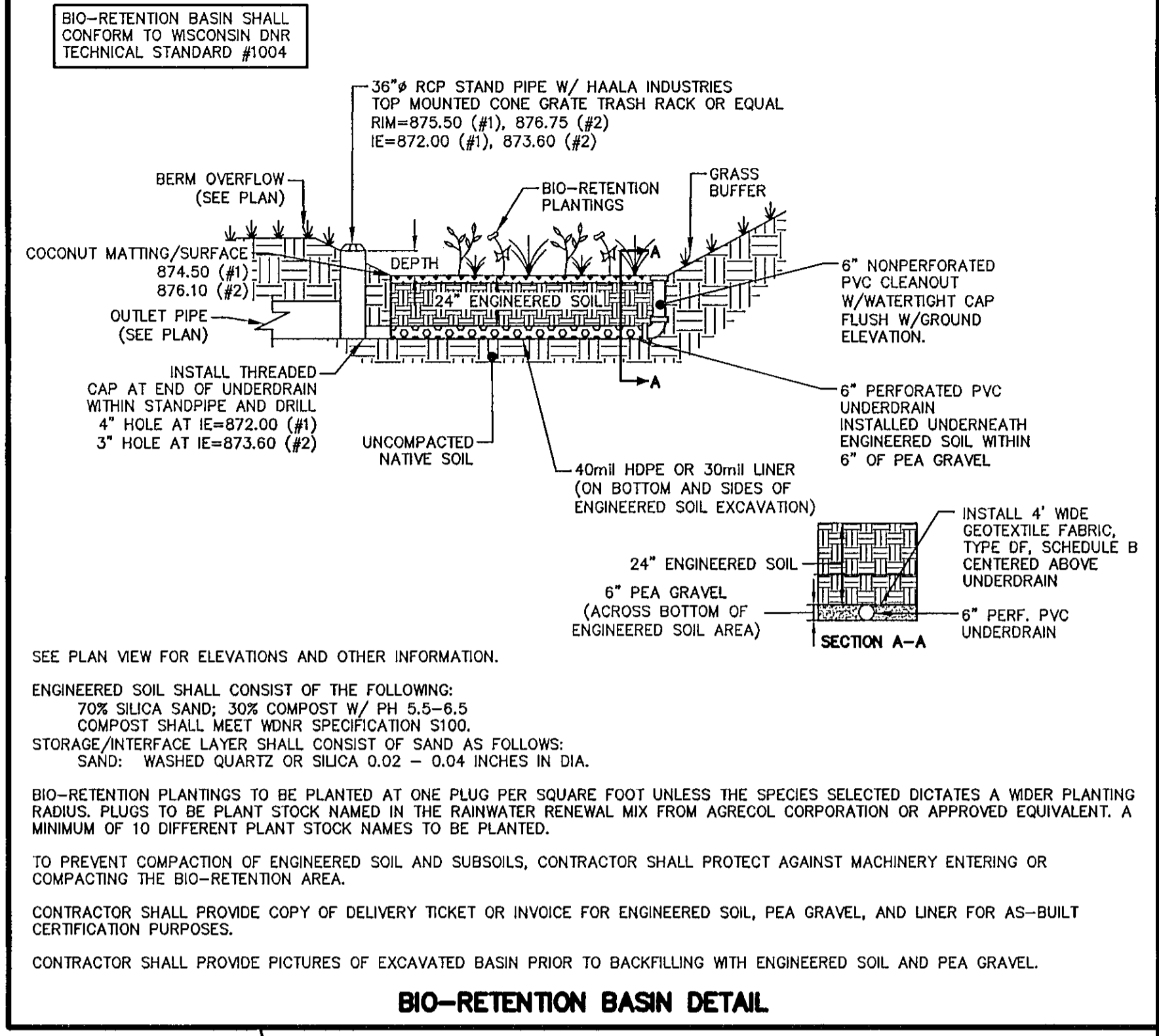
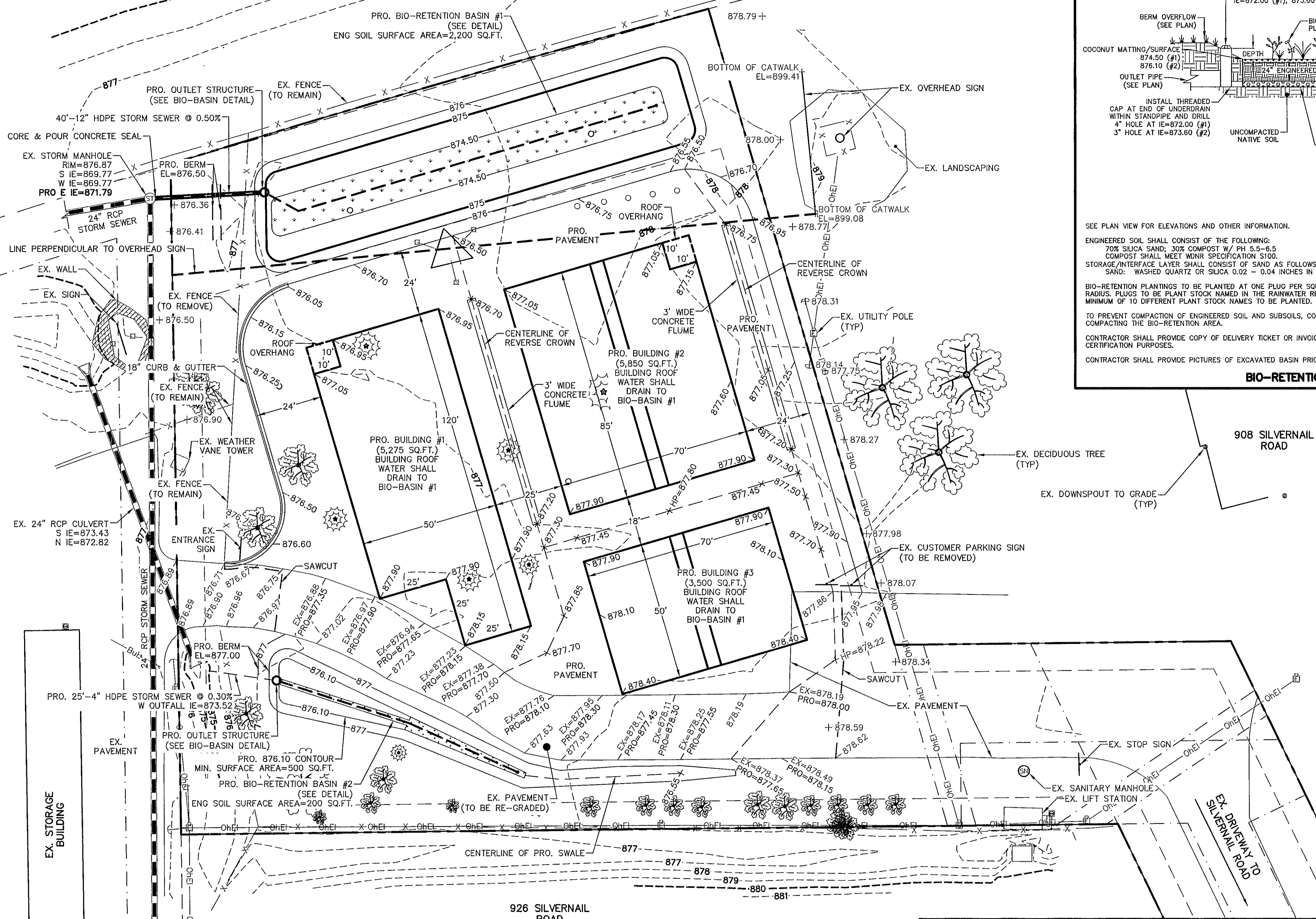


INTERSTATE 94



NOTES:

1) PROPOSED SPOT ELEVATIONS ARE FINISH PAVEMENT SURFACE ELEVATION. REFER TO BUILDING PLANS FOR PAVEMENT SURFACE TO BUILDING FLOOR TRANSITION.

SITE INFORMATION:
PROPERTY IS LOT 1 OF CSM 8319
LOT AREA: 98,204 SQUARE FEET, 2.25 ACRES
ZONING: B5 COMMUNITY BUSINESS DISTRICT
BUILDING SETBACKS: 50' FROM RIGHT-OF-WAY, 10' SIDE YARD, 25' REAR
PAVED DRIVE AISLE SETBACK: 5' FROM SIDE YARD, 15' FROM RIGHT-OF-WAY
PRO. IMPERVIOUS AREA=54,059 SQUARE FEET, 1.241 ACRES
PRO. IMPERVIOUS AREA % = 55.0%
BUILDING FLOOR AREA = 14,625 SQUARE FEET
BUILDING FLOOR AREA RATIO = 14.8%

LEGEND FOR COMMON LINES:

---879---	EXISTING MINOR CONTOUR
---880---	EXISTING MAJOR CONTOUR
-x-x-x-	PROPERTY LINE
-o-h-e-l-	EXISTING OVERHEAD ELECTRIC LINE
-b-u-e-l-	EXISTING BURIED ELECTRIC LINE
-EX=878.25 OR 878.49	EXISTING SPOT ELEVATION
-878.75	PROPOSED SPOT ELEVATION

CLIMATE CONTROLLED STORAGE - CSM 8319
PRELIMINARY GRADING PLAN

SHEET C-2
DATED: AUGUST 28, 2023

QUAM ENGINEERING, LLC
Residential and Commercial Site Design Consultants

www.quamengineering.com
4604 Sigelkow Road, Suite A - McFarland, Wisconsin 53558
Phone (608) 838-7750; Fax (608) 838-7752



ZONING	
ZONED:	XX
MIN. BUILDING SETBACKS (FT):	STREET YARD: XX INTERIOR SIDE YARD: XX REAR YARD: XX
PAVING SETBACKS (FT):	FRONT & STREET YARD: XX INTERIOR SIDE YARD: XX REAR YARD: XX
MAX. BUILDING HEIGHTS (FT):	PRINCIPAL BUILDING: XX ACCESSORY BUILDING: XX

SITE STATISTICS		
NAME	AREA	AREA RATIO
BUILDABLE AREA	30,458 SF	34%
EXISTING PAVING	22,981 SF	26%
NEW PAVING	16,834 SF	19%
PROPOSED BUILDING A	5,275 SF	6%
PROPOSED BUILDING B	5,850 SF	7%
PROPOSED BUILDING C	3,500 SF	4%
PROPOSED RETENTION / DETENTION POND	5,072 SF	6%
GRAND TOTAL	89,969 SF	100%

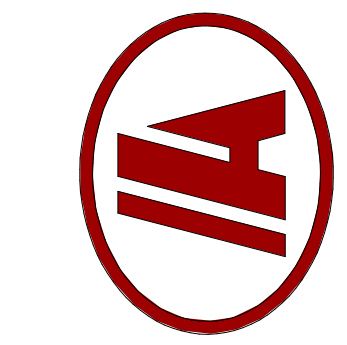
PARKING	
PARKING REQUIREMENTS:	XX
TOTAL STALLS REQUIRED:	XX
TOTAL STALLS PROPOSED:	XX
TOTAL ACCESSIBLE STALLS REQUIRED:	XX
TOTAL ACCESSIBLE STALLS PROPOSED:	XX

- GENERAL SITE NOTES:**
- VISIT JOB SITE TO VERIFY EXISTING SITE CONDITIONS PRIOR TO STARTING CONSTRUCTION. MEET WITH GENERAL CONTRACTOR PRIOR TO STARTING.
 - REMOVE EXISTING TREES ALONG WITH ROOTS AS REQUIRED @ PROPOSED BUILDING AND PAVING AREAS.
 - STRIP AND REMOVE ALL REMAINDER VEGETATION & X"± TOP SOIL FROM WITHIN THE BUILDING AND PAVING AREAS. STOCKPILE REUSABLE, UNCONTAMINATED TOPSOIL AND PROVIDE FOR ALL EXCESS MATERIAL TO BE TRUCKED OFF SITE. RESPREAD SALVAGED TOPSOIL OVER DISTURBED AREAS TO APPROX. 4" DEPTH AFTER CONSTRUCTION IS FINISHED.
 - CUT (OR FILL) THE BUILDING AREA +5.0' BEYOND PERIMETER OF THE BUILDING
 - CUT THE FLOOR AREA TO THE SUB-GRADE ELEVATION. (THE PERIMETER FOUNDATION FOOTINGS TO BE EXCAVATED BY CONC. CONTR. TO THE REQUIRED DEPTHS PER THE FOUNDATION PLAN). BENCH GRADE BACK PER CURRENT OSHA CODE STANDARDS PART #1926 IF REQ'D BY THE G.C. FOR THE PROJECT
 - PROOF ROLL BUILDING AREA FOR ANY SOFT MATERIALS. REPORT ANY SOFT SPOTS TO THE GENERAL CONTRACTOR.
 - ALL FILL MATERIAL FOR BRINGING GRADES UP TO SUB-GRADE ELEVATIONS SHALL BE GRANULAR OR CLEAN COMPACTABLE CLAY AND APPROVED BY ANDERSON-ASHTON.
 - ALL EXTERIOR BACKFILL MATERIAL FOR STANDARD FROST FOUNDATION WALLS SHALL BE CLEAN COMPACTABLE CLAY. INTERIOR BACKFILL MATERIAL SHALL BE 3/4" CLEAR STONE.
 - ALL BACKFILL & FILL MATERIALS SHALL BE INSPECTED AND APPROVED BY ANDERSON-ASHTON PRIOR TO PLACEMENT. ALL FILL MATERIALS SHALL BE COMPACTED IN 8" MAX. LIFTS @ 95% MODIFIED PROCTOR.
 - PREPARE THE PAVING AREA AS SHOWN ON THE CONSTRUCTION DOCUMENTS TO +/- 0.10'
 - PREPARE ALL SWALES AS SHOWN ON PLAN TO PROVIDE POSITIVE DRAINAGE DURING CONSTRUCTION.
 - RETURN AFTER THE BUILDING IS ENCLOSED & FINISH GRADE AND TOPSOIL AROUND PERIMETER OF BUILDING. ALSO, FINISH GRADE AROUND ELECTRICAL, TELEPHONE, GAS, SEWER, WATER AND UTILITY TRENCHES.
 - GRADING CONTRACTOR SHALL FIX AND REPAIR PARKING AREA AND DRIVES AS REQUIRED AFTER UTILITY AND OTHER WORK THAT MAY DISTURB THE SOIL AND/OR GRAVEL BASE BEFORE PAVING BEGINS. GRADING CONTRACTOR SHALL SMOOTH DRUM ROLL ALL PARKING AREAS AND DRIVES BEFORE PAVING BEGINS.
 - GRADING CONTRACTOR SHALL BE PREPARED TO HANDLE ALL SPOILS WHICH MAY INCLUDE ON SITE STORAGE AND TRUCKING OFF SITE. GRADER TO GET PRIOR APPROVAL FROM G.C. FOR PLACEMENT OF STOCKPILE SITES PRIOR TO STARTING STRIPPING OF TOPSOIL.
 - AWARDED GRADING CONTRACTOR SHALL BE RESPONSIBLE FOR THE LABOR AND MATERIAL NEEDED FOR SUPPLYING ANY TRAFFIC CONTROL BARRIERS OR SIGNS AS NEEDED PER LOCAL OR D.O.T. CODES & REGULATIONS DUE TO ANY ROAD WORK OUTSIDE OF PROPERTY LINES
 - THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM BUILDING AT A SLOPE OF NOT LESS THAN ONE UNIT VERTICAL IN 20 UNITS HORIZONTAL (5% SLOPE) FOR A MIN DISTANCE OF 10' MEASURED PERP. TO THE FACE OF THE FOUNDATION WALL.
- ASPHALT PAVING WORK**
- FURNISH AND INSTALL A 8" CRUSHED AGGREGATE BASE AT THE ASPHALT PAVING PARKING AREAS.
 - FINE GRADE AND COMPACT STONE BASE.
 - FURNISH AND INSTALL A 4" (TWO LIFT) AVG. THICKNESS COMPACTED ASPHALT PAVEMENT AT TRUCK/DRIVE AREAS
 - FURNISH AND INSTALL ALL PARKING STALL STRIPING, H.C. SYMBOLS, & H.C. SIGNS ON METAL POSTS.

REVISIONS

THIS IS A SCHEMATIC DRAWING, NOT A WORKING DRAWING. ANDERSON ASHTON IS NOT RESPONSIBLE FOR DIMENSIONS, CONSTRUCTION DETAILS, ENGINEERING DECISIONS, REGULATORY APPROVALS, OR ANY OTHER ASPECTS OF THE PROJECT. IT IS HIGHLY RECOMMENDED THAT A LOCAL ARCHITECT BE ENGAGED TO DEVELOP CONTRACT DOCUMENTS BASED ON THESE SCHEMATIC DRAWINGS AND CORRESPONDING OUTLINE SPECIFICATIONS. ANDERSON ASHTON SHALL NOT BE HELD RESPONSIBLE FOR ANY LEGALLY BINDING AGREEMENTS ENTERED INTO BY ARCHITECTS OR OTHERS BE DEVELOPED IN A CONTRACTUAL AGREEMENT.

ANDERSON ASHTON DESIGN / BUILD
2746 South 16th Street
New Berlin, WI 53151
Phone: (262) 786-4640
WWW.ANDERSONASHTON.COM



PRELIMINARY NOT FOR CONSTRUCTION

PROPOSED NEW BUILDING FOR:
SCENIC SELF STORAGE

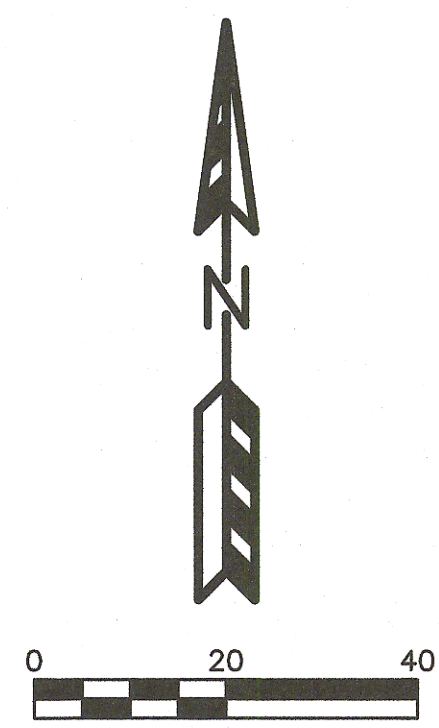
900 SILVERNAI RD, PEWAUKEE, WI 53072

1 ARCHITECTURAL SITE PLAN
1/16" = 1'-0"

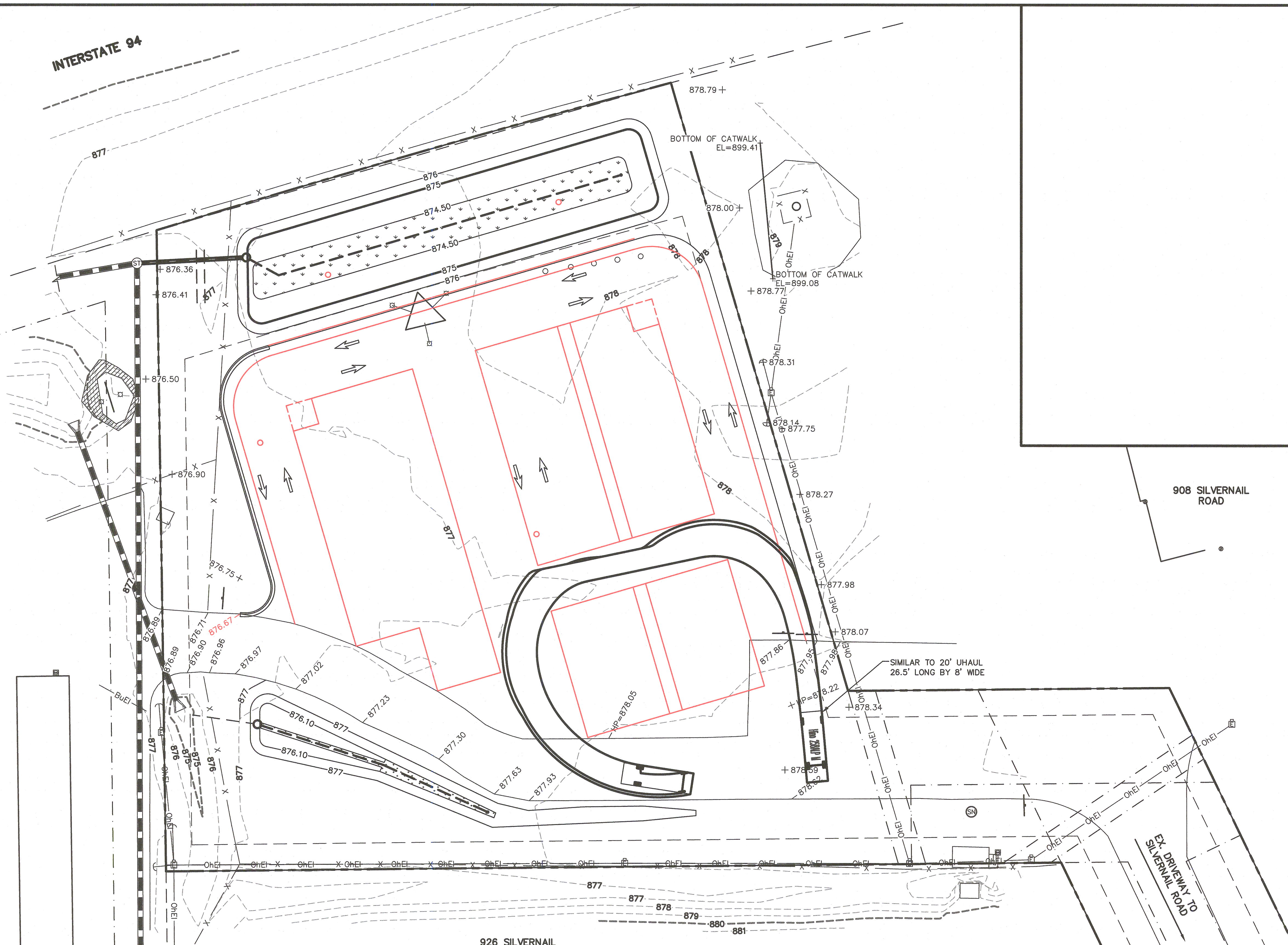
DRAFTED BY: UH
DESIGNER: RRS
ISSUE 8/23/2023 10:59:38 AM
SUBMITTAL DATE XX-XX-XX
DESIGN NO. 4007
CONSTRUCTION NO. -

ARCHITECTURAL SITE PLAN
AS01

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INTERSTATE 94



EX. STORM MANHOLE
RIM=878.20
N IE=870.66
E IE=870.70
S IE=872.36

NOTES:
1) PROPOSED SPOT ELEVATIONS ARE FINISH PAVEMENT SURFACE ELEVATION. REFER TO BUILDING PLANS FOR PAVEMENT SURFACE TO BUILDING FLOOR TRANSITION.

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PAVED DRIVE AISLE SETBACK: 5' FROM SIDE YARD, 15' FROM RIGHT-OF-WAY
PRO. IMPERVIOUS AREA=54,253??? SQUARE FEET, 1.25??? ACRES
PRO. IMPERVIOUS AREA % = 55.2???
BUILDING FLOOR AREA = 17,500??? SQUARE FEET
BUILDING FLOOR AREA RATIO = 17.8???%

LEGEND FOR COMMON LINES:

-879-	- EXISTING MINOR CONTOUR
-880-	- EXISTING MAJOR CONTOUR
- - -	- PROPERTY LINE
-x-x-x-	- EXISTING FENCE
-OHEI-	- EXISTING OVERHEAD ELECTRIC LINE
-BUEI-	- EXISTING BURIED ELECTRIC LINE
-EX=878.25 OR 878.49	- EXISTING SPOT ELEVATION
-878.75	- PROPOSED SPOT ELEVATION

CLIMATE CONTROLLED STORAGE - CSM 8319
VEHICLE MOVEMENT-INTERNAL
PAGE 2 OF 2
DATED: JULY 20, 2023

QUAM ENGINEERING, LLC
Residential and Commercial Site Design Consultants
www.quamengineering.com
4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558
Phone (608) 838-7750; Fax (608) 838-7752

SITE INFORMATION

USDA PLANT HARDINESS ZONE	5a (-20 to -15 Degrees F)
LOT ZONING	B-5 - Community Business
LOT AREA	84,234 SQ. FT. (1.93 Acres)
SITE BUILDING AREA	17,500 SQ. FT.
TOTAL IMPERVIOUS	54,253 SQ. FT. (1.25 Acres)
TOTAL GREENSPACE	29,981 SQ. FT. (0.69 Acres)
SITE LANDSCAPE PERCENTAGE	35.6%
TOTAL PARKING STALLS	- STALLS

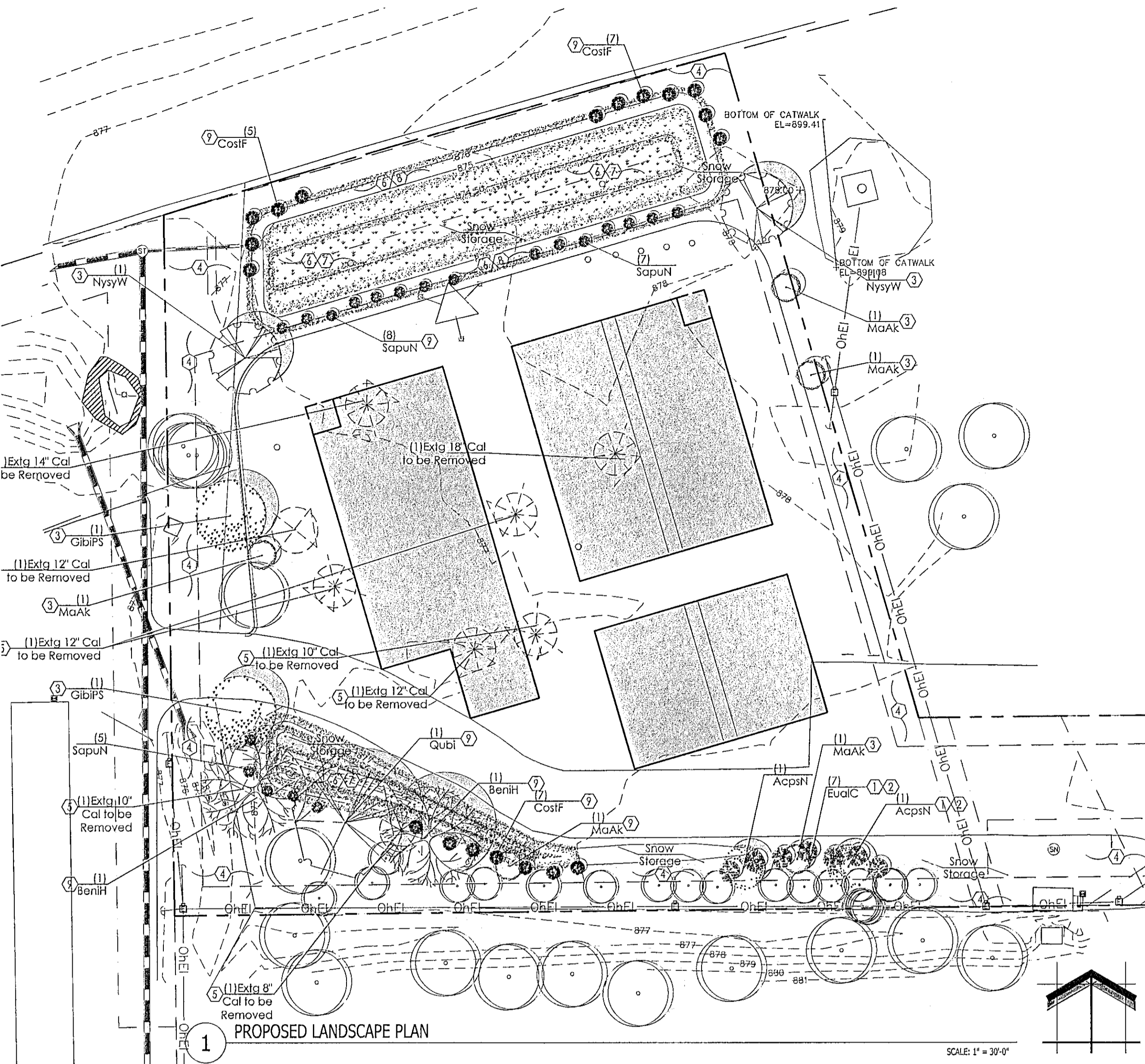
EXISTING CONDITIONS GENERAL NOTES

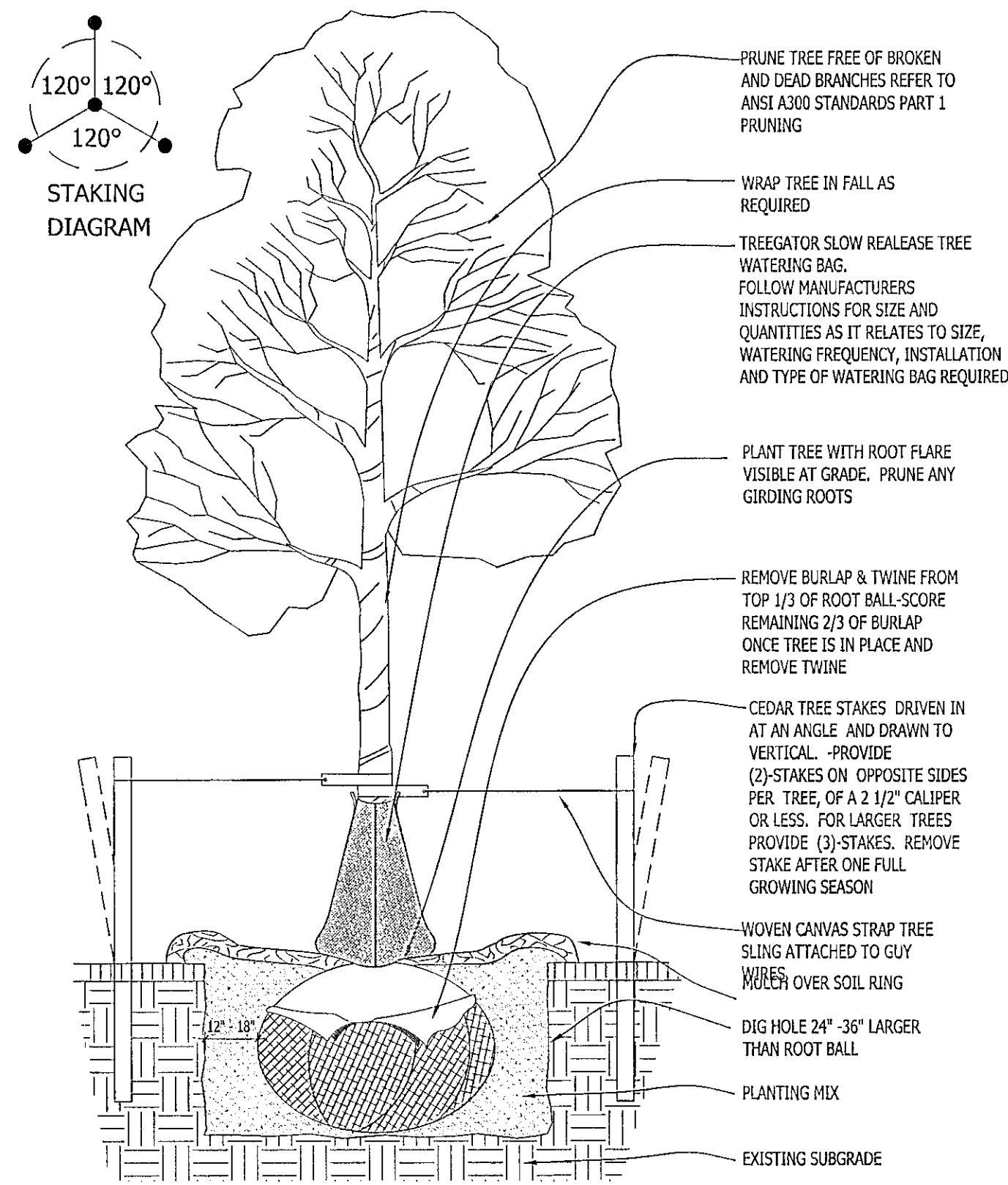
1. INFORMATION PERTAINING TO EXISTING CONDITIONS GIVEN ON THESE LANDSCAPE DRAWINGS REPRESENTS TO THE BEST OF OUR KNOWLEDGE THE ACTUAL EXISTING FIELD CONDITIONS. INSITE LANDSCAPE DESIGN, INC. MAKES NO WARRANTY AS TO THEIR ACCURACY. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS IMPERATIVE TO THEIR NEW WORK. REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS TO THE LANDSCAPE ARCHITECT FOR REVIEW. ANY WORK PERFORMED PRIOR TO RESOLUTION OF DISCREPANCIES BY THE LANDSCAPE ARCHITECT IS SUBJECT TO REMOVAL AND REPLACEMENT AT NO ADDITIONAL COST TO THE CONTRACTOR.
2. THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA OF DISTURBANCE THAT ARE NOT SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES.
3. VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND ALIGNMENT OF WALLS. BRING ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT'S ATTENTION PRIOR TO FABRICATION / CONSTRUCTION BEGINS.
4. VERIFY LOCATION OF ACCESS PANELS w/ MECHANICAL AND ELECTRICAL EQUIPMENT FOR ACCESSIBILITY OF MECHANICAL & ELECTRICAL ITEMS. VERIFY LOCATIONS OF ALL BURIED UTILITIES AND STRUCTURES AND LOCATIONS OF ALL OVERHEAD WIRES.
5. VERIFY LOCATION OF ALL EXISTING EASEMENTS.
6. INSITE LANDSCAPE DESIGN, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF INSITE LANDSCAPE DESIGN, INC.

LANDSCAPE PLAN GENERAL NOTES

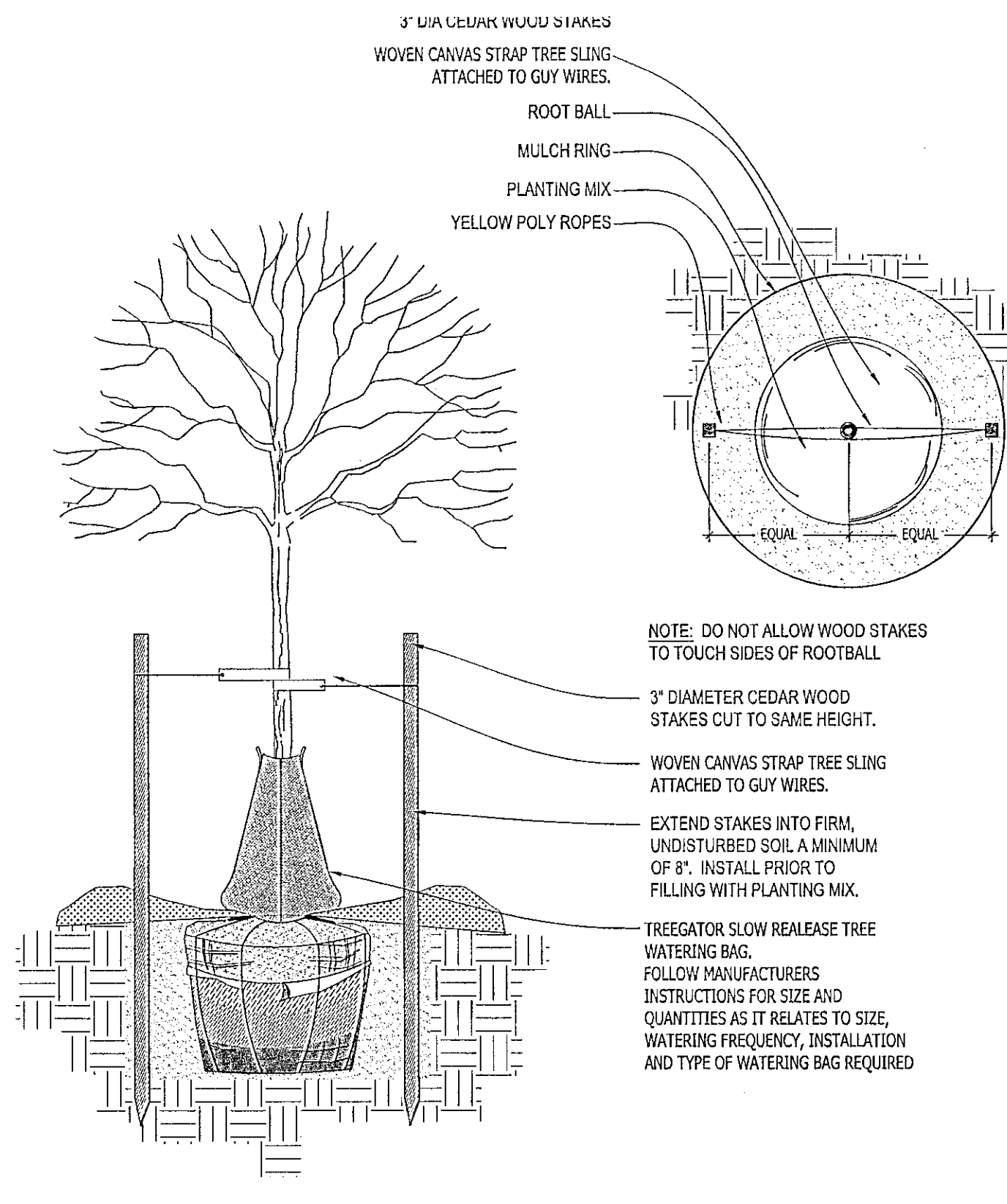
PLANT MATERIAL SHOWN ON LANDSCAPE PLAN IS DEPICTED AT MATURE GROWTH.

1. AT LEAST SEVENTY-TWO HOURS PRIOR TO ANY EXCAVATION, CONTRACTOR SHALL VERIFY UTILITY LOCATIONS AS GIVEN BY THE ELECTRIC, GAS, TELEPHONE, WATER, SEWER, AND CABLE TELEVISION COMPANIES, UTILITIES OR ENTITIES. REVIEW WITH OWNER'S REPRESENTATIVE SITE MECHANICAL, SITE ELECTRICAL AND LIGHTING, SITE GRADING AND DRAINAGE, SITE IRRIGATION AND ALL OTHER DRAWINGS PERTAINING TO UNDERGROUND UTILITY LOCATIONS. RECORD SET OF INFORMATION THE SAME AS IN POSSESSION OF OWNER'S REPRESENTATIVE. ALSO REVIEW OWNER'S "MARK SETS" OF ALL THESE DRAWINGS IN POSSESSION OF THE CONTRACTOR OR OWNER. MARK ALL SUCH UTILITIES ON THE SITE PRIOR TO COMMENCING. COORDINATE WITH OWNER BEFORE AND DURING CONSTRUCTION. REPAIR ANY DAMAGE TO ANY SYSTEM THAT IS CAUSED BY LANDSCAPE CONTRACTOR AT NO COST TO OWNER.
2. ALL PLANTINGS SPECIFIED FOR THE CLIMATE CONTROLLED STORAGE PROJECT PLANTING TABLES SHALL COMPLY WITH STANDARDS AS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK ANSI Z601.1 2014 AND ANSI STANDARDS FOR PLANTING 2012.
3. ALL DEVIATIONS FROM THE APPROVED CLIMATE CONTROLLED STORAGE PROJECT PLANS SHALL BE NOTED ON THE RECORD DRAWINGS BY THE CONTRACTOR AND MAY BE EXECUTED ONLY WITH PRIOR APPROVAL FROM THE LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE. VERBAL AGREEMENTS OR REVISIONS WITHOUT A CHANGE ORDER WILL NOT BE RECOGNIZED BY LANDSCAPE ARCHITECT AND OWNER.
4. ALL PLANTS MUST BE BID AND SELECTED PER THE SPECIES SPECIFIED ON THE PLANS. ANY SPECIES SUBSTITUTIONS MUST BE APPROVED IN WRITING BY LANDSCAPE ARCHITECT. THE SIZES OF PLANT MATERIAL LISTED HEREIN IS A MINIMUM ACCEPTABLE SIZE. ADDITIONALLY, IF EXCESSIVE PRUNING REDUCES THE CROWN THE PLANT SHALL BE REPLACED.
5. PROTECT PUBLIC FROM CONSTRUCTION WITH BARRIERS AND BARRICADES.
6. ALL AREAS THAT WERE DISTURBED DURING CONSTRUCTION AND AREAS NOT COVERED WITH PAVEMENT, BUILDING, PLANTING BEDS, OR TREE PITS ARE TO BE TOPSOILED 3" DEEP (MIN.) AND SHALL BE SOED/SEEDED WITH SPECIFIED LAWN GRASS. LANDSCAPE CONTRACTOR SHALL INCLUDE COST PER SQUARE YARD FOR ADDITIONAL SEED OPERATIONS AS MAY BE POSSIBLY REQUIRED TO REESTABLISH ADJACENT TURF GRASS AREAS WHICH MAY BECOME DAMAGED DURING THE CONSTRUCTION PROCESS OR TO REPAIR DAMAGE DONE BY OTHERS.
7. CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL MATERIALS, TOOLS, EQUIPMENT, LABOR, AND PLANTS NECESSARY FOR PROPER PLANTING AND INSTALLATION OF ALL LANDSCAPE MATERIAL.
8. QUANTITIES ON PLANT MATERIALS LIST ARE FOR CONVENIENCE OF BIDDING ONLY. CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON LANDSCAPE PLANS AND COVERAGE OF ALL AREAS DELINEATED. THE PLANS ARE TO SUPERSEDE THE PLANT LIST IN ALL CASES.
9. CONTRACTOR IS RESPONSIBLE FOR ALL ESTIMATING AND BIDDING, ALL AREAS, QUANTITIES MATERIALS SHOULD BE FIELD VERIFIED WITH SITE CONDITION.
10. WHERE DISCREPANCIES OCCUR BETWEEN THE LANDSCAPE PLANS AND/OR ARCHITECTURAL AND/OR THE CIVIL DRAWINGS (AND ANY OTHER SITE DRAWINGS) THE DISCREPANCIES MUST BE BROUGHT TO THE LANDSCAPE ARCHITECT'S ATTENTION FOR COORDINATION AND RESOLUTION.
11. ALL DISEASED, NOXIOUS OR INAPPROPRIATE MATERIALS SHALL BE REMOVED FROM THE PROPOSED SITE PRIOR TO THE START OF CONSTRUCTION AND DURING THE MAINTENANCE PERIOD.
12. GENERAL CONTRACTOR SHALL LEAVE THE SITE FREE OF CONSTRUCTION DEBRIS.
13. ALL LAWN AND PLANTING AREAS SHALL SLOPE TO DRAIN A MINIMUM OF 2% UNLESS NOTED OTHERWISE AND REVIEWED WITH OWNER'S REPRESENTATIVE FOR FINAL APPROVAL.
14. FINISH GRADES FOR SHRUB AND GROUND COVER AREAS SHALL BE HELD 1" BELOW TOP OF ADJACENT PAVEMENTS AND CURBS, UNLESS NOTED OTHERWISE ON THE PLANS. REFER TO LSP1.2 FOR FURTHER INFORMATION.
15. ALL PERENNIAL, ANNUAL AND GROUND COVER AREAS TO RECEIVE A BLEND OF ORGANIC SOIL AMENDMENTS PRIOR TO PLANTING. TILL THE FOLLOWING MATERIALS INTO EXISTING TOPSOIL TO A DEPTH OF APPROXIMATELY 8" - A DEPTH OF 12" IN TREE PITS. PROPORTIONS AND QUANTITIES MAY REQUIRE ADJUSTMENT DEPENDING ON THE CONDITION OF EXISTING SOIL. REFER TO LSP1.2 FOR FURTHER INFORMATION.
PER EVERY 100 SQUARE FEET ADD: ONE - 2 CUBIC FOOT BALE OF PEAT MOSS, 2 POUNDS OF 5-10-15 GARDEN FERTILIZER, 1/4 CUBIC YARD OF COMPOSTED MANURE OR OTHER COMPOSTED, ORGANIC MATERIAL.
16. ALL SHRUBS TO BE POCKET PLANTED WITH A 50/50 MIX OF COMPOSTED, ORGANIC MATERIAL AND EXISTING SOIL. INSTALL TOPSOIL INTO ALL BEDS AS NEEDED TO ACHIEVE PROPER GRADE. REMOVE ALL EXCESSIVE GRAVEL, CLAY AND STONES. REFER TO LSP1.2 FOR FURTHER INFORMATION.
17. PLANT ALL TREES SLIGHTLY HIGHER THAN FINISHED GRADE AT ROOT FLARE. BACK FILL HOLE WITH 2/3 EXISTING TOPSOIL AND ORGANIC SOIL AMENDMENTS SPECIFIED IN NOTE 15. AVOID ANY AIR POCKETS. DISCARD ANY GRAVEL CLAY OR STONES. REFER TO LSP1.2 FOR FURTHER INFORMATION.
18. ALL TREES TO BE INSTALLED, STAKED AND GUYED ACCORDING TO DETAILS. REFER TO ANSI STANDARDS FOR PLANTING 2012 AND DETAILS ON LSP1.2 FOR FURTHER INFORMATION.
19. PROVIDE A 4'-0" - 5'-0" DIAMETER MULCH RING AT THE ROOT BALL FLARE OF ALL LAWN TREES.
20. ALL PLANTINGS TO BE WATERED AT THE TIME OF PLANTING, THROUGHOUT CONSTRUCTION AND UPON COMPLETION OF PROJECT AS REQUIRED.
21. WHERE SPECIFIED, ALL PLANT BEDS, PITS AND TREE RINGS ARE TO RECEIVE A MINIMUM OF 2" - 3" DRESSING OF SHREDDED HARDWOOD OAK BARK MULCH SHAVINGS FREE OF GROWTH, WEEDS, FOREIGN MATTER DETRIMENTAL TO PLANT LIFE OR GERMINATION INHIBITING INGREDIENTS. LANDSCAPE CONTRACTOR TO PROVIDE A SAMPLE TO OWNER FOR APPROVAL. CONTRACTOR TO TAKE CARE WITH INSTALLATION NOT TO DAMAGE OR COVER PLANTS. REFER TO LSP1.2 FOR FURTHER INFORMATION.
22. LAWN INSTALLATION: CONTRACTOR TO FURNISH 3" MIN AND SEED BED (REMOVE ALL STONES 1" OR LARGER), APPLY STARTER FERTILIZER AND SEED UNIFORMLY. PROVIDE A MULCH COVERING SUITABLE TO GERMINATE AND ESTABLISH TURF. EROSION CONTROL MESH SHOULD BE USED IN SWALES AND STEEP GRASSES WHERE APPLICABLE. METHODS OF INSTALLATION MAY VARY AT THE DISCRETION OF CONTRACTOR. IT IS HIS/HER RESPONSIBILITY TO ESTABLISH AND GUARANTEE A SMOOTH, UNIFORM, QUALITY TURF. IF STRAW MULCH IS USED AS A COVERING, A TACKIFIER MAY BE NECESSARY TO AVOID WIND DAMAGE.
23. **DELUXE 50 GRASS SEED MIX REINDER'S (800) 785-3301**
20% KENTUCKY BLUE GRASS
15% NEWPORT KENTUCKY BLUE GRASS
15% SR 2100 Kentucky Bluegrass
25% Creeping Red Fescue
15% Replicator Perennial Ryegrass
10% Floe 4 Perennial Ryegrass
APPLY AT A RATE OF 200 POUNDS PER ACRE. REFER TO SUPPLIERS SPECIFICATIONS & INSTALLATION CUT SHEETS FOR FURTHER FORMATION
24. DURING THE INITIAL "90 DAY MAINTENANCE PERIOD" THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE AND ON-GOING PLEASANT VISUAL ENVIRONMENT WHEREAS ANY PLANT WHICH IS NOT RESPONDING TO TRANSPORTING OR THIVING SHALL IMMEDIATELY BE REPLACED. NEW LAWNS SHALL BE WATERED AND REPAIRED AND WEEDS MUST CONSTANTLY BE REMOVED. NO EXCEPTIONS WILL BE GRANTED.
MAINTENANCE NOTE:
MAINTENANCE IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN REQUIRED LANDSCAPING IN ACCORDANCE WITH THE MUNICIPALITY'S PROPERTY MAINTENANCE CODE AND AN APPROVED MAINTENANCE PLAN. THE MAINTENANCE MUST INCLUDE, AT A MINIMUM, METHODS FOR PROVIDING THE FOLLOWING:
• NECESSARY IRRIGATION (IF REQUIRED)
• INTEGRATED PEST MANAGEMENT,
• PROPER FERTILIZATION
• TREE CARE AND PRUNING, SHRUB TIP CLIPPING AND SHAPING AS REQUIRED
• REPLACEMENT OF LOST VEGETATION, AND ALL DISEASED, DAMAGED, OR DEAD MATERIAL WILL BE REPLACED BY THE END OF THE FOLLOWING PLANTING SEASON IN PERPETUITY.
• WEED MANAGEMENT AND BED CARE.
25. ALL NEWLY PLANTED TREES AND SHRUBS ARE TO RECEIVE AN APPLICATION OF AN ANTI-TRANSPIRANT SPRAY THAT WILL EFFECTIVELY REDUCE THE WATER LOSS OF TRANSPIRATION OF PLANT MATERIAL AND REDUCE THE STRESS OF TRANSPLANTATION. IT IS RECOMMENDED AS PART OF THE ONGOING MAINTENANCE THAT ANY BROADLEAF EVERGREEN AND CONIFEROUS TREE AND SHRUBS (EXCLUDING ARBORVITAE) RECEIVE AN APPLICATION OF AN ANTI-DESICCANT SPRAY TO REDUCE THE LOSS OF MOISTURE DUE TO WINTER DESICCATION. THE OWNER SHALL TEND AND MAINTAIN ALL PLANT MATERIAL IN A HEALTHY GROWING CONDITION AS PER THE APPROVED PLAN. PLANTINGS SHALL BE REPLACED WHEN NECESSARY AND KEPT FREE FROM REFUSE & DEBRIS. ALL PLANTING MATERIAL WHICH IS DYING OR DAMAGED BEYOND RECOVERY SHALL BE REPLACED WITHIN SIX (6) MONTHS OR BY THE NEXT PLANTING SEASON, WHICHEVER COMES FIRST.
27. LANDSCAPE / SITE DEMOLITION CONTRACTOR TO VERIFY LOCATIONS OF EXISTING TREES AND SHRUBS TO BE SALVAGED AND CLEARLY TAG THEM WITH MARKING TAPE AND CONSTRUCTION FENCE.

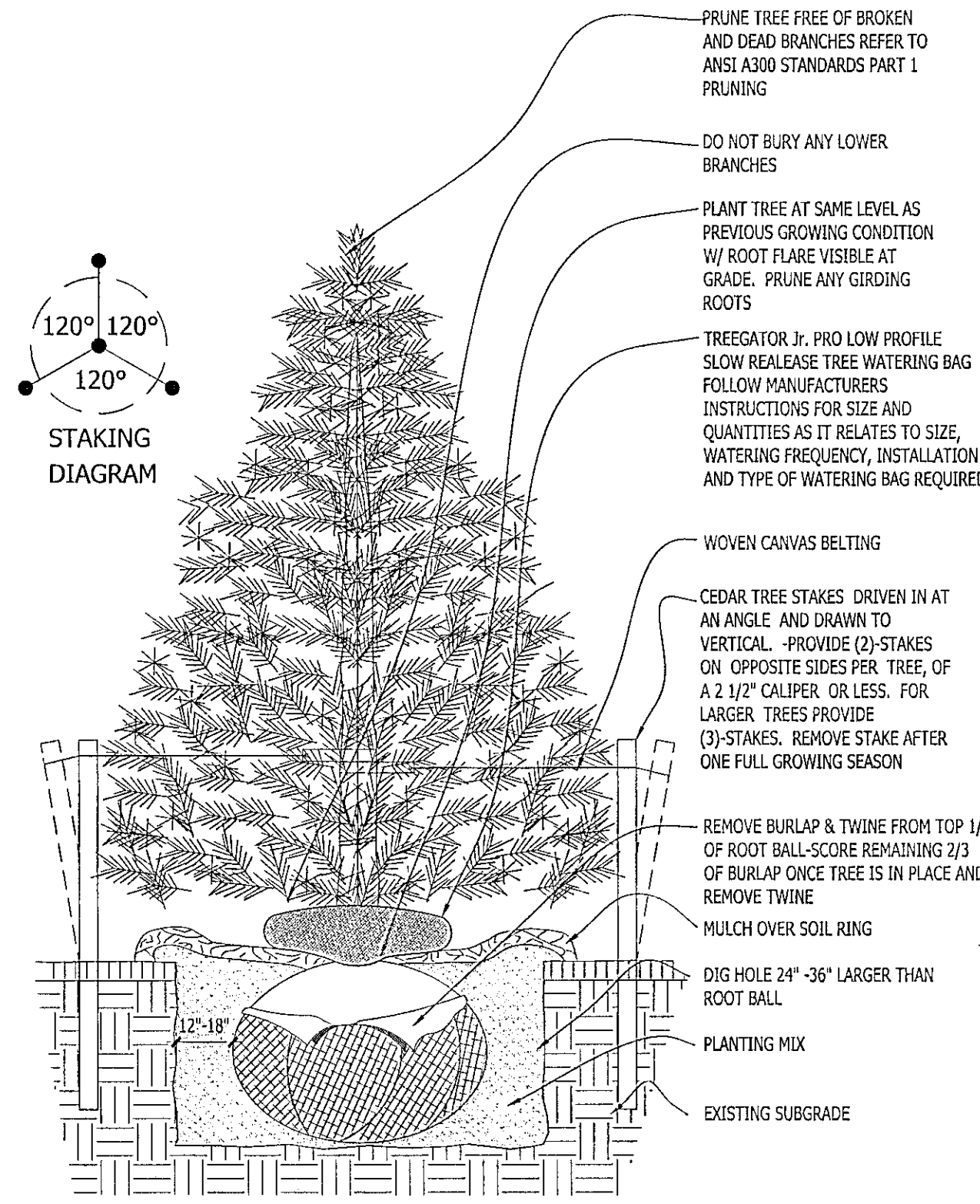




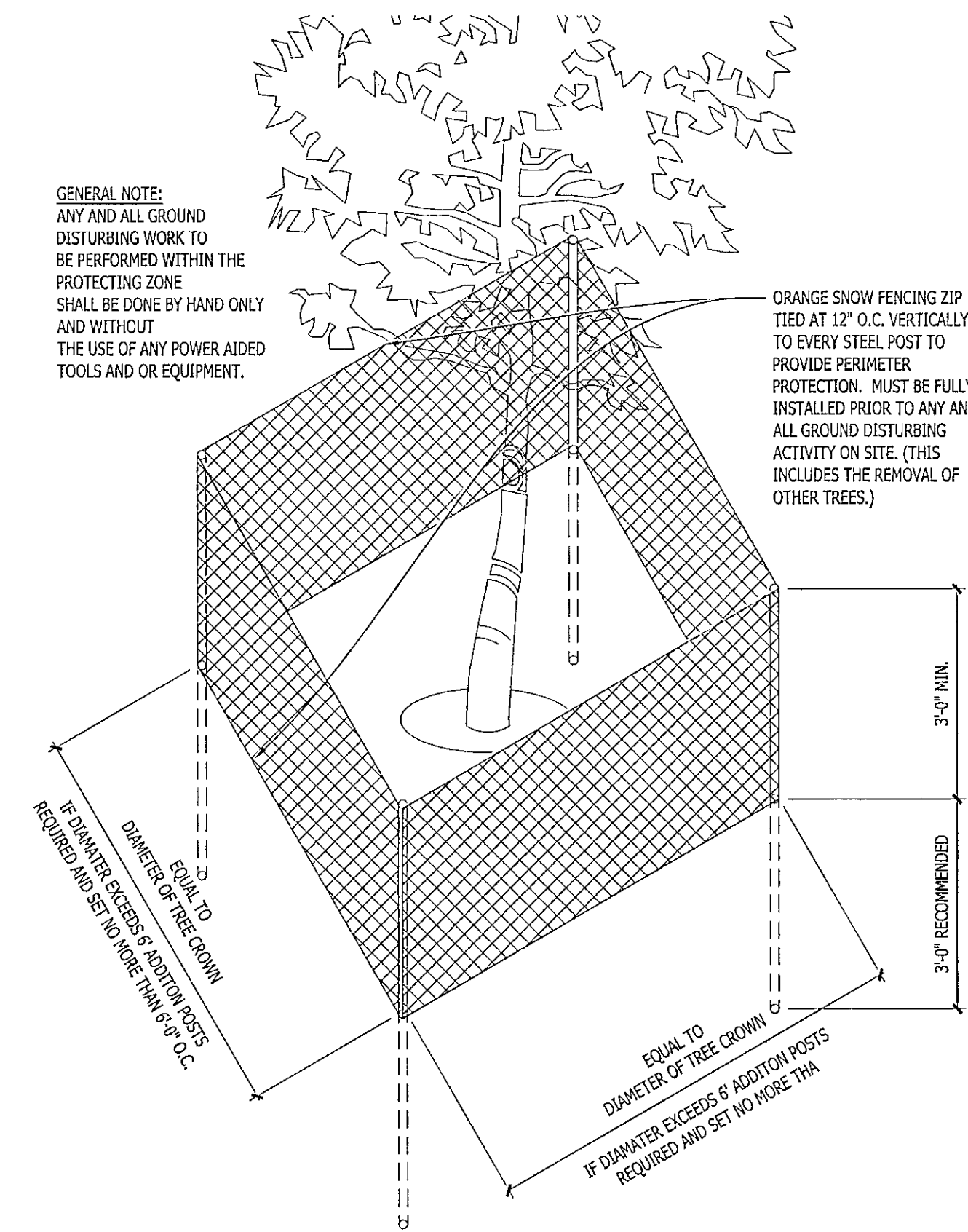
1 DECIDUOUS TREE PLANTING DETAIL SCALE: NONE



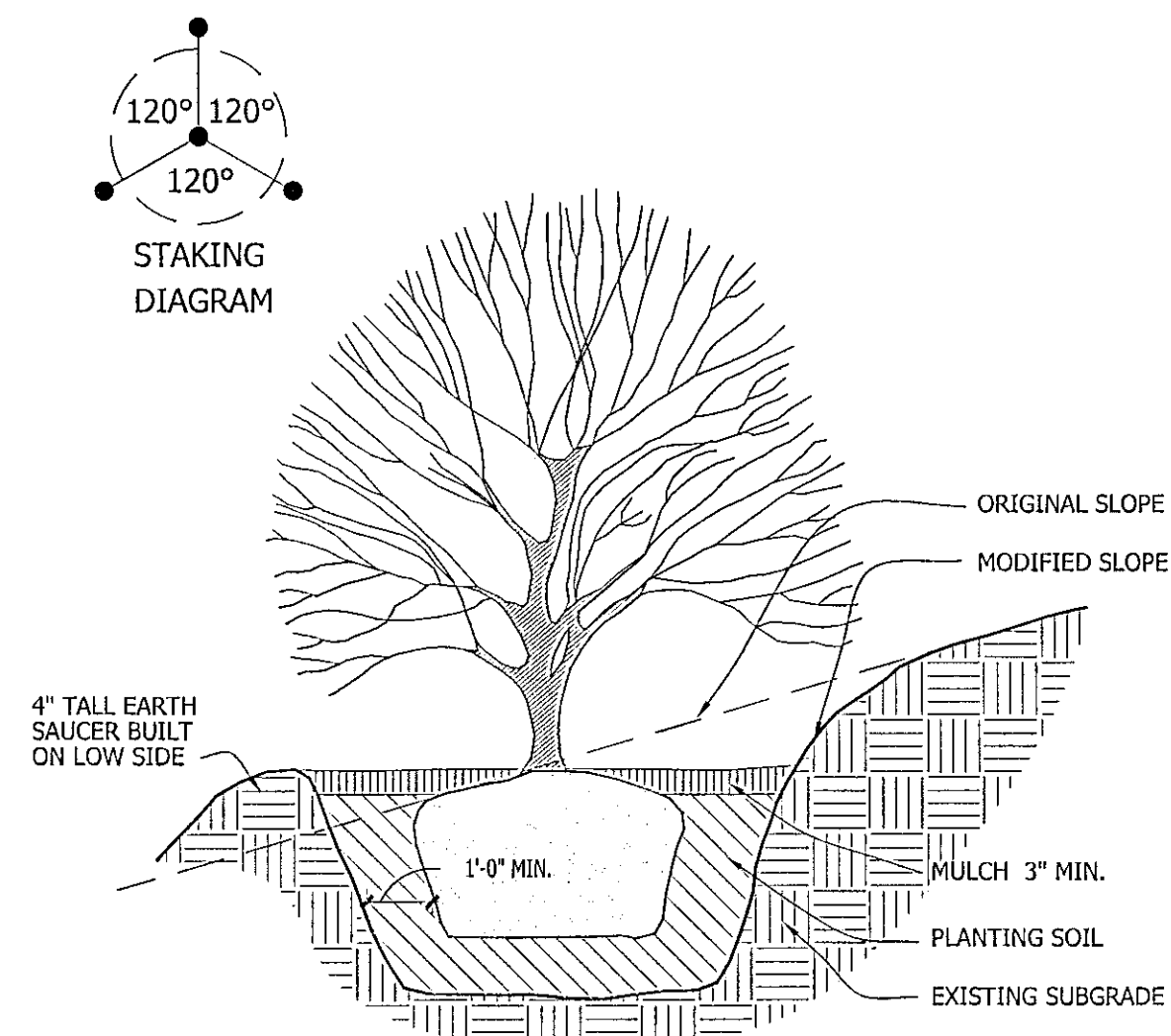
2 DECIDUOUS TREE STAKING PARKING ISLAND/RESTRICTED AREAS SCALE: NONE



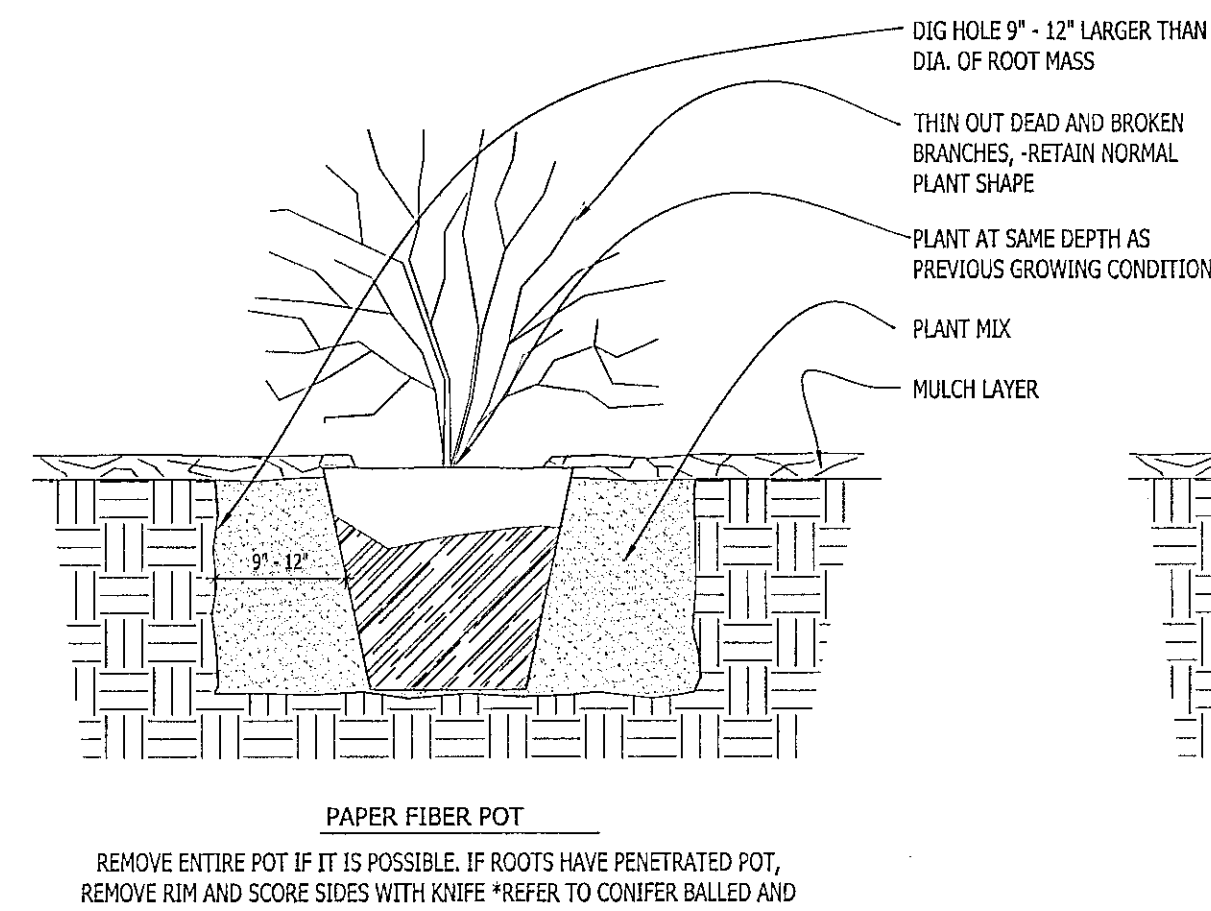
3 CONIFEROUS TREE PLANTING DETAIL SCALE: NONE



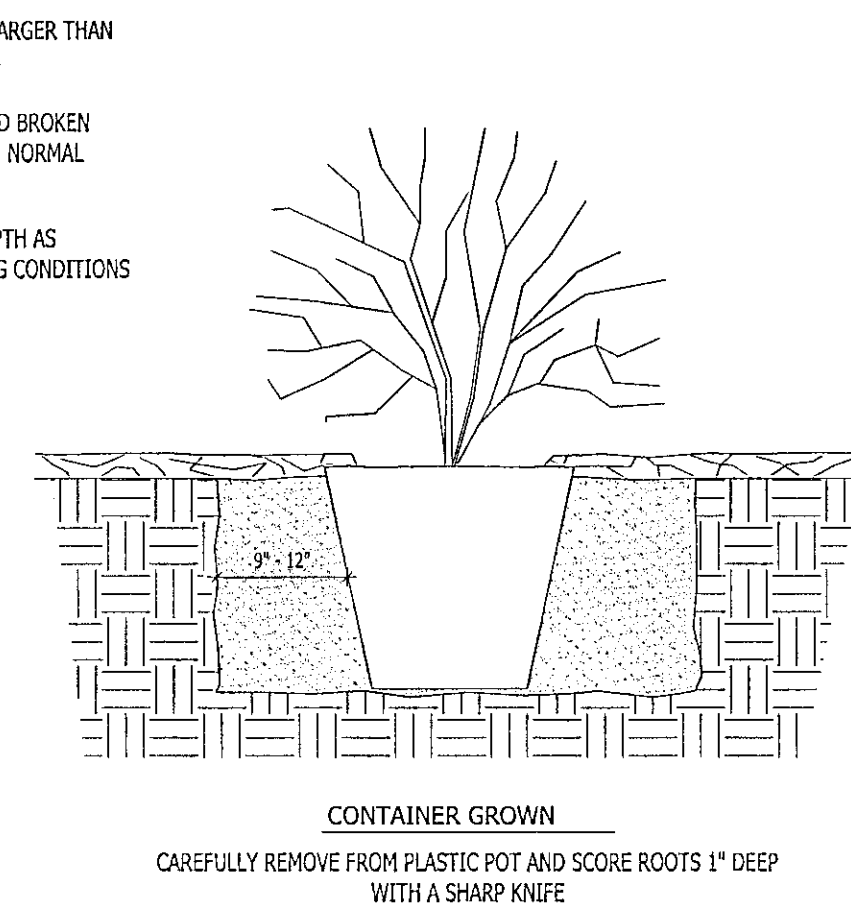
4 EXISTING TREE PROTECTION DETAIL SCALE: NONE



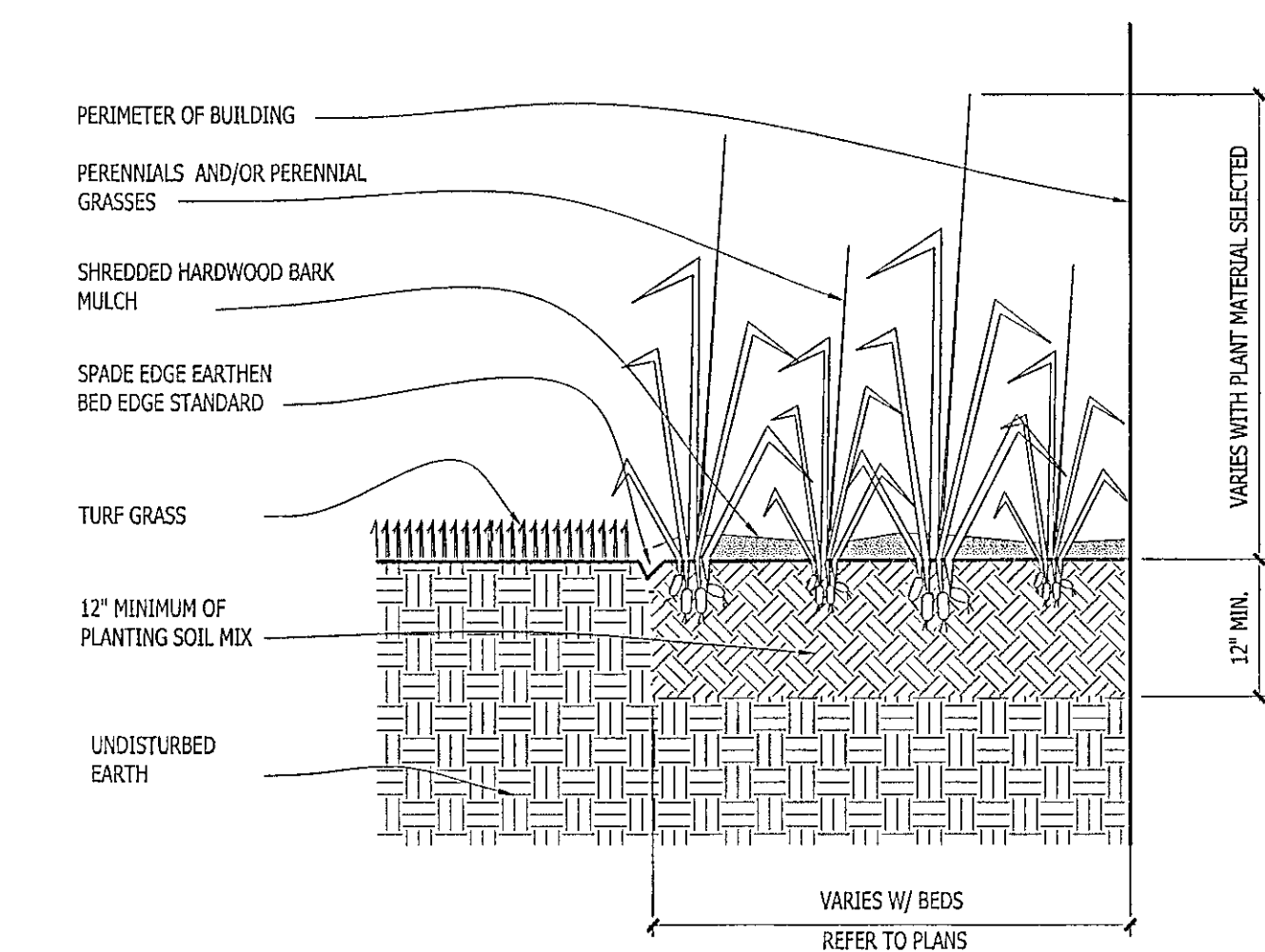
5 SLOPE PLANTING DETAIL SCALE: NONE



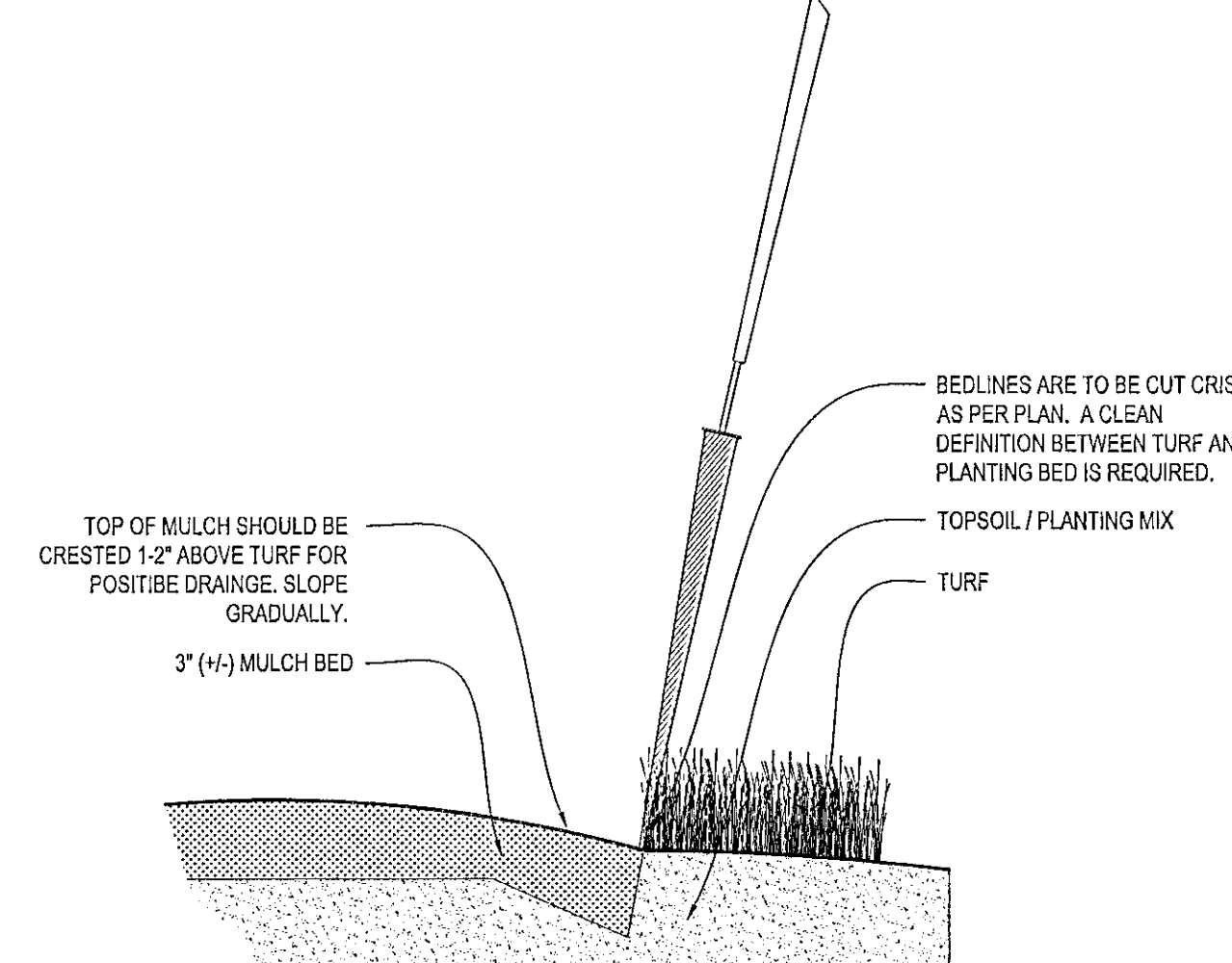
6 DECIDUOUS SHRUB PLANTING DETAIL SCALE: NONE



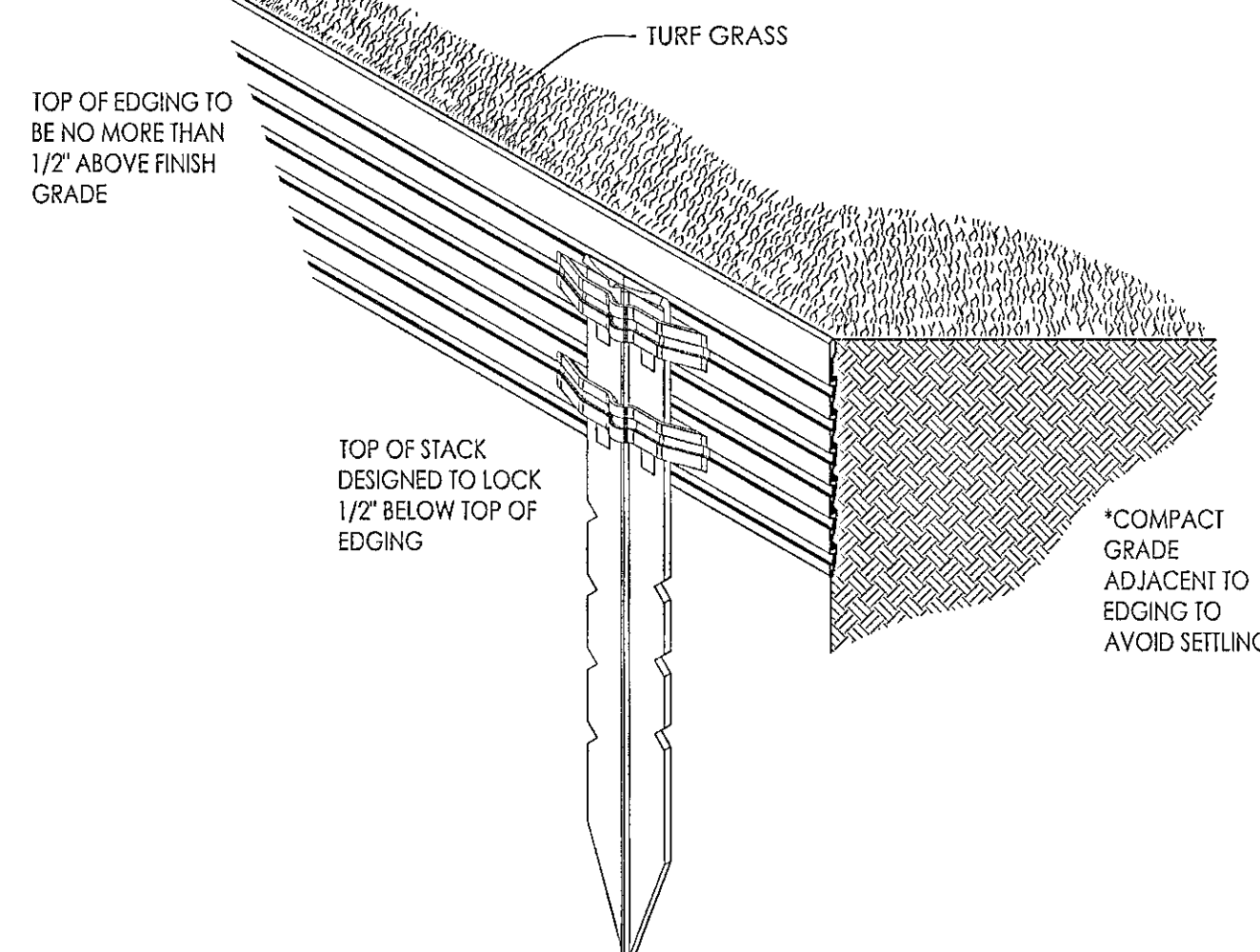
7 CONIFEROUS SHRUB PLANTING DETAIL SCALE: NONE



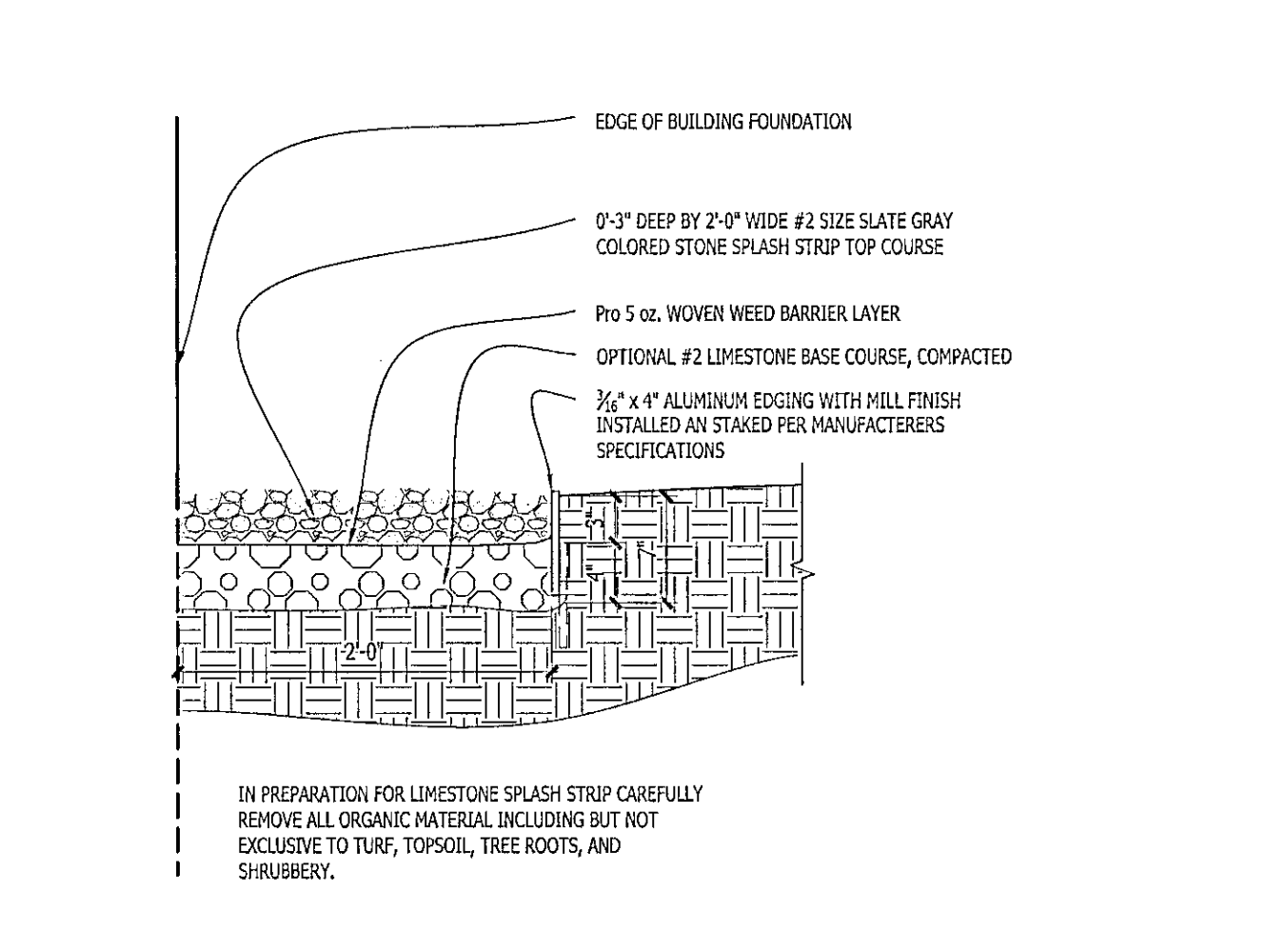
8 PERENNIAL BED PLANTING DETAIL SCALE: NONE



9 SPADE EDGE PLANT BED EDGE DETAIL SCALE: NONE



10 METAL LANDSCAPE EDGING DETAIL SCALE: 1/2\"/>



11 COMPACTED GRAVEL SPLASH STRIP SCALE: 1\"/>

Issuance and Revisions:

Date	Number	Description
05/26/23		Plan Commission Submittal
06/06/23		Revisions Based on Client Comments
08/25/23		Construction Document Submittal

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Sheet Title:

PROPOSED LANDSCAPE PLAN,
PLANTING DETAILS

Date of Drawing: 08/25/23

Scale: As Noted

Drawn By: MCD

Job Number: L23-035

Sheet Number:

LSP1.2

CONSTRUCTION SET USE NO OTHER- DO NOT SCALE THESE DRAWINGS-

L23-035 - CLIMATE CONTROLLED STORAGE - 08/25/2023



BUILDING A WEST ELEVATION RENDERING



BUILDING A EAST ELEVATION RENDERING



BUILDING B & C WEST ELEVATION RENDERING



BUILDING B & C SOUTHEAST ELEVATION RENDERING



NORTH ELEVATION DAY RENDERING



NORTH ELEVATION NIGHT RENDERING