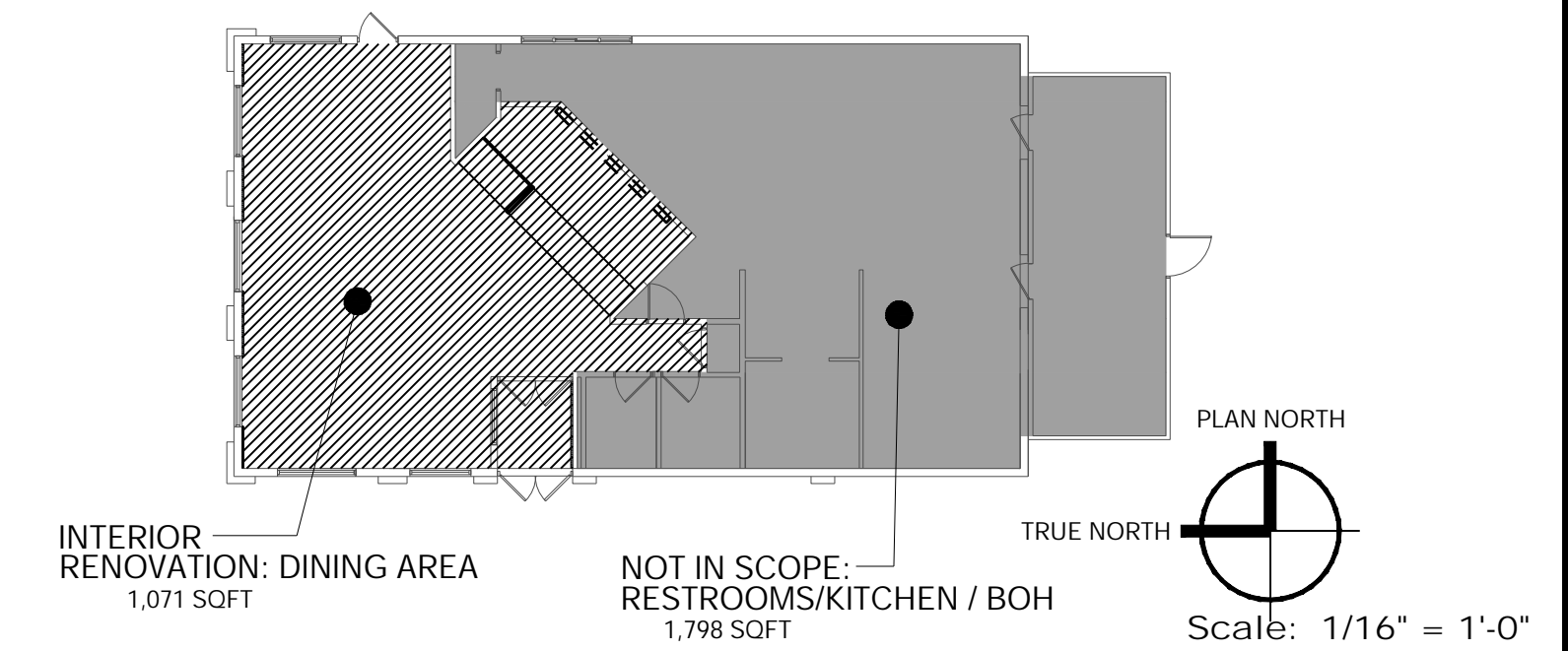




KFC K071212 WAUKESHA, WI

KEY PLAN VERIFY SIZE OF SPACE PER PROJECT



VICINITY MAP



PROJECT SUMMARY VERIFY ITEMS BELOW PER LOCAL CODE REQUIREMENTS

PROJECT NAME: KFC
 PROJECT ADDRESS: 331 W. SUNSET DR. WAUKESHA, WI 53189
 LEGAL JURISDICTION: TOWN OF WAUKEHA, WISCONSIN
 BUILDING CODE: 2015 INTERNATIONAL BUILDING CODE
 2015 INTERNATIONAL FUEL GAS CODE
 2015 INTERNATIONAL ENERGY CONSERVATION CODE
 2015 INTERNATIONAL FIRE CODE
 2015 INTERNATIONAL MECHANICAL CODE

BUILDING FOOTPRINT AREA: 2,869 SF
 RENOVATION AREA: 1,071 SF
 SEATING: EXISTING: 54, PROPOSED: 43
 TYPE OF CONSTRUCTION: SB
 OCCUPANCY TYPE: A2-ASSEMBLY
 OCCUPANCY COUNT: TBD

PROJECT DESCRIPTION: THIS PROJECT CONSISTS OF AN INTERIOR RENOVATION OF THE DINING AREA FOR AN EXISTING KFC RESTAURANT. THE KITCHEN AND DRIVE THROUGH AREAS WILL REMAIN IN OPERATION DURING THE REMODELING PROCESS. EXTERIOR IMAGE UPGRADE WILL CONSIST OF NEW EXTERIOR BRANDING & SIGNAGE ELEMENTS AND NEW PAINT FINISHES PER NEW PROTOTYPE.

PROJECT GENERAL NOTES

- A. IT IS INTENDED THAT A COMPLETE OCCUPIABLE BUILDING PROJECT IS PROVIDED
- B. DO NOT SCALE THESE DRAWINGS. VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. ANY DISCREPANCIES IN THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND KFC CM PRIOR TO STARTING WORK

PROJECT SCOPE

	FULL SCOPE	INCLUDES BUT NOT LIMITED TO ALL ITEMS BELOW, NEW TOWER LID, LARGER DT CANOPY AND 1/2 ROUND BOOTH
X	INCENTIVE SCOPE	INCLUDES NEW EXTERIOR PAINT AND SIGNAGE, INTERIOR FURNITURE AND FINISHES
X	w/ NEW FLOOR	INCLUDES NEW TILE FLOOR AND REMOVAL OF INTERIOR 1/2" WALLS
	w/ NEW CEILING	INCLUDES ALL NEW CEILINGS AND DOWNLIGHTS, AND DINING ROOM BULKHEADS REMOVED
	w/ RESTROOM UPDATE	INCLUDES ALL NEW FIXTURES AND WALLS RECOVERED w/FRP PANELS
	w/ DRIVE THRU UPDATE	INCLUDES NEW ORDER POINT CANOPY, CLEARANCE BAR AND SCREEN WALL

PROJECT DIRECTORY

OWNER	CONTACT:	ARCHITECT	CONTACT:
MITRA OSR, LLC 7250 N. DALLAS PARKWAY, STE. 800 PLANO, TX 75024	CINDY LAROSE 214.440.4144	GLMV ARCHITECTURE, LLC. 1525 E. DOUGLAS WICHITA KS 67211	ASHLEY RADEBAUGH 816.444.4200

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 TEMPLATE VERSION:
RELEASE 1.0
 JULY 2015

REVISION:	Mark	Date	By

PROJECT TITLE
 CD TEMPLATE
 "K-30 SERIES 6000
 TO AMERICAN
 SHOWMAN"

INCENTIVE SCOPE
 331 W. SUNSET DR.
 WAUKESHA, WI 53189

STORE NO: **K071212**

ISSUE DATE: **06/07/2022**

SHEET TITLE
GENERAL INFORMATION

SHEET NO:
G-1.0

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 KFC/EEC/PLN, June 13, 2022 12:12 AM



SITE INFORMATION

PARCEL NUMBER: WAKC1353385001
 ADDRESS: 331 W SUNSET DR, WAUKESHA, WI
 COUNTY: WAUKESHA
 ACRES: 0.34

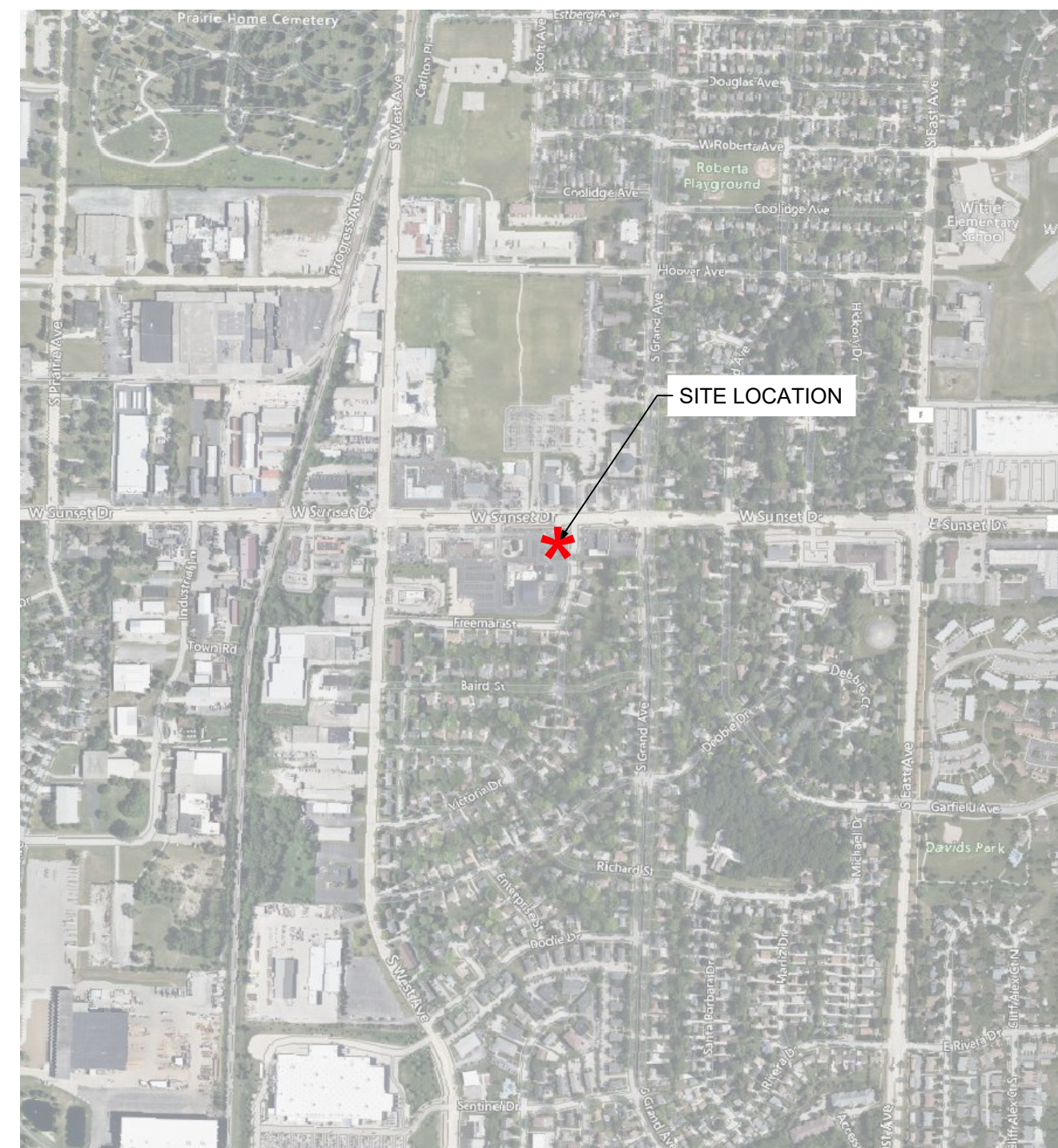
EXISTING PARKING: 32, INCLUDING 2 ACCESSIBLE
 REQUIRED PARKING:
 PARKING REQUIREMENT: (7 STALLS PER FIRST 1,000 SF + 5.5 STALLS PER
 REMAINING 1,000 SF EXCLUDING STORAGE) x (2,200 SF) = 14 INCLUDING, 1
 ACCESSIBLE PARKING
 PROPOSED PARKING: 32, INCLUDING 2 ACCESSIBLE
 PARKING DIMENSIONS: 9' x 18'

SIGNAGE NOTES:

1. ALL SIGNAGE SHALL BE PERMITTED UNDER SEPARATE SIGN PERMIT BY SIGN VENDOR.
2. GC TO PROVIDE FOUNDATION AND ROUGH-IN ELECTRICAL AS NOTED.

KEYNOTES

- 1 EXISTING DUMPSTER ENCLOSURE TO MATCH EXISTING BUILDING. RE: ARCH DWGS.
- 2 NOT USED
- 3 NOT USED
- 4 EXISTING CONCRETE SIDEWALK SHALL BE PROTECTED THROUGHOUT CONSTRUCTION
- 5 REFACE EXISTING PARKING LOT DIRECTIONAL SIGNS NEW 2020 GLOBAL KFC BRAND IMAGE AND RELAMP WITH LED LIGHTS. PAINT POLE AND CABINET, SP3. COORDINATE INSTALLATION SIGN VENDOR.
- 6 EXISTING CONCRETE PAVEMENT SHALL BE PROTECTED DURING CONSTRUCTION
- 7 EXISTING CURB SHALL BE PROTECTED THROUGHOUT CONSTRUCTION
- 8 EXISTING BUILDING SHALL BE PROTECTED THROUGHOUT CONSTRUCTION
- 9 EXISTING ASPHALT PAVEMENT SHALL BE PROTECTED THROUGHOUT CONSTRUCTION
- 10 EXISTING LANDSCAPING TO REMAIN
- 11 NOT USED
- 12 REFACE EXISTING PYLON SIGN WITH NEW 2020 GLOBAL KFC BRAND IMAGE AND RELAMP WITH LED LIGHTS. PAINT POLE AND CABINET, SP3. PROVIDE NEW READERBOARD. COORDINATE INSTALLATION SIGN VENDOR.
- 13 EXISTING SPEAKER POST SHALL BE PAINTED, SP3. PROVIDE NEW DRIVE THRU HOURS GRAPHIC AND HEARING IMPAIRED ASSISTANCE SIGN.
- 14 NOT USED
- 15 EXISTING MENU BOARD SHALL BE PAINTED, SP3 TO APPEAR LIKE NEW. COORDINATE WITH SIGN VENDOR.
- 16 EXISTING CLEARANCE BAR AND FOOTING TO RECEIVE NEW SLEEVE AND FINISH

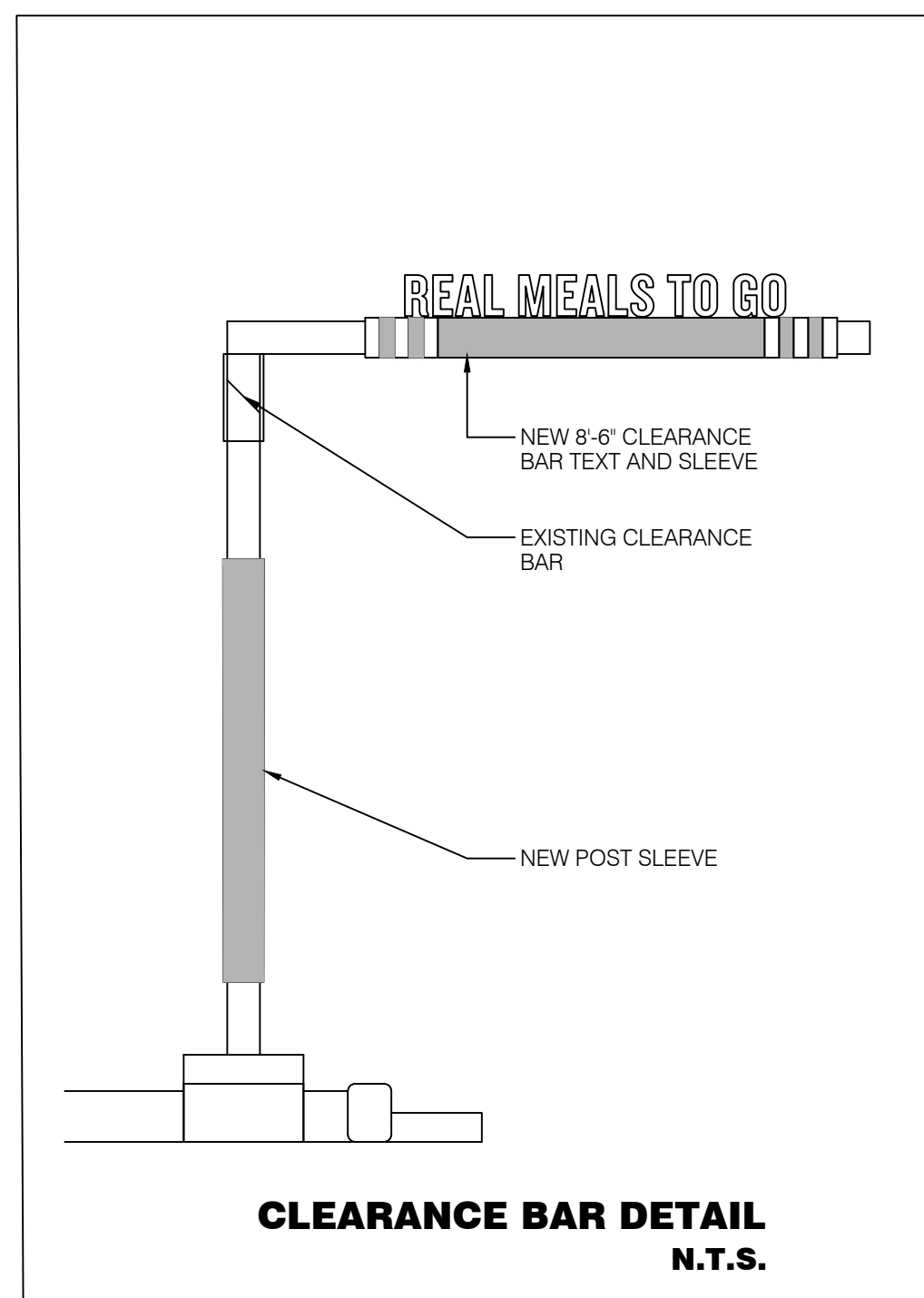


B LOCATOR MAP
1/64" = 1'-0"



A SITE PLAN

1" = 20'-0"



CLEARANCE BAR DETAIL
N.T.S.

PLANT SCHEDULE	
TREES	COMMON NAME
	Existing Tree to Remain
	Existing Tree to Remain
SHRUBS	COMMON NAME
	Existing Shrub to Remain
GROUND COVERS	COMMON NAME
	Wood Mulch

SITE PLAN NOTES

1. PRIOR TO STARTING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
3. CONTRACTOR SHALL CONTACT DIG SAFE PRIOR TO ANY EXCAVATION/DIGGING.
4. NO SURVEY INFORMATION HAS BEEN PROVIDED. EXISTING CONDITIONS HAVE BEEN COMPILED BY FIELD OBSERVATIONS AND AERIAL PHOTOGRAPHY. ALL EXISTING CONDITIONS, DIMENSIONS, AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER IF ANY DISCREPANCIES EXIST, PRIOR TO CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
5. REPAIR ALL LANDSCAPING DISTURBED BY CONSTRUCTION ACTIVITIES.
6. MODIFY EXISTING IRRIGATION SYSTEM TO PROPERLY WATER ANY REVISED OR ADDED LANDSCAPE AREAS.
7. LANDSCAPE NOTES:
 - 7.1. NO SUBSTITUTIONS SHALL BE ALLOWED WITHOUT OWNER'S APPROVAL. QUANTITIES IN THE PLANT LIST ARE FOR INFORMATION ONLY. CONTRACTOR SHALL VERIFY.
 - 7.2. ALL PLANT LOCATIONS ARE APPROXIMATE, ADJUST AS NECESSARY TO AVOID CONFLICTS.
 - 7.1. CONTRACTOR SHALL INSTALL WEED BARRIER FABRIC IN ALL SHRUB PLANTING BEDS TO RECEIVE ROCK MULCH.
 - 7.2. ANY PLANTING BEDS (NEW OR EXISTING) ADJACENT TO WALKS OR CURBING SHALL HAVE THE GRADE LOWERED TO A SUFFICIENT DEPTH (3") TO ALLOW FOR THE TOP OF THE MULCH TO MATCH THE TOP OF WALK OR CURBING.
 - 7.3. THE PLANTING BEDS RECEIVING MULCH SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE PRIOR TO PLANTING AND MULCH EQUIPMENT. APPLY IN ACCORDANCE WITH STANDARD TRADE PRACTICE.
 - 7.4. EDGING SHALL BE STEEL PER SPEC, OR OWNER APPROVED EQUAL. INSTALL STAKES IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION.
 - 7.5. WHEN CLAY SOIL IS ENCOUNTERED IN THE ESTABLISHMENT OF THE LAWN OR THE INSTALLATION OF PLANT MATERIAL, SOIL SHALL BE IMPROVED IN ACCORDANCE WITH STANDARD TRADE PRACTICE. I.E. ADDITION OF LIME, GYPSUM, ETC.
 - 7.6. ROCK MULCH SHALL BE LOCAL RIVER ROCK AND SHALL BE 2-3 INCH DIAMETER. CONTRACTOR SHALL SUBMIT SAMPLE TO OWNER FOR APPROVAL.

ADA NOTES:

1. ANY AND ALL NEW SITE FEATURES SHOWN ON PLANS AND NOTED AS "ADA" SHALL BE BUILT IN COMPLIANCE TO CURRENT FEDERAL, STATE AND LOCAL ACCESSIBILITY RULES AND REGULATIONS. THE G.C. SHALL BE RESPONSIBLE TO KNOW AND UNDERSTAND ALL CURRENT ACCESSIBILITY REGULATIONS AS THEY PERTAIN TO THE CONSTRUCTION OF ACCESSIBLE SITE FEATURES.
2. ALL NEW CONCRETE SIDEWALK PAVEMENT SHALL BE INSTALLED WITH A MAX. 5% RUNNING SLOPE AND A MAX. 2% CROSS SLOPE. ALL NEW CONCRETE STOOPS INSTALLED AT EXISTING DOORWAYS WILL BE INSTALLED FLUSH WITH THE BUILDING F.F.E. AND WITH A 1.5% SLOPE AWAY FROM DOORWAYS. A MIN. 5'X5' STOOP WITH 1.5% SLOPES SHALL BE INSTALLED AT DOORS.
3. SURFACES OF ALL NEW ACCESSIBLE PAVED PATHWAYS SHALL BE SMOOTH AND EVEN WITH NO ABRUPT CHANGES IN ELEVATION OF 1/4" OR GREATER AS REQUIRED BY THE ACCESSIBILITY DESIGN REGULATIONS.

DEMOLITION NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE, STRUCTURES, UTILITIES, UNDERGROUND STORAGE TANKS, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL.
2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING OF THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
3. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
4. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY AS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN THE ANY ROAD RIGHT OF WAY DURING CONSTRUCTION.
5. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., (AND OTHER APPROPRIATE BMP'S) AS APPROVED BY CONSTRUCTION MANAGER.
6. CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.
7. PRIOR TO ANY DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES MUST BE INSTALLED.
8. ALL DISTURBED FEATURES SHALL BE RESTORED OR RELOCATED AS REQUIRED TO THE SATISFACTION OF THE OWNER. CONTRACTOR SHALL REPAIR/REPLACE ANY SURROUNDING FEATURES DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES AT NO ADDITIONAL COST AND TO THE SATISFACTION OF THE OWNER.
9. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.

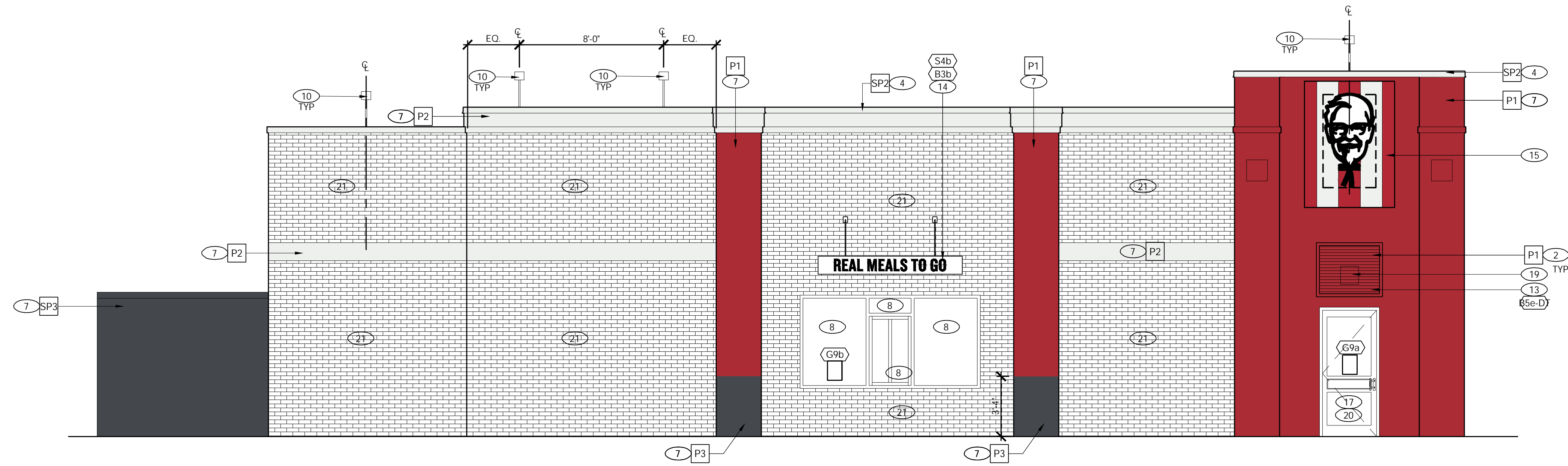
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REVISION:		
Mark	Date	By

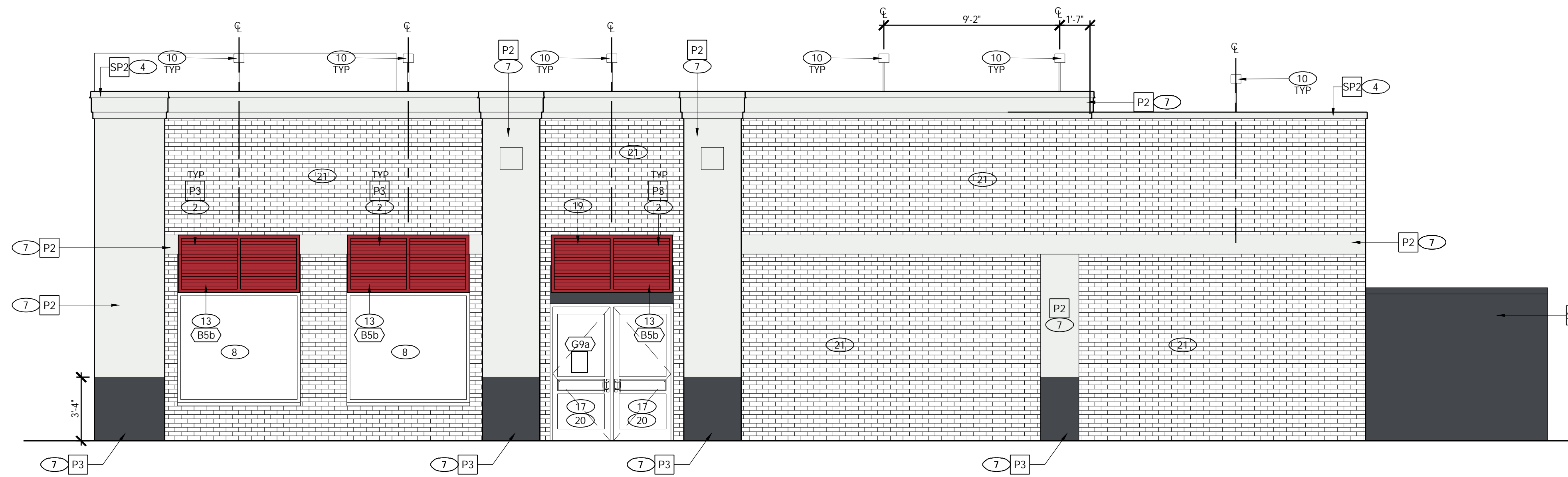
PROJECT TITLE
 CD TEMPLATE
 "K-30 SERIES 6000
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 SHOWMAN"
 331 W. SUNSET DR.
 WAUKESHA, WI 53189
 STORE NO: **K071212**
 ISSUE DATE: **06/07/2022**
 SHEET TITLE

SITE PLAN
 SHEET NO.
SP101

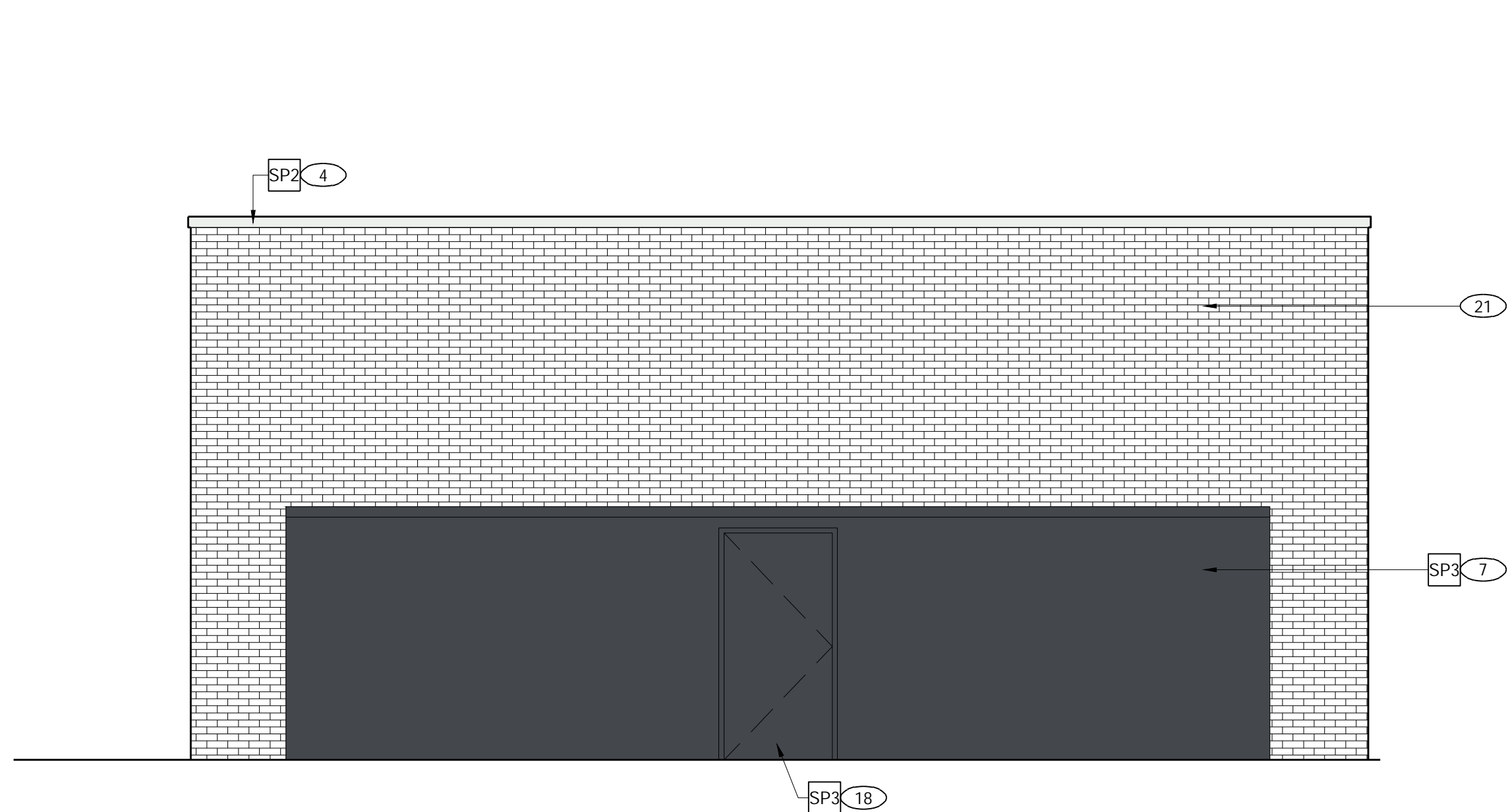
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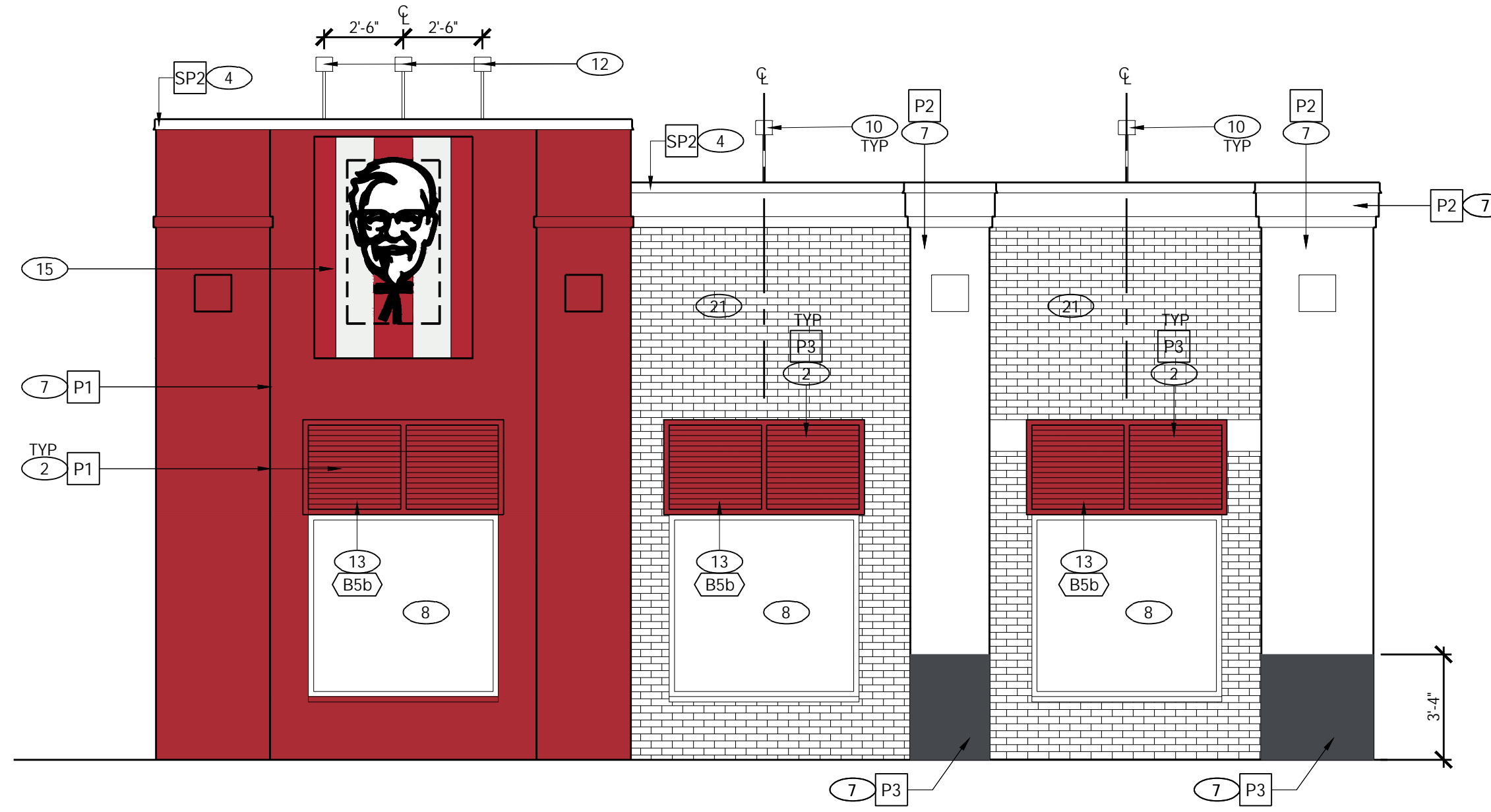
4 - DRIVE-THRU ELEVATION
Scale: 1/4" = 1'-0"



3 - ENTRY ELEVATION
Scale: 1/4" = 1'-0"



2 - REAR ELEVATION
Scale: 1/4" = 1'-0"



1 - FRONT ELEVATION
Scale: 1/4" = 1'-0"

GENERAL NOTES

G.C. TO PROVIDE VERIFICATION OF EXISTING STRUCTURAL ATTACHMENTS FOR NEW BUILDING ELEMENTS. IF REQUIRED PROVIDE ADDITIONAL BLOCKING PER VENDOR'S RECOMMENDATION

EXTERIOR ELEVATION NOTES

SEE MASTER SCHEDULE (SCHD-1) FOR ALL LIGHTING, FINISH AND COMPONENT TAGS

- (1) NOT USED.
- (2) PAINT WALL SURFACE BEHIND NEW AWNINGS
- (3) NOT USED.
- (4) EXISTING PARAPET COPING TO BE REPAIRED, SEALED AND PAINTED
- (5) NOT USED.
- (6) NOT USED.
- (7) NEW EXTERIOR PAINT TREATMENT
- (8) EXISTING WINDOWS
- (9) NOT USED
- (10) NEW EXTERIOR LIGHT FIXTURE CENTERED ON WINDOW AND/OR GRAPHIC, OTHERWISE AS INDICATED IN ELEVATION. PATCH AND REPAIR ROOF MEMBRANE AT FIXTURE ATTACHMENT POINT
- (11) NOT USED
- (12) NEW ACCENT LIGHT FIXTURE, REFER TO LIGHT FIXTURE SCHEDULE
- (13) NEW PRE-FINISHED METAL LOUVERED AWNINGS (AWNINGS ABOVE DOORS TO HAVE RAIN DIVERTERS)
- (14) NEW DRIVE-THRU CANOPY
- (15) EXISTING SIGN CABINET REFACED WITH NEW KFC 2020 SIGN PANEL.
- (16) NOT USED.
- (17) NEW ALUMINUM INFILL IN DOOR PANEL. INFILL TO MATCH FRAME.
- (18) PAINT EXISTING EXTERIOR DOOR AND FRAME
- (19) NEW EXTERIOR WALL LIGHT, M-3
- (20) EXISTING STOREFRONT
- (21) EXISTING BRICK SHALL NOT BE PAINTED.



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STORE NO. K071212
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EXTERIOR
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SHEET NO.
A-2.0

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