

**LEGAL DESCRIPTION**  
PER COMMITMENT FILE NO. 838688

Lot 2 and Outlot 2 of Certified Survey Map No. 10537, recorded April 21, 2008 in Volume 101 of Certified Survey Maps on Pages 1 to 4 as Document No. 3564927, being a redivision of Outlot 1 and Outlot 2 of Certified Survey Map No. 10535, being a part of the Northwest 1/4 and the Northeast 1/4 of the Southwest 1/4 of Section 12, Township 6 North, Range 19 East, in the City of Waukesha, County of Waukesha, State of Wisconsin. EXCEPTING those lands conveyed by a Quit Claim Deed recorded October 15, 2008 as Document No. 3604407 and those lands conveyed by a Quit Claim Deed recorded October 16, 2008 as Document No. 3604614.

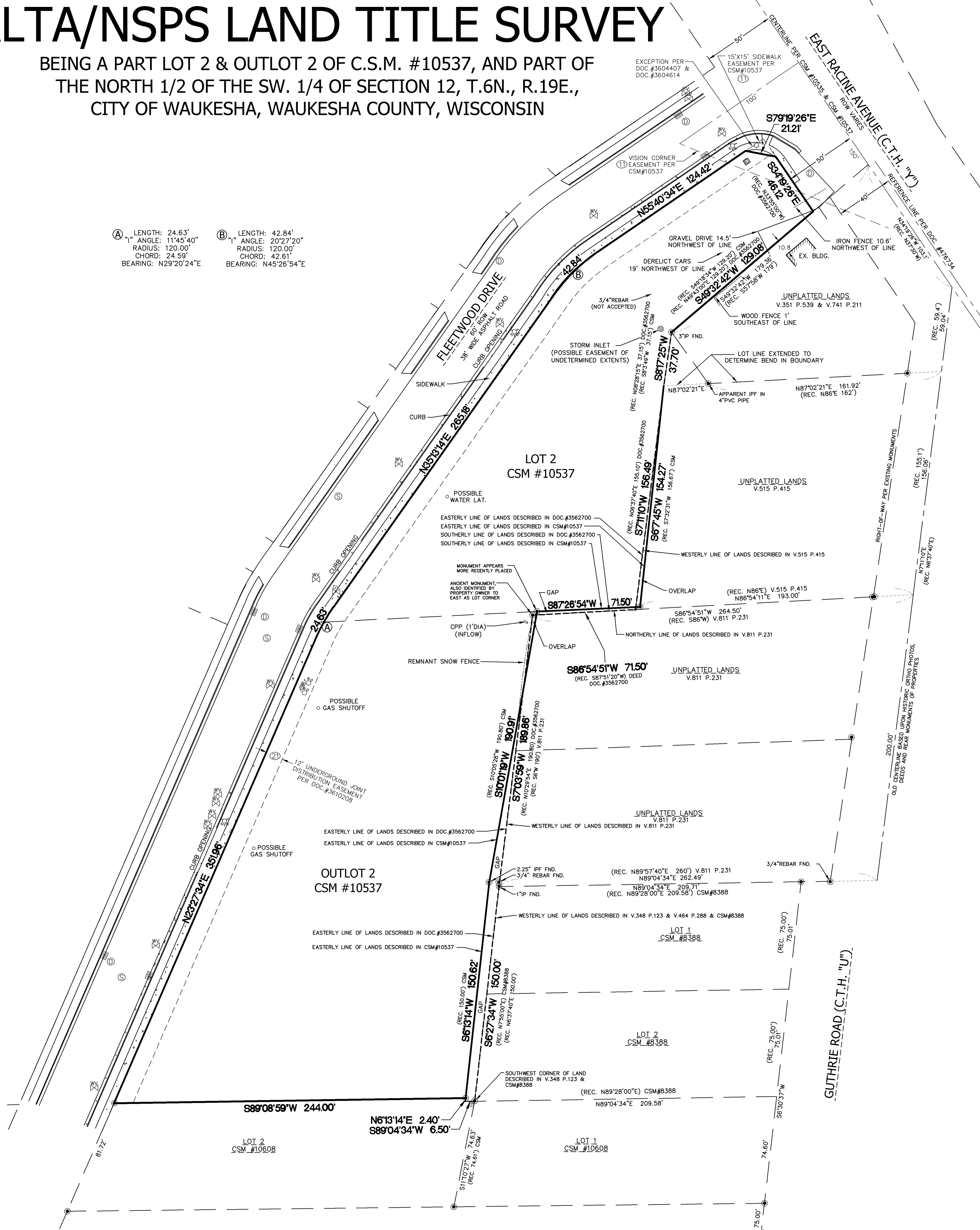
**EXCEPTIONS:**  
PER COMMITMENT FILE NO. 838688

- Public or private rights, if any, in such portion of the subject premises as may be presently used, laid out, or dedicated in any manner whatsoever, for street, highway and/or alley purposes. (NOT SHOWN. LOCATION, IF ANY, CANNOT BE DETERMINED)
  - Easements, Restrictions and other matters shown on Certified Survey Map No. 10537 recorded April 21, 2008 as Document No. 3564927. (SHOWN-VISION TRIANGLE & SIDEWALK EASEMENT) (NOT SHOWN-TEMP. SLOPE EASEMENT APPEARS RELEASED OR OTHERWISE TERMINATED DUE TO SIDEWALK INSTALLED) (NOT SHOWN-TEMP. CUL-DE-SAC EASEMENT APPEARS RELEASED OR OTHERWISE TERMINATED DUE TO ROAD BEING EXTENDED)
  - Access limitations and other matters contained in the instrument recorded as Document No. 574104. (NOT SHOWN-BLANKET RESTRICTIONS FOR LANDS ALONG S.T.H. "164" & "59")
  - Easement and other matters contained in the instrument recorded September 18, 1945 as Document No. 277584. (NOT SHOWN-NOT ON OR TOUCH PROPERTY.)
  - Easement and other matters contained in the instrument recorded June 3, 1950 as Document No. 338306. (NOT SHOWN-NOT ON AND DOES NOT TOUCH PROPERTY. EASEMENT AND PROPERTY DESCRIBED ARE IN AND ALONG THE RIGHT-OF-WAY OF S.T.H. "164" & "59")
  - Easement and other matters contained in the instrument recorded January 14, 1983 as Document No. 1201883. (NOT SHOWN-NOT ON OR TOUCH PROPERTY.)
  - Covenants, conditions, restrictions and other matters contained in the Instrument recorded as Document No. 537523, but omitting any such covenant, condition or restriction based on race, color, religion, sex, handicap, familial status or national origin, unless and only to the extent that said covenant (a) is exempt under Chapter 42, Section 3607 of the United States Code, or (b) relates to handicap but does not discriminate against handicapped persons. (NOT SHOWN-APPEARS RELEASED OR OTHERWISE TERMINATED. CONDITIONAL USE FOR A FOUNDARY THAT NO LONGER EXISTS IN THEN TOWN OF WAUKESHA)
  - Easement and other matters contained in the instrument recorded May 4, 1988 as Document No. 1477579. (NOT SHOWN-NOT ON OR TOUCH PROPERTY.)
  - NOTICE: County Highway Width Ordinance filed April 18, 1957 as No. 1. (NOT SHOWN-DOCUMENTS PROVIDED ARE ILLEGIBLE. BLACK/WHITE DOCUMENT IS COLOR CODED.)
  - Declaration of Covenants and Restrictions and other matters contained in the instrument recorded October 15, 2008 as Document No. 3604405. (NOT SHOWN-BLANKET DESCRIPTION.)
- Affidavit of Correction recorded November 13, 2008 as Document No. 3610209. (NOT SHOWN-BLANKET DESCRIPTION.)
- Amendment to Declaration of Covenants and Restrictions recorded May 17, 2010 as Document No. 3744678. (NOT SHOWN-BLANKET DESCRIPTION.)
- Storm Water Management Practice Maintenance Agreement and other matters contained in the instrument recorded October 23, 2008 as Document No. 3605974. (NOT SHOWN-BLANKET DESCRIPTION PER EXHIBIT A.) (NOT SHOWN-NOT ON OR TOUCH PROPERTY PER EXHIBIT B, OUTLOT 1 AND LOT 1 OF CSM#10537.)
  - Distribution Easement Underground Joint and other matters contained in the instrument recorded November 13, 2008 as Document No. 3610208. (SHOWN)
  - Distribution Easement Underground and other matters contained in the instrument recorded July 15, 2009 as Document No. 3677982. (NOT SHOWN-NOT ON AND DOES NOT TOUCH PROPERTY)
  - Developer's Agreement Bryce Commercial Center and other matters contained in the instrument recorded April 4, 2012 as Document No. 3906808. (NOT SHOWN-BLANKET DESCRIPTION.)
  - AT&T - Wisconsin Exclusive Easement and other matters contained in the instrument recorded December 1, 2008 as Document No. 3612673. (NOT SHOWN-NOT ON AND DOES NOT TOUCH PROPERTY)
  - Easement Agreement and other matters contained in the instrument recorded May 20, 2009 as Document No. 3658720. (NOT SHOWN-NOT ON AND DOES NOT TOUCH PROPERTY)
- Memorandum of Assignment of Easements and other matters contained in the instrument recorded February 24, 2016 as Document No. 4192835. (NOT SHOWN-NOT ON AND DOES NOT TOUCH PROPERTY)
- Distribution Easement Underground and other matters contained in the instrument recorded June 30, 2009 as Document No. 3673422. (NOT SHOWN-NOT ON AND DOES NOT TOUCH PROPERTY)

# ALTA/NSPS LAND TITLE SURVEY

BEING A PART LOT 2 & OUTLOT 2 OF C.S.M. #10537, AND PART OF THE NORTH 1/2 OF THE SW. 1/4 OF SECTION 12, T.6N., R.19E., CITY OF WAUKESHA, WAUKESHA COUNTY, WISCONSIN

- A LENGTH: 24.63' 1" ANGLE: 114°5'40" RADIUS: 120.00' CHORD: 24.59' BEARING: N29°20'24"E
- B LENGTH: 42.84' 1" ANGLE: 20°27'20" RADIUS: 120.00' CHORD: 42.61' BEARING: N45°26'54"E

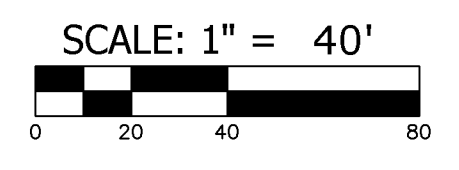
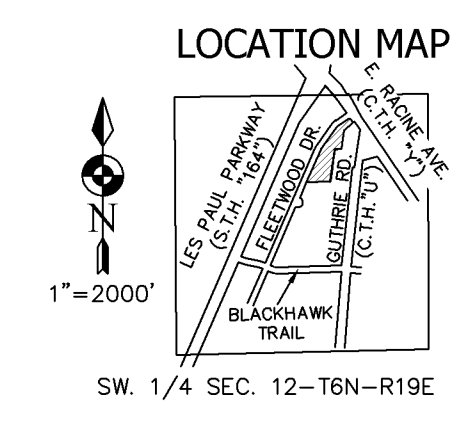


**LEGEND**

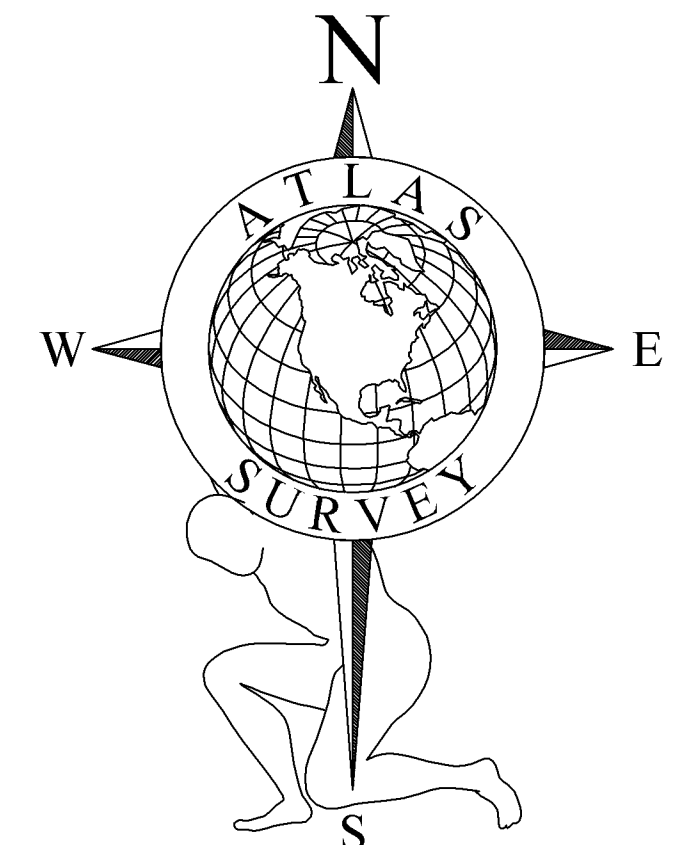
- - 1" IRON PIPE FOUND (UNLESS OTHERWISE STATED)
- (SXXX'XXX'W) (XXX.XX) - RECORDED AS
- BACK OF CURB
- ⊙ - INLET
- ⊕ - UTILITY POLE
- ☆ - LIGHT POLE
- ⊞ - TELE BOX
- ⊞ - ELECTRIC BOX
- ⊞ - SANITARY MANHOLE
- ⊞ - DRAINAGE MANHOLE
- ⊞ - GAS VALVE
- ⊞ - WATER VALVE
- ⊞ - HYDRANT
- ⊞ - ANNOTATION
- - CONCRETE

# ATLAS SURVEY

2826 SAINT ANDREWS COURT  
WAUKESHA, WI 53188  
(262) 901-5256  
WWW.ATLASSURVEYWI.COM  
INFO@ATLASSURVEYWI.COM  
**SURVEYOR:**  
BRYCE KACZOR, PLS S-2803  
**SURVEY FOR:**  
MAD DOG PROPERTIES LLC  
1177 QUAIL COURT, SUITE 100  
PEWAUKEE, WI 53072  
414-719-2769  
**PROPERTY:**  
FLEETWOOD DRIVE  
WAUKESHA, WI 53186



BEARINGS ARE REFERENCED TO NAD27, WISCONSIN STATE PLANE, SOUTH ZONE, GRID NORTH ON THE WEST LINE OF THE SW 1/4 OF SECTION 12-6-19 AS S02°3'29\"



**NOTES:**

- EASEMENT LOCATIONS BASED ON INFORMATION FURNISHED BY KNIGHT BARRY TITLE, INC., TITLE POLICY FILE NO. 838688, DATED 1/19/17.
- THE SURVEYOR TAKES NO RESPONSIBILITY FOR ANY UNDERGROUND STRUCTURES OR BURIED MATERIALS SUCH AS FOUNDATIONS, WELLS, SEPTIC, HOLDING TANKS, UTILITIES, HAZARDOUS MATERIALS, OR ANY OTHER ITEMS OF WHICH NO EVIDENCE CAN BE FOUND ON THE SURFACE BY A VISUAL INSPECTION. THE SURVEYOR WILL NOT ENTER ANY BUILDINGS ON OR OFF SITE.
- THE FIELD WORK WAS COMPLETED ON NOV. 7, 2016.
- NO BUILDINGS ON SITE.

**SURVEYORS NOTES:**

- DEEDED AND MONUMENTED OVERLAPS AND GAPS HAVE BEEN FOUND BETWEEN CSM #10537 AND PROPERTIES TO EAST.
- THE CURRENT LEGAL DESCRIPTION OF THIS PROPERTY'S EASTERLY BOUNDARY LINE DESCRIBED PER DOC. #3562700.
- THE OLD LEGAL DESCRIPTION OF THIS PROPERTY'S EASTERLY BOUNDARY LINE DESCRIBED IN DOC. #3562700, HAS NO GAPS OR OVERLAPS WITH THE PROPERTIES TO THE EAST. THE PROPERTY'S OLD BOUNDARY LINE PER DOC. #3562700 CALLS OUT THE EASTERLY PROPERTIES' BOUNDARY.
- IT IS THE OPINION OF THIS SURVEYOR THAT THE DEEDED AND MONUMENTED GAPS AND OVERLAPS SHOULD BE RESOLVED BY QUIT-CLAIM DEEDS OR OTHER ACCEPTABLE METHODS TO RESOLVE THE EASTERLY BOUNDARY. THIS IS DUE TO THAT THE CSM BOUNDARY HAS CHANGED OWNERS AND SAID BOUNDARY GAPS AND OVERLAPS ARE BOTH DEEDED AND MONUMENTED. THUS A SURVEY MAY BE INADEQUATE TO PERMANENTLY RESOLVE SAID GAPS AND OVERLAPS.

**WAIVER:**

IN ACCORDANCE WITH AE 7.01(2)(a) OF WISCONSIN ADMINISTRATIVE CODE, THE MISSING LOT CORNER MONUMENTS WERE NOT RESET AT THIS TIME AS AGREED BY PROFESSIONAL LAND SURVEYOR AND CLIENT.

MARK AUGUSTINE, MEMBER OF MAD DOG PROPERTIES LLC DATE 31 JAN 2017

TO: MAD DOG PROPERTIES LLC  
FIRST FEDERAL BANK OF WISCONSIN  
KNIGHT BARRY TITLE, INC.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES NO OTHER TABLES THEREOF. THE FIELD WORK WAS COMPLETED ON NOVEMBER 7, 2016.

DATED THIS 9TH DAY OF FEBRUARY 2017.

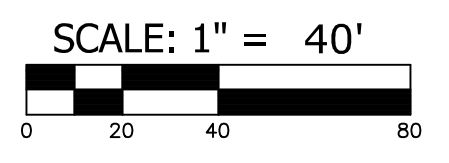
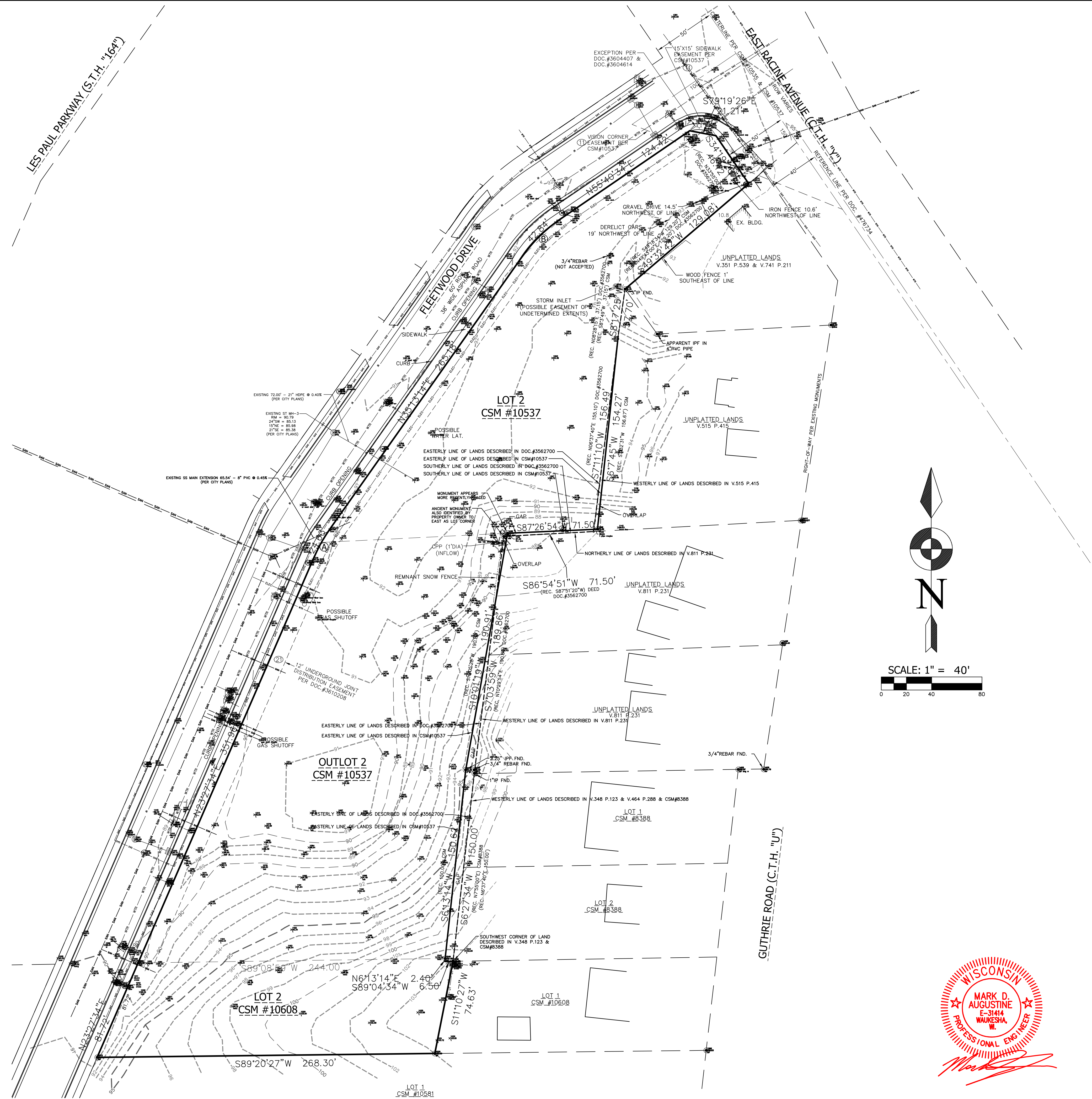
*Bryce Kaczor*  
SURVEYOR'S NAME, PLS 2803





**LEGEND**

- - 1" IRON PIPE FOUND
- - 2" IRON PIPE FOUND
- (NXXXXXX"E)  
(XXXXXX"E) - RECORDED AS
- ⊗ - STORM INLET
- ⊠ - UTILITY BOX
- ▭ - CONCRETE
- ⊕ - EXISTING SPOT GRADE
- - - - - EXISTING CONTOUR
- - - - - WATER
- - - - - SANITARY SEWER
- - - - - STORM SEWER
- - - - - TELECOMMUNICATIONS
- - - - - GAS
- - - - - ELECTRIC
- - - - - OVERHEAD UTILITIES
- ⊕ - WATER VALVE
- ⊕ - HYDRANT
- ⊕ - GAS SHUTOFF VALVE
- - - - - EROSION CONTROL BARRIER
- Ⓢ - ANNOTATION



**LAND M ARK**  
**ENGINEERING SCIENCES, INC.**

119 COOLIDGE AVE., SUITE 100, WAUKESHA, WI 53186  
 PHONE: 414-719-2769

**MAD DOG PROPERTIES, LLC**  
 900 & 1000 BLOCK OF FLEETWOOD DRIVE  
 WAUKESHA, WI 53186

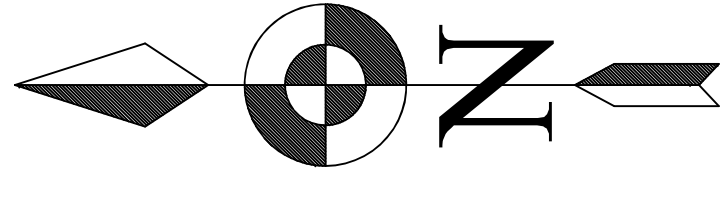
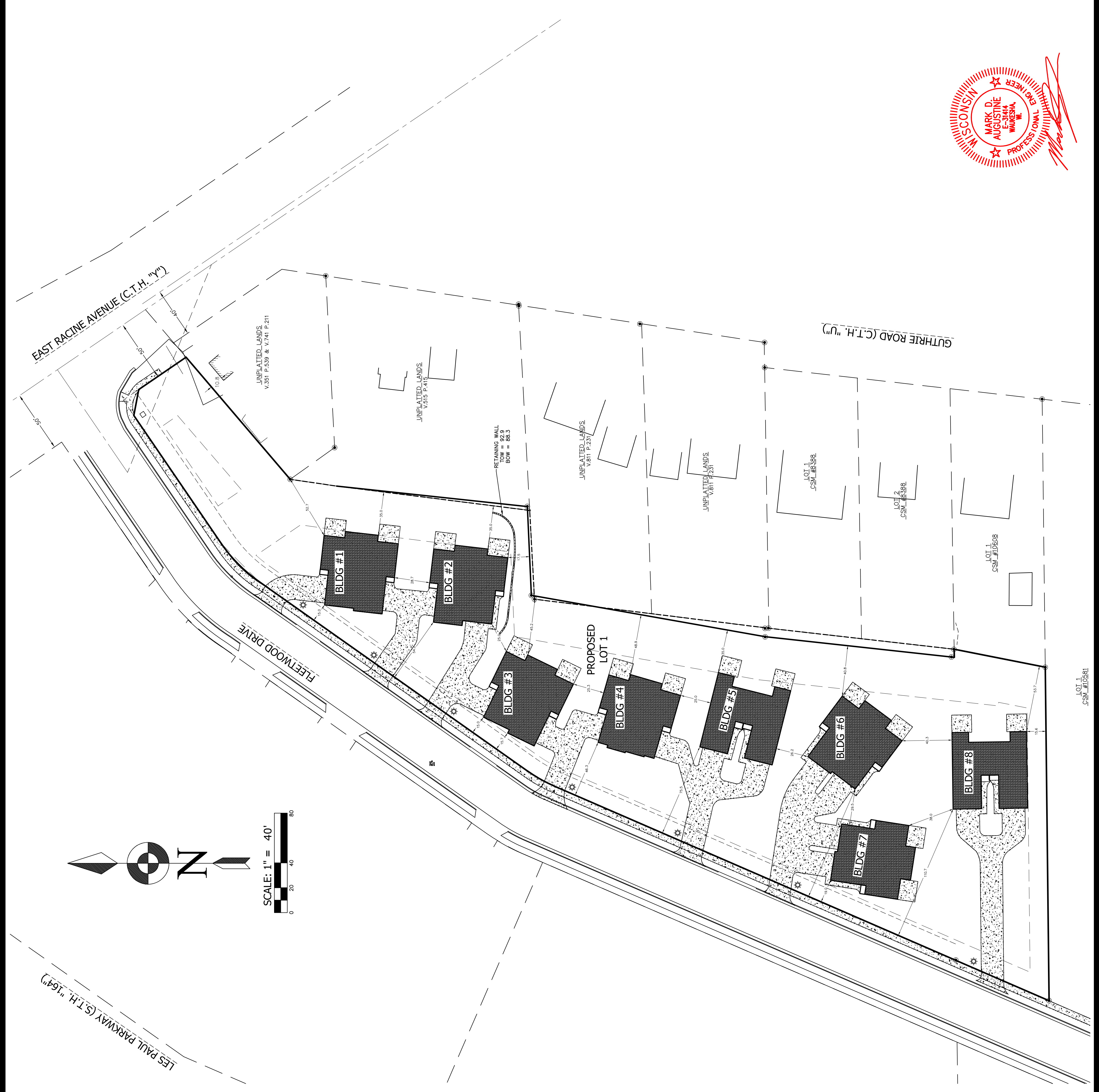
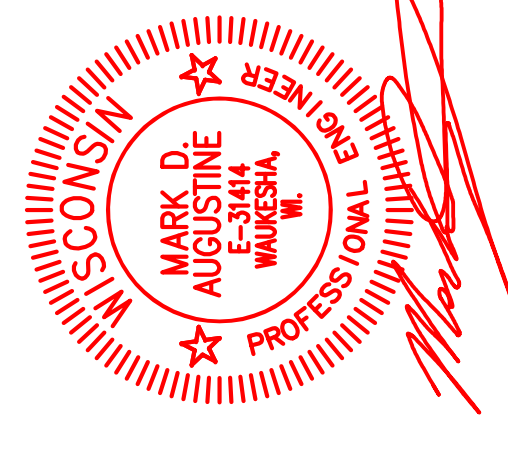
**BASE MAP**

PROJECT #	2404.05
DATE	19 FEB 2017
DRAWN BY	MA
DESIGNED BY	MA
REVISIONS	11 MAY 2017
SHEET NUMBER	

**C-1**



PROJECT #	2404.05
DATE	19 FEB 2017
DRAWN BY	MA
DESIGNED BY	MA
REVISIONS	11 MAY 2017
SHEET NUMBER	



**LEGEND**

- 1" IRON PIPE FOUND
- 2" IRON PIPE FOUND
- (XXXXXX) RECORDED AS
- ⊖ STORM INLET
- ⊕ UTILITY BOX
- ▣ CONCRETE
- EXISTING SPOT GRADE
- EXISTING CONTOUR
- WATER
- SANITARY SEWER
- STORM SEWER
- TELECOMMUNICATIONS
- GAS
- ELECTRIC
- OVERHEAD UTILITIES
- WATER VALVE
- HYDRANT
- GAS SHUTOFF VALVE
- EROSION CONTROL BARRIER
- ⊙ ANNOTATION
- ★ LAMP POST

**NOTES:**

1. MINIMUM SEPARATION BETWEEN PROPOSED BUILDINGS IS 25.0'.
2. ALL LOTS TO BE RE-ZONED TO RD-2.
3. OVERLAYING PLANNED UNIT DEVELOPMENT (P.U.D.) MINIMUM SETBACK REQUIREMENTS ARE AS FOLLOWS:  
15.0' RIGHT-OF-WAY  
15.0' SIDE YARD  
35.0' REAR YARD

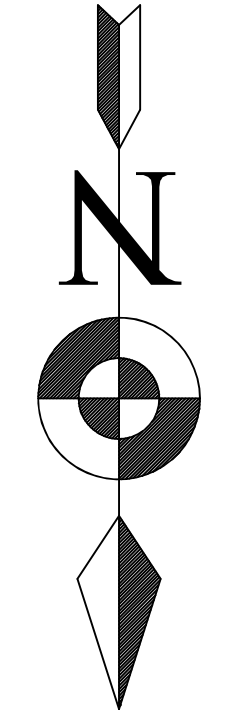
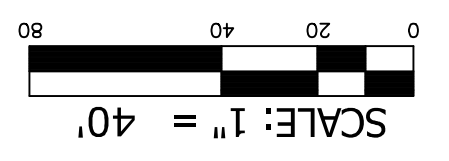




**MAD DOG PROPERTIES, LLC**  
 900 & 1000 BLOCK OF FLEETFOOT DRIVE  
 WAUKESHA, WI 53186

**GRADING & EROSION CONTROL**

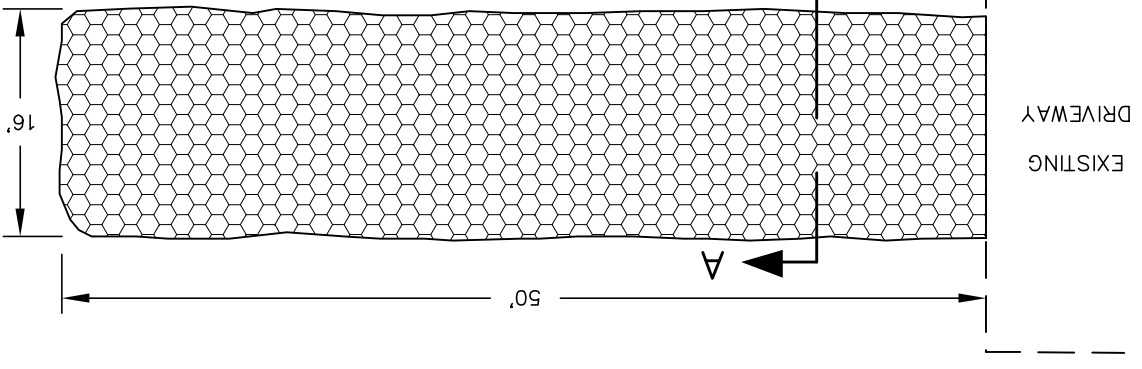
**LAND MARK**  
**ENGINEERING SCIENCES, INC.**  
 119 COOLIDGE AVE., SUITE 100, WAUKESHA, WI 53186  
 PHONE: 414-719-2769



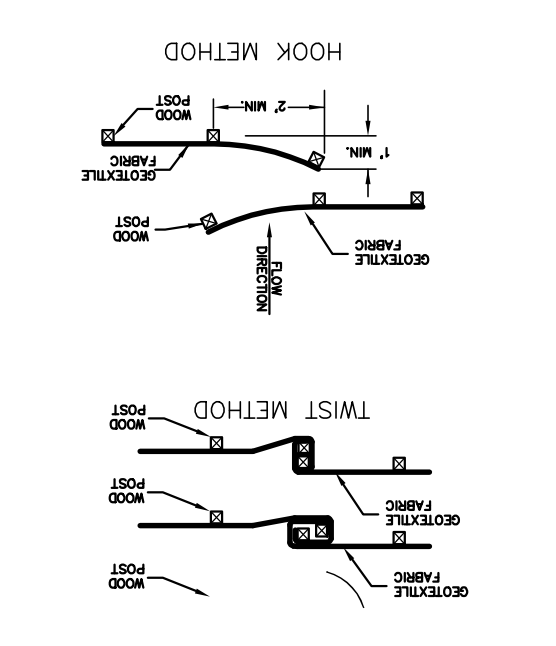
THE INFORMATION SHOWN ON THIS DRAWING CONCERNING THE LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE FOR ALL DETERMINATIONS. RESPONSIBILITY FOR DETERMINING THE LOCATION OF UNDERGROUND UTILITIES AS WELL AS THE LOCATION OF UNDERGROUND UTILITIES AS NECESSARY TO AVOID DAMAGE THEREOF.

DATE: 02-19-2017  
 1-800-242-8011  
 2610 W. WISCONSIN AVE.  
 WAUKESHA, WI 53186

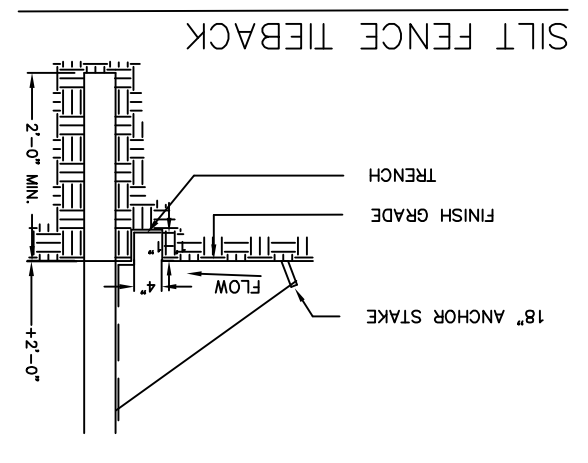
- LEGEND**
- 1" IRON PIPE FOUND
  - 2" IRON PIPE FOUND
  - ⊗ RECORDED AS (XXX) (XXX) (XXX)
  - UTILITY BOX
  - ▣ EXISTING SPOT GRADE
  - ▤ CONCRETE
  - ▥ EXISTING CONTOUR
  - ▧ WATER
  - ▨ SANITARY SEWER
  - ▩ STORM SEWER
  - TELECOMMUNICATIONS
  - GAS
  - ▬ OVERHEAD UTILITIES
  - ▭ HYDRANT
  - ▮ WATER VALVE
  - ▯ GAS SHUTOFF VALVE
  - ▰ EROSION CONTROL BARRIER
  - ⊕ ANNOTATION



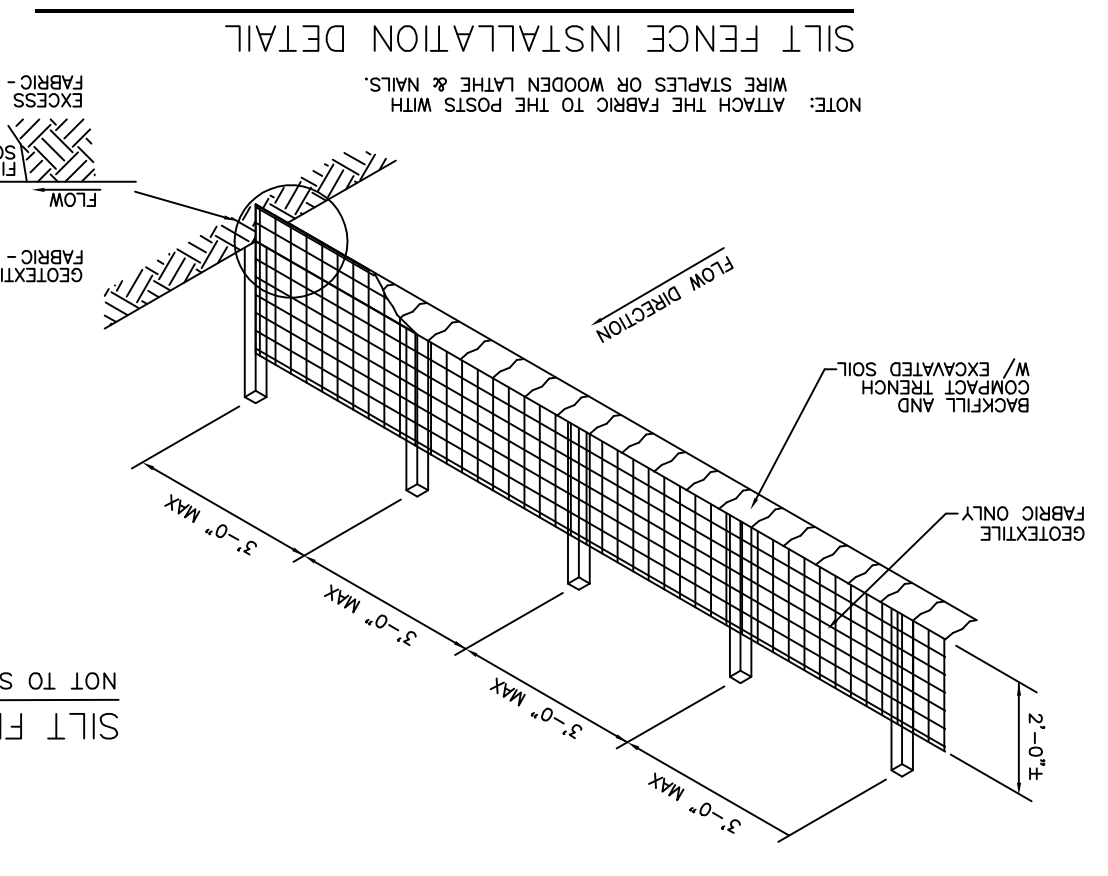
**TEMPORARY GRAVEL TRACKING DRIVE**



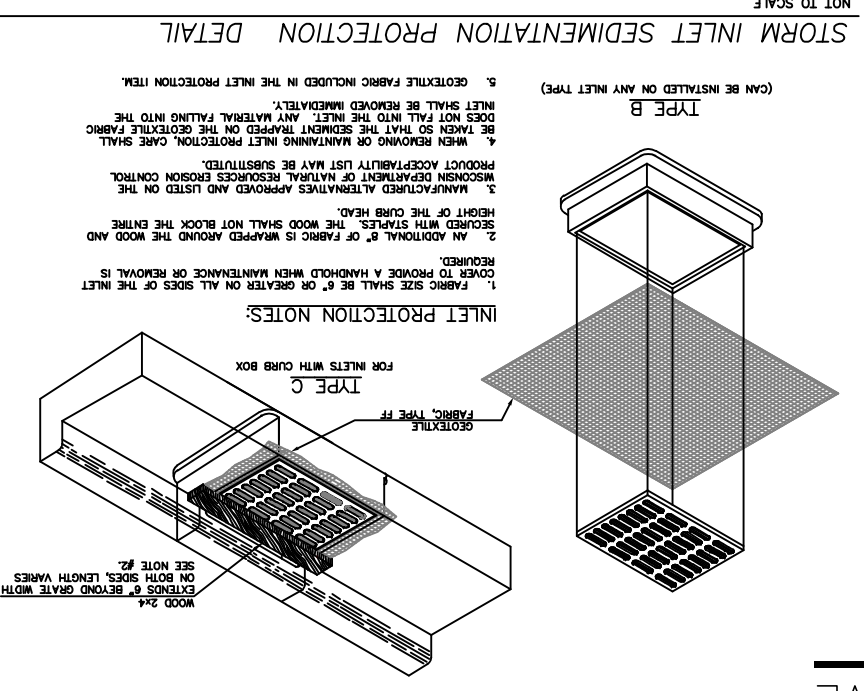
JOINING TWO LENGTHS OF SILT FENCE



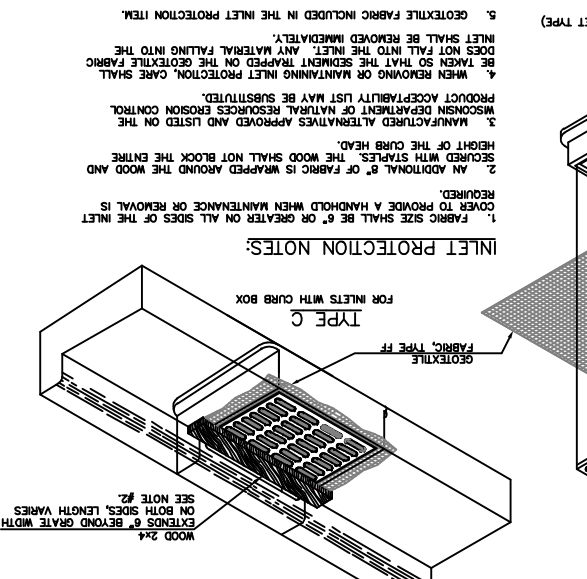
SILT FENCE TIEBACK



SILT FENCE INSTALLATION DETAIL



STORM INLET SEDIMENTATION PROTECTION DETAIL



INLET PROTECTION NOTES



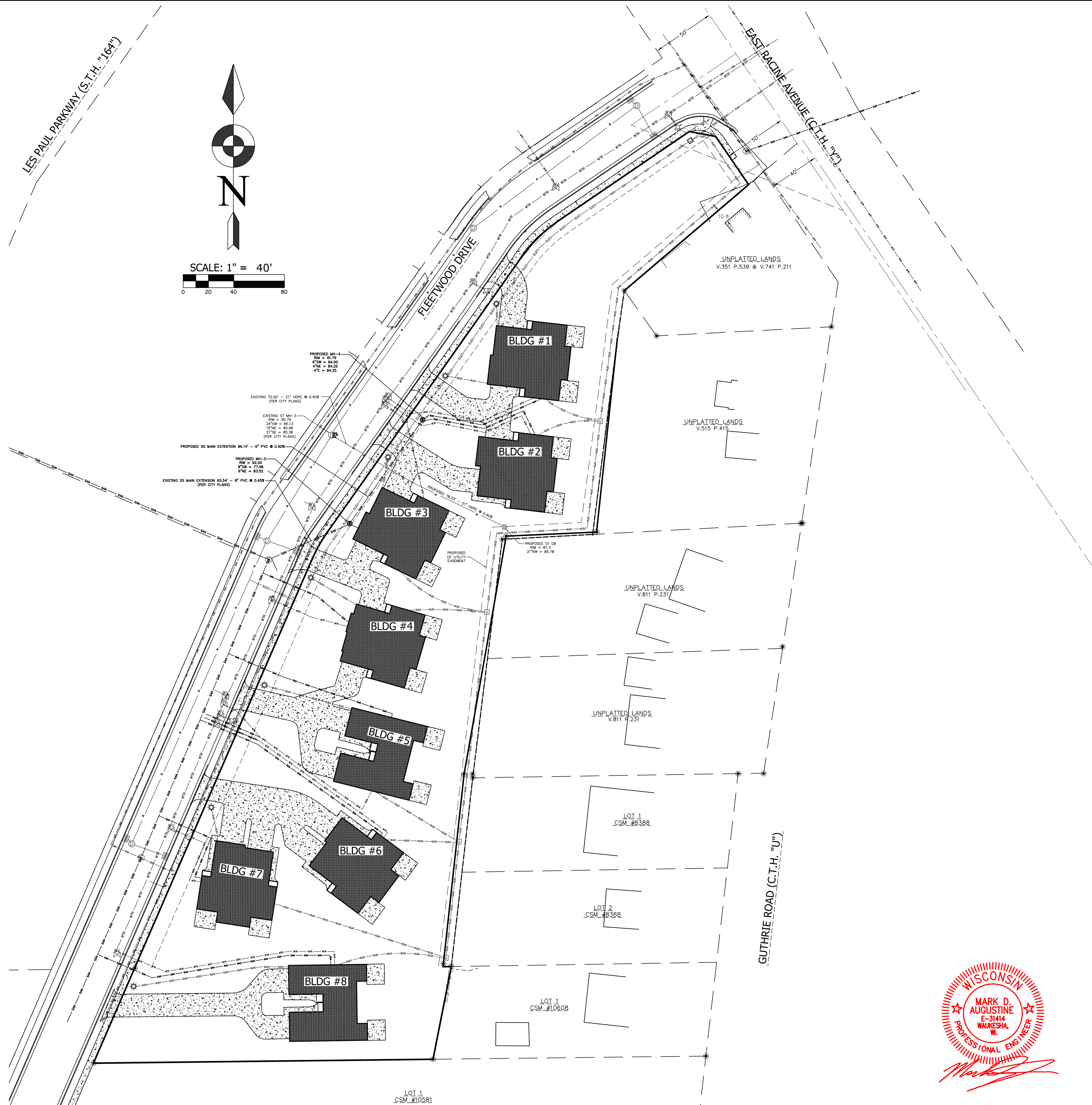




- LEGEND**
- - 1" IRON PIPE FOUND
  - - 2" IRON PIPE FOUND
  - (NXXXXXX'E)  
(XXXXX) - RECORDED AS
  - ⊙ - STORM INLET
  - ⊠ - UTILITY BOX
  - ▭ - CONCRETE
  - ⊕ - EXISTING SPOT GRADE
  - - - - EXISTING CONTOUR
  - - - - WATER
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  - - - - TELECOMMUNICATIONS
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  - ⊕ - HYDRANT
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  - - - - EROSION CONTROL BARRIER
  - ⊕ - ANNOTATION
  - ⊕ - LAMP POST

**NOTES:**

1. WATER LATERALS ARE 1.5" DIAMETER, PER AVAILABLE CITY PLANS.
2. SANITARY SEWER LATERALS ARE 4" DIAMETER, PER AVAILABLE CITY PLANS.
3. PROPOSED SANITARY AND WATER LATERALS SIZES TO MATCH EXISTING LATERAL STUBS, UNLESS OTHERWISE NOTED.
4. ALL SANITARY SEWER PIPE AND LATERALS SHALL BE PVC CONFORMING TO ASTM D-3034, SDR-35 WITH RUBBER GASKET JOINTS.
5. CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, CURRENT EDITION.
6. CONTRACTOR SHALL NOTIFY CITY ENGINEERING DIVISION AT LEAST 3 DAYS PRIOR TO CONSTRUCTION TO ARRANGE FOR AN INSPECTOR.
7. MANHOLES SHALL BE 48" DIAMETER. NEENAH R-1661 FRAMES AND GRATES ARE REQUIRED.
8. THERE SHALL BE A MINIMUM 6" DROP TROUGH WHERE LATERALS ENTER MANHOLES.
9. CHIMNEY SEALS ARE REQUIRED FOR ALL MANHOLES.



**LAND MARK**  
ENGINEERING SCIENCES, INC.

119 COOLIDGE AVE., SUITE 100, WAUKESHA, WI 53186  
PHONE: 414-719-2769

**MAD DOG PROPERTIES, LLC**  
900 & 1000 BLOCK OF FLEETWOOD DRIVE  
WAUKESHA, WI 53186

**UTILITIES LAYOUT**

PROJECT #	2404.05
DATE	19 FEB 2017
DRAWN BY	MA
DESIGNED BY	MA
REVISIONS	11 MAY 2017
SHEET NUMBER	



**C-5**