

CASA NOBLE - INTERIOR ALTERATION & ADDITION

421 S GRAND AVENUE | WAUKESHA, WI 53186

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Project Info. —20029—
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 INTERIOR ALTERATION & ADDITION
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 Waukesha, WI 53186

Sheet Title
TITLE AND CODE SHEET

Revisions

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04-26-21		Plan Commission

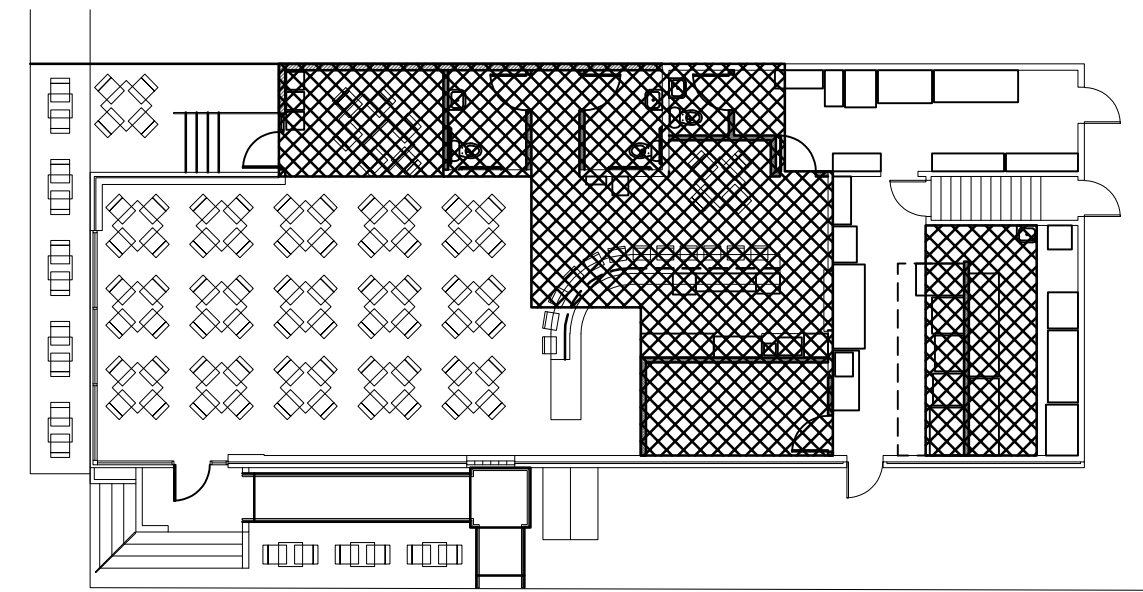
Sheet No.
T1.0

SHEET INDEX	
SHEET	DESCRIPTION
T1.0	TITLE AND CODE SHEET
ARCHITECTURAL	
SP1.0	PRELIMINARY SITE PLAN
D1.0	DEMOLITION PLANS
A1.0	FLOOR PLANS
A2.0	EXTERIOR ELEVATIONS
PLUMBING, MECHANICAL AND ELECTRICAL PLANS TO BE A DEFERRED REVIEW AND SUBMITTAL BY DESIGN-BUILD CONTRACTOR	
PROJECT NOTES	
ELECTRICAL NOTES: 1) ALL WORK TO BE BY DESIGN-BUILD ELECTRICAL CONTRACTOR.	
HVAC NOTES: 1) ALL WORK TO BE BY DESIGN-BUILD HVAC CONTRACTOR.	
PLUMBING NOTES: 1) ALL WORK TO BE BY DESIGN-BUILD PLUMBING CONTRACTOR.	

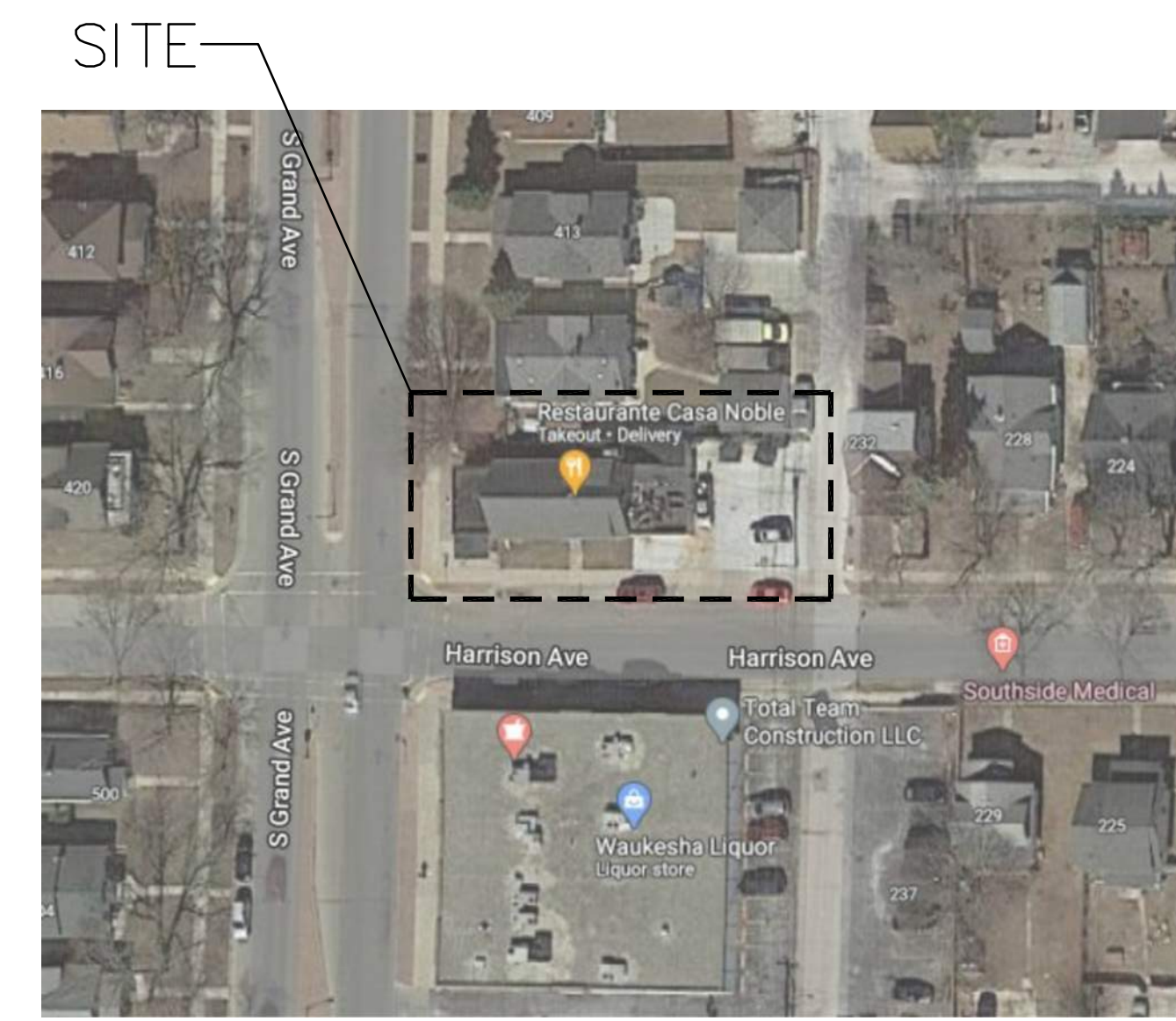
BUILDING CODE SUMMARY	
BASED ON THE	WISCONSIN COMMERCIAL BUILDING CODE (2015 INTERNATIONAL BUILDING CODE w/ W/AMENDMENTS) 2015 INTERNATIONAL EXISTING BUILDING CODE 2009 ANSI A117.1 ACCESSIBILITY CODE
AREA OF ALTERATION	TOTAL AREA OF ALTERATION: 1,046 SF
FIRE ALARM:	NONE
OCCUPANCY	A-2 ASSEMBLY
OCCUPANCY SEPARATION	NONE REQUIRED
CONSTRUCTION TYPE	—
SPRINKLER SYSTEM	NOT REQUIRED (LESS THAN 99 OCCUPANTS)
NUMBER OF STORIES	TWO FLOOR LEVELS
ALTERATION LEVEL	LEVEL 2
CODE EXCEPTION	NONE REQUESTED

GENERAL NOTES	
1.	CONSTRUCTION IS TO BE IN COMPLIANCE WITH ALL GOVERNING CODES, ORDINANCES & STANDARDS. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, & SUPERVISING ALL SAFETY PRECAUTIONS & PROGRAMS IN CONNECTION WITH THE PERFORMANCE OF THIS PROJECT.
2.	ARCHITECT/DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY COST, SCHEDULE OR CONSTRUCTION ISSUES ARISING DUE TO GC/OWNERS FAILURE TO DISTRIBUTE ALL DOCS, SUBCONTRACTORS & SUPPLIERS SHOULD ENDEAVOR TO REVIEW A COMPLETE SET OF DOCS BEFORE BIDDING, FABRICATING & INSTALL.
3.	GC, SUBCONTRACTORS, MATERIAL SUPPLIERS, OWNER, ETC. MUST NOTIFY ARCHITECT OF ANY ERRORS, OMISSIONS, OR DEFECTS IN THE CONSTRUCTION DOCUMENTS PRIOR TO BIDDING, FABRICATING OR INSTALLING WORK.
4.	SITE DIMENSIONS ARE TO BE FIELD VERIFIED AND ADJUSTED ACCORDINGLY. THE ARCHITECT/DESIGNER SHALL BE NOTIFIED OF ANY VARIANCES BEFORE CONTRACTOR BEGINS OR PROCEEDS WORK.
5.	MECH, ELEC, PLUMB & FIRE PROTECTION ARE TO BE DESIGN BUILT, COMPLYING WITH ALL GOVERNING CODES, ORDINANCES & STANDARDS, WHICH WILL BE THE FULL RESPONSIBILITY OF THE CONTRACTOR; THE ARCHITECT ASSUMES NO LIABILITY.
6.	ALL MECH, ELEC, PLUMB & FIRE PROTECTION SYSTEMS/EQUIP. SHALL BE MAINTAINED ACCORDING TO MANUFACTURER'S STANDARDS. BLDG. OWNER SHALL ASSUME FULL RESPONSIBILITY FOR MAINTANANCE/OPERATION UPON OCCUPANCY.
7.	THE INSTALLATION AND EXECUTION OF ALL MATERIALS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S STANDARDS AND SPECIFICATIONS. ALL MEANS & METHODS OF CONSTRUCTION TO BE THE SOLE RESPONSIBILITY OF THE GC.
8.	PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED IN OCCUPANCIES AND LOCATIONS AS REQUIRED BY THE INTERNATIONAL FIRE CODE. INSTALLATION LOCATIONS SHALL HAVE A MAXIMUM TRAVEL DISTANCE OF 75' TO ANY EXTINGUISHER. EXTINGUISHERS SHALL BE LOCATED IN CONSPICUOUS LOCATIONS WHERE THEY WILL BE READILY ACCESSIBLE AND IMMEDIATELY AVAILABLE FOR USE, TYPICALLY ALONG PATHS OF TRAVEL. EXTINGUISHERS SHALL NOT BE OBSTRUCTED FROM VIEW; IF VISUAL OBSTRUCTION CAN NOT BE AVOIDED ANOTHER MEANS SHALL BE PROVIDED TO INDICATE THE EXTINGUISHER LOCATIONS. EXTINGUISHERS NOT EXCEEDING 40" SHALL BE INSTALLED SO THAT ITS TOP IS NOT MORE THAN 5'-0" ABOVE THE FLOOR, EXTINGUISHERS EXCEEDING 40" SHALL BE INSTALLED SO THAT ITS TOP IS NOT MORE THAN 3'-6" ABOVE THE FLOOR. THE CLEARANCE BETWEEN THE FLOOR AND BOTTOM OF HAND HELD UNITS SHALL NOT BE LESS THAN 4". VERIFY EXTINGUISHER LOCATIONS W/ LOCAL FIRE DEPT. & OWNER PRIOR TO INSTALLATION.
9.	ALL CONCRETE FLAT WORK MUST BE WET CURED PER ACI REQUIREMENTS AND/OR CURED USING A CURING COMPOUND. REFER TO STRUCTURAL NOTES FOR CURING COMPOUND SPECS. CONTRACTOR IS RESPONSIBLE FOR APPLYING CURING COMPOUNDS PER THE MANUFACTURER'S REQUIREMENTS.

PROJECT CONTACT INFO	
OWNER: CASA NOBLE 421 S GRAND AVENUE WAUKESHA, WI 53186 P: 262-349-9250	ARCHITECT: THRIVE ARCHITECTS 259 SOUTH STREET, SUITE A WAUKESHA, WI 53186 P: 833-380-6180 ATTN: JEREMY BARTLETT, ARCHITECT OF RECORD
CONTRACTOR: TOTAL TEAM CONSTRUCTION 237 HARRISON AVENUE WAUKESHA, WI 53186 P: 262-548-8888 ATTN: WILLIAM FUCHS	



AREA OF WORK FIRST FLOOR KEY PLAN SCALE: N.T.S.



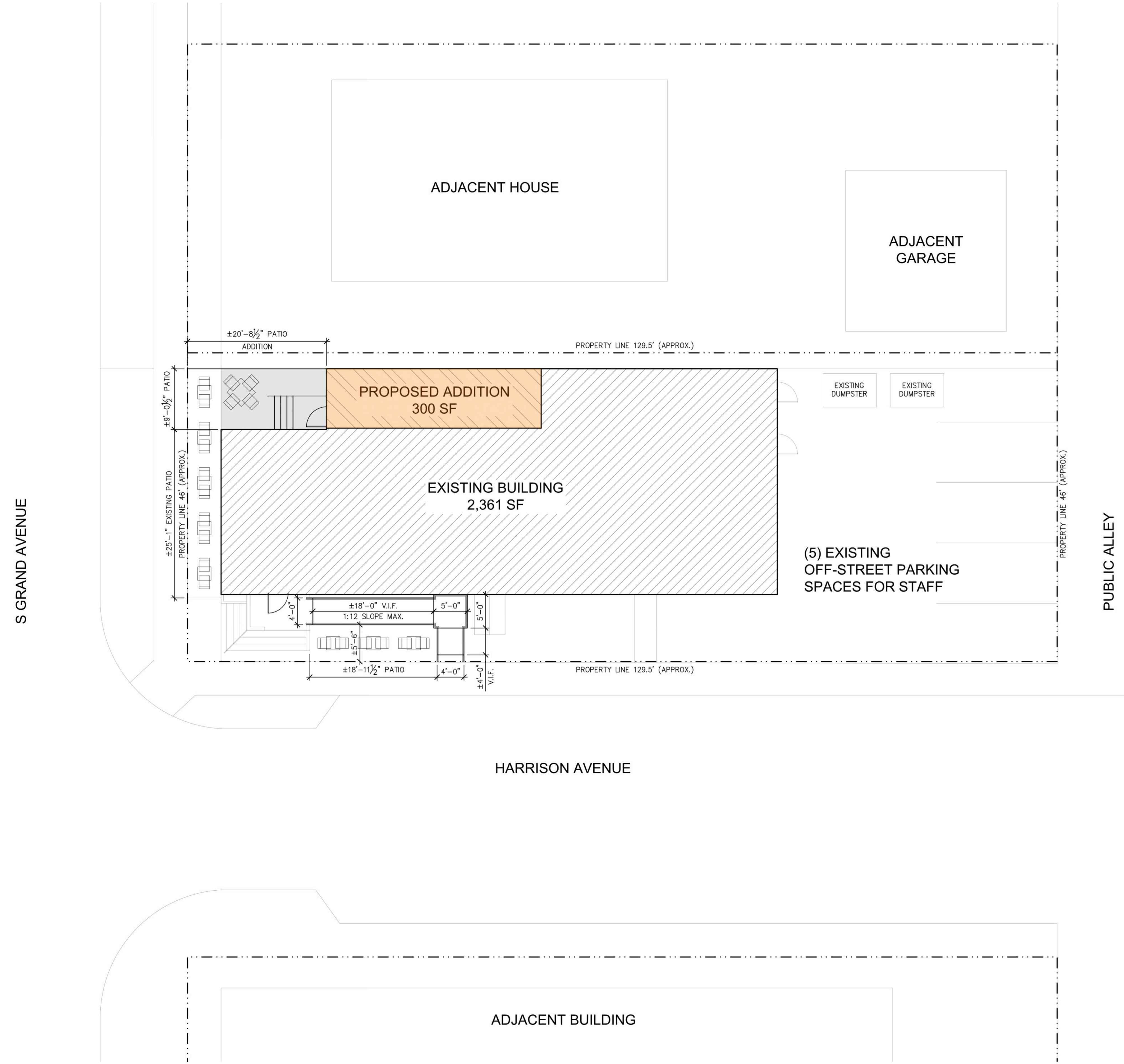
VICINITY MAP SCALE: N.T.S.

TYPICAL ABBREVIATIONS									
ABV: Above	B/O: By Others	DW: Dishwasher	FTC: Footing	LB: Pound	NO, #: Number	REFR: Ref	TEMP: Tempored	UL: Underwriters Laboratory	UNF: Unfinished
ACOUS: Acoustical	BR: Bottom Of	DNV: Division	FND: Foundation	LAM: Laminated(d)	O: Non-Operable Window	REG: Register	TK: Tight Knot	UNO: Unless Noted Otherwise	
ADDL: Additional	BR: Bedroom	DR: Door	FNM: Fram(d), (ing)	LAV: Lavatory	Section	RE: Reinforced	T&G: Tongue and Groove		
ADH: Adhesive		DH: Double Hung	FBO: Furnished by Others	LH: Left Hand	OC: On Center	REQD: Required	T/O: Top of		
ADJ: Adjustable	CAB: Cabinet	DS: Downspout	FUR: Furred	L: Length	OP: Operable	RA: Return Air	TOC: Top of Concrete		
AFF: Above Finish Floor	CALC: Calculation	DRWR: Drawer		LOA: Length Overall	OSB: Orientated Strand Board	R: Revision	TOW: Top of Wall		
AGG: Aggregate	CD: Cabinet Door	DT: Drain Tile		LT: Light	LVL: Laminated Veneer Lumber	R: Rise	TB: Towel Bar		
AHG: Authority Having Jurisdiction	CG: Corner Guard	DWG: Drawing		LF: Linear Feet		RD: Rod	T: Tread		
A/C: Air Conditioning (Concrete)	CIP: Cast-in-Place	D: Nail Size		LL: Live Load		R&S: Rod and Shelf	TS: Tubular Steel		
ALT: Alternate	CL: Centerline	EW: Each Way		LVL: Laminated Veneer Lumber		RFS: Roofing	Typ: Typical		
ALUM: Aluminum	CO: Clean Out	E: East		LVR: Louver		RM: Room			
ANC: Anchor, Anchorage	CONTR: Contract (or)	EL: Elevation		MFR: Manufacturer		RO: Rough Opening			
AB: Anchor Bolt	COORD: Coordinate	ELEV: Elevation		MO: Masonry Opening		SCH: Schedule			
ANOD: Anodized	CRPT: Carpet	EQ: Equipment		MAX: Maximum		SCN: Screen			
APK: Approximate	CIP: Cast-in-place	EXC: Excavate		MAS: Masonry		SECT: Section			
APT: Apartment	CLK: Caulking	EXH: Exhaust		MECH: Mechanic(o)		SGD: Sliding Glass Door			
ARCH: Architect (architectural)	CAS: Casement	EXT: Existing		MC: Medicine Cabinet		SHR: Sheathing			
ASPH: Asphalt	CB: Catch Basin	EXT: Exterior		MED: Medium		SH: Shelf, Shelving			
AUTO: Automatic	CT: Ceramic Tile	FOC: Face of Concrete		MDF: Medium Density Fiberboard		SM: Similar			
AVE: Avenue	CIR: Circle	HT: Height		MDO: Medium Density Overlay		SKL: Skylight			
AVR: Average	CLR: Clear	HC: Hollow Core		MBR: Member		S: South			
AWN: Awning	COL: Column	FOM: Face of Masonry		MNB: Membrane		SLB: Slab			
	CONC: Concrete	FOS: Face of Studs		MTL: Metal		SLD: Slider(ing)			
	CMU: Concrete Masonry Unit	FB: Face of Wall		MWK: Millwork		SPEC: Specification			
	CONSTR: CONSTRUCTION	FBD: Fiberboard		MIR: Mirror		SQ: Square			
	CONT: Continuous	FCB: Fiber Cement Board		MISC: Miscellaneous		STD: Standard			
	CJT: Control Joint	FGL: Fiberglass		MND: Module		STV: Stove			
	BLK: Block	FFE: Finished Floor Elevation		MLD: Moulding		STR: Structural			
	BLKG: Blocking	FA: Fire Alarm		MLB: Micro Laminated Beam		SA: Supply Air			
	BLW: Below	FE: Fire Extinguisher		NOM: Nominal		SC: Solid Core			
	BLVD: Boulevard	FPL: Fireplace		NIC: Not in Contract		SW: Shear Wall			
	BTW: Between	FLSH: Flashing		NTS: Not To Scale		SS: Stainless Steel			
	BD: Board	FLR: Floor				SYS: System			
	BOT: Bottom	FLR: Fluorescent							
	BLDG: Building	FT: Foot, Feet							
	BUR: Built Up Roofing								

NOT FOR CONSTRUCTION

Revisions

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S GRAND AVENUE

HARRISON AVENUE

PUBLIC ALLEY

ADJACENT HOUSE

ADJACENT GARAGE

EXISTING BUILDING
2,361 SF

PROPOSED ADDITION
300 SF

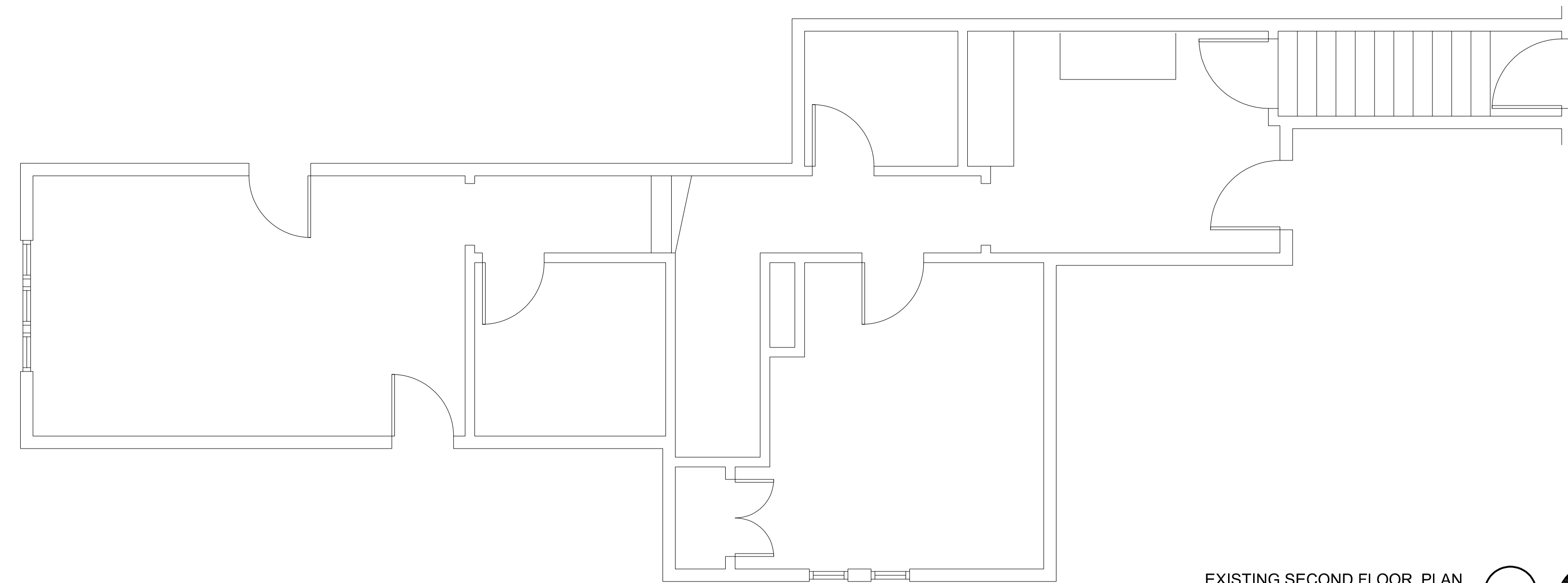
(5) EXISTING
OFF-STREET PARKING
SPACES FOR STAFF

NOT FOR CONSTRUCTION

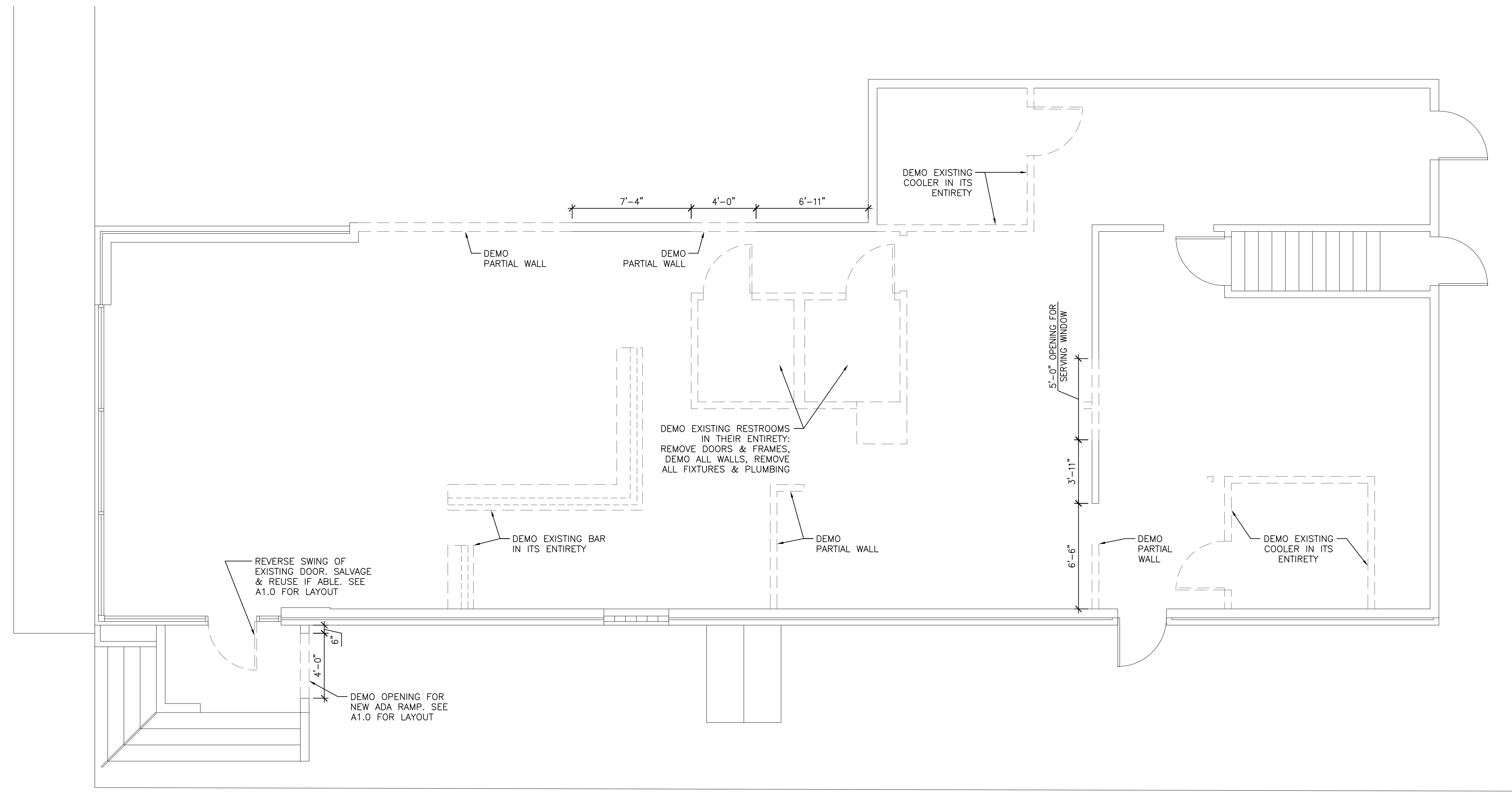
DEMOLITION PLANS

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EXISTING SECOND FLOOR PLAN 2
 SCALE: 1/4"=1'-0" (1/8" ON 11x17)



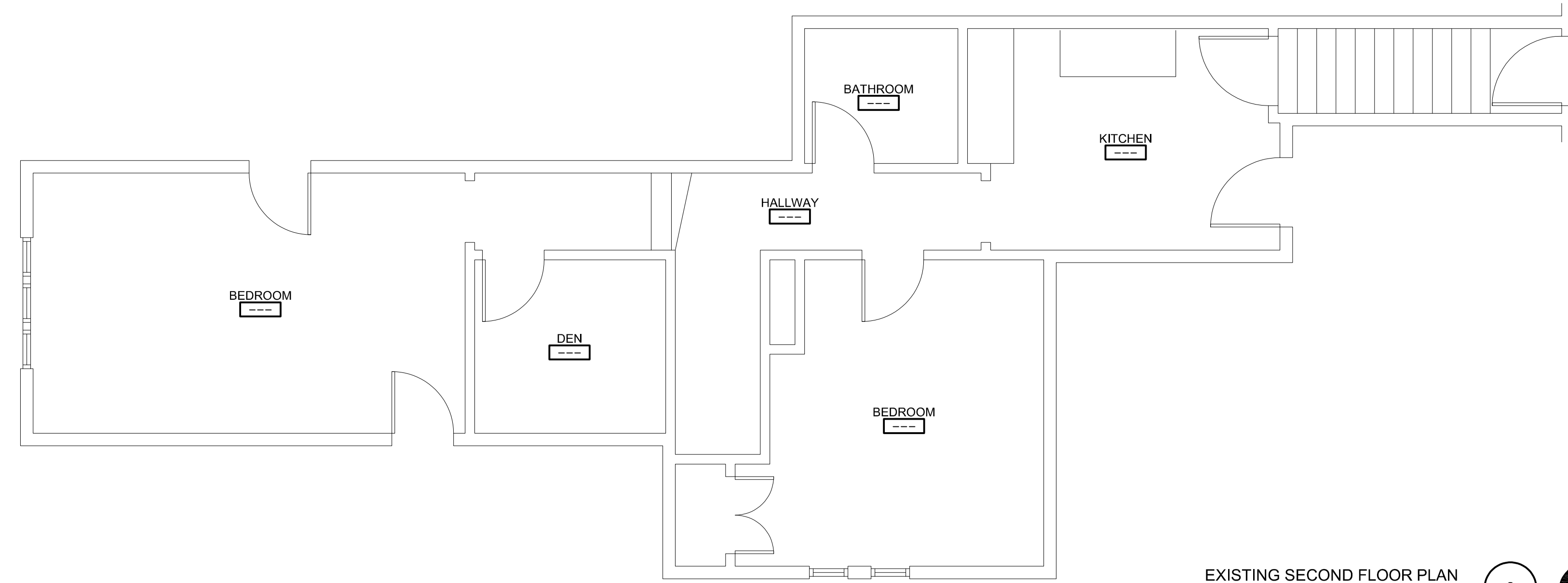
FIRST FLOOR DEMO PLAN 1
 SCALE: 1/4"=1'-0" (1/8" ON 11x17)

S GRAND AVENUE

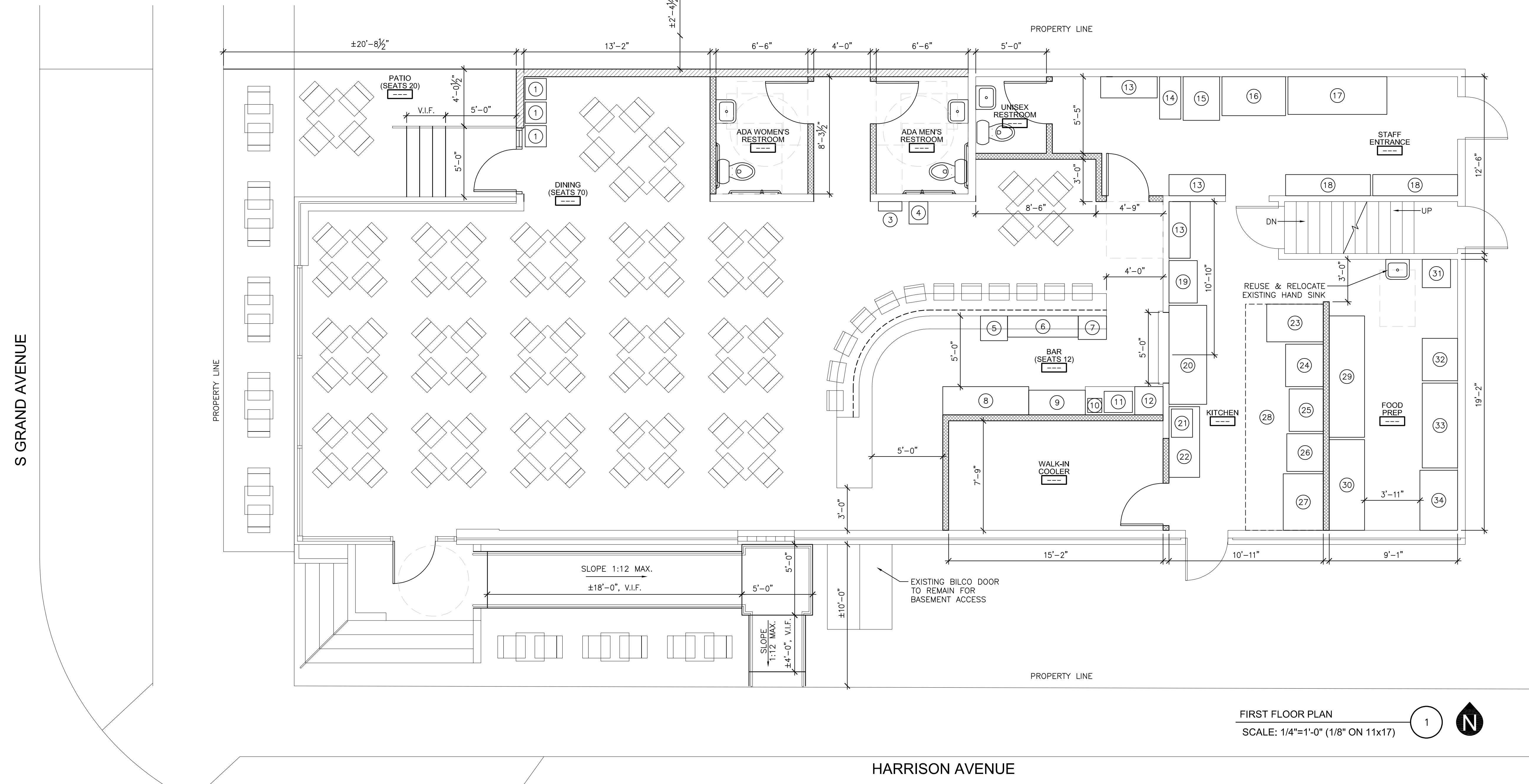
HARRISON AVENUE

NOT FOR CONSTRUCTION

- EQUIPMENT KEY
- 1 ARCADE MACHINE
 - 2 NOT USED
 - 3 JUKE BOX
 - 4 ATM MACHINE
 - 5 ICE BIN
 - 6 BAR SINK
 - 7 MINI FRIDGE
 - 8 BEVERAGE COOLER
 - 9 SALSA COOLER
 - 10 COFFEE MAKER
 - 11 MARGARITA MACHINE
 - 12 CHIP WARMER
 - 13 DISHWARE RACK
 - 14 SMALL WIRE RACK
 - 15 ICE MAKER
 - 16 FREEZER
 - 17 CHEST FREEZER
 - 18 LARGE WIRE RACK
 - 19 SMALL SERVING TABLE
 - 20 SERVING COUNTER
 - 21 MICROWAVE
 - 22 LARGE SERVING TABLE
 - 23 HOT-WELL TABLE
 - 24 GAS RANGE
 - 25 GRILL
 - 26 DEEP FRYER
 - 27 FLAT-TOP GRILL
 - 28 EXHAUST HOOD
 - 29 4-COMPARTMENT SINK
 - 30 DISHWASHER
 - 31 PREP SINK
 - 32 SMALL PREP TABLE
 - 33 LARGE PREP TABLE
 - 34 PREP COOLER



EXISTING SECOND FLOOR PLAN 2
 SCALE: 1/4"=1'-0" (1/8" ON 11x17)



FIRST FLOOR PLAN 1
 SCALE: 1/4"=1'-0" (1/8" ON 11x17)

Sheet Title
FLOOR PLANS

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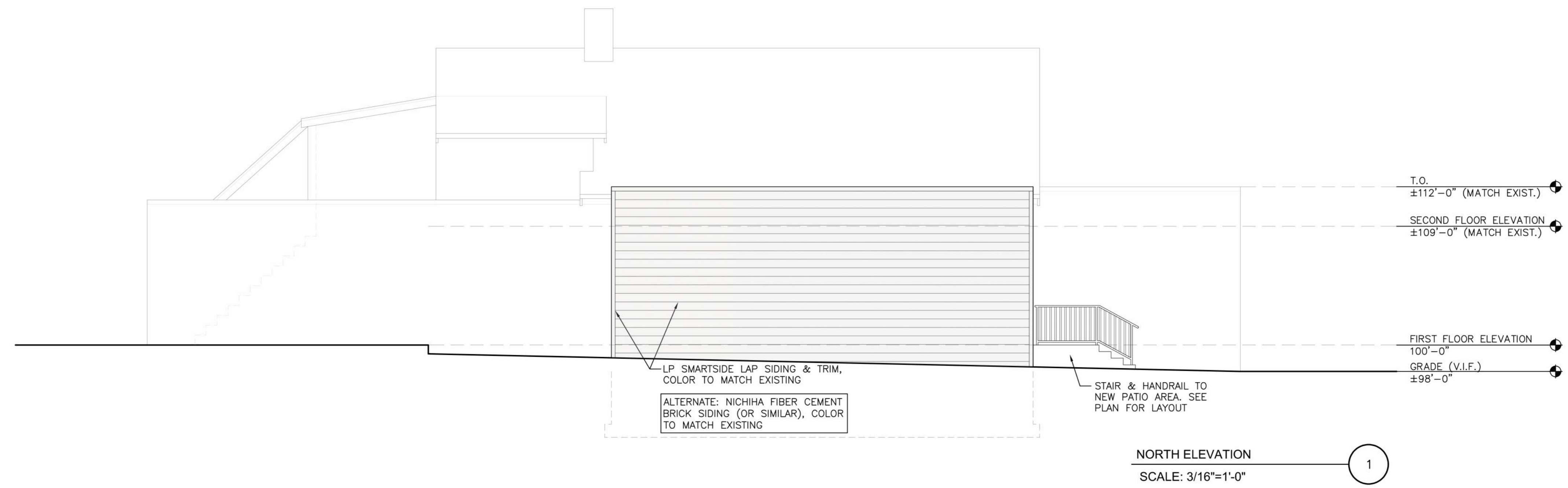
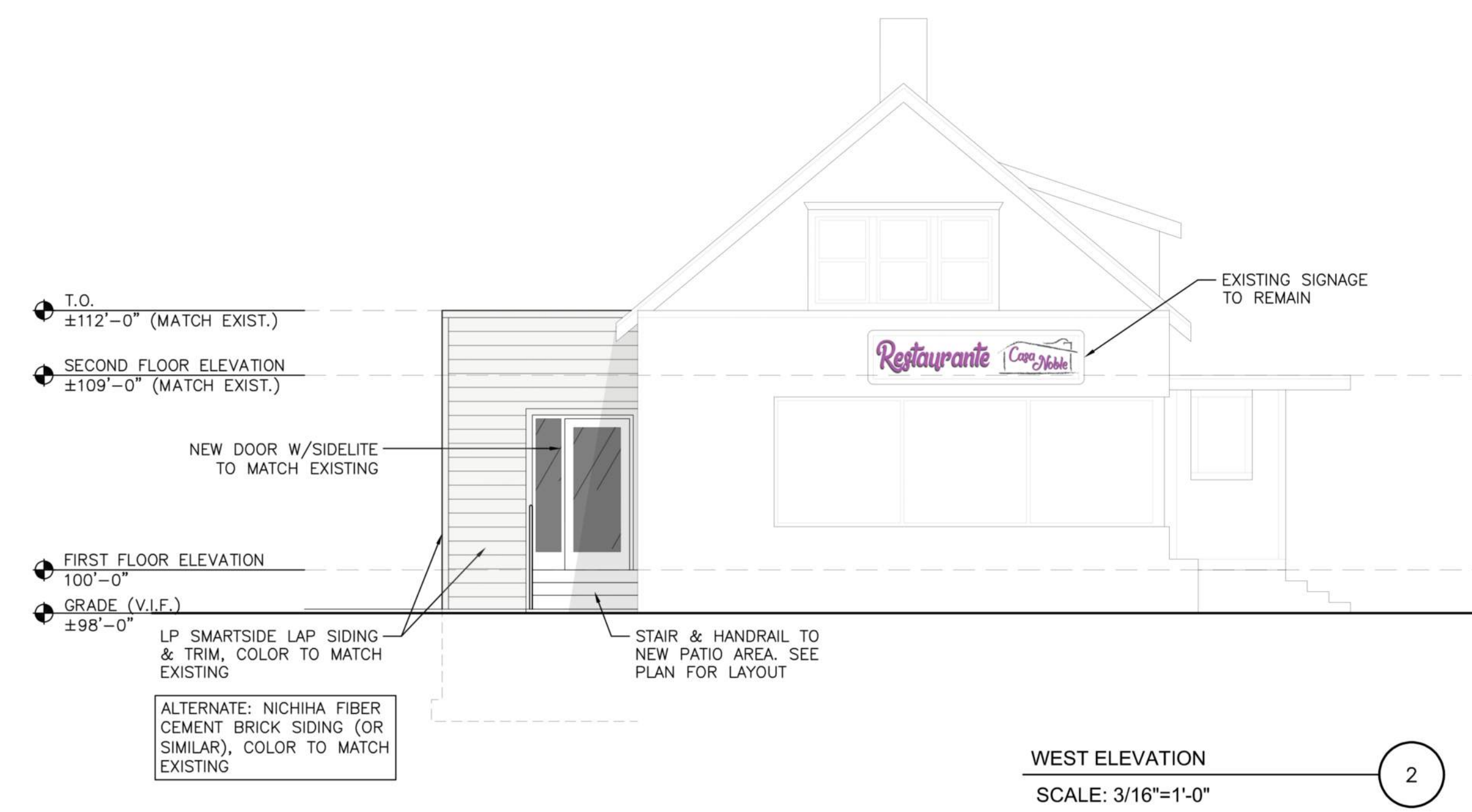
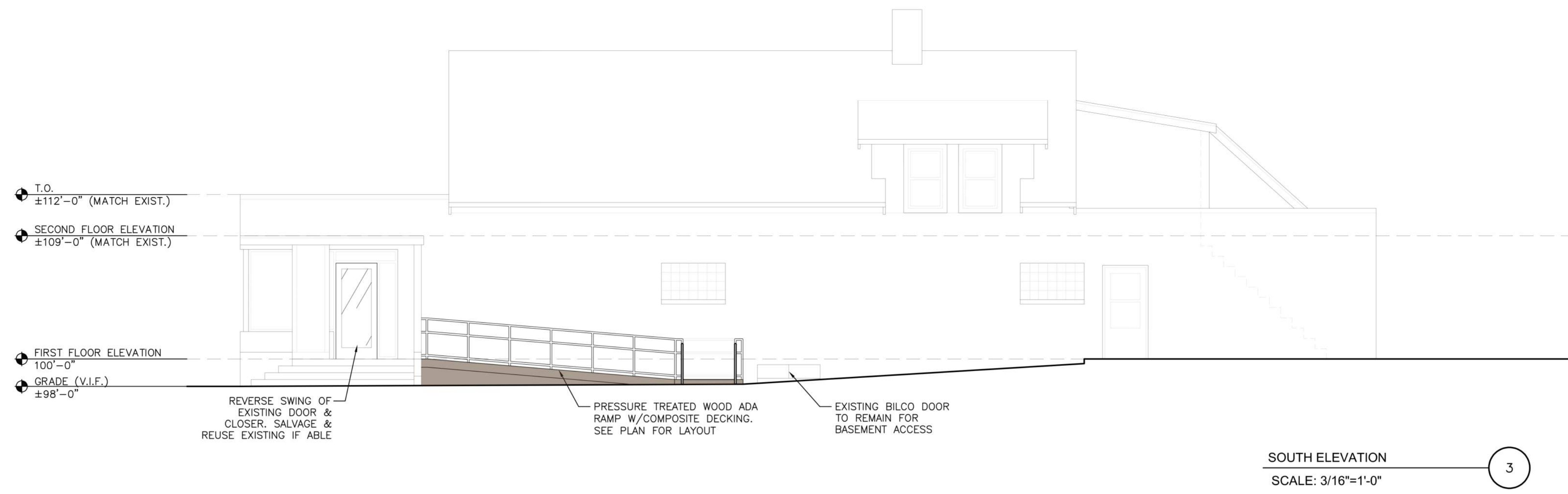
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S GRAND AVENUE

HARRISON AVENUE



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