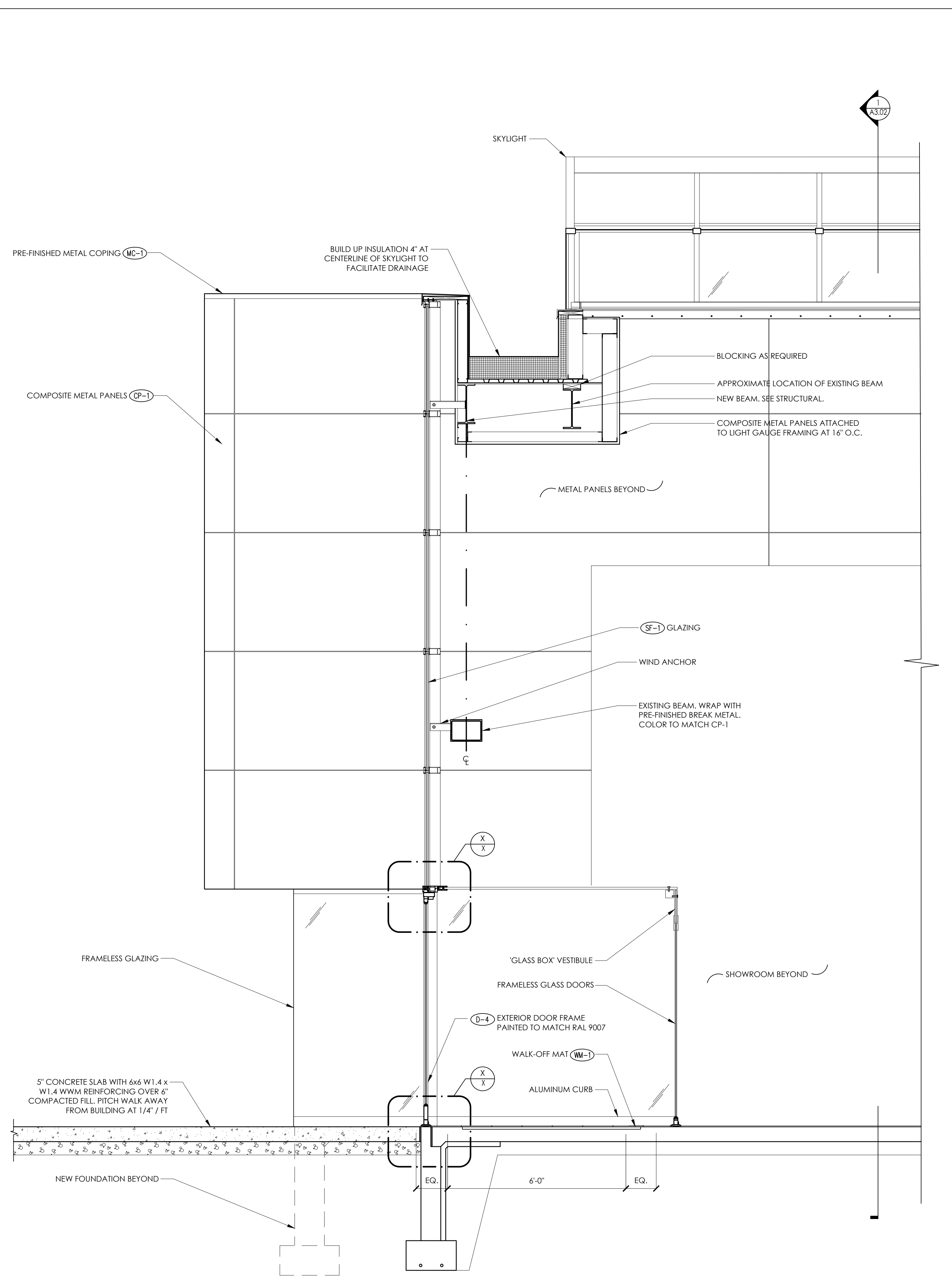
Project Number	19-005
Start Date	03/08/2019
Drawn By	ELM
Checked By	ELM
Scale	AS NOTED

PROGRESS DOCUMENTS

WALL SECTIONS
A3.01



2 SECTION AT FACADE 1/2" = 1'-0"



1 SECTION AT VESTIBULE 1/2" = 1'-0"



ARCHITECTS
700 W. VIRGINIA STREET, SUITE 604
MILWAUKEE, WI 53204
414.277.8000
MADISENMAHER.COM

PROPOSED REMODEL FOR:

INTERNATIONAL PORSCHE OF WAUKESHA

2228 E. MORELAND BLVD
WAUKESHA, WI 53186



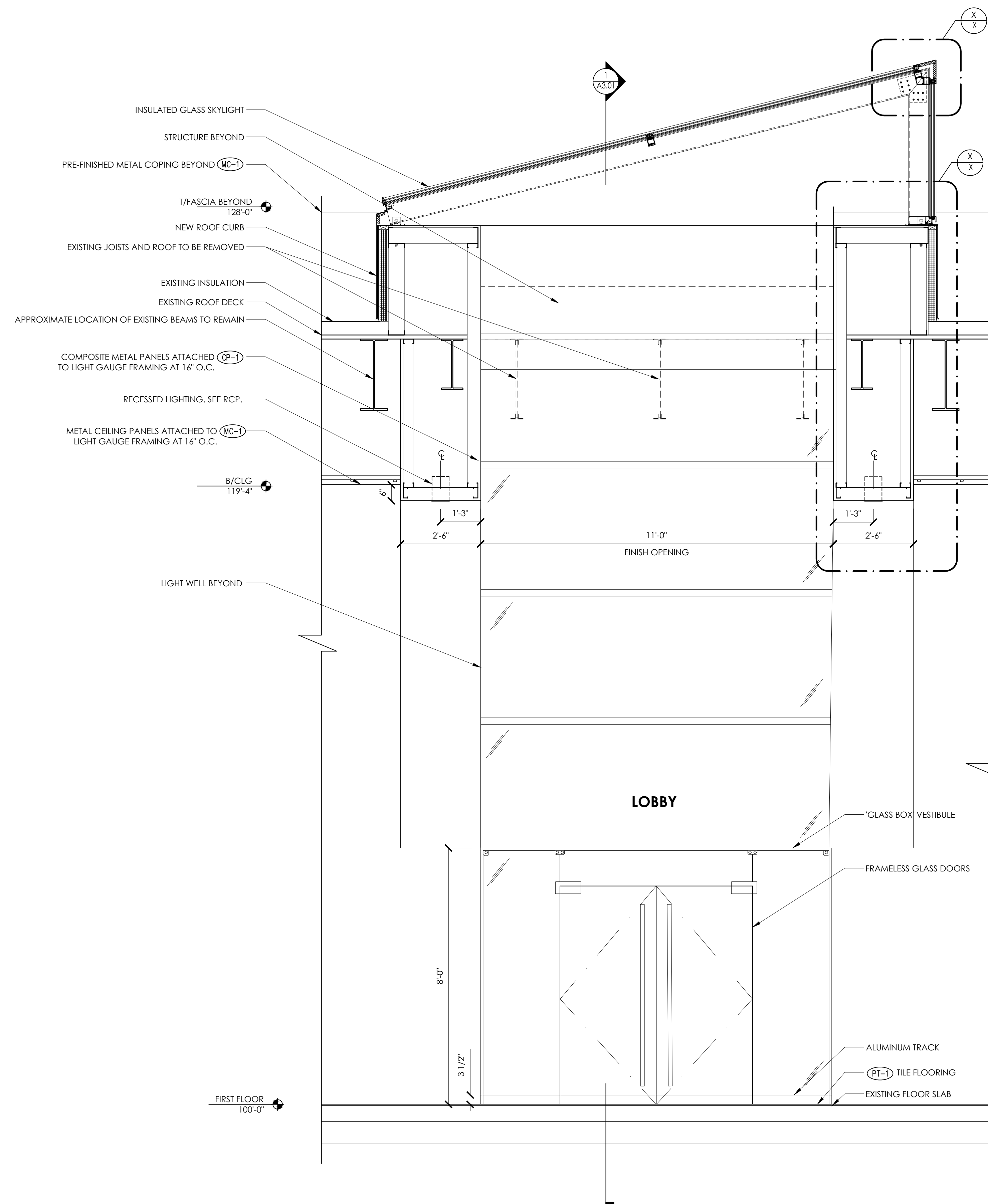
CLIENT:

INTERNATIONAL AUTOS GROUP
2400 SOUTH 108TH ST.
WEST ALLIS, WI 53227

Drawings and Specifications as instruments of service are the property of Madisen Maher Architects, whether the work for which they are made be executed or not and are not to be used or copied on other work except by written agreement with Madisen Maher Architects.

DATE	ISSUED SET
03.08.19	PROJECT START
03.29.19	FLAT STALL, VEHICLE DISPLAY
04.09.19	ADDRESS PORSCHE COMMENTS
04.19.19	ADDRESS OWNER COMMENTS
09.27.19	ADDRESS PORSCHE COMMENTS

Project Number	19-005
Start Date	03/08/2019
Drawn By	ELM
Checked By	ELM
Scale	AS NOTED



1 SECTION AT SKYLIGHT
1/2" = 1'-0"

PROGRESS DOCUMENTS

WALL SECTIONS
A3.02

PROPOSED REMODEL FOR:

INTERNATIONAL PORSCHE OF WAUKESHA

2228 E. MORELAND BLVD
WAUKESHA, WI 53186

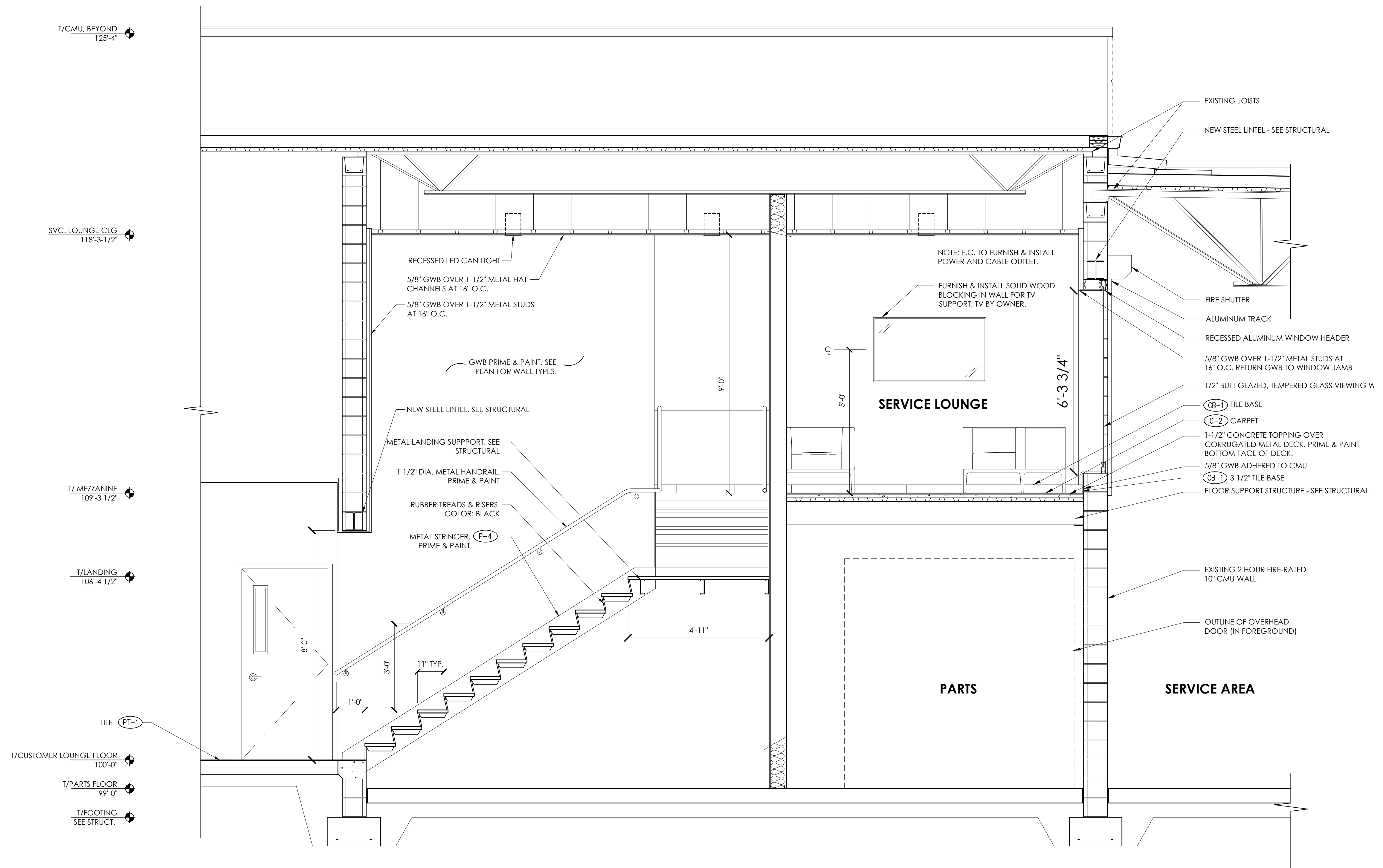


CLIENT:

INTERNATIONAL AUTOS GROUP
2400 SOUTH 108TH ST.
WEST ALLIS, WI 53227

Drawings and Specifications as instruments of service are the property of Madisen Maher Architects, whether the work for which they are made be executed or not and are not to be used or copied on other work except by written agreement with Madisen Maher Architects.

DATE	ISSUED SET
03.08.19	PROJECT START
03.29.19	FLAT STALL, VEHICLE DISPLAY
04.09.19	ADDRESS PORSCHE COMMENTS
04.19.19	ADDRESS OWNER COMMENTS
09.27.19	ADDRESS PORSCHE COMMENTS



1 WALL SECTION AT SERVICE LOUNGE
1/2" = 1'-0"

PROGRESS DOCUMENTS

Project Number	19-005
Start Date	03/08/2019
Drawn By	ELM
Checked By	ELM
Scale	AS NOTED



ARCHITECTS
700 W. VIRGINIA STREET, SUITE 604
MILWAUKEE, WI 53204
414.277.8000
MADISENMAHER.COM

PROPOSED REMODEL FOR:
INTERNATIONAL PORSCHE OF WAUKESHA

2228 E. MORELAND BLVD
WAUKESHA, WI 53186



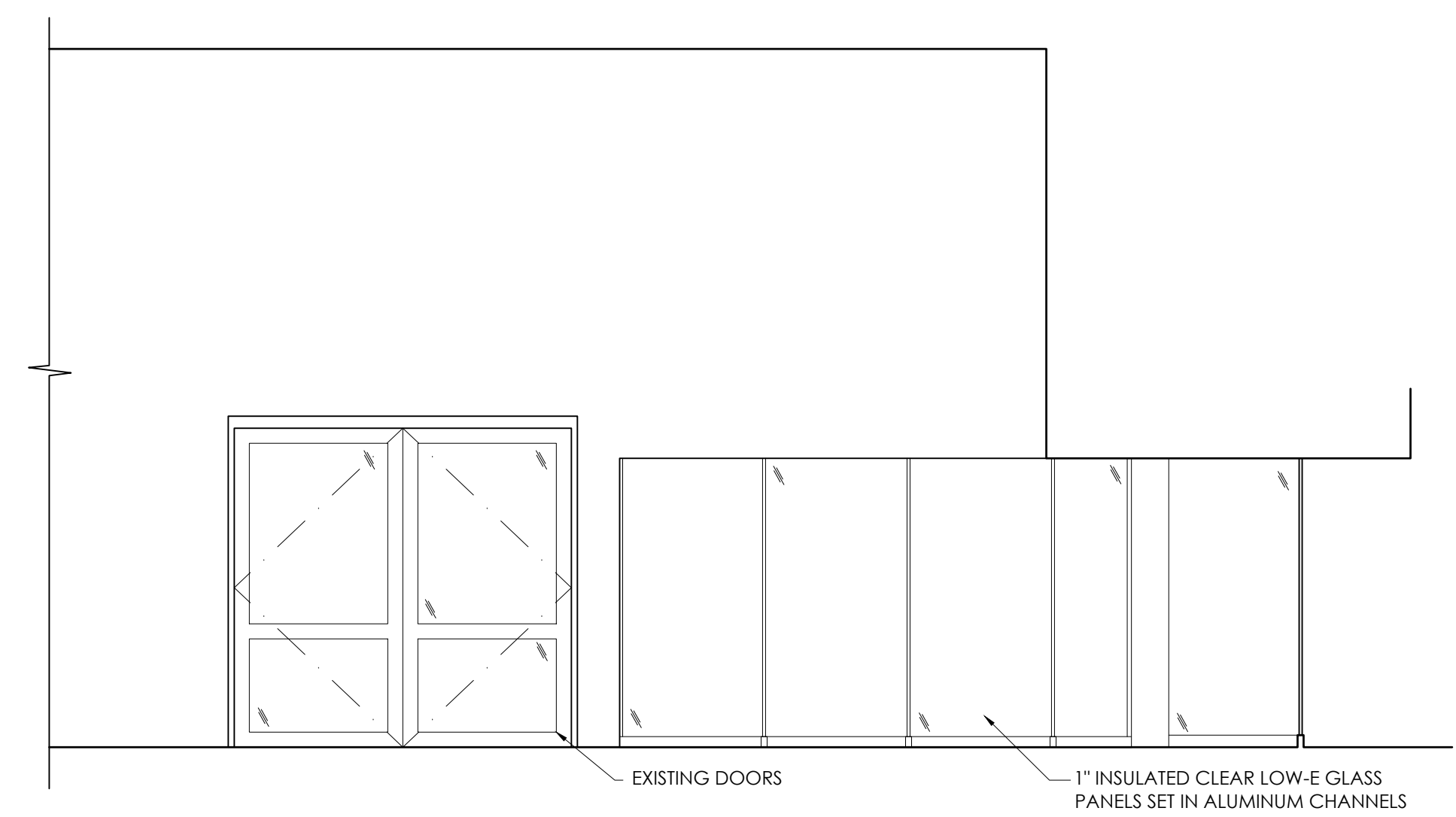
CLIENT:
INTERNATIONAL AUTOS GROUP
2400 SOUTH 108TH ST.
WEST ALLIS, WI 53227

Drawings and Specifications as instruments of service are the property of Madisen Maher Architects, whether the work for which they are made be executed or not and are not to be used or copied on other work except by written agreement with Madisen Maher Architects.

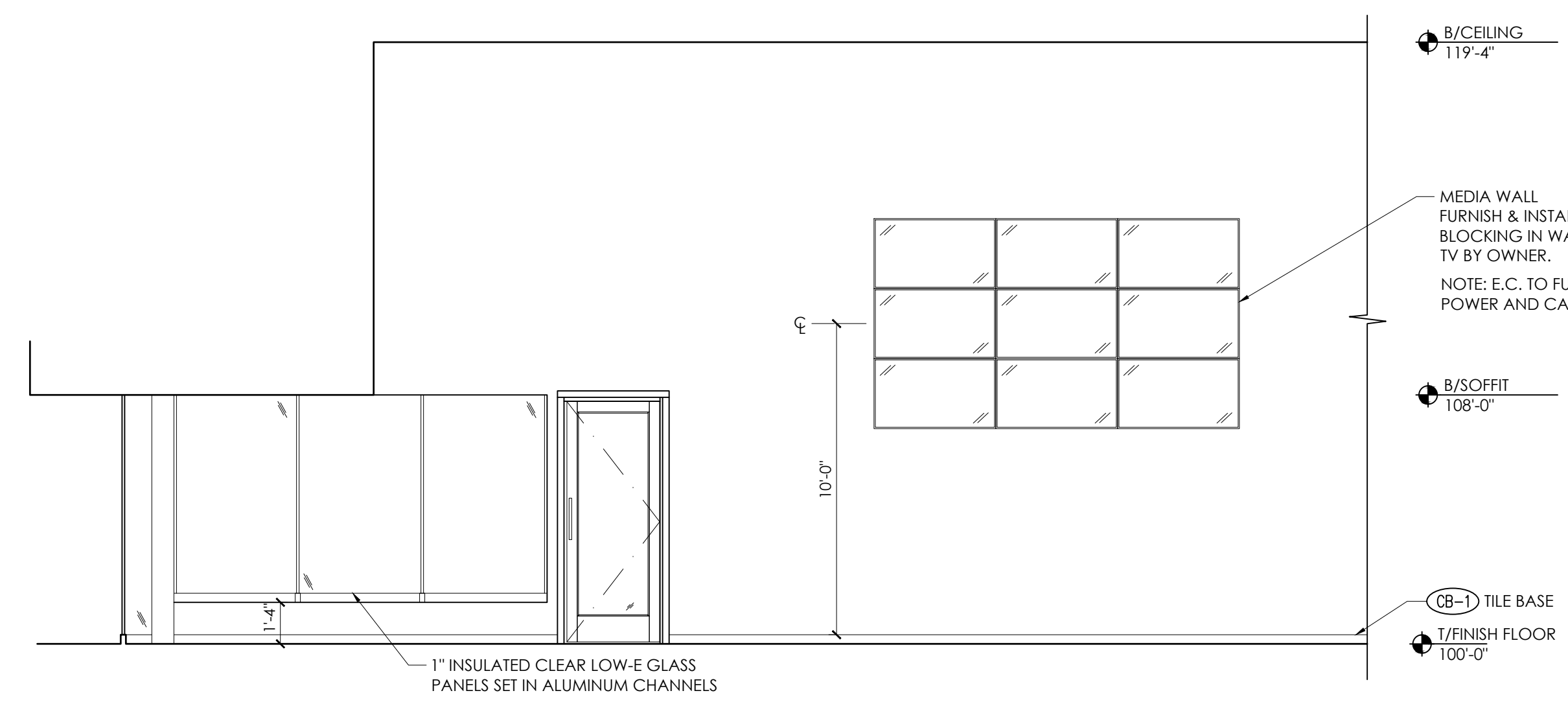
DATE	ISSUED SET
03.08.19	PROJECT START
03.29.19	FLAT STALL, VEHICLE DISPLAY
04.09.19	ADDRESS PORSCHE COMMENTS
04.19.19	ADDRESS OWNER COMMENTS
09.27.19	ADDRESS PORSCHE COMMENTS

Project Number	19-005
Start Date	03/08/2019
Drawn By	ELM
Checked By	ELM
Scale	AS NOTED

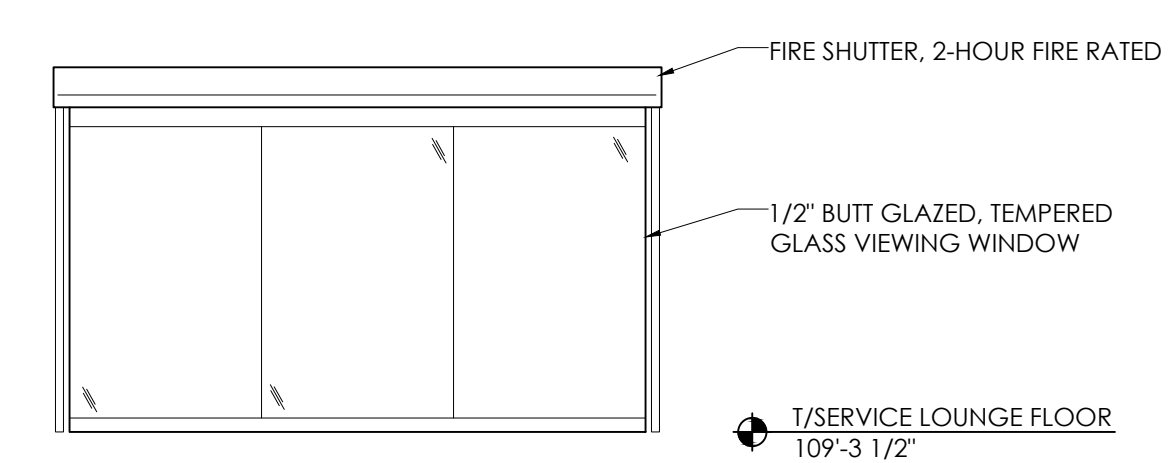
PROGRESS DOCUMENTS
INTERIOR ELEVATIONS
A4.01



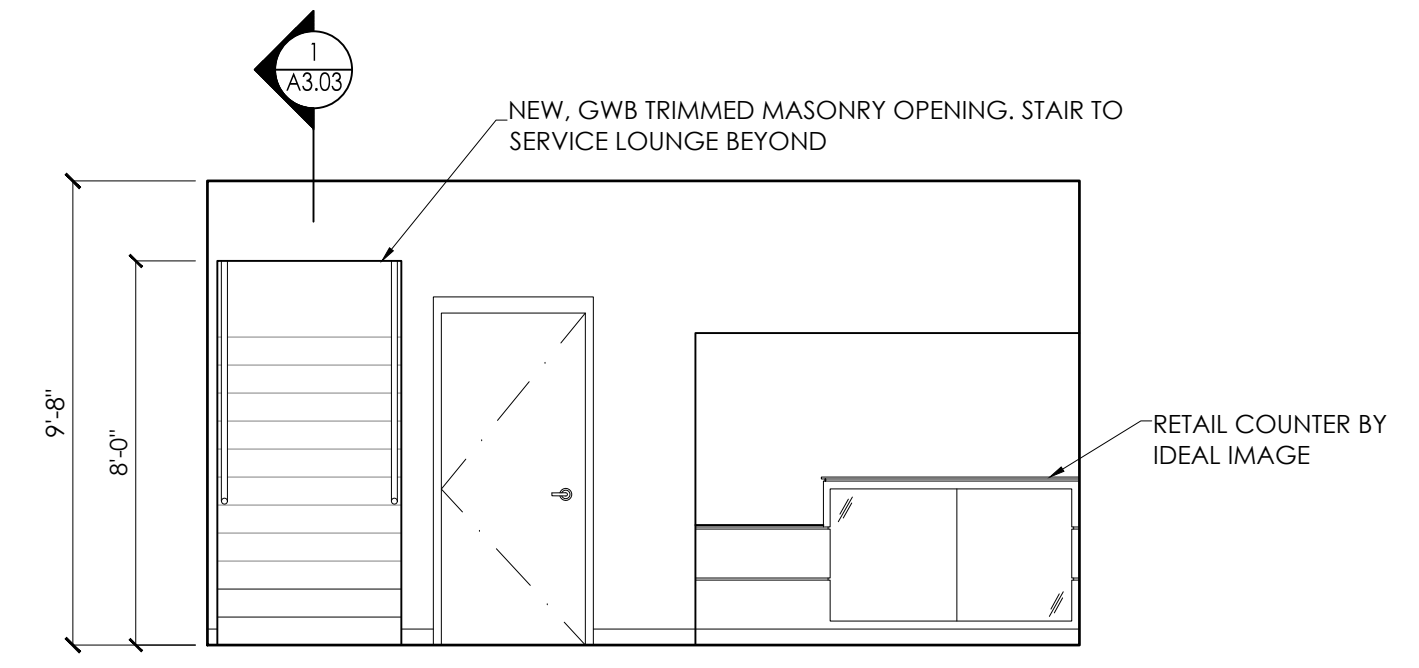
5 ELEVATION AT EAST SHOWROOM
1/4" = 1'-0"



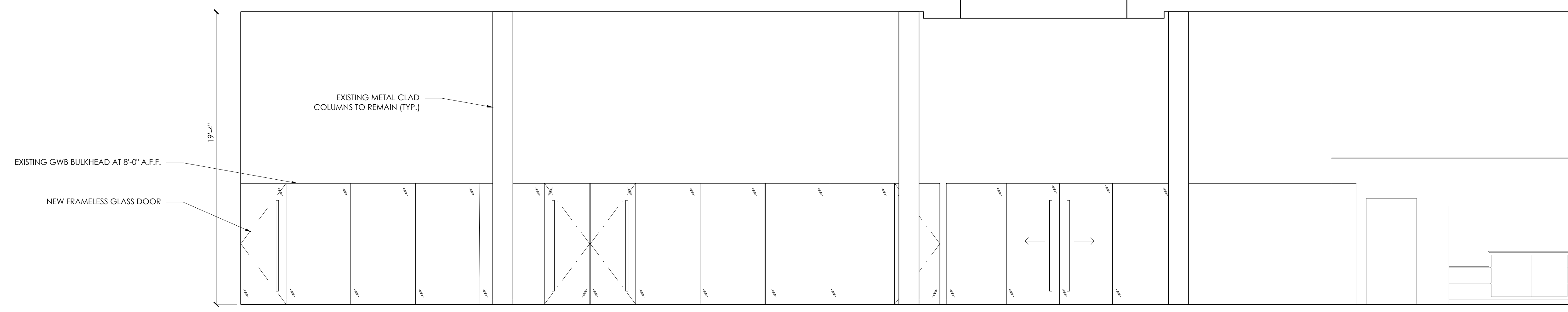
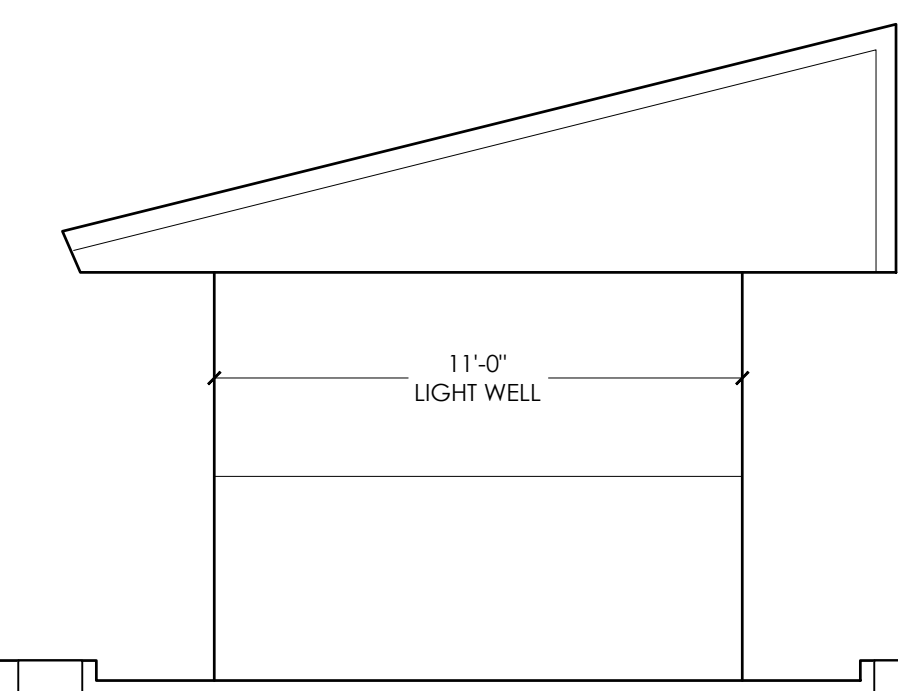
3 ELEVATION AT WEST SHOWROOM
1/4" = 1'-0"



4 ELEVATION AT SERVICE LOUNGE
1/4" = 1'-0"



2 ELEVATION AT RETAIL COUNTER
1/4" = 1'-0"



1 ELEVATION AT NORTH SHOWROOM WALL
1/4" = 1'-0"

PROPOSED REMODEL FOR:

INTERNATIONAL PORSCHE OF WAUKESHA

2228 E. MORELAND BLVD
WAUKESHA, WI 53186

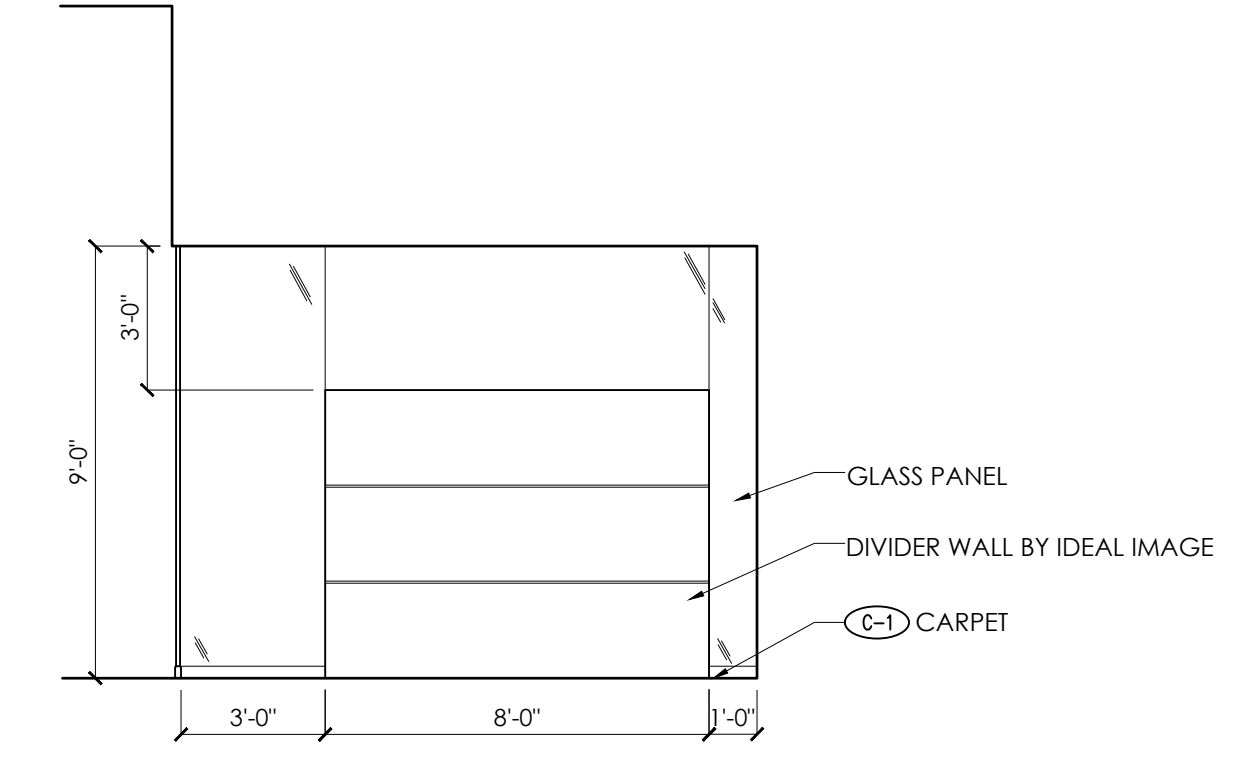


CLIENT:

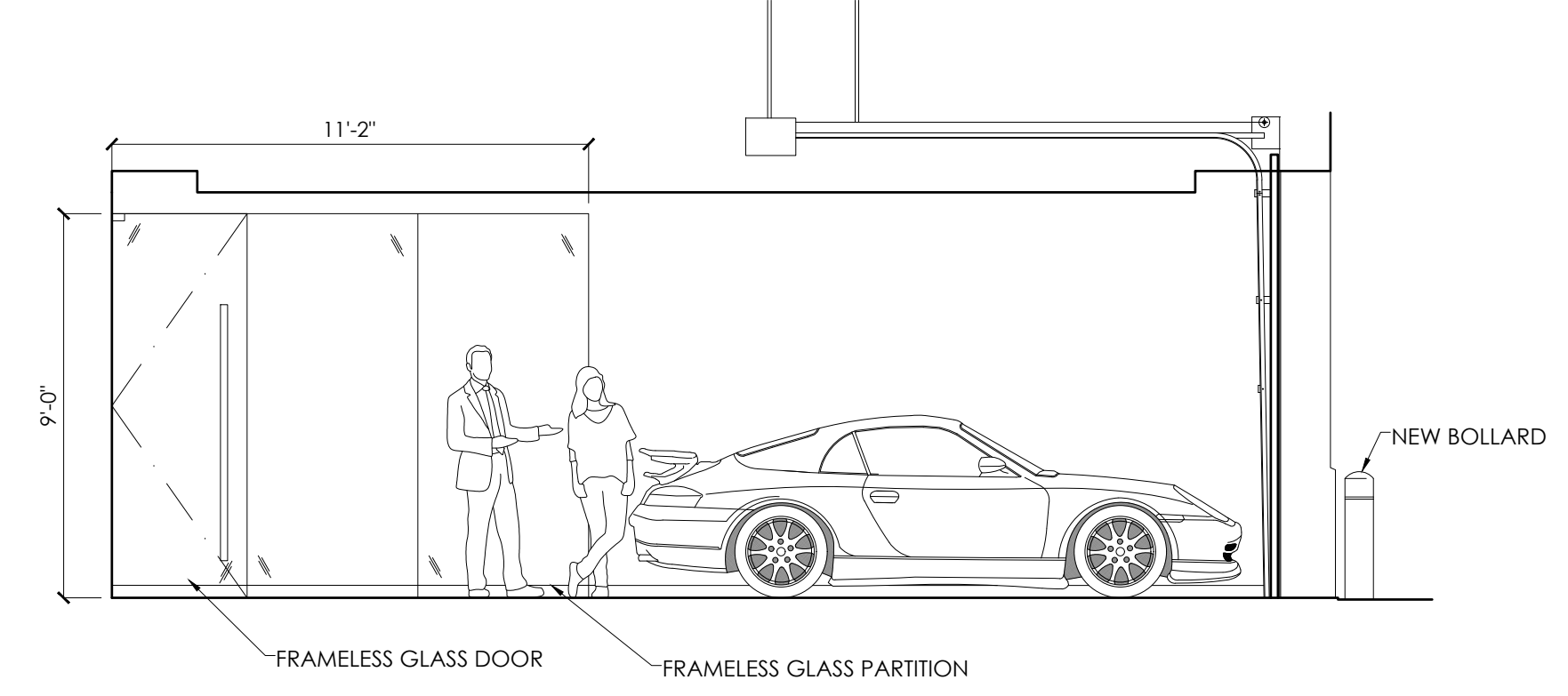
INTERNATIONAL AUTOS GROUP
2400 SOUTH 108TH ST.
WEST ALLIS, WI 53227

Drawings and Specifications as instruments of service are the property of Madisen Maher Architects, whether the work for which they are made be executed or not and are not to be used or copied on other work except by written agreement with Madisen Maher Architects.

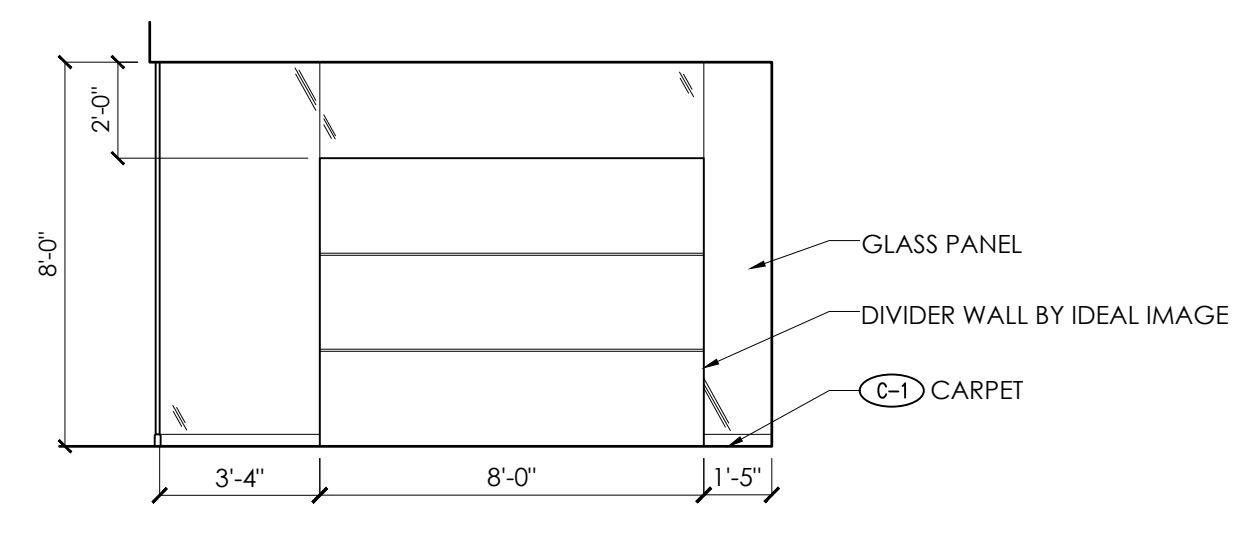
DATE	ISSUED SET
03.08.19	PROJECT START
03.29.19	FLAT STALL, VEHICLE DISPLAY
04.09.19	ADDRESS PORSCHE COMMENTS
04.19.19	ADDRESS OWNER COMMENTS
09.27.19	ADDRESS PORSCHE COMMENTS



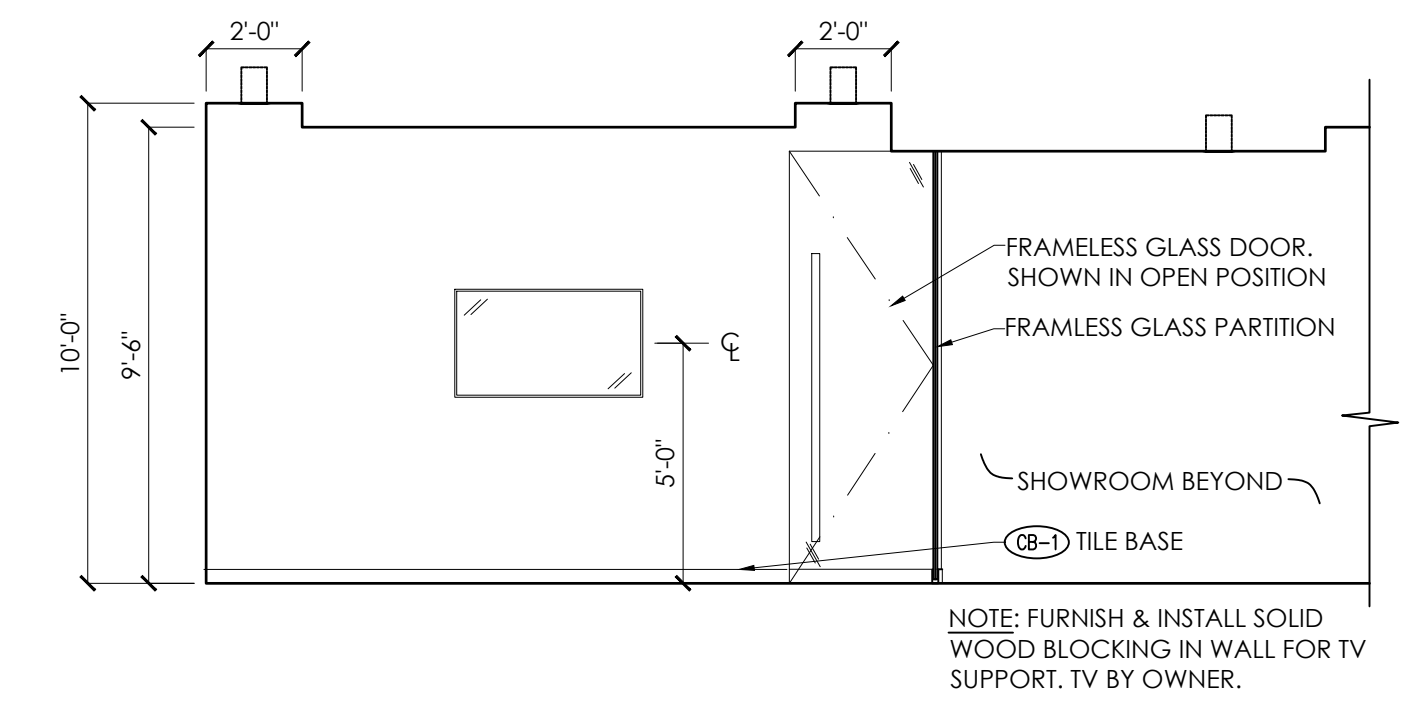
4 ELEVATION AT SERVICE OFFICE
1/4" = 1'-0"



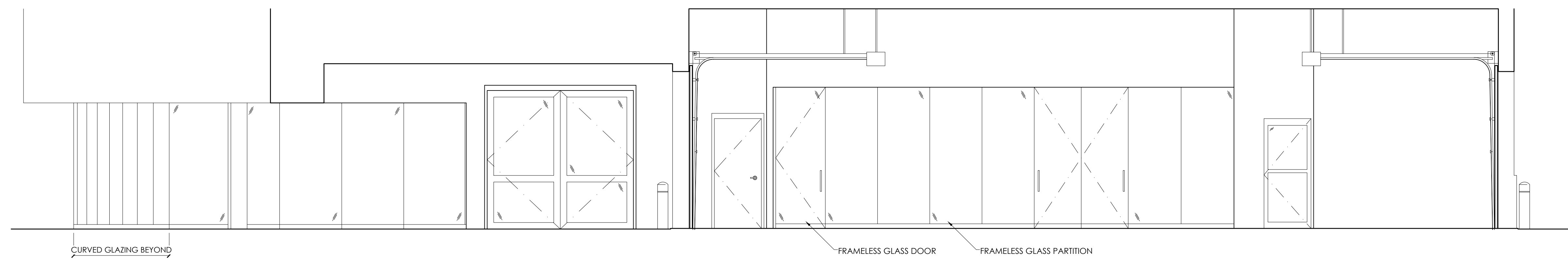
3 ELEVATION AT WEST NVD WALL
1/4" = 1'-0"



5 ELEVATION AT SHOWROOM OFFICE
1/4" = 1'-0"



2 ELEVATION AT SOUTH NVD WALL
1/4" = 1'-0"



1 ELEVATION AT SERVICE DRIVE
1/4" = 1'-0"

PROGRESS DOCUMENTS

Project Number	19-005
Start Date	03/08/2019
Drawn By	ELM
Checked By	ELM
Scale	AS NOTED

INTERIOR ELEVATIONS

A4.02

PROPOSED REMODEL FOR:

INTERNATIONAL PORSCHE OF WAUKESHA

2228 E. MORELAND BLVD
WAUKESHA, WI 53186



CLIENT:

INTERNATIONAL AUTOS GROUP
2400 SOUTH 108TH ST.
WEST ALLIS, WI 53227

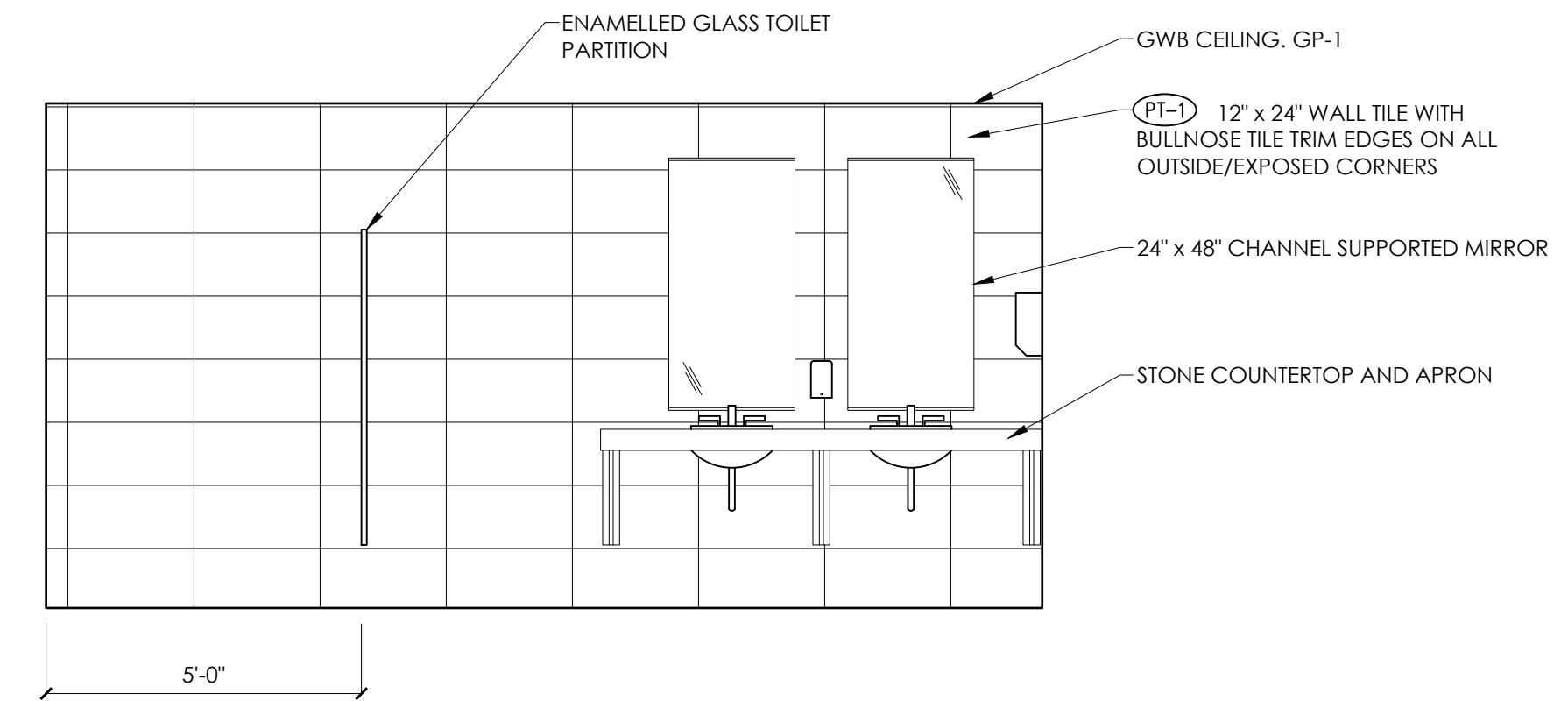
Drawings and Specifications as instruments of service are the property of Madisen Maher Architects, whether the work for which they are made be executed or not and are not to be used or copied on other work except by written agreement with Madisen Maher Architects.

DATE	ISSUED SET
03.08.19	PROJECT START
03.29.19	FLAT STALL, VEHICLE DISPLAY
04.09.19	ADDRESS PORSCHE COMMENTS
04.19.19	ADDRESS OWNER COMMENTS
09.27.19	ADDRESS PORSCHE COMMENTS

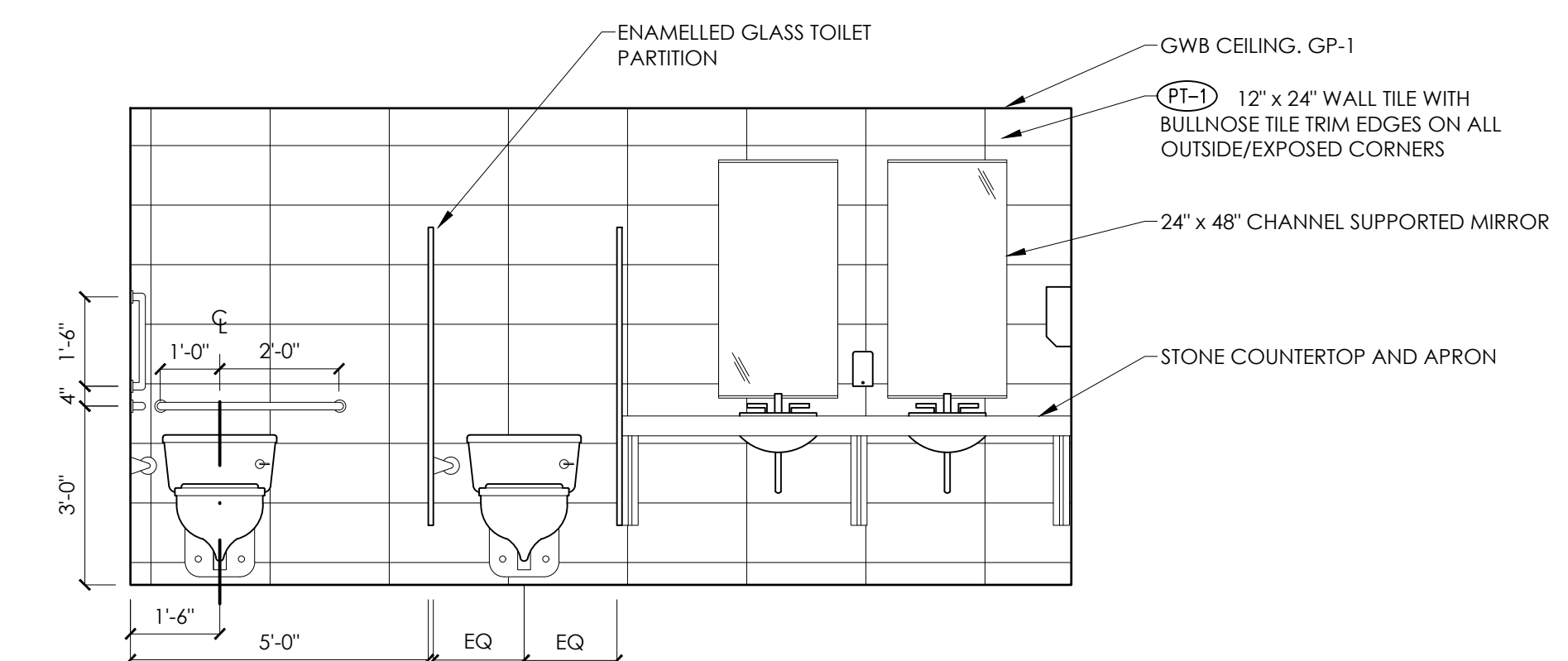
Project Number	19-005
Start Date	03/08/2019
Drawn By	ELM
Checked By	ELM
Scale	AS NOTED

INTERIOR ELEVATIONS

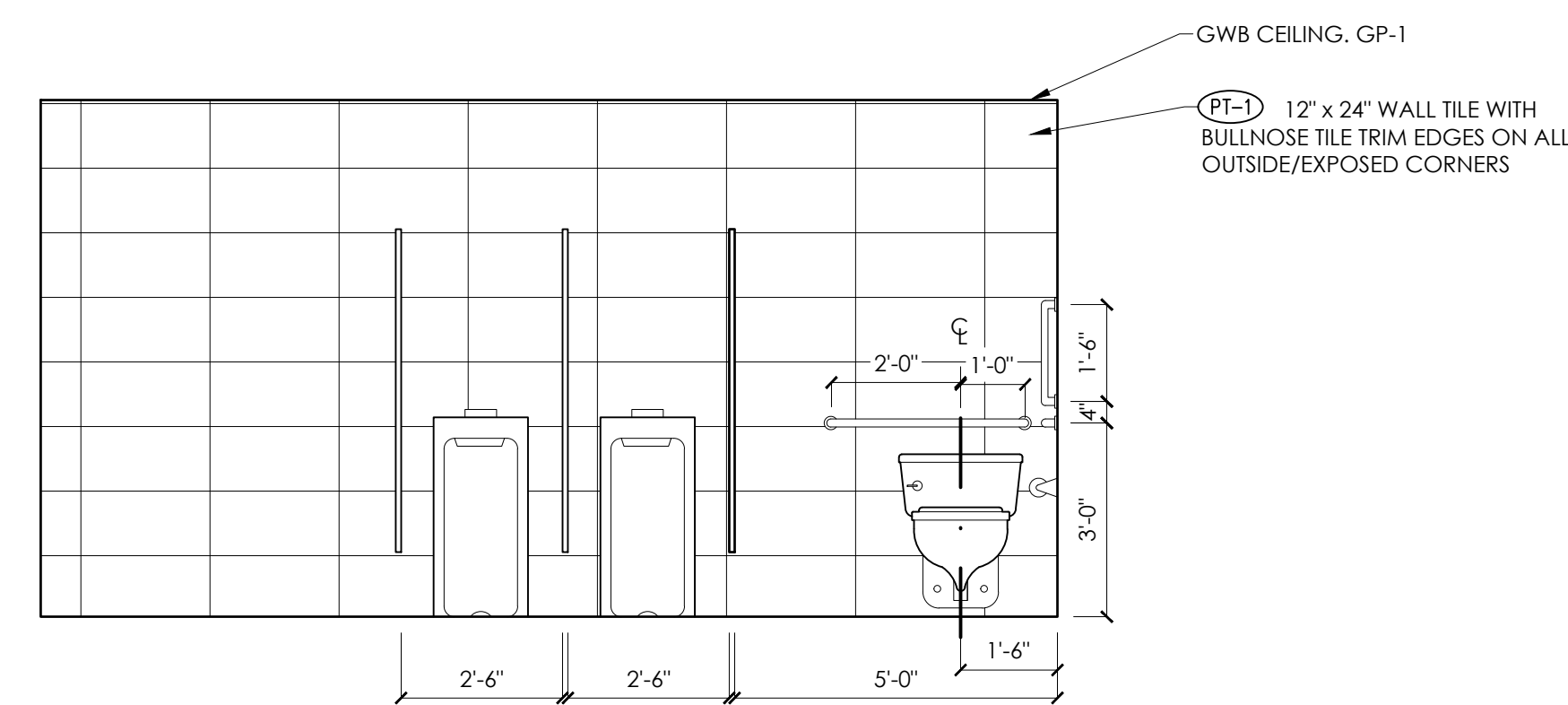
A4.03



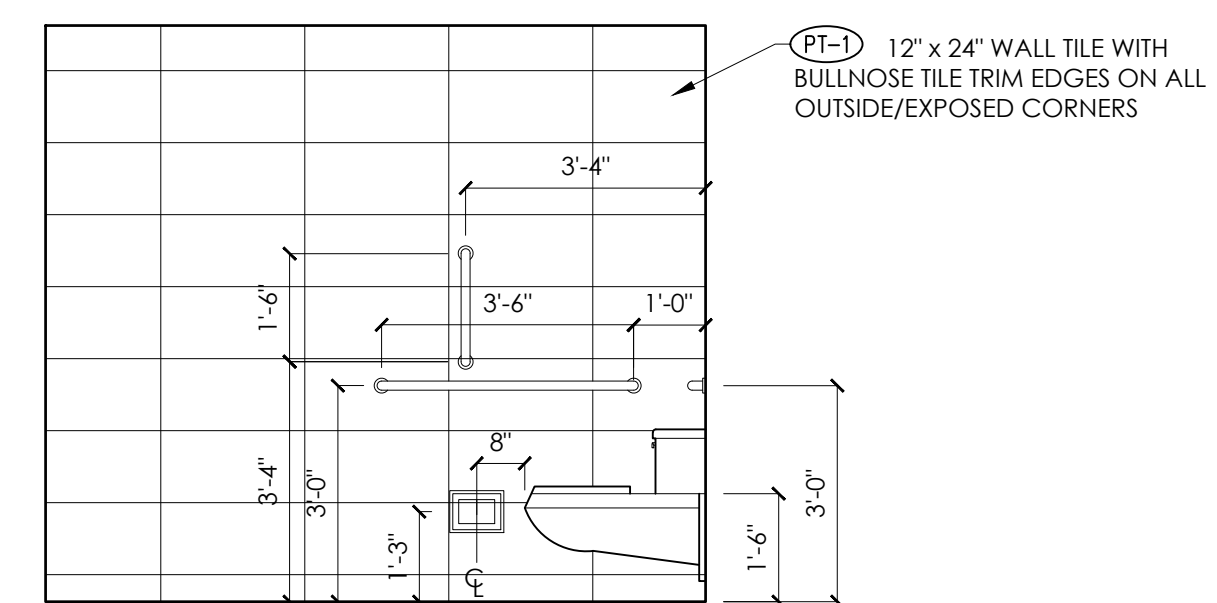
3 ELEVATION AT NORTH WALL MEN'S 114
3/8" = 1'-0"



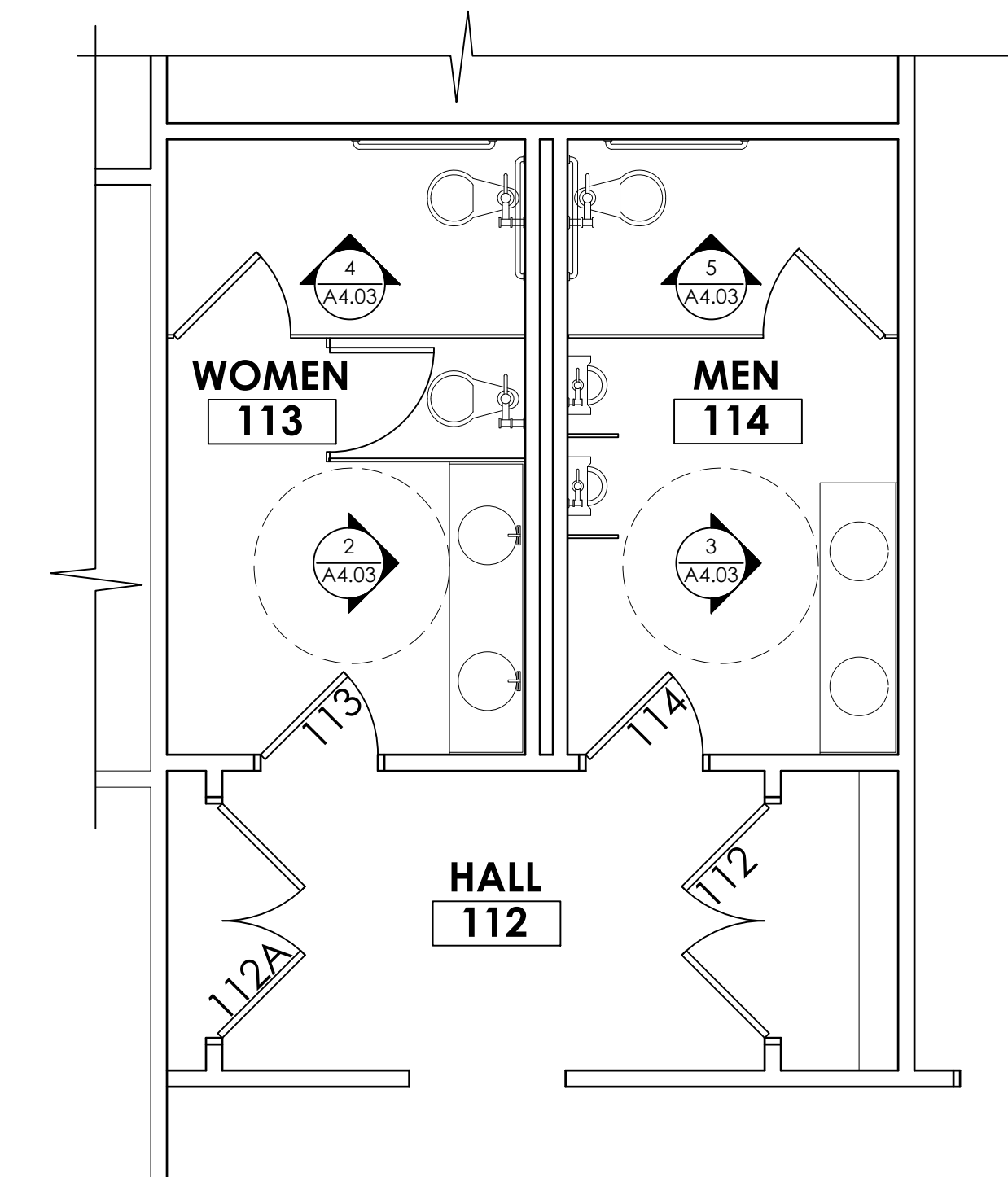
2 ELEVATION AT WOMEN'S 113
3/8" = 1'-0"



5 ELEVATION AT SOUTH WALL MEN'S 114
3/8" = 1'-0"



4 ELEVATION AT TOILET, TYP.
3/8" = 1'-0"



1 ENLARGED PLAN AT TOILETS
1/4" = 1'-0"

PROGRESS DOCUMENTS

PROPOSED REMODEL FOR:

INTERNATIONAL PORSCHE OF WAUKESHA

2228 E. MORELAND BLVD
WAUKESHA, WI 53186

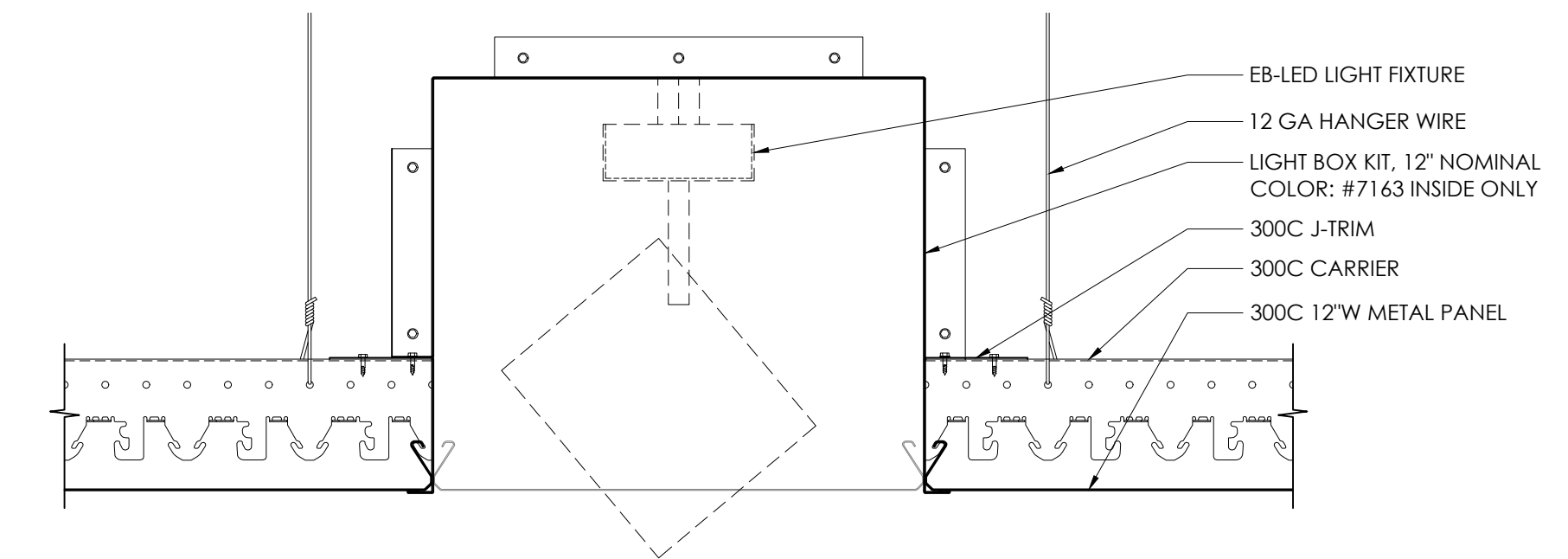


CLIENT:

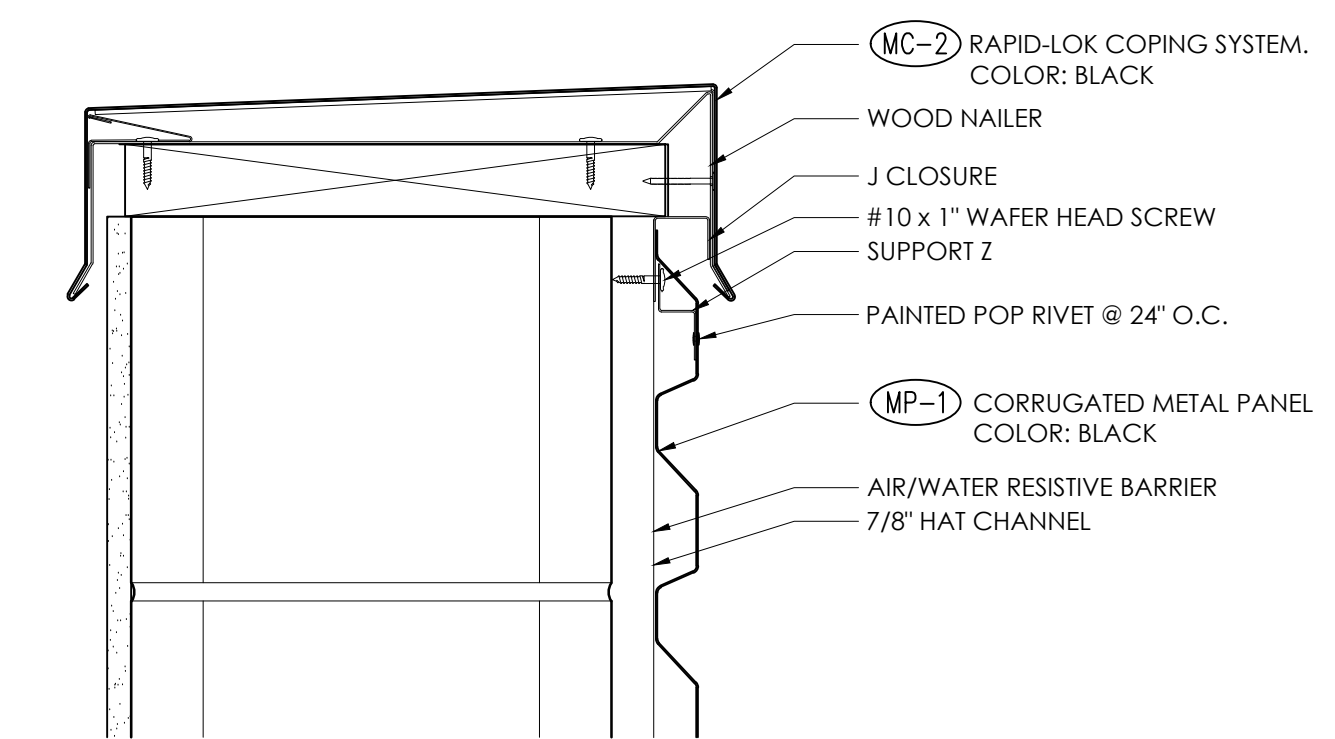
INTERNATIONAL AUTOS GROUP
2400 SOUTH 108TH ST.
WEST ALLIS, WI 53227

Drawings and Specifications as instruments of service are the property of Madisen Maher Architects, whether the work for which they are made be executed or not and are not to be used or copied on other work except by written agreement with Madisen Maher Architects.

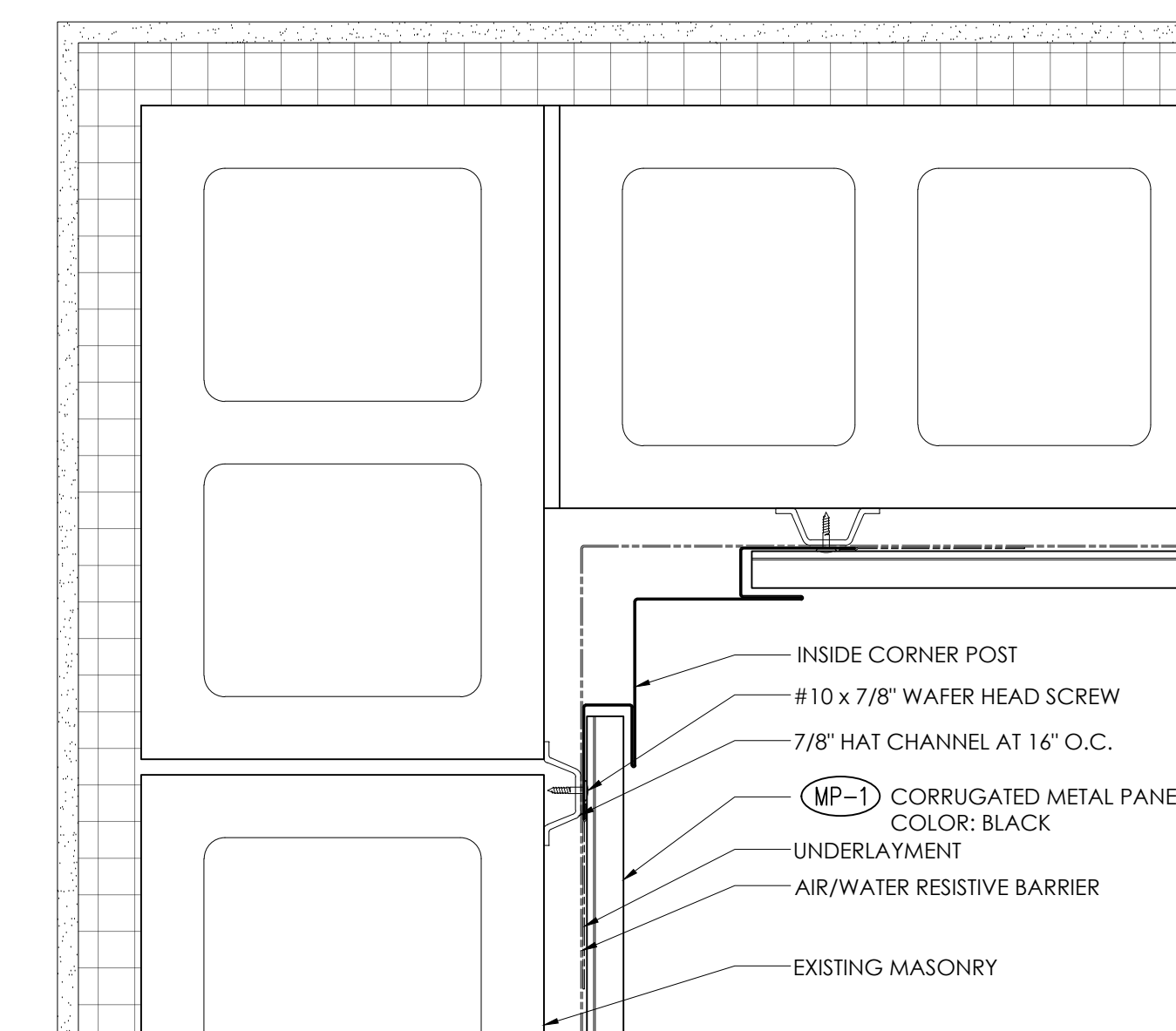
DATE	ISSUED SET
03.08.19	PROJECT START
03.29.19	FLAT STALL, VEHICLE DISPLAY
04.09.19	ADDRESS PORSCHE COMMENTS
04.19.19	ADDRESS OWNER COMMENTS
09.27.19	ADDRESS PORSCHE COMMENTS



3 LIGHT COVE IN HUNTER DOUGLAS METAL CEILING
3" = 1'-0"



2 TOP OF WALL AT CORRUGATED METAL PANELS
3" = 1'-0"



1 INSIDE CORNER DETAIL AT CORRUGATED METAL PANELS
3" = 1'-0"

PROGRESS DOCUMENTS

Project Number	19-005
Start Date	03/08/2019
Drawn By	ELM
Checked By	ELM
Scale	AS NOTED

GENERAL NOTES

1. THESE DETAILS ARE BASED ON OLDCASTLE BUILDING ENVELOPE. OTHER MANUFACTURERS THAT MEET THE DESIGN CRITERIA ARE ACCEPTABLE.



ARCHITECTS
700 W. VIRGINIA STREET, SUITE 604
MILWAUKEE, WI 53204
414.277.8000
MADISENMAHER.COM

PROPOSED REMODEL FOR:

INTERNATIONAL PORSCHE OF WAUKESHA

2228 E. MORELAND BLVD
WAUKESHA, WI 53186

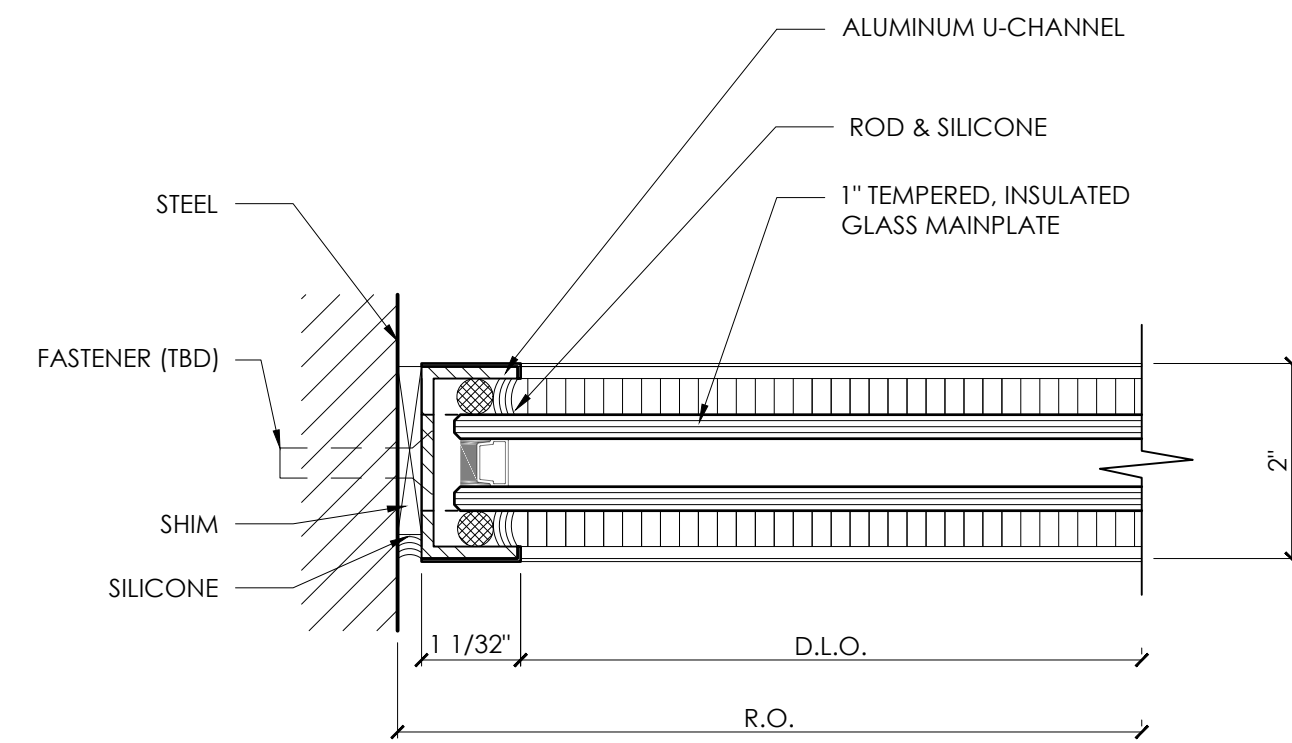


CLIENT:

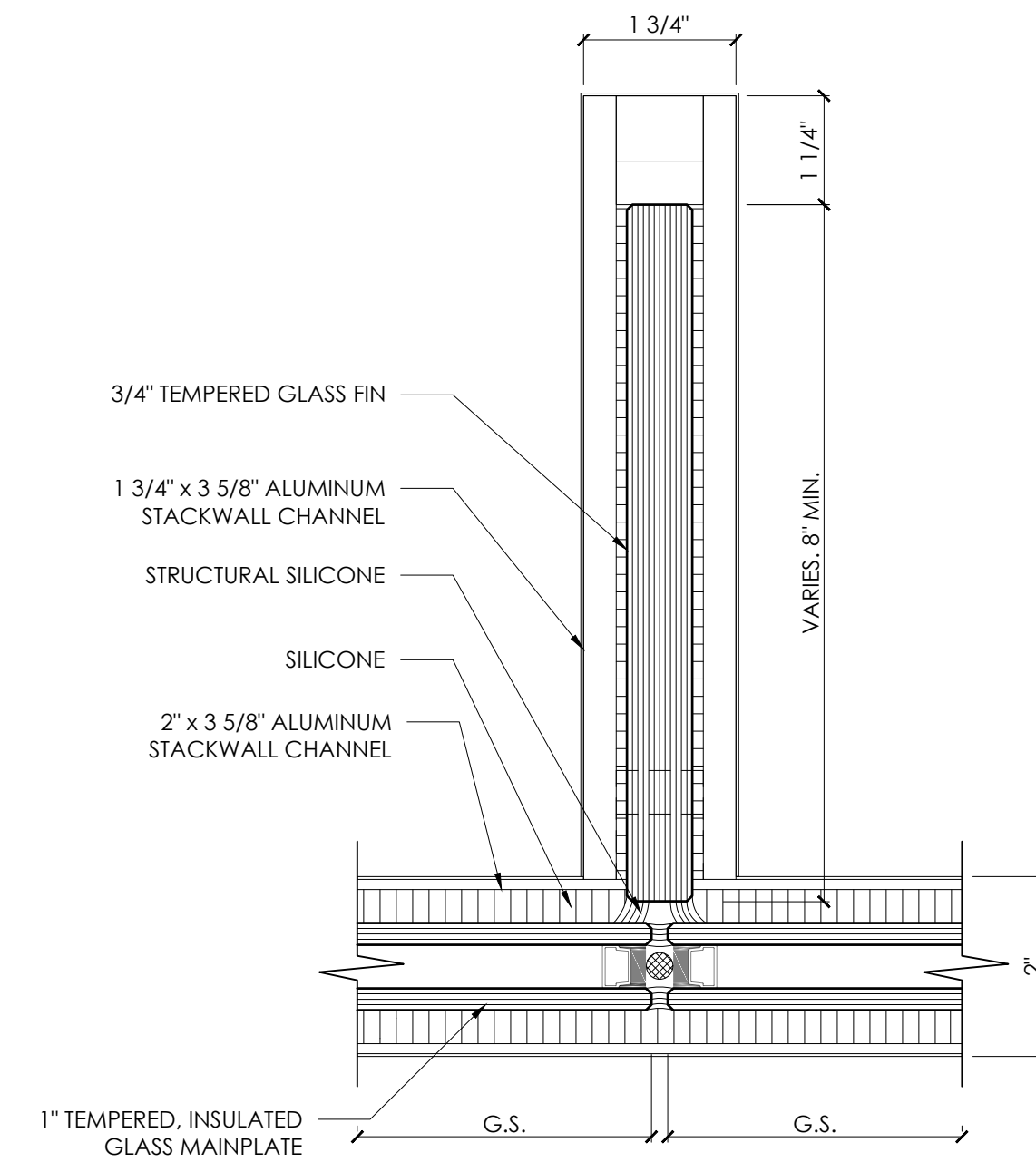
INTERNATIONAL AUTOS GROUP
2400 SOUTH 108TH ST.
WEST ALLIS, WI 53227

Drawings and Specifications as Instruments of service are the property of Madisen Maher Architects, whether the work for which they are made be executed or not and are not to be used or copied on other work except by written agreement with Madisen Maher Architects.

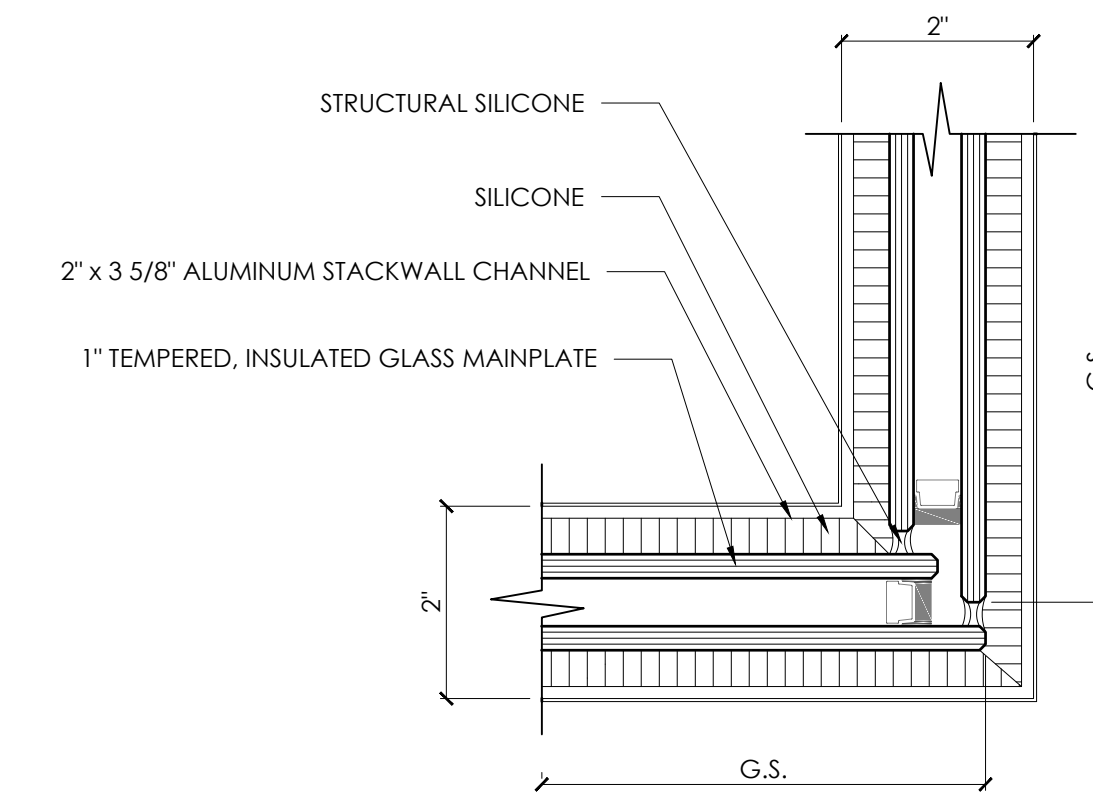
DATE	ISSUED SET
03.08.19	PROJECT START
03.29.19	FLAT STALL, VEHICLE DISPLAY
04.09.19	ADDRESS PORSCHE COMMENTS
04.19.19	ADDRESS OWNER COMMENTS
09.27.19	ADDRESS PORSCHE COMMENTS



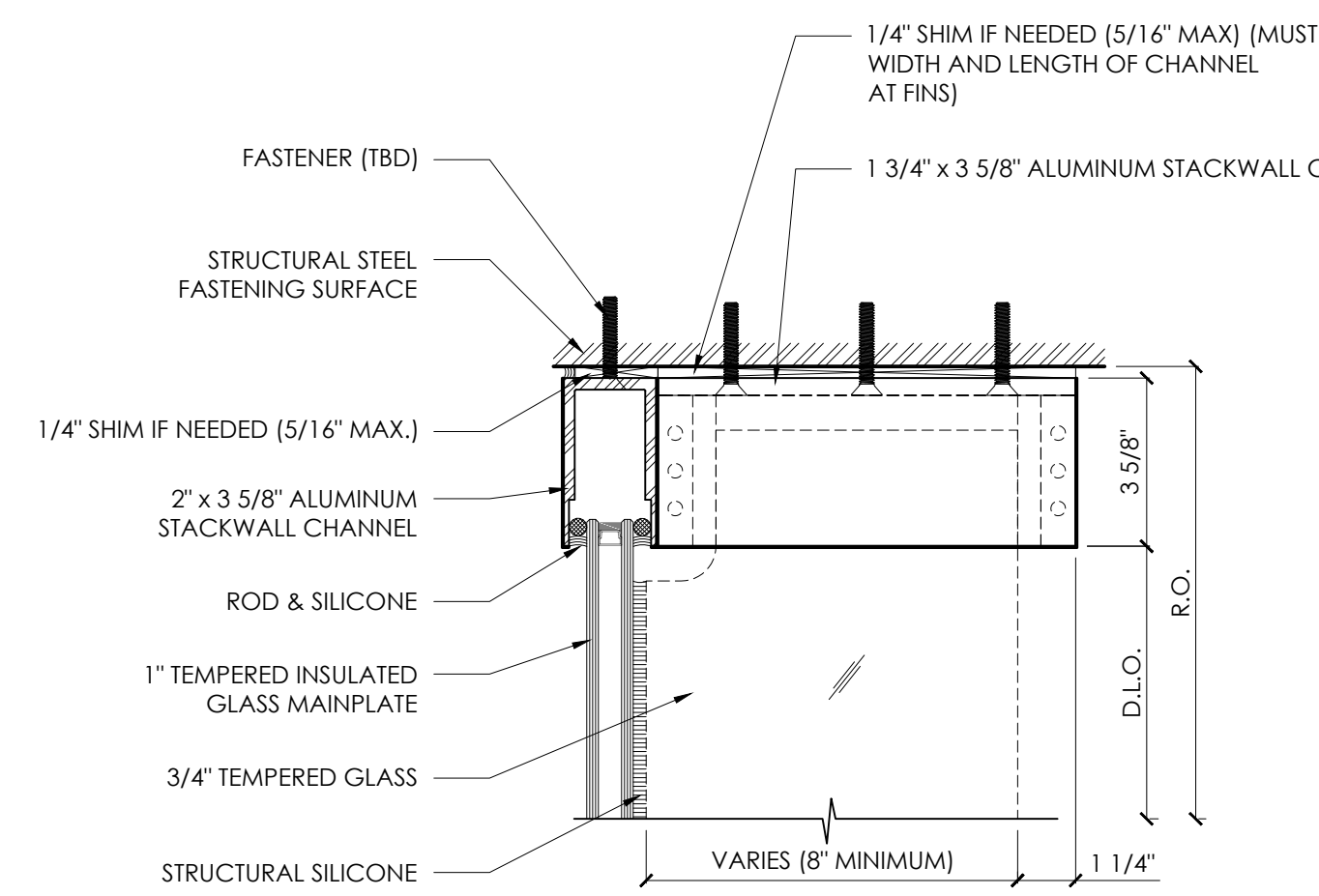
9 MAINPLATE JAMB
6" = 1'-0"



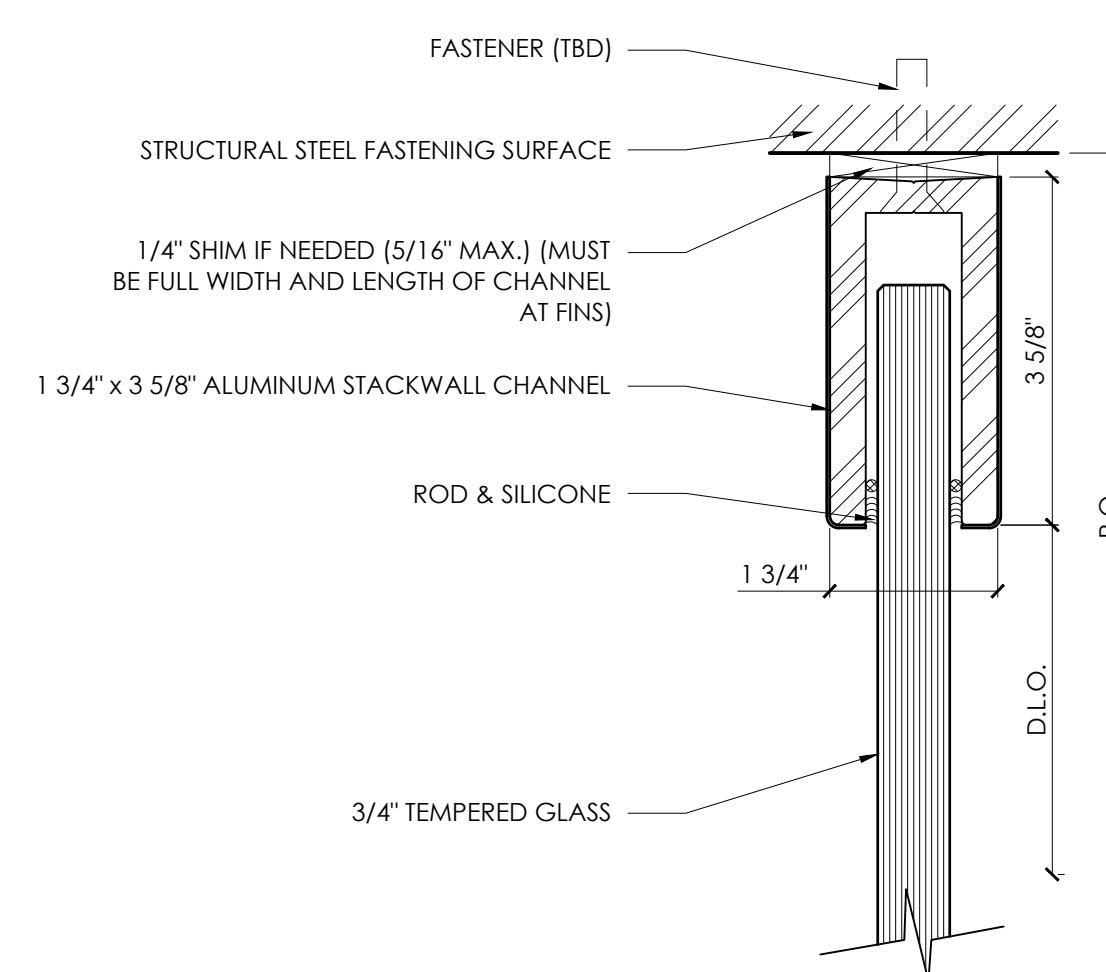
6 MAINPLATE JOINT
6" = 1'-0"



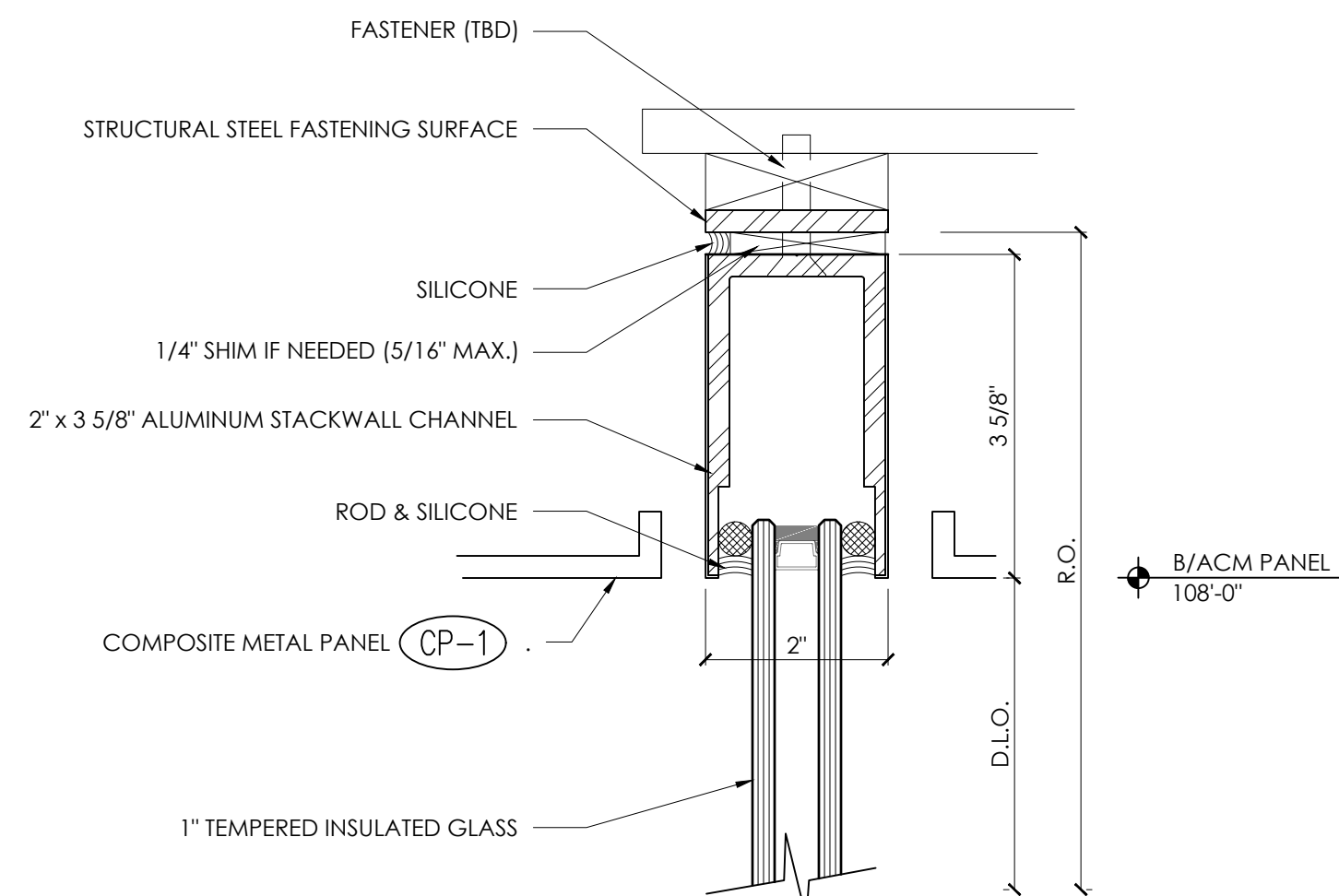
3 MAINPLATE CORNER
6" = 1'-0"



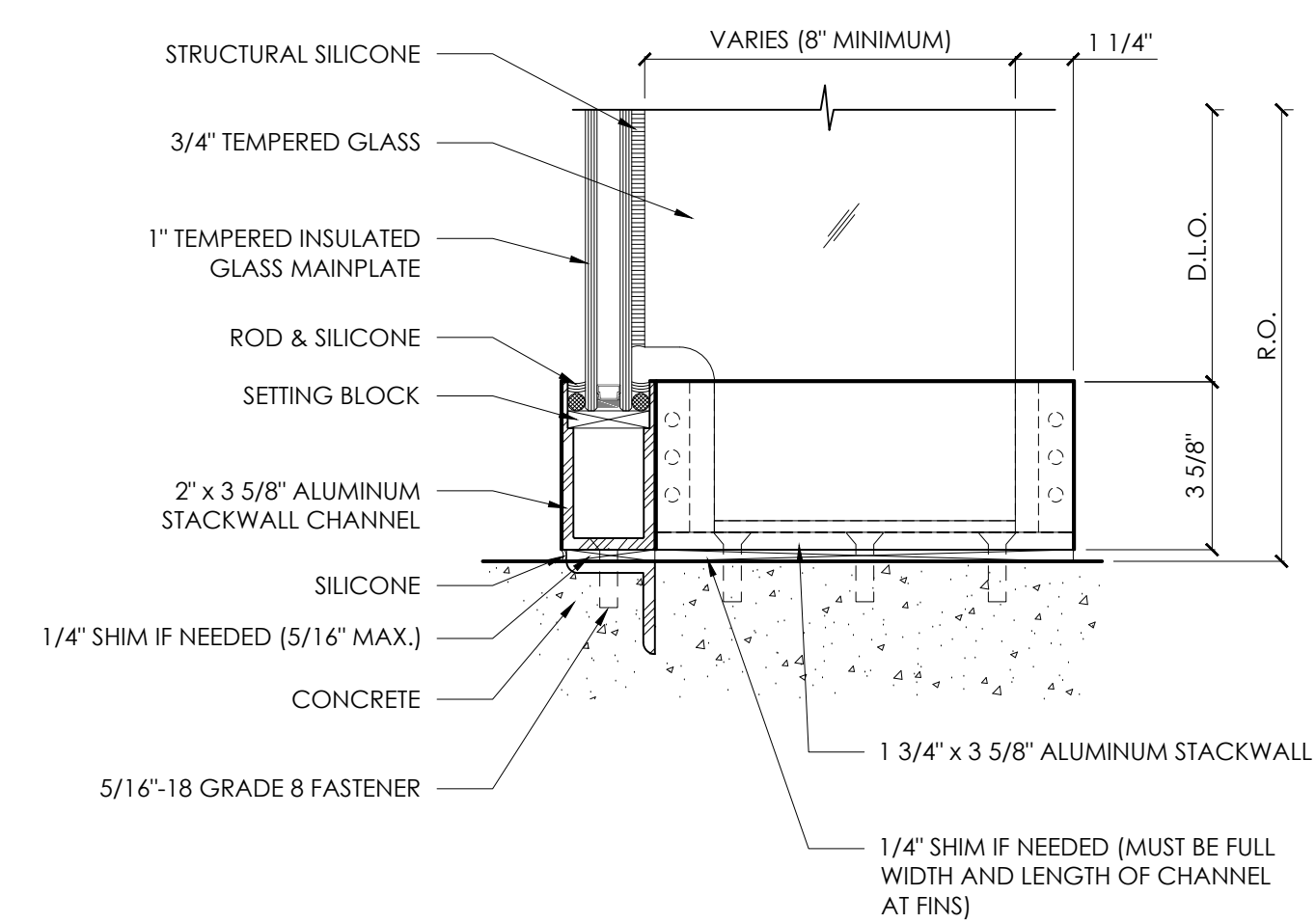
8 MAINPLATE AT FIN HEAD
3" = 1'-0"



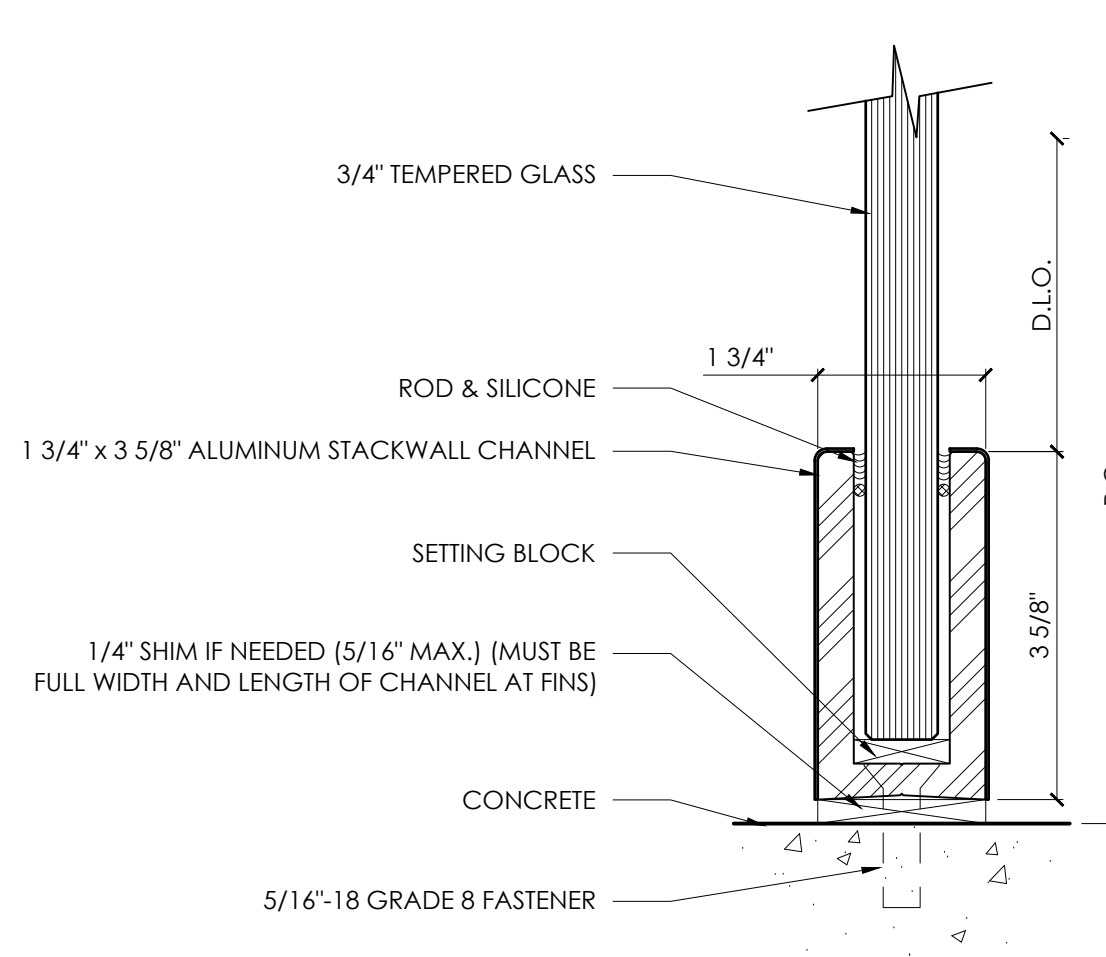
5 FIN HEAD
6" = 1'-0"



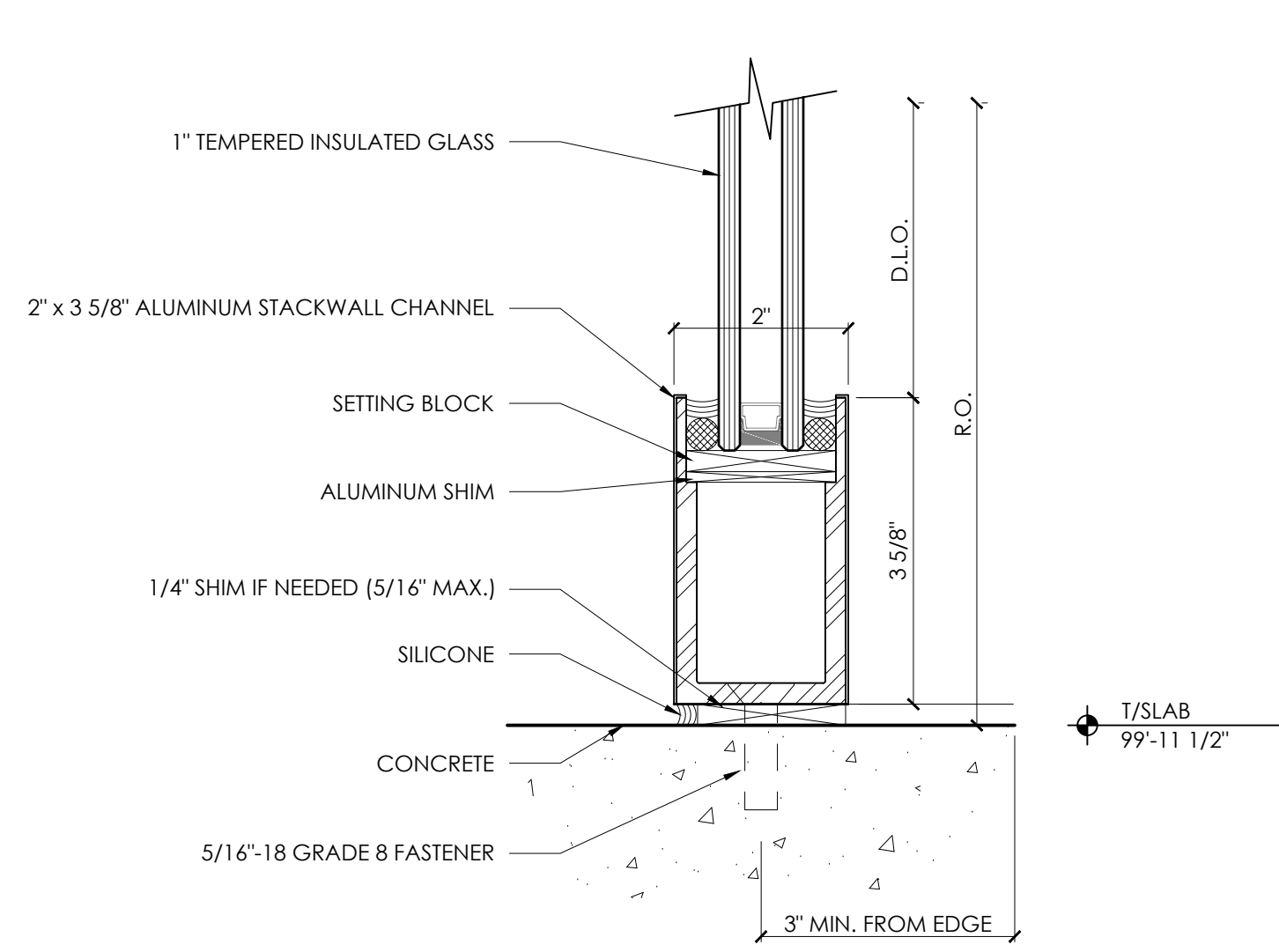
2 MAINPLATE HEAD
6" = 1'-0"



7 MAINPLATE AT FIN SILL
3" = 1'-0"



4 FIN SILL
6" = 1'-0"



1 MAINPLATE SILL
6" = 1'-0"

PROGRESS DOCUMENTS

Project Number	19-005
Start Date	03/08/2019
Drawn By	ELM
Checked By	ELM
Scale	AS NOTED

FIN WALL GLAZING DETAILS

A5.02

GENERAL NOTES

1. THESE DETAILS ARE BASED ON OLDCASTLE BUILDING ENVELOPE. OTHER MANUFACTURERS THAT MEET THE DESIGN CRITERIA ARE ACCEPTABLE.



ARCHITECTS
700 W. VIRGINIA STREET, SUITE 604
MILWAUKEE, WI 53204
414.277.8000
MADISENMAHER.COM

PROPOSED REMODEL FOR:

INTERNATIONAL PORSCHE OF WAUKESHA

2228 E. MORELAND BLVD
WAUKESHA, WI 53186



CLIENT:

INTERNATIONAL AUTOS GROUP
2400 SOUTH 108TH ST.
WEST ALLIS, WI 53227

Drawings and Specifications as instruments of service are the property of Madisen Maher Architects, whether the work for which they are made be executed or not and are not to be used or copied on other work except by written agreement with Madisen Maher Architects.

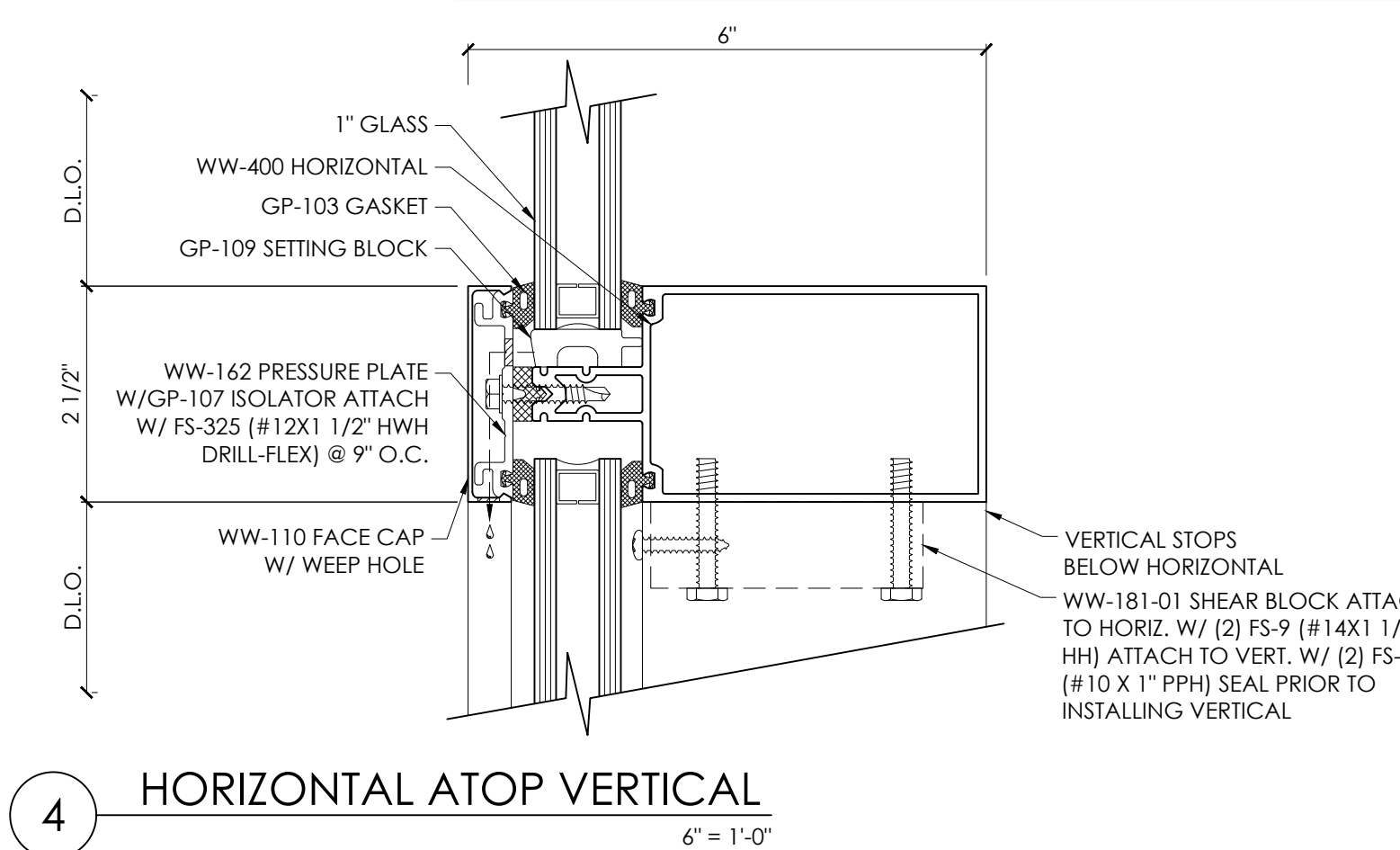
DATE	ISSUED SET
03.08.19	PROJECT START
03.29.19	FLAT STALL VEHICLE DISPLAY
04.09.19	ADDRESS PORSCHE COMMENTS
04.19.19	ADDRESS OWNER COMMENTS
09.27.19	ADDRESS PORSCHE COMMENTS

Project Number	19-005
Start Date	03/08/2019
Drawn By	ELM
Checked By	ELM
Scale	AS NOTED

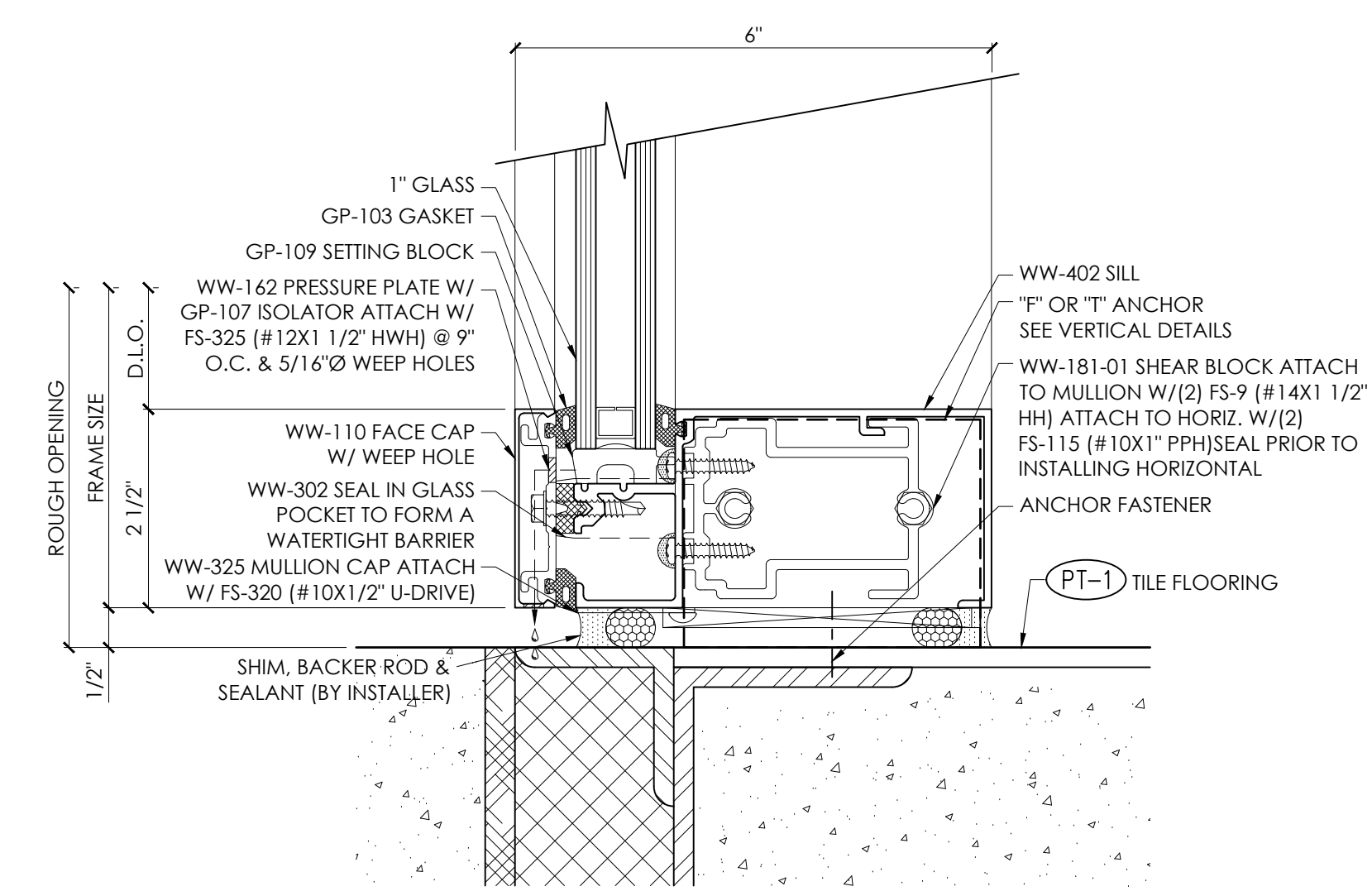
PROGRESS DOCUMENTS

ENTRY GLAZING DETAILS

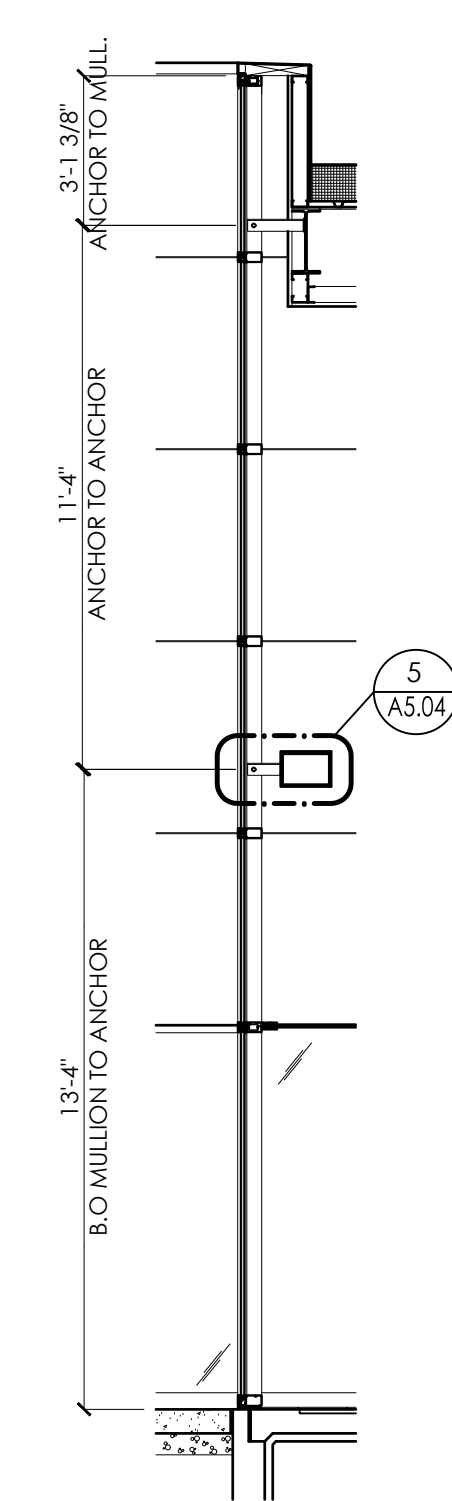
A5.03



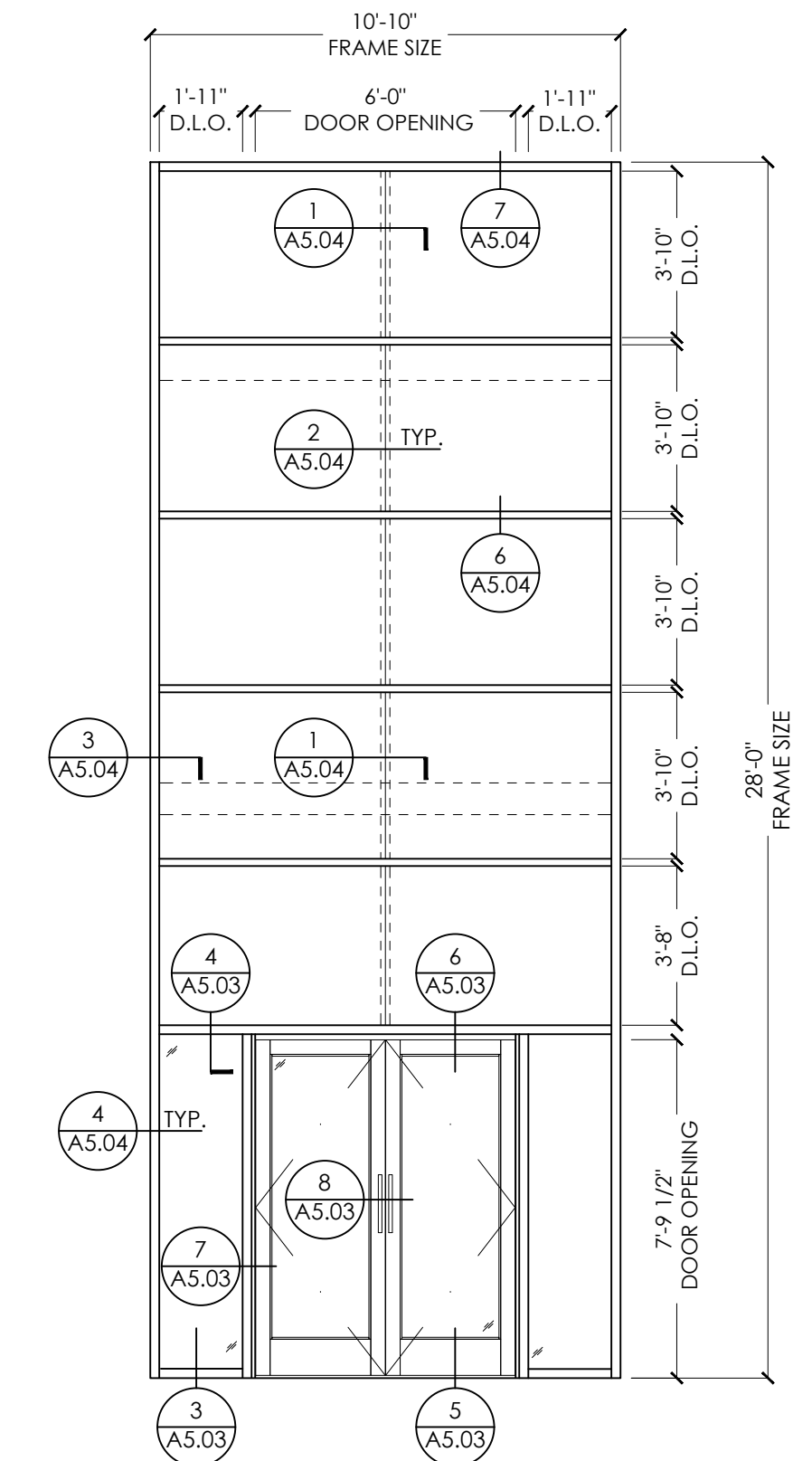
4 HORIZONTAL ATOP VERTICAL
6" = 1'-0"



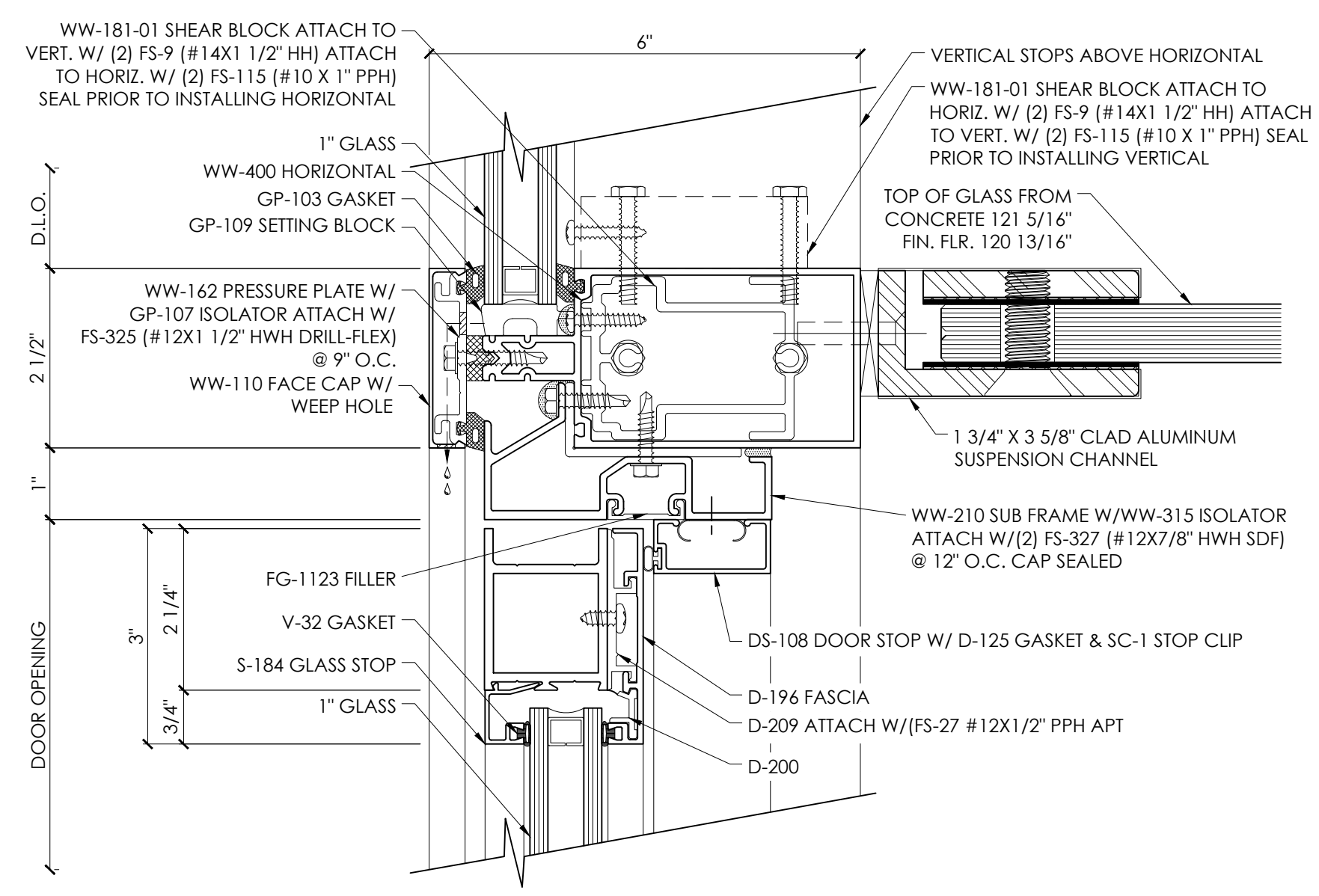
3 SILL DETAIL
6" = 1'-0"



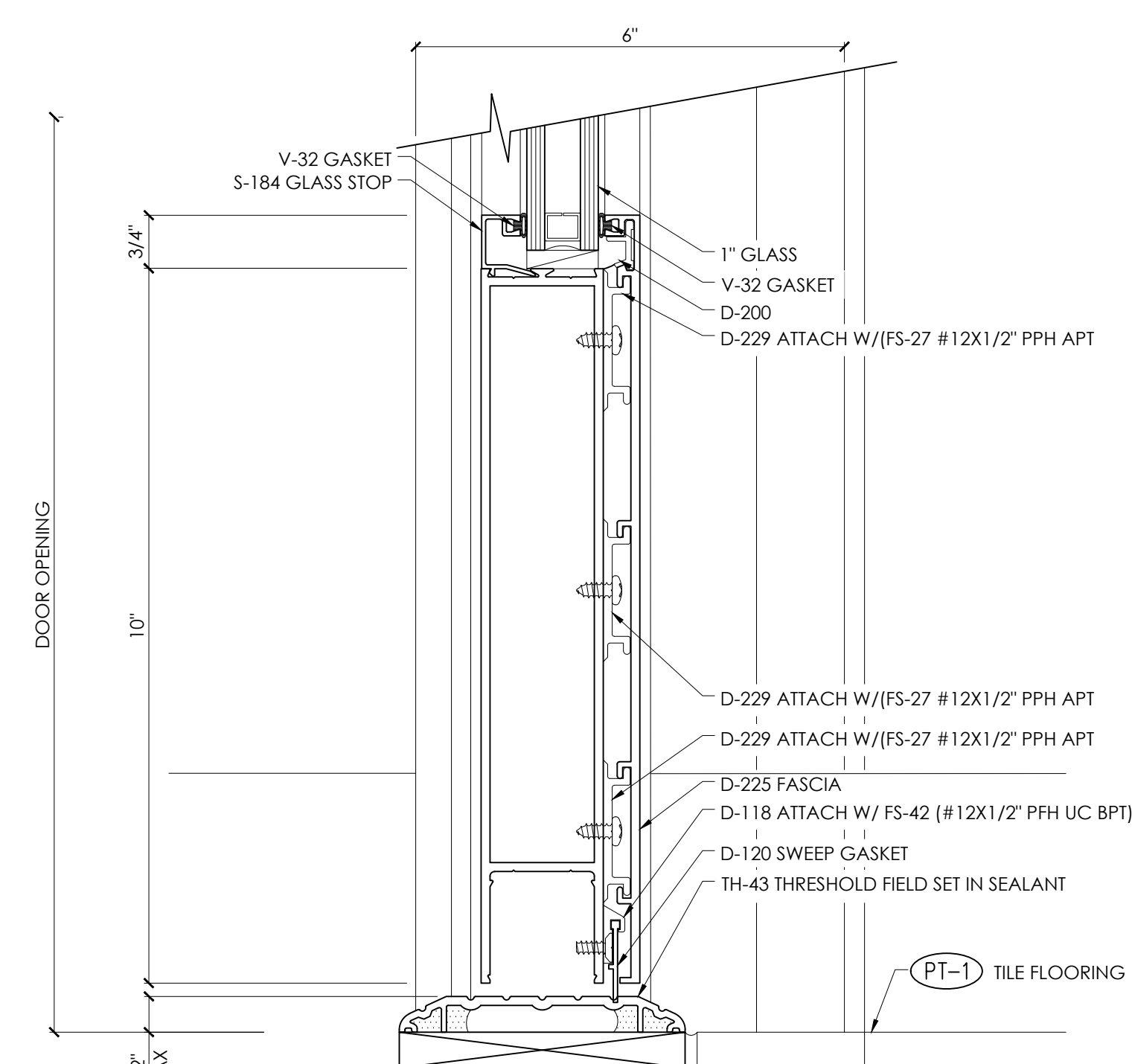
2 SECTION AT LIGHT WELL
1/4" = 1'-0"



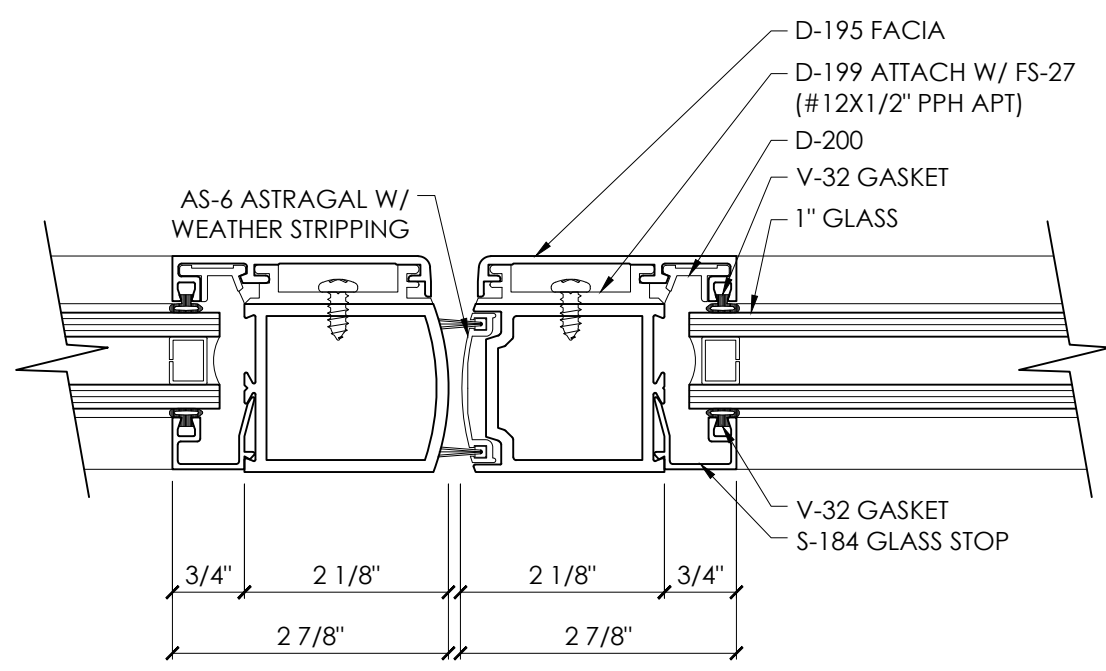
1 ELEVATION AT LIGHT WELL
1/4" = 1'-0"



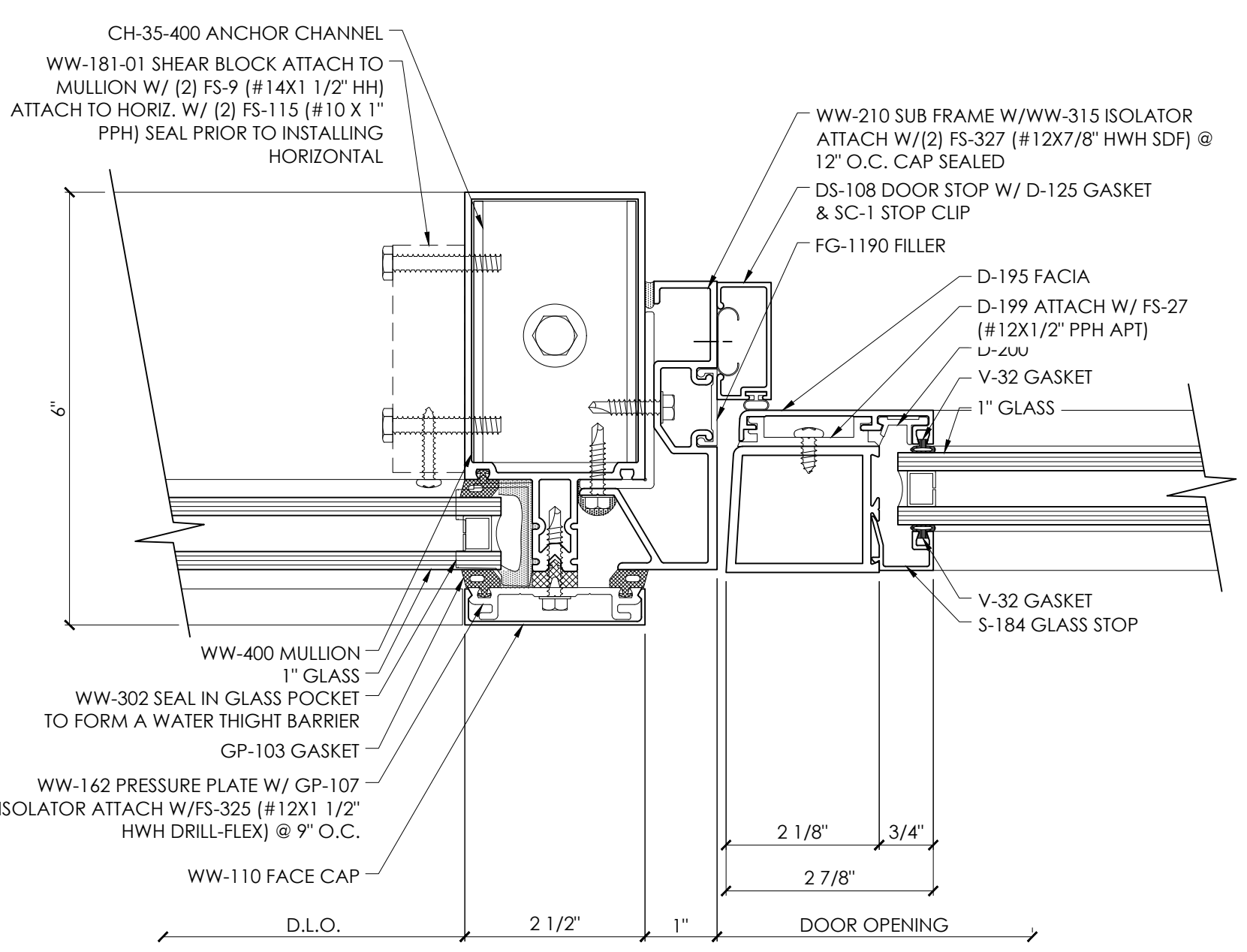
6 DOOR HEADER
6" = 1'-0"



5 DOOR THRESHOLD
6" = 1'-0"



8 DOOR MEETING STILES
6" = 1'-0"



7 INTERMEDIATE VERTICAL AT DOOR
6" = 1'-0"

GENERAL NOTES

1. THESE DETAILS ARE BASED ON OLDCASTLE BUILDING ENVELOPE. OTHER MANUFACTURERS THAT MEET THE DESIGN CRITERIA ARE ACCEPTABLE.



ARCHITECTS
700 W. VIRGINIA STREET, SUITE 604
MILWAUKEE, WI 53204
414.277.8000
MADISENMAHER.COM

PROPOSED REMODEL FOR:

INTERNATIONAL PORSCHE OF WAUKESHA

2228 E. MORELAND BLVD
WAUKESHA, WI 53186



CLIENT:

INTERNATIONAL AUTOS GROUP
2400 SOUTH 108TH ST.
WEST ALLIS, WI 53227

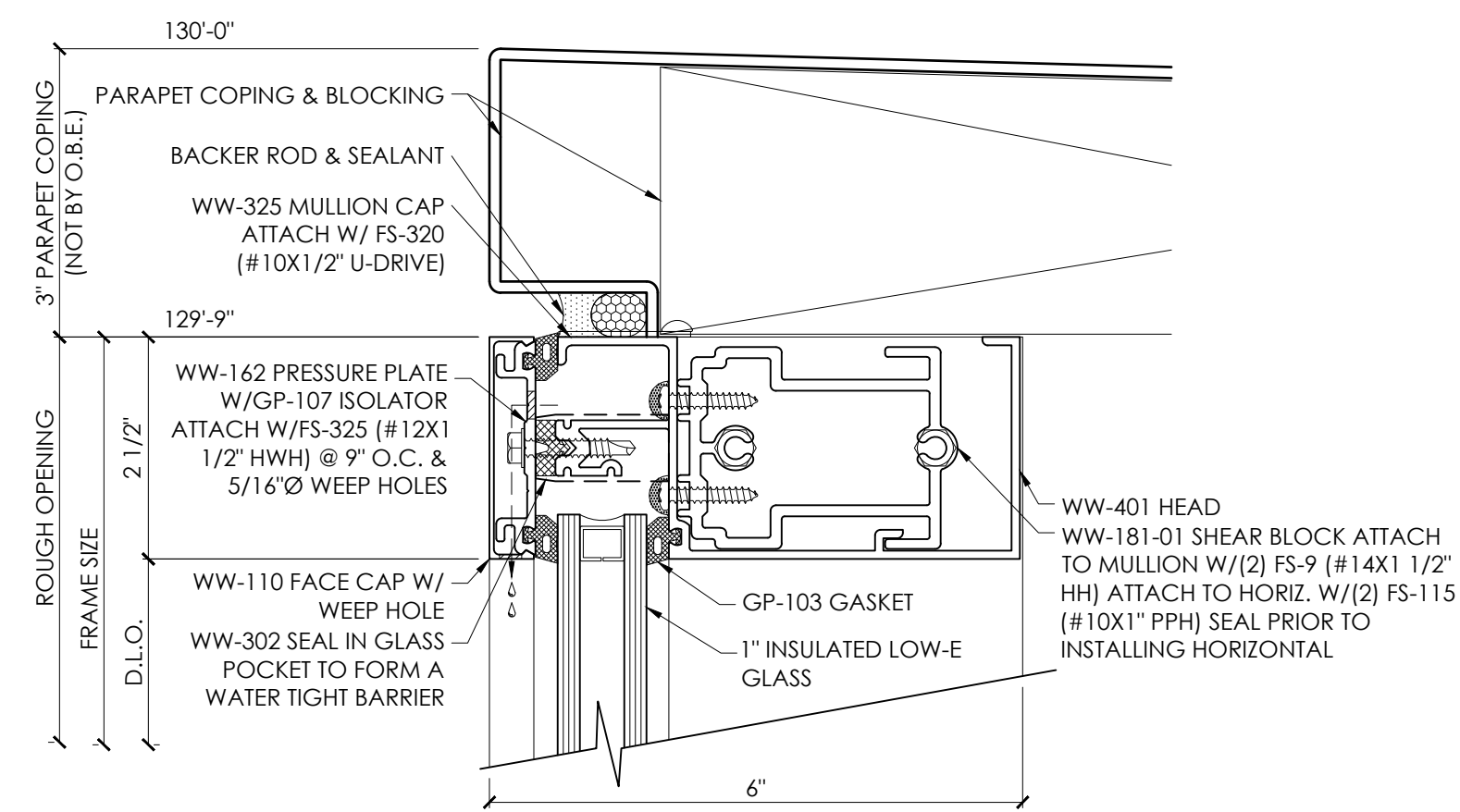
Drawings and Specifications as instruments of service are the property of Madisen Maher Architects, whether the work for which they are made be executed or not and are not to be used or copied on other work except by written agreement with Madisen Maher Architects.

DATE	ISSUED SET
03.08.19	PROJECT START
03.29.19	FLAT STALL, VEHICLE DISPLAY
04.09.19	ADDRESS PORSCHE COMMENTS
04.19.19	ADDRESS OWNER COMMENTS
09.27.19	ADDRESS PORSCHE COMMENTS

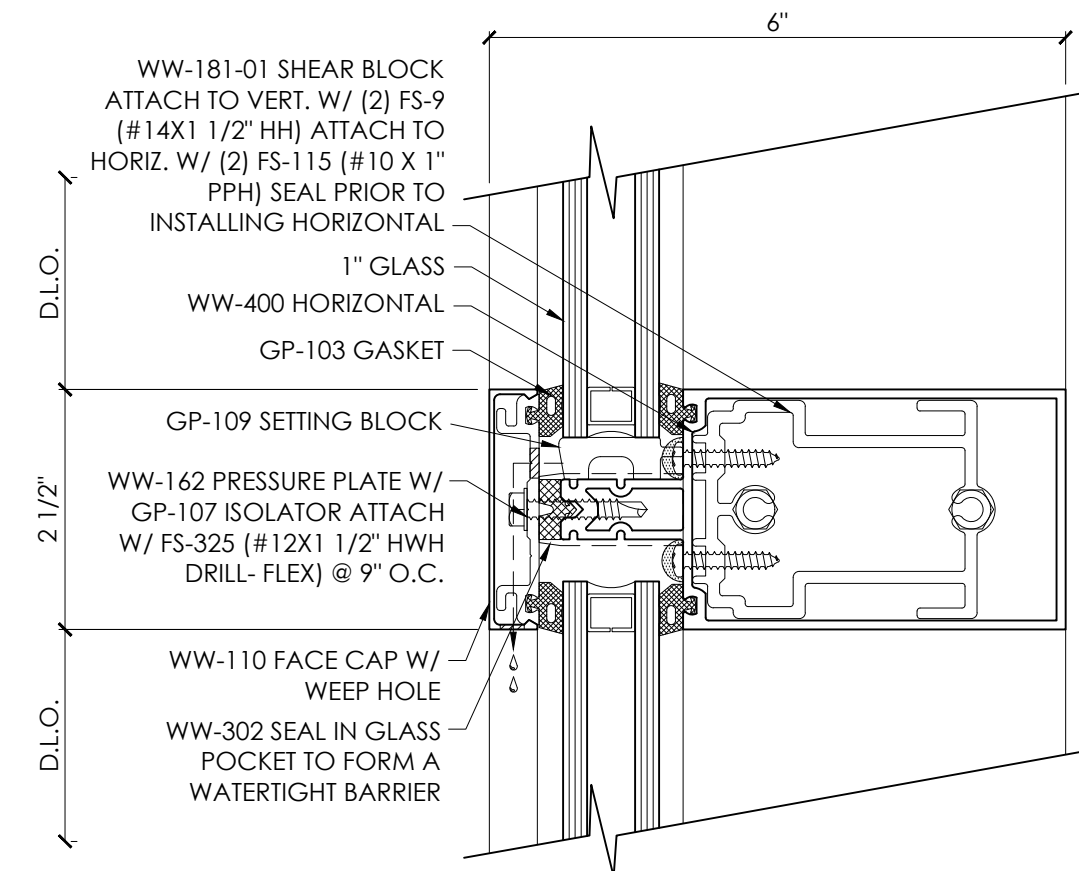
Project Number	19-005
Start Date	03/08/2019
Drawn By	ELM
Checked By	ELM
Scale	AS NOTED

ENTRY GLAZING DETAILS

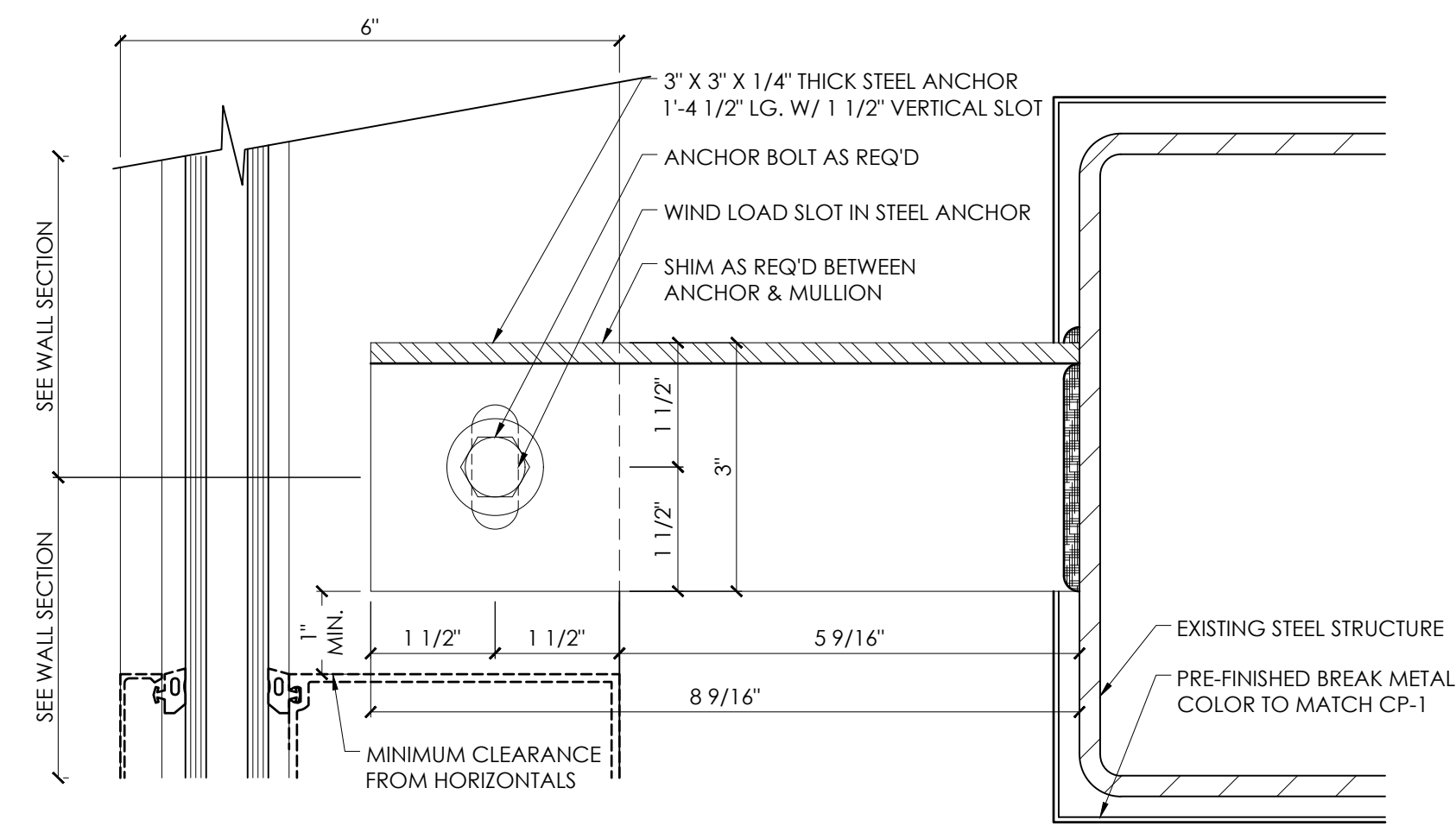
A5.04



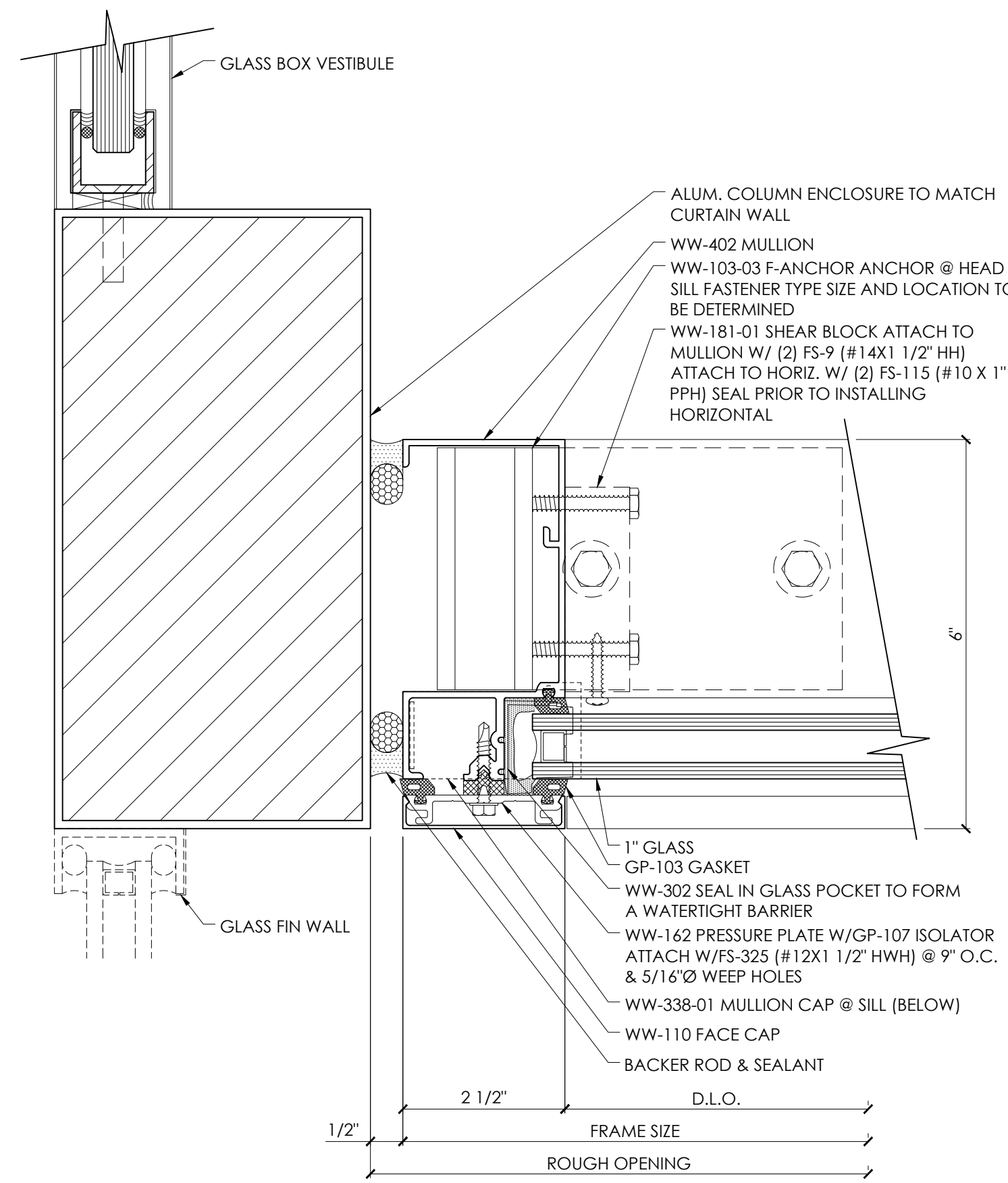
7 HEAD DETAIL
6" = 1'-0"



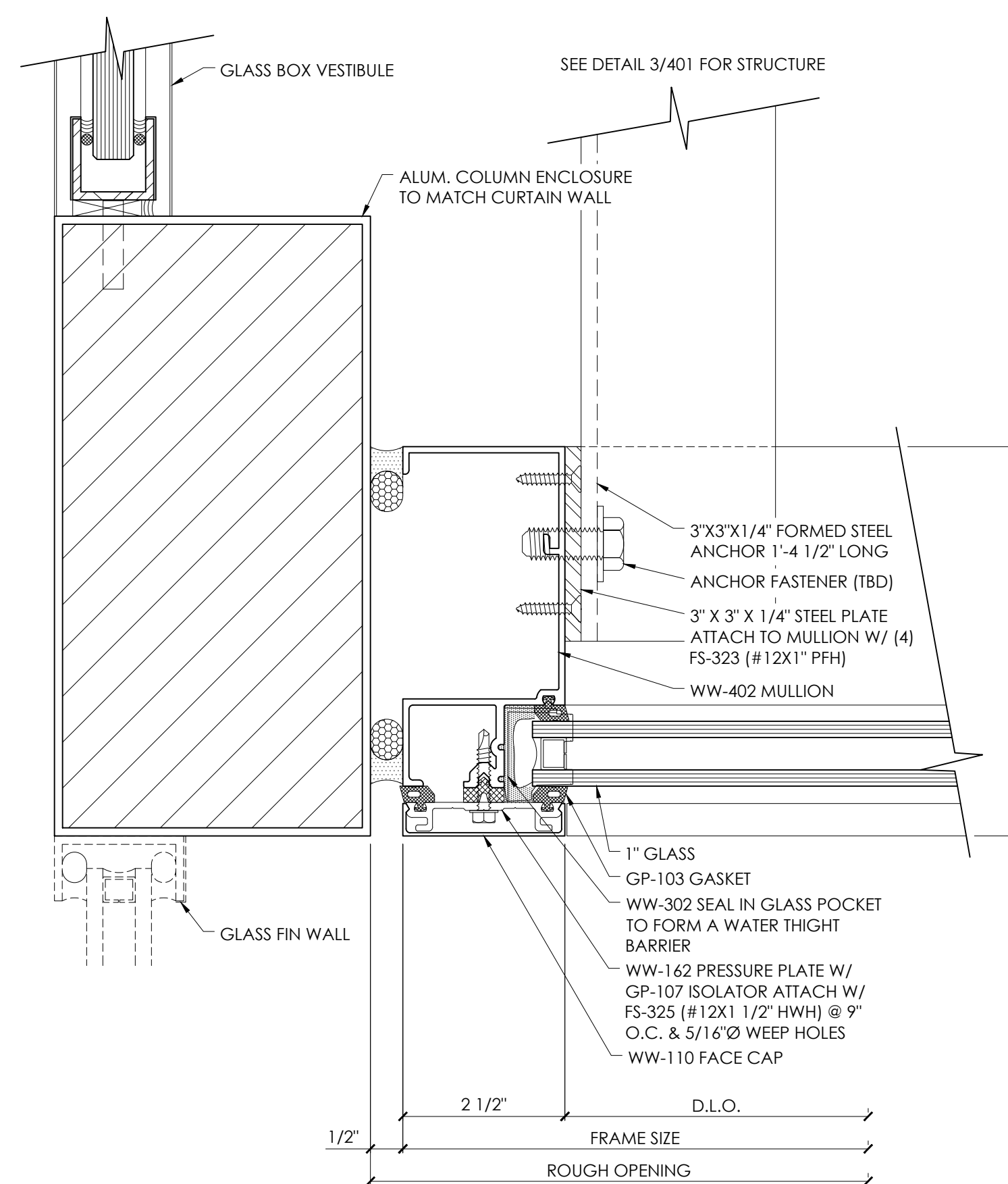
6 INTERMEDIATE HORIZONTAL
6" = 1'-0"



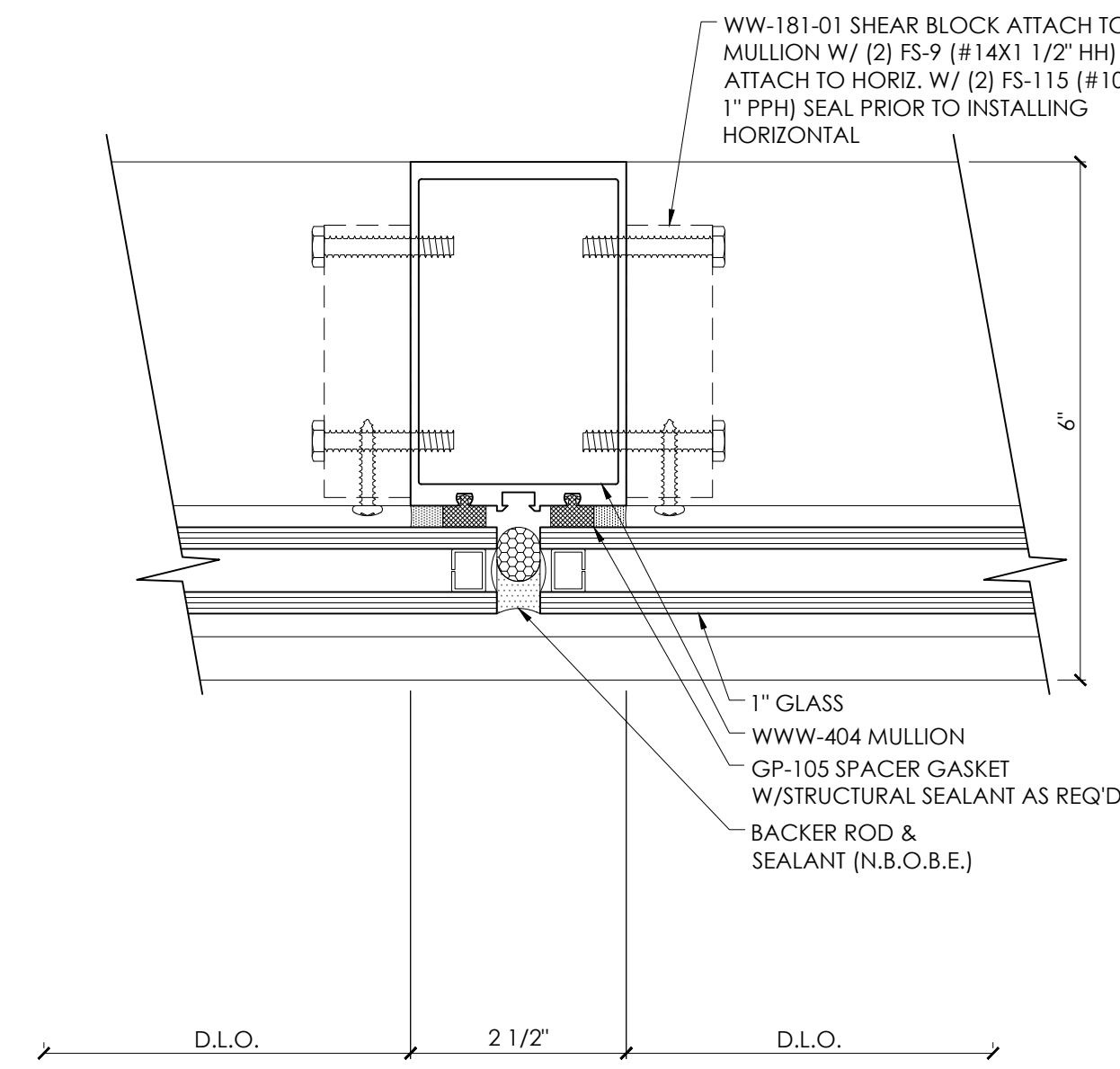
5 WIND LOAD ANCHOR
6" = 1'-0"



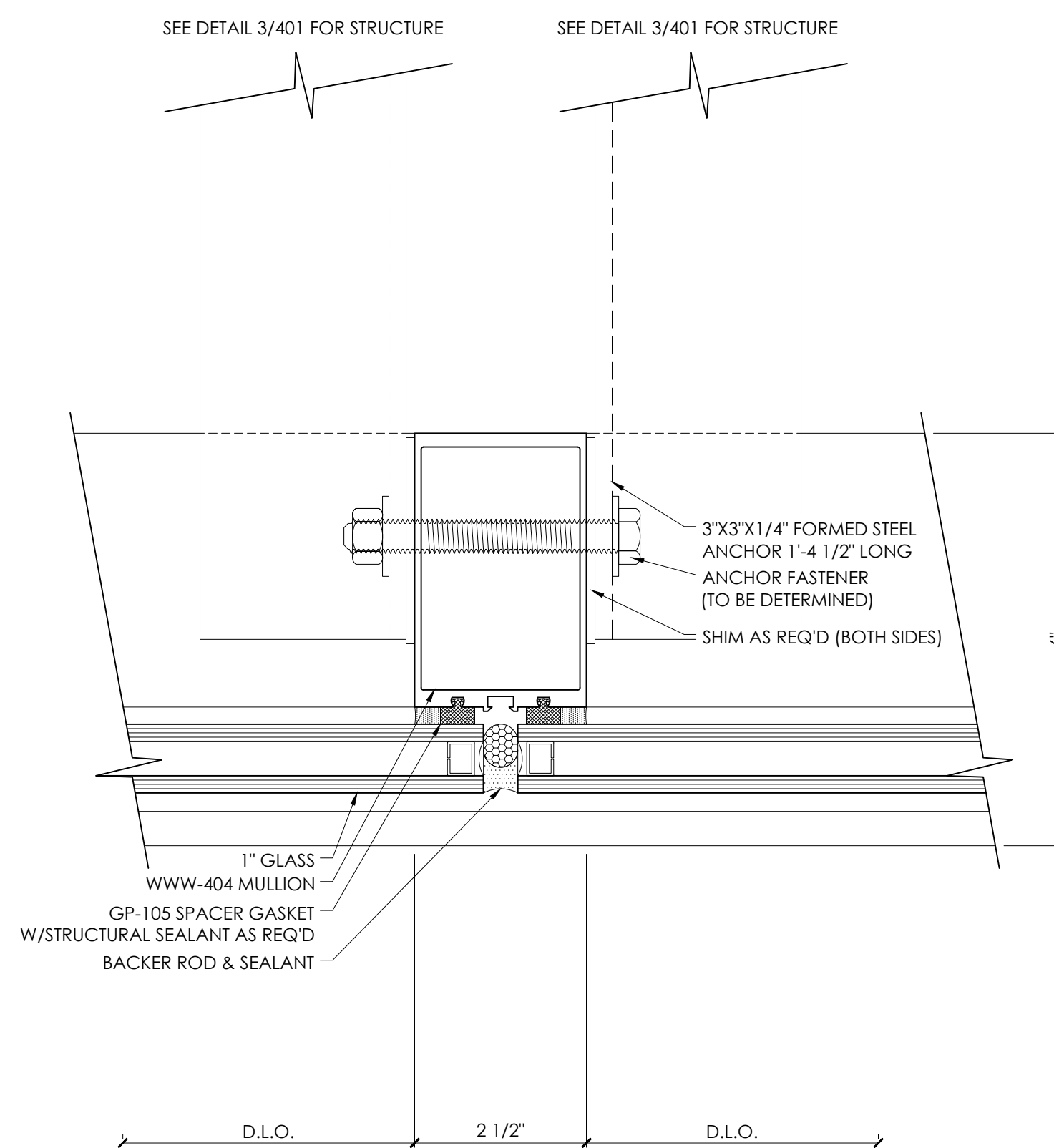
4 JAMB DETAIL
6" = 1'-0"



3 JAMB ANCHOR DETAIL
6" = 1'-0"



2 SSG MULLION, TYP.
6" = 1'-0"

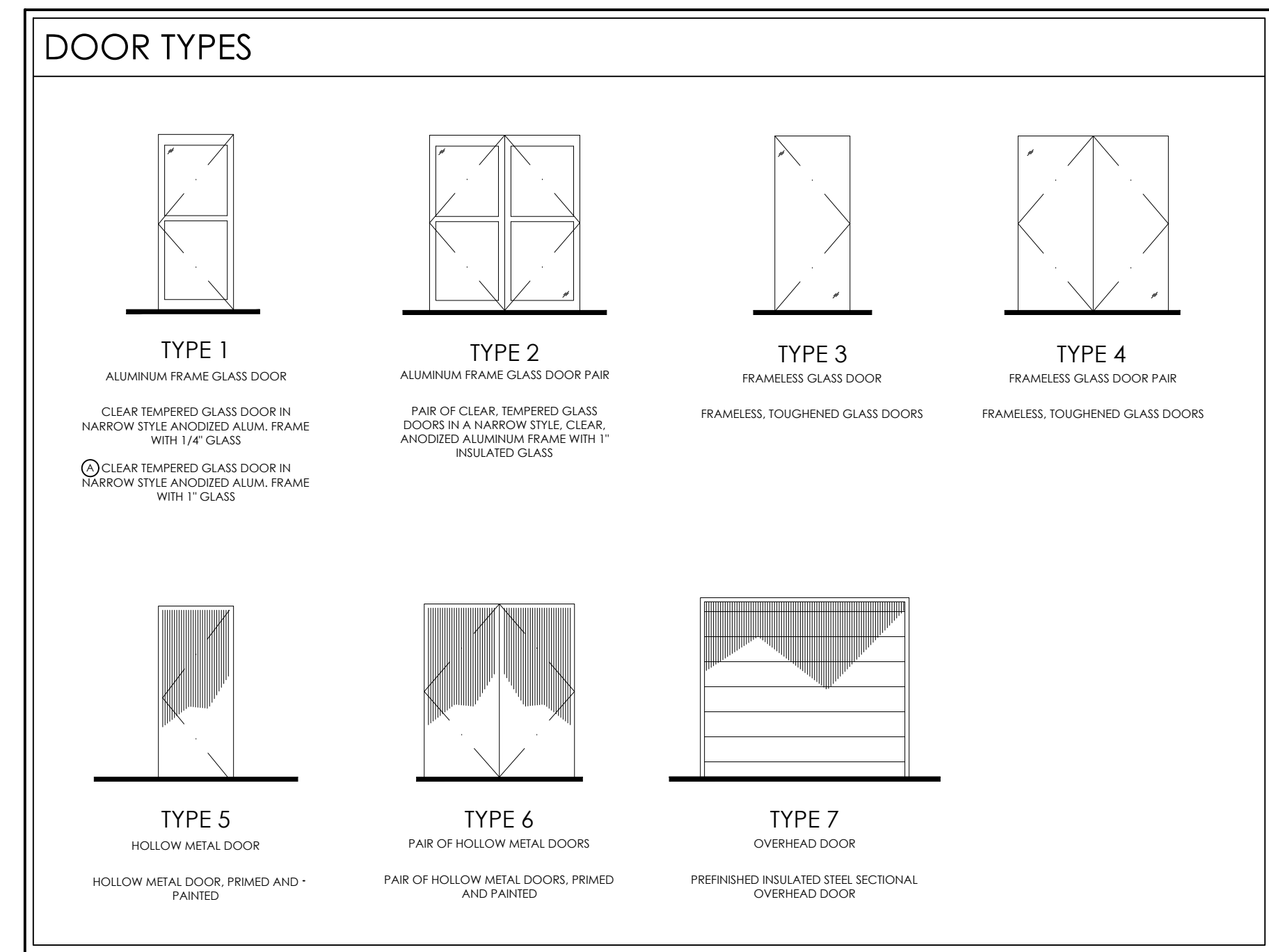
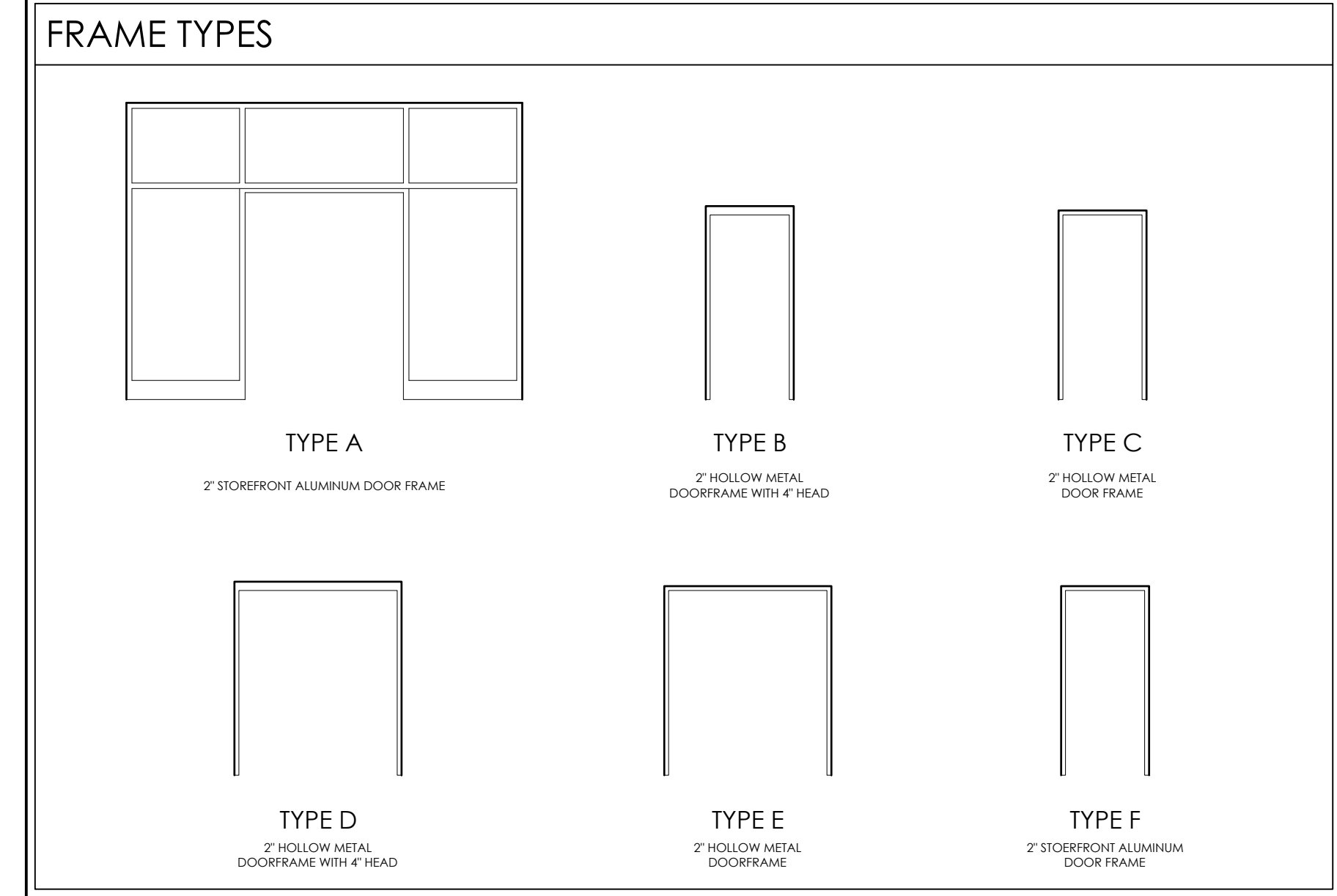


1 INTERMEDIATE ANCHOR DETAIL
6" = 1'-0"

PROGRESS DOCUMENTS

DOOR NO.	ROOM NAME	DOOR										REMARKS	DOOR NO.	ROOM NAME	DOOR										REMARKS								
		SIZE	NO. OF DOORS	DOOR			FRAME DETAIL				TYPE				HDWR. SET	DOOR NO.	ROOM NAME	SIZE	NO. OF DOORS	DOOR			FRAME DETAIL				TYPE	HDWR. SET					
				TYPE	MATL	GLAZING	MATL	JAMB	HEAD	SILL										LABEL	DOOR NO.	ROOM NAME	SIZE	NO. OF DOORS		TYPE			MATL	GLAZING	MATL	JAMB	HEAD
101	VESTIBULE	3'-0"x7'-0"	2	2	--	--	--	WD	--	--	--	--	--	--	--	--	124	SERVICE AREA	3'0 x 7'0"	2	EXIST	--	--	--	--	--	--	--	--	--	--	R1	
101A	VESTIBULE	3'-0"x7'-0"	2	4	--	--	--	WD	--	--	--	--	--	--	--	--	124A	SERVICE AREA	3'0 x 7'0"	1	EXIST	--	--	--	--	--	--	--	--	--	--		
102	LOBBY	3'-0"x7'-0"	2	EXIST	--	--	--	WD	--	--	--	--	--	--	--	124B	SERVICE AREA	10'-0" x 10'-0"	1	EXIST	--	--	--	--	--	--	--	--	--	--	--		
104	SHOWROOM	3'0" x 7'0"	1	2	--	--	--	WD	--	--	--	--	--	--	--	125	ALIGNMENT STALL	3'0 x 7'0"	1	EXIST	--	--	--	--	--	--	--	--	--	--	--	R1	
105	CPO OFFICE	3'0" x 7'0"	1	3	--	--	--	WD	--	--	--	--	--	--	--	125A	ALIGNMENT STALL	10'-0" x 10'-0"	1	EXIST	--	--	--	--	--	--	--	--	--	--	--		
106	SALES MANAGER	3'0" x 7'0"	1	3	--	--	--	WD	--	--	--	--	--	--	--	126	ELECTRICAL	3'0 x 7'0"	1	EXIST	--	--	--	--	--	--	--	--	--	--	--	R1	
107	SALES CONSULTANT	3'0" x 7'0"	1	3	--	--	--	--	--	--	--	--	--	--	--	127	TOOL ROOM	3'0 x 7'0"	1	5	--	--	--	--	--	--	--	--	--	--	--	--	
108	F&I OFFICE	3'0" x 7'0"	1	3	--	--	--	WD	--	--	--	--	--	--	--	127A	TOOL ROOM	10'-0" x 10'-0"	1	7	--	--	--	--	--	--	--	--	--	--	--	--	
109	FITTING LOUNGE	3'0" x 8'0"	--	4	--	--	--	WD	--	--	--	--	--	--	--	129	PARTS MANAGER	3'0 x 7'0"	--	EXIST	--	--	--	--	--	--	--	--	--	--	--	R1	
111	CUSTOMER LOUNGE	3'0" x 7'0"	--	EXIST	--	--	--	WD	--	--	--	--	--	--	--	130	CASHIER	3'0 x 7'0"	--	5	--	--	--	--	EXIST	EXIST	EXIST	--	EXIST	--	--	R1	
112	HALL	3'0" x 7'0"	--	6	--	--	--	--	EXIST	EXIST	EXIST	--	--	--	--	131	NEW VEHICLE DELIVERY	3'0 x 7'0"	--	1	--	--	--	--	--	--	--	--	--	--	--		
112A	HALL	3'0" x 7'0"	--	6	--	--	--	WD	EXIST	EXIST	EXIST	--	--	--	--	131A	NEW VEHICLE DELIVERY	10'-0" x 8'-0"	--	7	--	--	--	--	--	--	--	--	--	--	--		
113	WOMEN'S TOILET	3'0" x 7'0"	--	5	--	--	--	WD	EXIST	EXIST	EXIST	--	--	--	--	132	SERVICE ADVISOR	3'0 x 7'0"	--	EXIST	--	--	--	--	--	--	--	--	--	--	--	R2	
114	MEN'S TOILET	3'0" x 7'0"	--	5	--	--	--	WD	EXIST	EXIST	EXIST	--	--	--	--	133	SERVICE ADVISOR	3'0 x 7'0"	--	EXIST	--	--	--	--	--	--	--	--	--	--	--	R2	
116	BREAK ROOM	3'0" x 7'0"	--	EXIST	--	--	--	WD	--	--	--	--	--	--	--	134	SERVICE MANAGER	3'0 x 7'0"	--	EXIST	--	--	--	--	--	--	--	--	--	--	--	R2	
117	JANITOR	3'0" x 7'0"	--	EXIST	--	--	--	WD	--	--	--	--	--	--	--	135	FIRE PROTECTION	3'0 x 7'0"	--	EXIST	--	--	--	--	--	--	--	--	--	--	--	R1	
118	WOMEN'S TECH	3'0" x 7'0"	--	EXIST	--	--	--	HM	--	--	--	--	--	--	--	136	SERVICE RECEPTION	3'0 x 7'0"	--	EXIST	--	--	--	--	--	--	--	--	--	--	--	R2	
119	LOCKER ROOM	3'0" x 7'0"	--	EXIST	--	--	--	STEEL	--	--	--	--	--	--	--	136A	SERVICE RECEPTION	3'0 x 7'0"	--	EXIST	--	--	--	--	--	--	--	--	--	--	--	R1	
120	EXIT	3'0" x 7'0"	--	EXIST	--	--	--	WD	--	--	--	--	--	--	--	136B	SERVICE RECEPTION	3'0 x 7'0"	--	EXIST	--	--	--	--	--	--	--	--	--	--	--		
123	PARTS	3'0" x 7'0"	--	6	--	--	--	WD	--	--	--	--	--	--	--																		
123A	PARTS	8'0" x 8'0"	--	7	--	--	--	WD	--	--	--	--	--	--	--																		

REMARKS: R1 - PREP. PRIME & PAINT EXISTING DOOR AND FRAME.
R2 - EXISTING DOOR, FRAME (AND SIDELIGHT WHERE APPLICABLE) SAVED IN DEMO. PREP FOR REINSTALLATION IN NEW WALL. SEE PLAN.



ARCHITECTS
700 W. VIRGINIA STREET, SUITE 604
MILWAUKEE, WI 53204
414.277.8000
MADISENMAHER.COM

PROPOSED REMODEL FOR:

INTERNATIONAL PORSCHE OF WAUKESHA

2228 E. MORELAND BLVD
WAUKESHA, WI 53186



CLIENT:

INTERNATIONAL AUTOS GROUP
2400 SOUTH 108TH ST.
WEST ALLIS, WI 53227

Drawings and Specifications as instruments of service are the property of Madisen Maher Architects, whether the work for which they are made be executed or not and are not to be used or copied on other work except by written agreement with Madisen Maher Architects.

DATE	ISSUED SET
03.08.19	PROJECT START
03.29.19	FLAT STALL, VEHICLE DISPLAY
04.09.19	ADDRESS PORSCHE COMMENTS
04.19.19	ADDRESS OWNER COMMENTS
09.27.19	ADDRESS PORSCHE COMMENTS

Project Number	19-005
Start Date	03/08/2019
Drawn By	ELM
Checked By	ELM
Scale	AS NOTED

PROGRESS DOCUMENTS

DOOR SCHEDULE

A6.01

INTERIOR FINISH SCHEDULE									
CODE	MATERIAL	LOCATION	OPTION	MANUFACTURER	DESCRIPTION			ADDITIONAL INFORMATION	
					PRODUCT	COLOR	DIMENSION		
C-1	CARPET	SALES CONSULTANTS, SERVICE ADVISORS, SALES & SERVICE MANAGERS, FITTING LOUNGE		SUMMIT INTERNATIONAL FLOORING (US DISTRIBUTOR)	OBJECT CARPET	PORSCH 1800	13'-2" WIDTH	DAVID S. NUMARK, SUMMIT INT. (877) 496-3566 DNUMARK@SUMMIT-FLOORING.COM	
C-2	CARPET	WAITING LOUNGE, VEHICLE DELIVERY		SUMMIT INT'L FLOORING (US DISTRIBUTOR)	OBJECT CARPET SILKY SEAL	#1215-GREIGE	13'-2" WIDTH	DAVID S. NUMARK, SUMMIT INT. (877) 496-3566 DNUMARK@SUMMIT-FLOORING.COM	
CB-1	COVE BASE	WITH PT-1 OPTION A		GRANITI FIANDRE		#R20145S BLACK BOXSTONE SEMI-MATTE	3.5" x 24"	CLARICE CAWOOD, GRANITI FIANDRE (865) 776-2252 CCAWOOD@TRANSCERAMICA.COM	
CT-1	TILE FLOORING	SERVICE FLOOR, PARTS MANAGER	A	GRANITI FIANDRE	ASIAGO	ASH OR WILLOW	12" x 12"	CLARICE CAWOOD, GRANITI FIANDRE (865) 776-2252 CCAWOOD@TRANSCERAMICA.COM	
			C	ARGELITH CERAMIC TILES	B/F2 STONEWARE TILE	PORSCH GRAY OR YELLOW	8" x 4"	SPENCER MARTIN (630) 444-0665 @ARGELITHUS.COM	
			D	ALLIED CERAMIC SYSTEM SERVICES	B/F2 STONEWARE TILE	GRAY	8" x 4"	KAIPRYSTAV@ACSS.DE (770) 486-5520 WWW.ACSS.DE/ACSS_USA	
			E	DALTILE	SYSTEM T	GRANITI GRIGIO MEDIO	8" x 8"	EMILY HATCH (678) 614-3473 EMILY.HATCH@DAL TILE.COM	
D-1	HOLLOW METAL DOOR	ALL SOLID INTERIOR DOORS & FRAMES FOR RESTROOMS, PARTS, ETC.		BY ARCHITECT OF RECORD		PAINT SHERWIN WILLIAMS SW 6990 CAVIAR MATTE P-7	BY ARCHITECT OF RECORD		
D-2	FULL-HEIGHT GLASS DOOR	ALL DOORS IN SHOWROOM		BLUMCREFT OR APPROVED EQUAL	#1301 OR #640C		BY ARCHITECT OF RECORD		
G-1	GROUT	USE WITH PT-1		LATICRETE	SPECTRALOCK PROGROUT	#22 MIDNIGHT BLACK		1/8" GROUT JOINT	
G-2	GROUT	USE WITH CT-1		LATICRETE	SPECTRALOCK PROGROUT	#78 STERLING SILVER		1/8" GROUT JOINT	
GP-1	GYPSUM	SALES & SERVICE MGR'S, RETAIL PARTS, KIDS PLAY, CAFÉ, FITTING LOUNGE, SALES CONSULTANTS (WHEN SEATED UNDER SECOND FLOOR)				MATCH P-1			
HR-1	HANDRAIL	SHOWROOM		STAINLESS FABRICATORS INC.	CABLE RAILING	BRUSHED STAINLESS STEEL		STAINLESS FABRICATORS INC. (813) 926-7113 WWW.STAINLESSFABINC.COM	
MP-1	CORRUGATED METAL PANEL	ACCENT WALL HORIZONTAL CORRUGATION	A	ATAS INTERNATIONAL	RIGID WALL MFR-160	#02 BLACK SMOOTH TEXTURE	22 GA STEEL	MARK BROWN (800) 468-1441x227 MBROWN@ATAS.COM	
			B	CENTRIA	RIGID-WALL	#9916 RICH BLACK, SMOOTH TEXTURE			BOB WALTERSDORF (860) 285-8341 RWALTERSDORF@CENTRIA.COM
P-1	PAINT	GENERAL WALL (DRYWALL)		SHERWIN WILLIAMS	SW PROGREN 200	SW 7007 CEILING BRIGHT WHITE FINISH: EGG SHELL		SHERWIN WILLIAMS (800) 321-8194	
P-2	PAINT	SERVICE - WALL FIELD		SHERWIN WILLIAMS	SW PROGREN 200	SW 7006 EXTRA WHITE FINISH: SEMI-GLOSS		SHERWIN WILLIAMS (800) 321-8194	
P-3	PAINT	DOORS AND FRAMES; BOLLARDS		SHERWIN WILLIAMS	SW WATERBASED ACRYLON 100	SW 6990 CAVIAR FINISH: FLAT		SHERWIN WILLIAMS (800) 321-8194	
P-4	PAINT	STRUCTURAL COLUMNS	A	TNEMEC	NEW STEEL PRIMER 90-97 FIRST 27FC SECOND 1077	A7460A DARK SILVER (TO MATCH RAL 9007)		TNEMEC AT (800) 890-7580 NOTE: PLEASE USE THE FOLLOWING MANUFACTURER RECOMMENDATION FOR SHOP/FIELD SURF-PREP: SP6 ON SS STEEL WITH SHOP 394-FIELD, 277/1077 METALLIC SP1 WITH ETCH ON G90 DECK WITH 277/1077	
			B	ZOLATONE		LVO402 (TO MATCH RAL 9007)		STEVE GIBBS (770) 664-7732 SGGIBBS@BELLSOUTH.NET	
P-5	PAINT	EXTERIOR DOORS (SEE D-1)		SHERWIN WILLIAMS	SW WATERBASED ACRYLON 100	SW 6990 CAVIAR FINISH: SEMI-GLOSS		SHERWIN WILLIAMS (800) 321-8194	
P-6	PAINT	METAL DOOR & TRIM LOCATED INSIDE PARTS AREA ONLY		SHERWIN WILLIAMS	SW PROMAR 200	SW 6990 CAVIAR FINISH: GLOSS		SHERWIN WILLIAMS (800) 321-8194	
P-7	PAINT	INTERIOR FRONT FAÇADE, SKYLIGHT SOFFT				TO MATCH RAL 9006			
P-8	PAINT	RESTROOM DOORS & TRIM, JANITOR DOOR & TRIM, PARTS DOOR & TRIM	A	SHERWIN WILLIAMS	SW PROMAR 200	SW 6990 CAVIAR FINISH: SEMI-GLOSS		SHERWIN WILLIAMS (800) 321-8194	
			B	ZOLATONE		LVO403 (TO MATCH RAL 7021)		STEVE GIBBS (770) 664-7732 SGGIBBS@BELLSOUTH.NET	
P-9	PAINT	RESTROOM WALLS		SHERWIN WILLIAMS	SW PROGREN 200	SW 7007 CEILING BRIGHT WHITE FINISH: SEMI-GLOSS		SHERWIN WILLIAMS (800) 321-8194	
P-10	PAINT	PARTS & SERVICE CEILING		SHERWIN WILLIAMS	SW PRO INDUSTRIAL Q VOC ACRYLIC	SW 7007 CEILING BRIGHT WHITE FINISH: GLOSS		SHERWIN WILLIAMS (800) 321-8194	
PL-1	STAINLESS STEEL	RESTROOM PARTITIONS, INTERIOR TOWERS				#2178 BRUSHED STAINLESS STEEL			
PT-1	PORCELAIN TILE	FLOOR FIELD, RESTROOM FLOOR AND WALL TILE	A	GRANITI FIANDRE		#R20145S BLACK BOXSTONE SEMI-MATTE	24" x 24"	GRANITI FIANDRE (888) 903-4263	
			B	ITALGRANITI	LE GEMME	#19947 BLACK LAVA FINISH: SEMI-MATTE		ITALGRANITI (888) 462-9200	
PT-2	PORCELAIN TILE	SERVICE DRIVE-THROUGH WASH BAYS (A - FIELD, B - LANE MARKERS)	A				8" x 8"		
			B		SLATE OR MATTE				
PT-3	PORCELAIN TILE	SERVICE WAINSCOT UP TO 4'-5" A.F.F.	A	GRANITI FIANDRE	UNI COLOR	UNI GRIGIO	12" x 12"	GRANITI FIANDRE (888) 903-4263	
			B	SHERWIN WILLIAMS	INDUSTRIAL ENAMEL	#4026 SLATE GRAY	FROM GROUND 4' - 7' AFF	KRISTY RUFF, AUTOSTONE (DISTRIBUTOR) (864) 616-5235 KRUFF@AUTOSTONEUSA.COM	
SC-1	SEALED CONCRETE	MECH. & ELEC. ROOM, WASH BAYS, PARTS		SONNEBORN	LAPIDOLITH	CLEAR			
SF-1	INTERIOR GLASS PARTITIONS	INTERIOR OFFICES		BLUMCREFT OR APPROVED EQUAL		SEE ELEVATIONS		BY ARCHITECT OF RECORD	
VB-1	VINYL BASE	BACK AREA CARPET		JOHNSONITE	TIGHTLOCK WALL BASE	BLACK		JOHNSONITE (800) 899-8916	
MC-1	METAL CEILING	SHOWROOM PERFORATED		HUNTER DOUGLAS	300 C	RAL 9006 COLOR 7163	LINEAR PLANK, PERF #160	BILL CHERRY (770) 754-4040 BILL@ARCHITECTURALFINISHES.COM	
		SERVICE DRIVE-THROUGH NON-PERFORATED		HUNTER DOUGLAS	300 C	RAL 9006 COLOR 7163	LINEAR PLANK	BILL CHERRY (770) 754-4040 BILL@ARCHITECTURALFINISHES.COM	
WM-1	WALK-OFF MAT	ENTRY		NUWAY	TUFTIGUARD HEAVY DUTY	CHARCOAL	12 MM	MAISINC.COM / NUMWAY WWW.CSGROUP.COM	
IC-1	ILLUMINATED CEILING	VEHICLE DELIVERY		NEWMAT	BY TLS	BRIGHT WHITE			

ROOM FINISH SCHEDULE												
ROOM #	ROOM NAME	BASE	FLOOR	WALLS					CEILING		REMARKS	
				ALL	N	S	E	W	MATERIAL	HEIGHT		
101	VESTIBULE	--	PT-1 / WM-1	--	GL-2	GL-1	GL-2	GL-2	TBD	8'-3"	R1	
102	LOBBY	CB-1	PT-1	--	--	--	P-1	--	GL-4	29'-6"		
103	RECEPTION	CB-1	PT-1	--	--	--	P-1	--	GL-4	29'-6"		
104	SHOWROOM	CB-1	PT-1	--	P-1	CP-1 / GL-1	P-1	P-1	MC-1	19'-4"	R1	
105	CPO OFFICE	--	C-1	--	P-1	GL-3	P-1	P-1	GP-1	8'-0"		
106	SALES MANAGER	--	C-1	--	P-1	GL-3	P-1	P-1	GP-1	8'-0"		
107	SALES CONSULTANT	--	C-1	--	P-1	GL-3	P-1	P-1	GP-1	8'-0"		
108	SALES CONSULTANT	--	C-1	--	P-1	GL-3	P-1	P-1	GP-1	8'-0"		
109	FITTING LOUNGE	--	C-1	--	P-1	GL-3	P-1	P-1	GP-1	8'-0"		
110	BOUTIQUE	CB-1	PT-1	--	P-1	--	--	P-1	GP-1	8'-0"		
111	CUSTOMER LOUNGE	CB-1	PT-1 / C-2	--	P-1	--	P-1	P-1	GP-1	9'-0" - 9'-8"	R1	
112	HALL	CB-1	PT-1	P-1	--	--	--	--	EXISTING	9'-0"		
113	WOMEN'S RESTROOM	CB-1	PT-1	P-9	--	--	--	--	GP-1	9'-0"		
114	MEN'S RESTROOM	CB-1	PT-1	P-9	--	--	--	--	GP-1	9'-0"		
115	PASSAGE	SC-1	EX	PT-1	--	--	--	--	EX	9'-0"	R2	
116	BREAK ROOM/ TRAINING ROOM	--	EX	PT-1	--	--	--	--	EX	9'-0"		
117	JANITOR	--	EX	PT-1	--	--	--	--	EX	9'-0"		
118	WOMEN'S TECH.	--	EX	PT-1	--	--	--	--	EX	9'-0"		
119	EXIT	--	EX	PT-1	--	--	--	--	EX	9'-0"		
120	LOCKER ROOM	--	EX	PT-1	--	--	--	--	EX	9'-0"		
121	MEN'S TECH.	--	SC-1	PT-1	--	--	--	--	EX	9'-0"		
122	TECH. PARTS	--	SC-1	PT-1	--	--	--	--	EX	9'-0"	R2	
123	PARTS	--	SC-1	PT-1	--	--	--	--	P-10	9'-0"	R2	
124	SERVICE AREA	--	CT-1	P-2	--	--	--	--	P-10	20'-10"	R3	
125	ALIGNMENT STALL	--	PT-2	P-2	--	--	--	--	P-10	20'-10"	R3	
126	ELECTRICAL	--	EX	EX	--	--	--	--	EX	--	R3	
127	TOOL ROOM	--	SC-1	P-2	--	--	--	--	P-10	--	R2, R3	
128	SERVICE LOUNGE	--	C-2	P-1	--	--	--	--	GP-1	9'-0"		
129	PARTS MANAGER	--	SC-1	P-2	--	--	--	--	P-10	--	R2	
130	CASHIER/ RETAIL PARTS	--	EX	--	--	--	--	--	EX	9'-0"		
131	NEW VEHICLE DELIVERY	--	PT-2 / C-1	--	P-1	P-1	P-1	P-1 / GL-2	GP-1 / IC-1	9'-6" - 10'-0"	R1	
132	SERVICE ADVISOR	--	C-1	--	P-1	P-1	GL-3	P-1	GP-1	9'-0"		
133	SERVICE ADVISOR	--	C-1	--	P-1	P-1	GL-3	P-1	GP-1	9'-0"		
134	SERVICE MANAGER	--	C-1	--	P-1	P-1	GL-3	P-1	GP-1	9'-0"		
135	FIRE PROTIN	--	SC-1	EX	--	--	--	--	EX	--	R2	
136	SERVICE RECEPTION	--	PT-2	PT-3	--	--	--	--	MC-1	14'-0"		

EX - EXISTING CONDITION TO REMAIN

REMARKS: R1. SEE PLAN FOR FLOORING, CEILING AND/OR WALL FINISH DETAILS.
R2. POWER WASH FLOOR PRIOR TO SEALING.
R3. CLEAN AND PREP EXISTING JOISTS AND DECK PRIOR TO PAINTING.



ARCHITECTS
700 W. VIRGINIA STREET, SUITE 604
MILWAUKEE, WI 53204
414.277.8000
MADISENMAHER.COM

PROPOSED REMODEL FOR:

INTERNATIONAL PORSCHE OF WAUKESHA

2228 E. MORELAND BLVD
WAUKESHA, WI 53186



CLIENT:
INTERNATIONAL AUTOS GROUP
2400 SOUTH 108TH ST.
WEST ALLIS, WI 53227

Drawings and Specifications as instruments of service are the property of Madisen Maher Architects, whether the work for which they are made be executed or not and are not to be used or copied on other work except by written agreement with Madisen Maher Architects.

DATE	ISSUED SET
03.08.19	PROJECT START
03.29.19	FLAT STALL, VEHICLE DISPLAY
04.09.19	ADDRESS PORSCHE COMMENTS
04.19.19	ADDRESS OWNER COMMENTS
09.27.19	ADDRESS PORSCHE COMMENTS

Project Number	19-005
Start Date	03/08/2019
Drawn By	ELM
Checked By	ELM
Scale	AS NOTED

ROOM FINISH SCHEDULE

A6.02

PROGRESS DOCUMENTS