

City of Waukesha

Application for Development Review

Last Revision
Date:
6/18/2018

City of Waukesha Community Development Department - 201 Delafield Street, Suite 200, Waukesha, WI 53188 262-524-3750
City of Waukesha Department of Public Works Engineering Division—130 Delafield Street, Waukesha, WI 53188 262-524-3600
www.waukesha-wi.gov

APPLICANT INFORMATION

Applicant Name: Kate Egan
Applicant Company Name: Bray Architects
Address: 829 S 1st Street
City, State: Milwaukee, WI Zip: 53228
Phone: 414-615-7679
E-Mail: kegan@brayarch.com

ARCHITECT/ENGINEER/SURVEYOR INFORMATION

Name: Kate Egan
Company Name: Bray Architects
Address: 829 S 1st Street
City, State: Milwaukee, WI Zip: 53228
Phone: 414-615-7679
E-Mail: kegan@brayarch.com

PROPERTY OWNER INFORMATION

Applicant Name: School District of Waukesha
Applicant Company Name: School District of Waukesha
Address: 222 Maple Ave
City, State: Waukesha, WI Zip: 53186
Phone: 414-615-7679
E-Mail: dclark@waukesha.k12.wi.us

PROJECT & PROPERTY INFORMATION

Project Name: Les Paul Middle School
Property Address 325 Carroll St, Waukesha, 53186
Tax Key Number(s): WAKC 1308.440; WAKC 1308.441; WAKC 1308.442
Zoning: Institutional - 1
Total Acreage: 4.875 Existing Building Square Footage 165,472
Proposed Building/Addition Square Footage: 12,955
Current Use of Property: Middle School

PROJECT SUMMARY (please provide a brief project description)

Demolition of existing cafeteria; Cafeteria Addition in existing footprint and main office addition to the north of existing passageway / vestibule.
Renovation of toilet rooms, locker rooms, existing kitchen and main office space.
Parking lot repaving and landscape improvements.

All submittals require a complete scaled set of digital plans (Adobe PDF) and shall include a project location map showing a 1/2 mile radius, a COLOR landscape plan, COLOR building elevation plans, and exterior lighting photometric maps and cut sheets. A pre-application meeting is required prior to submittal of any applications for Subdivisions, Planned Unit Developments, and Site and Architectural Plan Review. **The deadline for all applications requiring Plan Commission Reviews is at 4:00 P.M, 30 days prior to the meeting date. The Plan Commission meets the Second and Fourth Wednesday of each month.**

APPLICATION ACKNOWLEDGEMENT AND SIGNATURES

I hereby certify that I have reviewed the City of Waukesha Development Handbook, City Ordinances, Submittal Requirements and Checklists and have provided one PDF of all required information. Any missing or incomplete information may result in a delay of the review of your application. By signing this I also authorize The City of Waukesha or its agents to enter upon the property for the purpose of reviewing this application.

Applicant Signature Kate Egan
Applicant Name (Please Print) Kate Egan
Date: 11/08/19

For Internal Use Only:

Amount Due (total from page 2): _____ Amount Paid: _____ Check #: _____
Trakit ID(s) _____ Date Paid: _____

City of Waukesha Application for Development Review

TYPE OF APPLICATION & FEES (CHECK ALL THAT APPLY)

Fees

Please note that each application type has different submittal requirements. Detailed submittal checklists can be found in Appendix A of the Development Handbook.

- Plan Commission Consultation **\$200** _____
- Traffic Impact Analysis _____
 - Commercial, Industrial, Institutional, and Other Non-Residential **\$480**
 - Residential Subdivision or Multi-Family **\$480**
 - Resubmittal (3rd and all subsequent submittals) **\$480**
- Preliminary Site Plan Review _____
 - Level 1: Buildings/additions less than 10,000 sq.ft. or sites less than 1 acre **\$2,200**
 - Level 2: Buildings/additions between 10,001-50,000 sq.ft. or sites between 1.01 and 10 acres **\$2,320**
 - Level 3: Buildings/additions between 50,001-100,000 sq.ft. or sites between 10.01 and 25 acres **\$2,440**
 - Level 4: Buildings/additions over 100,001 sq.ft. or sites greater than 25.01 acres. **\$2,560**
 - Resubmittal Fees (after 2 permitted reviews) **\$750**
- Final Site Plan Review \$1,440
 - Level 1: Buildings/additions less than 10,000 sq.ft. or sites less than 1 acre **\$1,320**
 - Level 2: Buildings/additions between 10,001-50,000 sq.ft. or sites between 1.01 and 10 acres **\$1,440**
 - Level 3: Buildings/additions between 50,001-100,000 sq.ft. or sites between 10.01 and 25 acres **\$1,560**
 - Level 4: Buildings/additions over 100,001 sq.ft. or sites greater than 25.01 acres. **\$1,680**
 - Resubmittal Fees (3rd and all subsequent submittals) **\$750**
- Minor Site or Architectural Plans _____
 - Projects that do not require site development plans **\$330**
 - Resubmittal Fees (3rd and all subsequent submittals) **\$330**
- Certified Survey Map (CSM) _____
 - 1-3 Lots **\$500**
 - 4 lots or more **\$560**
 - Resubmittal (3rd and all subsequent submittals) **\$180**
 - Extra-territorial CSM **\$260**
- Preliminary Subdivision Plat _____
 - Up to 12 lots **\$1,270**
 - 13 to 32 lots **\$1,390**
 - 36 lots or more **\$1,510**
 - Resubmittal (3rd and all subsequent submittals) **\$630**
- Final Subdivision Plat _____
 - Up to 12 lots **\$660**
 - 13 to 32 lots **\$780**
 - 36 lots or more **\$900**
 - Resubmittal (3rd and all subsequent submittals) **\$480**
 - Extra-territorial Plat **\$540**
- Rezoning and/or Land Use Plan Amendment _____
 - Rezoning **\$630**
 - Land Use Plan Amendment: **\$630**
- Conditional Use Permit
 - Conditional Use Permit with no site plan changes **\$480**
 - Conditional Use Permit with site plan changes **\$480** plus applicable preliminary and final site plan fees above _____
- Planned Unit Development or Developer's Agreement (Site Plan Review is also required) _____
 - New Planned Unit Development or Developer's Agreement **\$1,760**
 - Planned Unit Development or Developer's Agreement Amendment **\$610**

TOTAL APPLICATION FEES:

\$1,440

City of Waukesha

Development Review Submittal Requirements

PLAN COMMISSION CONSULTATION SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

A Plan Commission Consultation may be submitted for review and comment for the owner/developer to ascertain the feasibility of a proposed project. A consultation is not required but may be submitted in advance of an actual submittal for a preliminary plat, CSM, Planned Unit Development, rezoning, conditional use or site plan. The Plan Commission will only provide feedback, no approvals will be given. Prior to applying for a Plan Commission Consultation you must discuss your project with the Planning Division to determine if a Plan Commission Consultation is recommended.

Review Time: Approximately 30 days

Reviewing Departments: Community Development Planning Division, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission (optional)

In addition to this application and corresponding application fee you will also need:

- One (1) digital (PDF) copy of the plans you want conceptual review of
- Attachment A: Development Review Checklist. You should also review all other corresponding checklists that relate to the project that you are seeking conceptual review of and include as much information as possible.
- Cover letter outlining project details.

TRAFFIC IMPACT ANALYSIS SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

A Traffic Impact Analysis is required for projects that meet certain criteria. Please refer to the Developer's Handbook Section 4.4 to determine if your project requires a Traffic Impact Analysis

Review Time: Approximately 30 days

Reviewing Departments: Public Works Engineering Division

Reviewing Boards: None, however the Plan Commission may require a copy as part of site plan review process.

In addition to this application and corresponding application fee you will also need:

- One (1) digital (PDF) copy of the Traffic Impact Analysis

PRELIMINARY SITE AND ARCHITECTURAL PLAN SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

Preliminary site and architectural plans are required for any new residential development with 4 or more units and all non-residential developments. Preliminary site plan approval is also required for additions or modifications to existing developments and projects where a stormwater management plan is needed. Preliminary approval is required unless it is determined by City staff in the Pre-Application meeting that the project only needs Final Site and Architectural Review.

Review Time: Approximately 30 days (45 if Common Council review is needed)

Reviewing Departments: Community Development Planning Division, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission. Common Council and Board of Public Works review may be required for certain projects.

In addition to this application and corresponding application fee you will also need:

- One (1) digital (PDF) that includes of items listed below
 - Cover letter outlining project details.
 - Color architectural elevations of all sides of the building and color perspective renderings
 - Conceptual Landscape Plan
 - Attachment A: Development Review Checklist
 - Site Plan (see Attachment B: Engineering Plan Checklist)
 - Grading Plan (see Attachment C: Site Grading and Drainage Plan Checklist)
 - Stormwater Management Plan (see Attachment D: Stormwater Management Plan Checklist)
 - Utility Plans (see Attachment H: Sewer Plan Review Checklist)
 - Any other attachments as applicable.

FINAL SITE AND ARCHITECTURAL PLAN SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

Final site and architectural plans are submitted only after the Plan Commission has approved Preliminary Site Plans for any new residential development with 4 or more units and all non-residential developments, including modifications to existing developments. Some projects may bypass Preliminary approval but only if it is determined by City staff in the Pre-Application meeting.

Review Time: Approximately 30 days (45 if Common Council review is needed)

Reviewing Departments: Community Development Planning Division, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission. Common Council and Board of Public Works review may be required for certain projects.

In addition to this application and corresponding application fee you will also need:

One (1) digital (PDF) that includes of items listed below

Cover letter outlining project details.

Color architectural elevations of all sides of the building and color perspective renderings

Landscape Plan (see Attachment I: Landscape Plan Checklist)

Attachment A: Development Review Checklist

Site Plan (see Attachment B: Engineering Plan Checklist)

Grading Plan (see Attachment C: Site Grading and Drainage Plan Checklist) * (Note: Checklist not needed per Dave Buechl)

Stormwater Management Plan (see Attachment D: Stormwater Management Plan Checklist)

Utility Plans (see Attachment H: Sewer Plan Review Checklist) * (Note: Checklist not needed per Dave Buechl)

MINOR SITE AND ARCHITECTURAL PLAN SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

Minor Site and Architectural review is intended for projects that may not need the extensive submittal requirements for Preliminary and Final Site Plan approval. Projects that qualify for Minor Site Plan submittal may include landscape, façade and building changes or minor site modifications that don't result in the addition of impervious surface.

Review Time: Approximately 30 days (45 if Common Council review is needed)

Reviewing Departments: Community Development Planning Division, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission. Common Council and Board of Public Works review may be required for certain projects.

In addition to this application and corresponding application fee you will also need:

One (1) digital (PDF) that includes of items listed below

Cover letter outlining project details.

Architectural elevations of all sides of the building being modified

In addition, depending on the type of project, you may also need the following items:

Site Plan (see Attachment B: Engineering Plan Checklist)

Landscape Plan (see Attachment I: Landscape Plan Checklist)

CERTIFIED SURVEY MAP SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

A Certified Survey Map may be used to divide up to eight (8) lots in Commercial, Industrial, and Mixed Use zoning districts and up to four (4) lots in all other zoning districts.

Review Time: Approximately 45-60 days. An extension letter will be required if the approval process will take more than 90 days.

Reviewing Departments: Community Development Planning Division, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission. Common Council and Board of Public Works review may be required for certain projects.

In addition to this application and corresponding application fee you will also need:

One (1) digital (PDF) that includes of items listed below

Attachment E: Certified Survey Map Checklist

Attachment A: Development Review Checklist and other attachments as applicable.

**Please note If any exterior architectural, landscape, or site plan changes are required you must also go through Site Plan Review and meet all of those submittal requirements.*

PRELIMINARY PLAT SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

A Preliminary Plat shall be used to subdivide land in the City. The applicant is responsible for submitting the Preliminary Plat to Waukesha County and the State of Wisconsin for review.

Review Time: Approximately 45-60 days. An extension letter will be required if the approval process will take more than 90 days.

Reviewing Departments: Community Development Planning Division, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission. Common Council and Board of Public Works review may be required for certain projects.

In addition to this application and corresponding application fee you will also need:

- One (1) digital (PDF) that includes of items listed below
 - Attachment F: Preliminary Plat Checklist
 - Cover letter outlining project details.
 - Attachment A: Development Review Checklist and other attachments as applicable
 - Stormwater Management Plan (see Attachment D: Stormwater Management Plan Checklist)

FINAL PLAT SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

A Final plat shall be used to subdivide land in the City. The applicant is responsible for submitting the Final Plat to Waukesha County and the State of Wisconsin for review.

Review Time: Approximately 45-60 days. An extension letter will be required if the approval process will take more than 90 days.

Reviewing Departments: Community Development Planning Division, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission. Common Council and Board of Public Works review may be required for certain projects.

In addition to this application and corresponding application fee you will also need:

- One (1) digital (PDF) that includes of items listed below
 - Attachment G: Final Plat Checklist
 - Cover letter outlining project details.
 - Attachment A: Development Review Checklist and other attachments as applicable.
 - Stormwater Management Plan (see Attachment D: Stormwater Management Plan Checklist)

REZONING & COMPREHENSIVE PLAN AMENDMENT SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

This review is for any requests to rezone land or amend the City's Comprehensive Master Plan. For rezonings all property owners within 300 feet of the property will be notified of your request.

Review Time: 45-60 Days

Reviewing Departments: Community Development Planning & Building Inspection Divisions, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission, Common Council

Additional Information: Rezoning must be done in accordance with the Comprehensive Plan. Please consult with Planning staff to determine if a Comprehensive Plan Amendment is also required prior to submitting a rezoning application.

In addition to this application and corresponding application fee you will also need:

- One (1) digital (PDF) that includes of items listed below
 - Cover letter outlining project details and rationale for rezoning
 - Rezoning Form including legal description and notarized owner(s) signatures (rezoning applications only)
 - Conceptual Plan (if applicable)

**Please note this application fee only covers the rezoning and/or Comprehensive Plan Amendment. If you are proposing site plan changes or are subdividing land you will also need to meet the applicable submittal requirements for those proposals.*

CONDITIONAL USE PERMIT SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

Any use listed as a Conditional Use in Chapter 22 (Zoning Code) requires a Public Hearing in front of the Plan Commission prior to building or occupancy permits being issued. All property owners within 300 feet of the property will be notified of your request.

Review Time: 30-45 days

Reviewing Departments: Community Development Planning & Building Inspection Divisions, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission

In addition to this application and corresponding application fee you will also need:

- One (1) digital (PDF) that includes of items listed below
 - Conditional Use Permit Application

**Please note If any exterior architectural, landscape, or site plan changes are required you must also go through Site Plan Review and meet all of those submittal requirements.*

PLANNED UNIT DEVELOPMENT OR DEVELOPER’S AGREEMENT SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

The PUD Overlay District is intended to permit development that will, over a period of time, be enhanced by coordinated area site planning, diversified location of structures, diversified building heights and types, and/or mixing of compatible uses. The PUD Overlay District under this Chapter will allow for flexibility of overall development design with benefits from such design flexibility intended to be derived by both the developer and the community, while at the same time maintaining insofar as possible the standards or use requirements set forth in the underlying basic zoning district.

Developer’s Agreements are used for any project that require public infrastructure improvements (sewer, storm sewer, sidewalks, etc) and other off-site improvements such as median openings, traffic signals, street widening, etc..

Review Time: 45-60 days

Reviewing Departments: Community Development Planning & Building Inspection Divisions, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission, Common Council. Some projects will also require Board of Public Works review.

In addition to this application and corresponding application fee you will also need:

- One (1) digital (PDF) that includes of items listed below
 - Cover letter/statement that outlining project details and all of the required information set forth in the Zoning Ordinance Section 22.52 (4)(a)
 - Rezoning Form including legal description and notarized owner(s) signatures (rezoning applications only)
 - General Development Plan
 - Proposed Supplemental Design Elements (required for all PUDs under the minimum required acreage)

**Please note in addition to the PUD submittal requirements your project will also need additional application fees and submittal materials based on the project type. This may include Preliminary and Final Plats, Preliminary and Final Site and Architectural Plans, Certified Survey Maps, Traffic Impact Analysis. Staff will inform you of any additional submittal requirements at the Pre-Application meeting, which is required prior to submitting your application.*

ANNEXATION SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

Requests for annexation as permitted under Section 66.0217 Wisconsin Statutes.

Review Time: 45-60 days

Reviewing Departments: Community Development Planning & Building Inspection Divisions, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission, Common Council

In addition to this application and corresponding application fee you will also need:

- One (1) digital (PDF) that includes of items listed below
 - Copy of your State of Wisconsin Request for Annexation Review Application
 - Signed City of Waukesha Direct Annexation Petition
 - Map of property of property to be annexed.
 - A boundary description (legal description of property to be annexed)
 - Any additional information on the annexation.



Wednesday | December 11th, 2019

Project: Les Paul Middle School – Central Campus
Site Address: 325 Carroll Street, Waukesha WI 53186

Bray Project Number: 3353

Owner: School District of Waukesha
222 Maple Ave, Waukesha WI 53186

Applicant / Architect: Bray Architects
829 S 1st Street, Milwaukee WI 53204

Application for Development Review – Les Paul Middle School – Central Campus

Project Description:

The architectural scope of this project demolishes the existing cafeteria building, built in 1964, and rebuilds a new cafeteria and kitchen at the existing footprint at Les Paul Middle School – Central Campus. The proposed plan locates the new cafeteria at the floor elevation as the current passageway, linking the Lincoln Building and Worthington Building. The addition extends to the west and wraps along the north elevation. This portion is the new main office / secure entrance, with offices and a conference room.

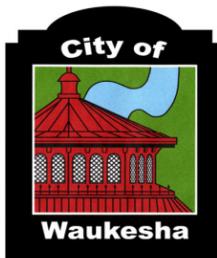
The site improvements combine the current two parking lots into one, in response to the new footprint of the building, the new door locations, and site traffic on the site. It also reduces one curb cut along Carroll Street.

Interior renovations include updating the toilet rooms and locker rooms to be ADA compliant, renovating the current main office and student services block of space, reconfiguring some space from the existing kitchen, and replacing some finishes.

Capital maintenance improvements include replacing some ceilings and light fixtures, upgrading HVAC systems and other plumbing and electrical upgrades.

www.brayarch.com

Davenport, IA 220 Emerson Place, Suite 301, Davenport, IA 52081 563.370.4879
Milwaukee, WI 829 S. 1st Street, Milwaukee, WI 53204 414.226.0200
Sheboygan, WI 1227A N. 8th Street, PO Box 955, Sheboygan, WI 920.459.4200



Attachment A - Application for Development Review Checklist

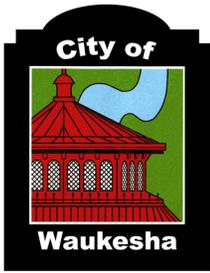
Project Name: Les Paul Middle School

Engineering Design Firm: Muermann Engineering - Electrical Engineers

Kapur Inc. - Civil Engineers

Checklist Items	CSM	Preliminary Plat	Final Plat	Property Survey for Bldg Permit	Storm Water Plan	Erosion Control Plan	Site, Grading, Drainage Plan	Street Plan	Utility Plan	Landscape Plan	Traffic Control Plan	Traffic Impact Analysis	Conditional Use or Home Indus.	PUD or Developer's Ag.	Minor site or Arch. Change	Conditional Use	Rezoning & Comp. Plan Change
Followed Construction Drawing Sheet Layout standards in Development Handbook						X	X	N/A	X	X							
Followed Development Handbook and Storm Water Ordinance standards for Erosion control plans						X											
Obtained geotechnical evaluation for storm water and pavement design					N/A		X	N/A	X								
Followed Development Handbook standards, and Wisconsin Administrative Code for Property Survey				X													
Verified proposed basement floor elevation is at least 1 foot above the highest seasonal high water table elevation				X													
Followed Development Handbook standards and Ordinance for Preliminary Plat		N/A															
Followed Site, Grading, and Drainage Plan design standards in Development Handbook and Storm Water Ordinance							X						N/A		N/A	N/A	N/A
Followed Traffic impact analysis standards in Development Handbook												N/A					
Specifications conform to current City Standard Specifications					N/A	X	X	N/A	X	X	N/A			N/A			
Followed Lighting Plan standards in Development Handbook									X								
Development site contains Contaminated Waste							NO										
Followed storm water management requirements in Development Handbook, and Ordinance					N/A												
Site contains mapped FEMA floodplain or a local 100-year storm event high water limits							NO										
Site contains wetlands or Natural Resource limits (ie. Primary, Secondary, Isolated , shoreland limits)							NO										
CSM follows standards in Development Handbook, City Ordinance, and State Statutes	N/A																
Followed Development Handbook standards for Street plans and profiles								N/A									
Followed Development Handbook standards for utility plans and profiles									X								
Existing sanitary sewer lateral has been televised							N/A		N/A				N/A		N/A	N/A	N/A

Checklist Items	CSM	Preliminary Plat	Final Plat	Property Survey for Bldg Permit	Storm Water Plan	Erosion Control Plan	Site, Grading, Drainage Plan	Street Plan	Utility Plan	Landscape Plan	Traffic Control Plan	Traffic Impact Analysis	Conditional Use or Home Indus.	PUD or Developer's Ag.	Minor site or Arch. Change	Conditional Use	Rezoning & Comp. Plan Change
Development Agreement needed for Public Infrastructure														N/A			
Followed Development Handbook standards for Landscape plans										X							
Followed Development Handbook standards, State Statutes and Ordinance for Final Plat			N/A														
A-E 2.02(4): Each sheet of plans, drawings, documents, specifications and reports for architectural, landscape architectural, professional engineering, design or land surveying practice should be signed, sealed, and dated by the	N/A	N/A	N/A	X	X	X	X	N/A	X	X		N/A	N/A	N/A	N/A	N/A	N/A
32.10(e)(12.)H. A cover sheet stamped and signed by a professional engineer registered in the State of Wisconsin indicating that all plans and supporting documentation have been reviewed and approved by the engineer and certifying that they have read					X												
City, DNR, County or State Permits are needed					N/A		X	N/A	X		N/A						
Complete and submit Plan Sheet and Submittal Specific checklists in Development Handbook	N/A	N/A	N/A	N/A	X	X	N/A	N/A	N/A	X		N/A					
Proposed easements needed are shown.	N/A		N/A		N/A		N/A	N/A	N/A								
All Existing easements are shown	N/A	N/A	N/A	X	X	X	X	N/A	X	X			N/A	N/A	N/A	N/A	N/A



City of Waukesha
 Department of Public Works
 130 Delafield Street
 Waukesha, WI 53188
 Waukesha-wi.gov

Engineering Plan Checklist

Attachment B
 (Rev 12/18)

Project Name: Les Paul Middle School

Engineering & Design Firm: Kapur Inc. - Civil Engineers

Muermann Engineering - Electrical Engineers

General Information

Plans shall include the seal and signature of the Wisconsin licensed professional engineer responsible for the preparation of the construction plans on the cover sheet or on each sheet

YES	NO	N/A	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide a copy of the WisDOT permit for any work in the State of Wisconsin right of way.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide a copy of the Waukesha County Department of Public Works permit for any work in right of way of Waukesha County.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide a copy of Wisconsin Department of Natural Resources Water Resources Application for Project Permits (WRAPP) for all sites greater than one acre.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide a copy of US Army Corps of Engineers 404 permit.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide cross access agreements for use of entrances.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide off-site utility easements.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide hydraulic gradeline calculations for all storm sewer pipes signed and sealed by a professional engineer licensed in the State of Wisconsin.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Provide a storm water management plan and calculations signed and sealed by a professional engineer licensed in the State of Wisconsin.

All Plan Sheets

YES	NO	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Plans prepared on sheets measuring 11" high by 17" wide or no larger than 24" high by 36" wide.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Sanitary Sewer, watermain and storm sewer system plans for the entire development are included.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A profile view is located below a plan view on plan and profile sheets and both views are aligned by stationing whenever possible. In general, stationing is from left to right.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Plan and profile sheets start and terminate at match lines.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	The assumed bearing base, control monuments and stationing reference line(s)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Right-of-way limits and easement limits
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Edge of pavement or flange, face and back of curb
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Name of each existing, proposed, and future roadway and any intersecting roadways
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Lot lines, lot and block numbers
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Addresses and names of Owners for existing parcels

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	All obstructions located within the project limits including, but not limited to: trees, signs, utilities, fences, light poles, structures, etc.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A note warning that underground utilities must be located by "Diggers Hotline" prior to start of construction
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Legend (relevant to each sheet) showing all special symbols, line types and hatch used
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Title block includes at a minimum, the following information: Name and address of engineering (design) firm and owner/developer Date of the drawing and last revision Scale Plan sheet number (# of #) Name and location description of development
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	North to the top or right of the sheet and shown by a north arrow, clearly shown without intrusion.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Scale of the plans 1" = 40' horizontally and 1" = 8' vertically for 11" by 17" plan sheets and 1" = 20' horizontally and 1" = 4' vertically for 22" by 34" sheets. Partial site plans have a scale of 1" = 20' or larger. The scale of details is such that the detail is clearly shown. The scale is shown with a line scale and text.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Existing surface objects indicated with screened lines and clearly labeled.

Cover Sheet

YES	NO	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Project title.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location Map (Proximity to two main streets minimum).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Index of all plan sheets
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	For large or phased subdivisions, a key map of layout and phases.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A minimum of two (2) current SEWRPC reference benchmarks. Survey documentation of tie to Wisconsin State Plane Coordinate System, South Zone (horizontal) and City of Waukesha datum (vertical) provided. Elevations shown based on City of Waukesha datum.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	All permanent or temporary benchmarks and elevations.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A description of the locations of the benchmarks; and the basis or origin of the vertical control network.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Date of plan preparation and applicable revision date(s)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	The following statement: " <i>All site improvements and construction shown on the plans shall conform to the City of Waukesha <u>Development Handbook & Infrastructure Specifications</u>. Where the plans do not comply, it shall be the sole responsibility and expense of the Developer to make revisions to the plans and/or constructed infrastructure to comply.</i> "

Roadway

YES	NO	N/A	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	For all new streets, a site specific geotechnical evaluation and pavement design submitted with the plans.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A separate detail sheet showing typical cross-sections for each roadway standard width and cul-de-sac if applicable.

Plan View

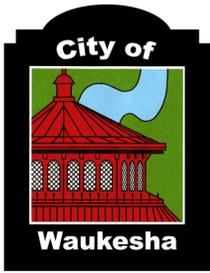
YES	NO	N/A	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	The assumed bearing base, control monuments and stationing reference line along the centerline of the roadway, including cul-de-sacs.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	At least one clearly labeled benchmark or control point per sheet.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Pavement and median dimensions.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Final grade elevations at 25' intervals at the right-of-way including at the edge of pavement for rural sections or at the flange of curb for urban sections.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Final grade elevations for cul-de-sacs at 25' intervals at the right-of-way including at the edge of pavement for rural sections or at the flange of curb for urban sections.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Label all PVC's, PVT's, and PC's, PT's for vertical and horizontal curves. Radii of all intersections (edge of pavement or flange of curb, with note indicating which is referenced).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Driveways for all lots adjacent to storm inlets and intersections.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Sidewalks labeled and dimensioned.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Existing, proposed, future streets and drives labeled and dimensioned.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	All roadside ditch locations, flowline elevations at 50' intervals of the ditches.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Slope intercepts.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Invert profile for 200' downstream for any existing ditches receiving flow from a proposed road or street.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Limits of any areas which need special stabilization techniques.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Specific details of all existing connected roadways. Pavement, shoulders, ditches, curb alignment, and grades shall be shown as needed to adequately make the transition.

Intersection Details

YES	NO	N/A	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Radii of all intersections (edge of pavement or flange of curb, with note indicating which is referenced).
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Sidewalks and accessible ramps labeled and dimensioned.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Right of way corner clips and sight visibility easements.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Spot grades as necessary to ensure proper drainage and compliant ADA slopes.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Spot grades shall be shown at end of radius for all curb and gutter and the end radius for all back of sidewalk.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Drainage clarified by flow arrows, high points, sags, ridges, etc. Slope intercepts shall be clearly labeled by station, elevation to the nearest 0.1', and offset distance (left or right) from the reference line.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Invert elevation of ditches (for rural roadway).
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Final subgrade elevation at the centerline of the street or roadway.

Cross Sections

YES	NO	N/A	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Right of way limits.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Slope intercepts clearly labeled.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Elevations to the nearest 0.01'.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Offset distance (left or right) from the reference line.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Final grade elevations at back of walk, face of walk, top of curb, flange elevation (edge of pavement for rural section), and the centerline of the street or roadway.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Cross slope of sidewalk, terrace area, and roadway.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Invert elevation of ditches (for rural section)



City of Waukesha
 Department of Public Works
 130 Delafield Street
 Waukesha, WI 53188
 Waukesha-wi.gov

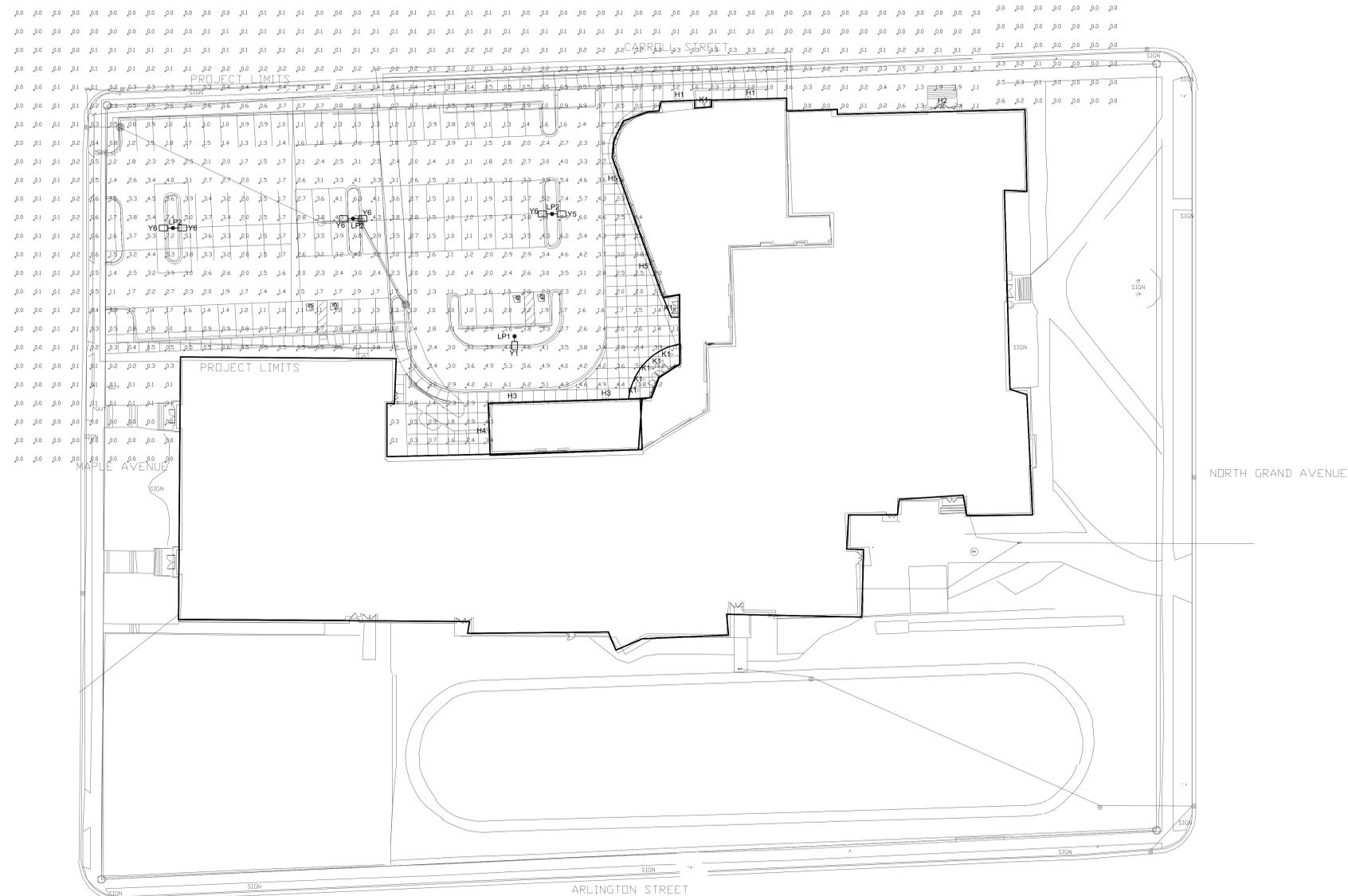
Landscape Plan Checklist

Attachment I
 (Rev 12/18)

Project Name: Les Paul Middle School

Engineering & Design Firm: Kapur Inc. - Civil Engineers

<input checked="" type="checkbox"/> Contact Community Development Department for Requirements			
Listed below are general design considerations only:			
YES	NO	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Show easements
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location and footprint of any and all buildings
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Dimensions of development site along property line
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Existing and proposed streets
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Pedestrian and vehicular access points
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location and dimensions of parking lots, etc.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location and dimensions of all existing or planned easements
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location and dimensions of snow removal and storage areas
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location and dimensions of outdoor lighting fixtures
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Interior parkway provided
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Parkway provided
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Buffer strip provided
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Dumpster enclosure details
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Parking lot landscaping
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Utility/mechanical equipment screened
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Service area screened
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location of freestanding signs
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Walls and fences shown
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location of utilities
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Existing and proposed contours and grades, including berm elevations
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location, name and size of proposed plant materials
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Specifications of all types of all proposed ground cover, i.e., seed, sod, etc.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location, species, and size of existing trees
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Clear identification of trees to be removed
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Square footage of parking lot area
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Tree protection plan

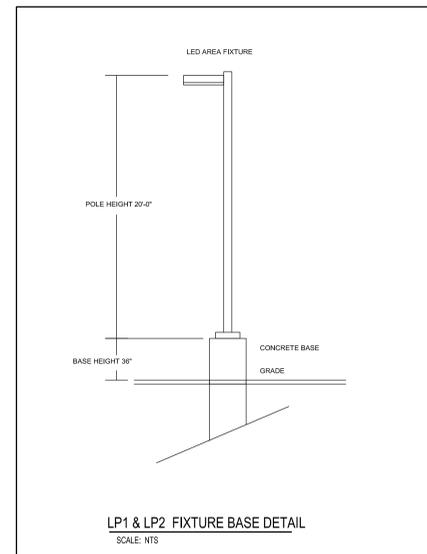


SITE PLAN - PHOTOMETRIC
 Scale: 1" = 30'-0"
 PLAN NORTH

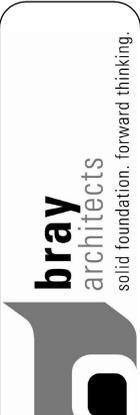
LES PAUL MIDDLE SCHOOL SITE FIXTURE SCHEDULE							
TYPE	DESCRIPTION	LAMP TYPE	VOLT	WATTS	MANUFACTURER	CATALOG NUMBER	NOTE
H1	SIZE 1 LED WALL PACK - FULL CUTOFF - TYPE 2 SHORT - 1530 LUMENS	5000K LED	120-277	13	LITHONIA	DSXW1LED-10C-350-50K-T2S-MVOLT	1
H2	SIZE 1 LED WALL PACK - FULL CUTOFF - TYPE 3 MEDIUM - 2774 LUMENS	5000K LED	120-277	26	LITHONIA	DSXW1LED-10C-700-50K-T3M-MVOLT	1
H3	SIZE 1 LED WALL PACK - FULL CUTOFF - TYPE 3 MEDIUM - 5487 LUMENS	5000K LED	120-277	46	LITHONIA	DSXW1LED-20C-700-50K-T3M-MVOLT	1
H4	SIZE 1 LED WALL PACK - FULL CUTOFF - TYPE 4 MEDIUM - 5376 LUMENS	5000K LED	120-277	46	LITHONIA	DSXW1LED-20C-700-50K-T4M-MVOLT	1
H5	SIZE 2 LED WALL PACK - FULL CUTOFF - TYPE 3 MEDIUM - 6507 LUMENS	5000K LED	120-277	54	LITHONIA	DSXW2LED-30C-630-50K-T3M-MVOLT	1
K1	6" LED RECESSED DOWNLIGHT - 1000 LUMENS	5000K LED	120-277	10.4	LITHONIA	LDN6-60/10-LO6-AR-LSS-MVOLT	1
Y1	LED AREA FIXTURE - TYPE 2 MEDIUM - 14,716 LUMENS	5000K LED	120-277	125	LITHONIA	DSX1LED-P4-50K-T2M-MVOLT-SPA	1
Y5	LED AREA FIXTURE - TYPE 2 SHORT - 14,641 LUMENS	5000K LED	120-277	125	LITHONIA	DSX1LED-P4-50K-T2S-MVOLT-SPA	1
Y6	LED AREA FIXTURE - TYPE 3 SHORT - 14,252 LUMENS	5000K LED	120-277	125	LITHONIA	DSX1LED-P4-50K-T3S-MVOLT-SPA	1
LP1	20'-0" STRAIGHT SQUARE STEEL 6" POLE - SINGLE	-	-	-	LITHONIA	SSS-20-5C-DM19AS-IC	1
LP2	20'-0" STRAIGHT SQUARE STEEL 6" POLE - 2 @ 180°	-	-	-	LITHONIA	SSS-20-5C-DM28AS-IC	1

GENERAL NOTES:
 1. SEE SPECIFICATIONS FOR FIXTURE REQUIREMENTS.
 2. NO ALTERNATE FIXTURES.
 3. ALL INTERIOR LED FIXTURES TO HAVE A MINIMUM CRI OF 80+. ALL EXTERIOR LED FIXTURES TO HAVE A MINIMUM CRI OF 70+.
 4. MOUNT FIXTURES AT HEIGHT INDICATED ON DRAWINGS UNLESS NOTED OTHERWISE.

PLAN NOTES:
 1. ARCHITECT TO SELECT STANDARD COLOR AND FINISH.



GENERAL NOTES:
 1. SITE LIGHTING CALCULATED AT GRADE.



Office Locations:
Milwaukee
 829 S. 1st Street
 Milwaukee, Wisconsin 53204
 T: 414.226.0200
Sheboygan
 1227A North 8th Street
 PO Box 955
 Sheboygan, Wisconsin
 53082
 T: 920.459.4200
 www.brayarch.com



Project Title:
**ADDITION AND REMODELING TO:
 LES PAUL MIDDLE SCHOOL
 WAUKESHA SCHOOL DISTRICT
 325 CARROLL STREET, WAUKESHA, WI 53186**

REVISIONS:

DATE	DESCRIPTION

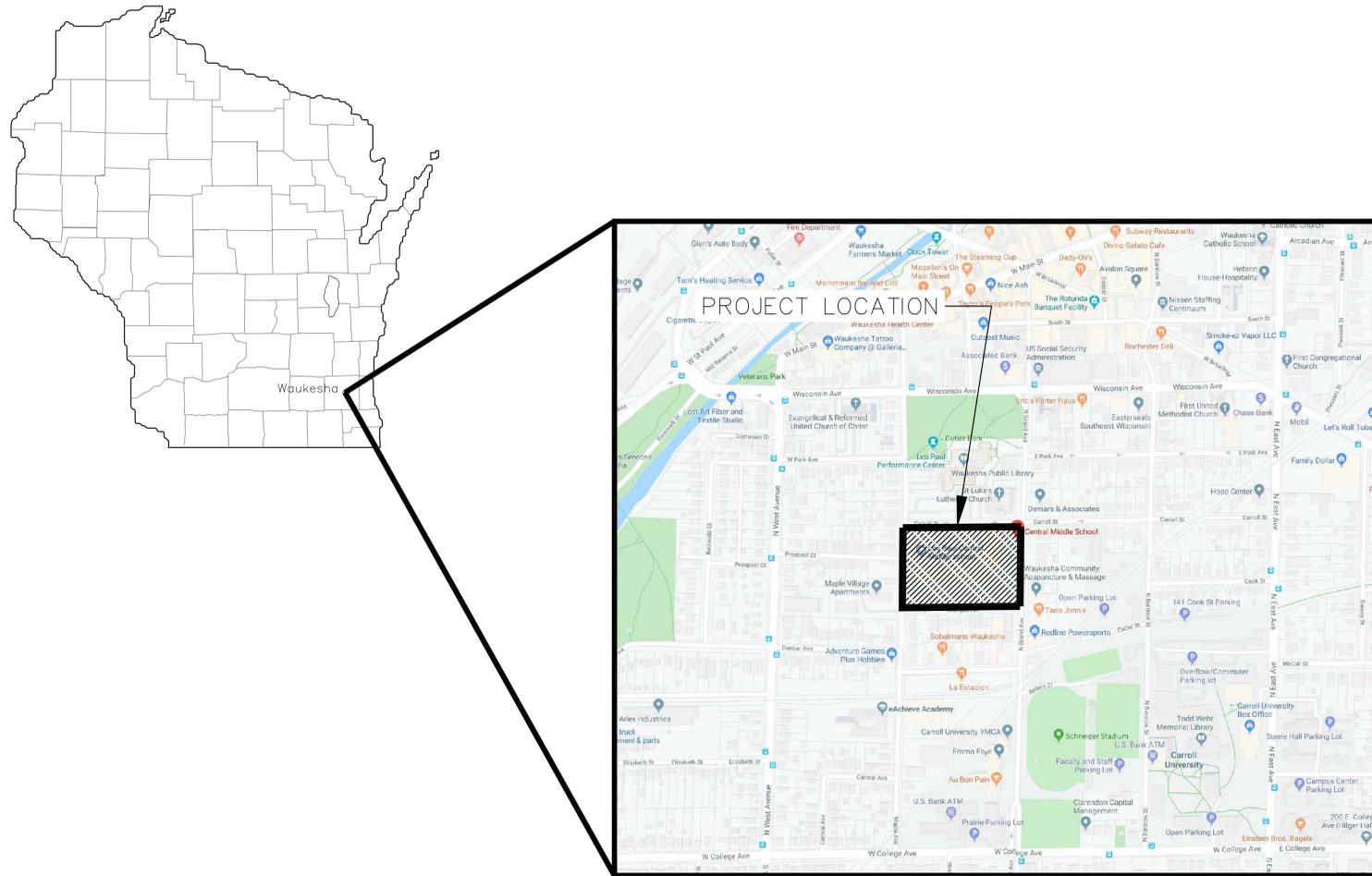
Project Number:
3353

Issued For:
CITY SUBMITTAL

11/06/2019
 Sheet Title:
**SITE PLAN -
 PHOTOMETRIC**

Sheet Number:
E0.00

LES PAUL/ CENTRAL MIDDLE SCHOOL SCHOOL DISTRICT OF WAUKESHA



INDEX TO DRAWINGS

SHEET NO.	TITLE
T1.1	TITLE SHEET & LOCATION MAP
C1.0	PLAT OF SURVEY WITH TOPOGRAPHY
C1.1	SITE DEMOLITION PLAN
C1.2	SITE LAYOUT PLAN
C1.3	SITE GEOMETRIC & TRAFFIC CONTROL PLAN
C1.4	SITE GRADING PLAN
C1.5	SITE UTILITY PLAN
C1.6	SITE EROSION CONTROL PLAN
C2.1	SITE DETAILS
C2.2	SITE DETAILS
C2.3	SITE DETAILS
L1.1	SITE LANDSCAPE PLAN
L2.1	SITE LANDSCAPE DETAILS

SURVEY INFORMATION

- 1) BEARINGS ARE BASED ON THE WISCONSIN STATE PLANE COORDINATE SYSTEM SOUTH ZONE NAD 27.
- 2) ELEVATIONS ARE BASED ON NGVD 29 DATUM.
- 3) EXISTING TOPOGRAPHY IS BASED ON FIELD SURVEY TAKEN ON 12/04/2018 BY KAPUR & ASSOCIATES, INC.
- 4) REFER TO SHEET C1.0 FOR ADDITIONAL INFORMATION.

DIGGERS HOTLINE
Dial 811 or (800)242-8511
www.DiggersHotline.com



*ALL SITE IMPROVEMENTS AND CONSTRUCTION SHOWN ON THE PLANS SHALL CONFORM TO THE CITY OF WAUKESHA DEVELOPMENT HANDBOOK & INFRASTRUCTURE SPECIFICATIONS. WHERE THE PLANS DO NOT COMPLY, IT SHALL BE THE SOLE RESPONSIBILITY AND EXPENSE OF THE DEVELOPER TO MAKE REVISIONS TO THE PLANS AND/OR CONSTRUCTED INFRASTRUCTURE TO COMPLY.



Office Locations:
Davenport
220 Emerson Place, Suite 301
Davenport, Iowa 52801
Milwaukee
829 S. 1st Street
Milwaukee, Wisconsin 53204
T: 414.226.0200
Sheboygan
1227A North 8th Street
PO Box 955
Sheboygan, Wisconsin 53082
T: 920.459.4200
www.brayarch.com



Project Title:
**Additions and Remodeling to:
Les Paul / Central Middle School
School District of Waukesha
325 Carroll St, Waukesha, WI 53186**

REVISIONS:
DATE DESCRIPTION

**NOT FOR
CONSTRUCTION**

Project Number:
3353

Issued For:
**PLAN
COMMISSION
REVIEW**
11/11/2019

Sheet Title:
**TITLE SHEET &
LOCATION MAP**

Sheet Number:
T1.1

PLAT OF SURVEY WITH TOPOGRAPHY

BEING PART OF THE SOUTHEAST 1/4, SECTION 3, TOWNSHIP 6 NORTH, RANGE 19 EAST, CITY OF WAUKESHA, WAUKESHA COUNTY, WISCONSIN



KAPUR & ASSOCIATES, INC.
CONSULTING ENGINEERS
7711 N. PORT WASHINGTON ROAD
MILWAUKEE, WISCONSIN 53217
Phone: 414.751.7200 Fax: 414.351.4117

www.kapurengineers.com

PROJECT:
LES PAUL MIDDLE SCHOOL

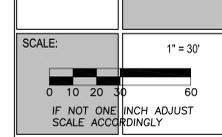
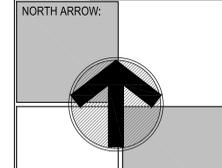
LOCATION:
**325 CARROLL ST
WAUKESHA, WI
53186**

CLIENT:
SCHOOL DISTRICT OF WAUKESHA

RELEASE:
FINAL

REVISIONS:

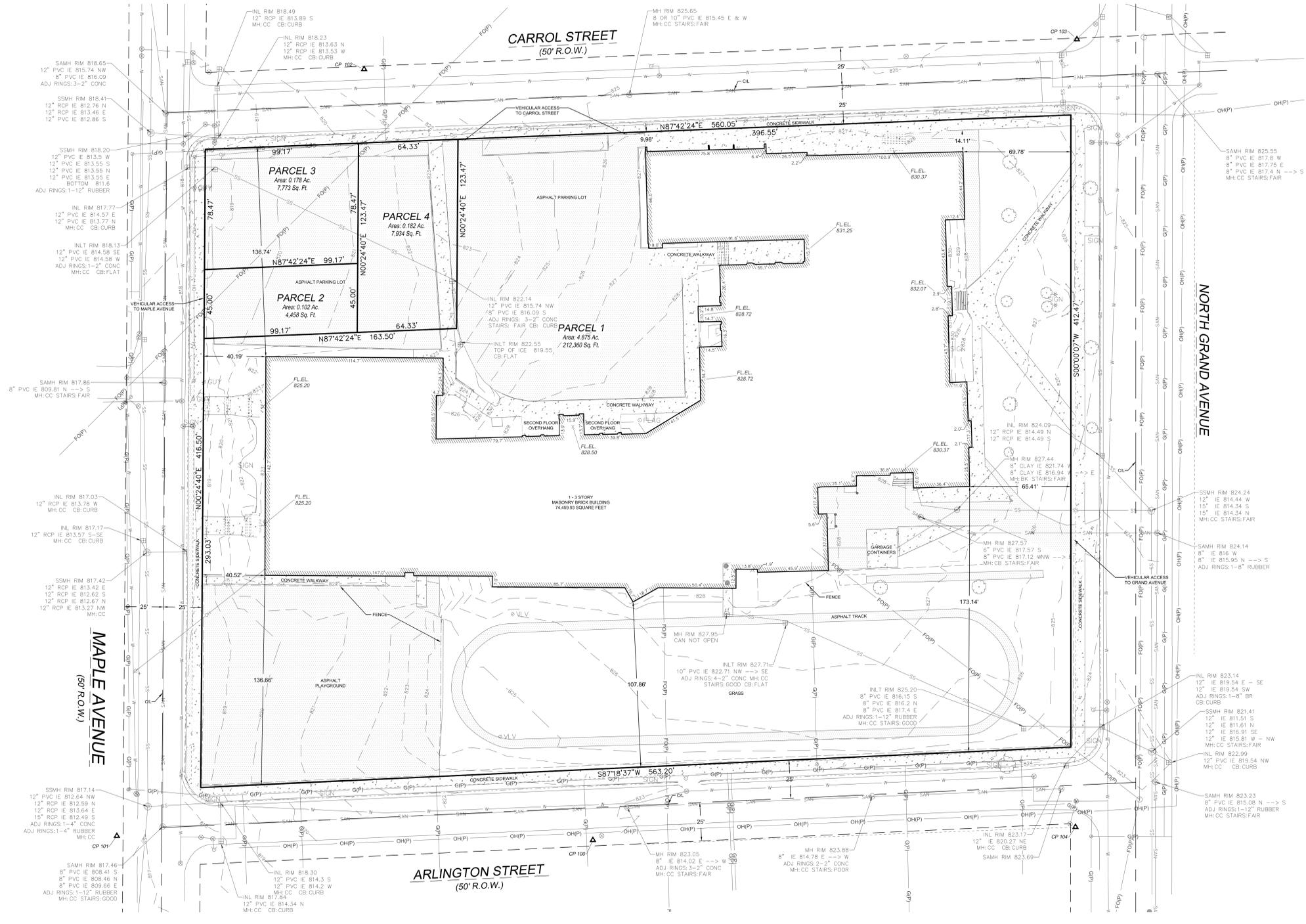
#	DATE	DESCRIPTION



SHEET:
PLAT OF SURVEY WITH TOPOGRAPHY

DRAWN BY: ITM
CHECKED BY: BES
APPROVED BY:
PROJECT NUMBER: 19.0087.01

SHEET NUMBER:
C1.0



LEGEND

- ⊕ = BENCH MARK
- ▲ = CONTROL POINT
- ✕ = CUT CROSS SET
- = FOUND REBAR OR MONUMENTATION AS NOTED
- = 1-1/4" O.D. x 24" LONG. IRON PIPE SET, WEIGHING 1.68 LBS./FT.
- = SECTION CORNER MON.
- ▲ = FOUND MAG/PK
- △ = SET MAG NAIL
- (R.A.) = RECORDED AS
- ⊕ = WATER VALVE
- ⊕ = FIRE HYDRANT
- ⊕ = SOIL BORING
- 970.90 = SPOT ELEVATION
- ⊕ = BUSH, SHRUB
- ⊕ = POLE/POST/BOLLARD
- ⊕ = BOULDER
- ⊕ = WINDMILL
- ⊕ = PULLBOX
- ⊕ = MANHOLE TYPE NOTED
- ⊕ = SANITARY SEWER MANHOLE
- ⊕ = STORM SEWER MANHOLE
- ⊕ = TELEPHONE MANHOLE
- ⊕ = ELECTRIC MANHOLE
- ⊕ = WATER MANHOLE
- ⊕ = UTILITY METER
- ⊕ = SPRINKLER
- ⊕ = GUY WIRE POLE
- ⊕ = LIGHT POLE
- ⊕ = PEDESTAL
- ⊕ = POWER POLE
- ⊕ = POWER/LIGHT POLE
- ⊕ = TRAFFIC SIGNAL
- ⊕ = CURB STOP
- ⊕ = INLET
- ⊕ = CURB INLET
- ⊕ = GAS VALVE
- ⊕ = LIGHT POLE WITH MAST
- ⊕ = TREE (CONIFEROUS) DRIP LINE SCALABLE
- ⊕ = TREE (DECIDUOUS) DRIP LINE SCALABLE
- ⊕ = TREE STUMP
- ⊕ = CLEANOUT
- ⊕ = FLAG POLE
- ⊕ = WELL
- ⊕ = MONITORING WELL
- ⊕ = SIGN ON POST
- ⊕ = PARKING METER
- ⊕ = UTILITY CONTROL BOX
- ⊕ = UNKNOWN UTILITY VALVE
- ⊕ = FIRST FLOOR ELEVATION
- ⊕ = BUILDING OUTLINE
- 3 = MINOR CONTOUR
- 5 = MAJOR CONTOUR
- = FENCE
- = BEAM GUARD
- X = CHAINLINK FENCE
- = WOODED AREA/SHRUB EDGE
- = WATER MAIN
- ST = STORM SEWER
- SAN = SANITARY SEWER
- COMB = COMBINED SEWER
- G = NATURAL GAS MAIN
- T = UNDERGROUND TELEPHONE
- E = UNDERGROUND ELECTRIC
- OH = OVERHEAD UTILITY LINES
- FO = UNDERGROUND FIBER OPTIC
- TV = UNDERGROUND CABLE TV
- BES = BUREAU OF ELCC. SERV. CI. MIL.
- STM = STEAM LINE
- C = COMMUNICATION CONDUIT
- (P) IN LIFESTYLE INDICATES, DRAWN PER EXISTING PLANS AND ARE APPROXIMATE
- ▨ = ASPHALT SURFACE
- ▨ = CONCRETE SURFACE
- ▨ = WETLANDS

LEGAL DESCRIPTION

PARCEL 1
ALL THAT PART OF BLOCK 8, CUTLERS SECOND ADDITION TO PLAT OF PRAIRIEVILLE, A RECORDED SUBDIVISION IN THE CITY OF WAUKESHA, RECORDED ON APRIL 26, 1847, IN THE REGISTER OF DEEDS OFFICE, BEING PART OF THE SOUTHEAST 1/4, SECTION 3, TOWNSHIP 6 NORTH, RANGE 19 EAST, CITY OF WAUKESHA, WAUKESHA COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF BLOCK 8, SAID CUTLERS SECOND ADDITION; THENCE NORTH 88° 30' EAST ALONG THE NORTH LINE OF ARLINGTON STREET, 563.20 FEET TO THE WEST LINE OF N. GRAND AVENUE; THENCE NORTH 1° EAST ALONG SAID WEST LINE, 412.60 TO THE SOUTH LINE OF CARROLL STREET THENCE SOUTH 88° 30' WEST ALONG SAID SOUTH LINE, 395.77 FEET TO THE EAST LINE OF LANDS OWNED BY THE SCHOOL DISTRICT OF WAUKESHA; THENCE SOUTH ALONG SAID EAST LINE, 123.5 FEET TO THE SOUTH LINE OF SAID SCHOOL DISTRICT LANDS; THENCE WEST ALONG SAID SOUTH LINE, 164.33 FEET TO THE EAST LINE OF MAPLE AVENUE; THENCE SOUTH 1° 30' WEST ALONG SAID EAST LINE TO THE NORTH LINE OF ARLINGTON STREET, ALSO BEING THE SOUTHWEST CORNER OF AFORESAID BLOCK 8 AND THE PLACE OF BEGINNING.

PARCEL 2
PART OF BLOCK 8, IN CUTLER'S SECOND ADDITION TO PRAIRIEVILLE, NOW CITY OF WAUKESHA, WAUKESHA COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE EAST LINE OF MAPLE AVENUE, IN THE CITY OF WAUKESHA, 103.5 FEET SOUTH FROM THE POINT WHERE SAID EAST LINE INTERSECTS THE CENTER LINE OF CARROLL STREET, IN SAID CITY; THENCE EAST 100 FEET TO THE LINE OF SAID LAND OWNED BY HENRY M. YOUMANS; THENCE SOUTH ON SAID LINE 45 FEET TO THE SOUTH LINE OF THE LANDS OWNED BY EMILY J. RYALL; THENCE WEST ON SAID SOUTH LINE 100 FEET TO SAID EAST LINE OF MAPLE AVENUE; THENCE NORTH ON SAID EAST LINE 45 FEET TO THE PLACE OF BEGINNING.

PARCEL 3
ALL THAT PART OF BLOCK 8 OF CUTLER'S SECOND ADDITION AS RECORDED IN VOLUME 1 OF PLATS ON PAGE 1, CITY OF WAUKESHA, WAUKESHA COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING AT THE INTERSECTION OF THE SOUTH LINE OF CARROLL STREET WITH THE EAST LINE OF MAPLE AVENUE; THENCE SOUTH 1° 30' WEST ALONG THE EAST LINE OF MAPLE AVENUE 78.47 FEET TO THE NORTHWEST CORNER OF THE PROPERTY DESCRIBED IN VOLUME 1001 OF DEEDS ON PAGE 348; THENCE EASTERLY ALONG THE NORTH LINE OF SAID PROPERTY AND PARALLEL TO THE SOUTH RIGHT-OF-WAY LINE OF CARROLL STREET 99.17 FEET TO THE WEST LINE OF THE PROPERTY DESCRIBED IN VOLUME 1014 OF DEEDS ON PAGE 450; THENCE NORTH 1° 30' EAST, ALONG SAID WEST LINE 78.47 FEET TO THE SOUTH LINE OF THE CARROLL STREET RIGHT-OF-WAY; THENCE WESTERLY ALONG SAID SOUTH RIGHT-OF-WAY LINE 99.17 FEET TO THE PLACE OF BEGINNING.

PARCEL 4
ALL THAT PART OF BLOCK 8 OF CUTLER'S SECOND ADDITION TO THE PLAT OF PRAIRIEVILLE, BEING A PART OF THE SOUTHEAST 1/4 OF SECTION 3, IN TOWNSHIP 6 NORTH, RANGE 19 EAST, IN THE CITY OF WAUKESHA, WAUKESHA COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT IN THE CENTER OF CARROLL STREET IN THE CITY OF WAUKESHA, 11 RODS AND 16-1/3 FEET WEST OF THE NORTHWEST CORNER OF THE UNION SCHOOL LOT AS LOCATED ON NOVEMBER 28, 1881; THENCE RUNNING SOUTH 9 RODS; THENCE EAST 59-1/3 FEET; THENCE NORTH 9 RODS; THENCE WEST ALONG THE CENTER OF CARROLL STREET 59-1/3 FEET TO THE PLACE OF BEGINNING, MEANING HEREBY TO DESCRIBE THE LAND CONVEYED BY WARRANTY DEED OF M.S. GRISWOLD AND WIFE TO ANNIE Y. HAIGHT ON MAY 4, 1874 AS RECORDED IN VOLUME 48 OF DEEDS ON PAGE 148, AND ALSO THE LAND CONVEYED BY WARRANTY DEED OF MRS. AMELIA LEDERER ON SEPTEMBER 28, 1872 TO HENRY A. YOUMANS AND RECORDED IN VOLUME 45 OF DEEDS ON PAGE 427.

ALSO
ALL THAT PART OF SAID BLOCK 8 OF CUTLER'S SECOND ADDITION TO THE PLAT OF PRAIRIEVILLE, NOW CITY OF WAUKESHA, WAUKESHA COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF THAT CERTAIN STRIP OR PARCEL OF LAND SOLD AND CONVEYED BY M.S. GRISWOLD AND WIFE, TO ANNIE Y. HAIGHT BY WARRANTY DEED DATED MAY 4, 1874 AND RECORDED IN VOLUME 48 OF DEEDS ON PAGE 148; THENCE RUNNING SOUTH ALONG THE EAST LINE OF SAID STRIP OF LAND SO CONVEYED TO SAID ANNIE Y. HAIGHT BY THE AFORESAID DEED, 9 RODS; THENCE EAST 5 FEET; THENCE NORTH AND PARALLEL WITH THE FIRST DESCRIBED LINE, 9 RODS TO THE CENTER OF CARROLL STREET; THENCE WEST ALONG THE CENTER OF CARROLL STREET 5 FEET TO THE PLACE OF BEGINNING.

PROPERTY ADDRESS: 325 CARROLL STREET (PARCEL 1) AND 429 MAPLE AVENUE (PARCEL 3), WAUKESHA, WI 53186

FOR INFORMATIONAL PURPOSES ONLY:
TAX KEY NUMBER: WAKC 1308.440 (PARCEL 1); WAKC 1308.441 (PARCEL 2); WAKC 1308.442 (PARCEL 3) AND WAKC 1308.443 (PARCEL 4)

POINT NO.	NORTHING	EASTING	ELEVATION	TYPE
100	371820.87	2472633.21	822.91	CP PK
101	371823.56	2472325.43	817.833	CP PK
102	372323.94	2472485.30	821.269	CP PK
103	372343.44	2472946.13	825.232	CP PK
104	371829.38	2472945.21	823.474	CP PK

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20190203662, 20190203663, 20190203727, 20190203732, 20190203745, 20190203748, 20190203756, 20190203758

ALTHOUGH DIGGERS' HOTLINE WAS NOTIFIED THIS SURVEY DOES NOT GUARANTEE THAT ALL UTILITIES HAVE BEEN LOCATED ON SITE. SOME OF THE UTILITIES MAY HAVE BEEN DRAWN IN PER PLAN BASED ON MAPS RECEIVED FROM MEMBERS NOTIFIED. LACKING EXCAVATION THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY.

SURVEYOR'S CERTIFICATE:

I, Brian Sandberg do hereby certify that that under My direction and control the above described property was surveyed on 02/08/2019 in accordance with AE-7 of the Wisconsin Administrative Code and is correct to the best of my knowledge and belief.

Brian Sandberg
Brian E. Sandberg
April 17, 2019
S-2500

NEW CONCRETE DRIVEWAY APRON
SEE DETAIL 12/C2.2
3' FOOT TRANSITION FROM
LOW-SIDE 18" BARRIER CURB AND
GUTTER TO ZERO-FACE
SEE DETAIL 11/C2.2

EXISTING DRIVEWAY APRON TO BE
REMOVED, REMOVE AND REPLACE
CURB & GUTTER AS NEEDED.

3' FOOT TRANSITION
FROM LOW-SIDE 18"
BARRIER CURB AND
GUTTER TO
ZERO-FACE
SEE DETAIL 11/C2.2

3' FOOT TRANSITION
FROM LOW-SIDE 18"
BARRIER CURB AND
GUTTER TO
ZERO-FACE
SEE DETAIL 11/C2.2

CARROLL STREET

PROJECT LIMITS

87 TOTAL STALLS
4 ADA STALLS
83 STANDARD STALLS

PROPOSED
ADDITION
FFE: 828.72

RETAINING WALL
ADA ACCESSIBLE RAMP ENTRANCE

13' FOOT TRANSITION FROM
HIGH-SIDE 18" BARRIER CURB
AND GUTTER TO ZERO-FACE
SEE DETAIL 11/C2.2

EXISTING LES PAUL
MIDDLE SCHOOL
FFE: VARIES

NEW ACCESSIBLE
PARKING SYMBOL (TYP.)
SEE DETAIL 16/C2.3

NEW ACCESSIBLE
PARKING SYMBOL (TYP.)
SEE DETAIL 16/C2.3

PROJECT LIMITS

NEW ACCESSIBLE SIGNS
(TYP.)
SEE DETAIL 17/C2.3

NEW ACCESSIBILITY
RAMP WITH TRUNCATED
DOME DETECTABLE
WARNING FIELDS
SEE DETAIL 13/C2.2

NEW ACCESSIBLE SIGNS
(TYP.)
SEE DETAIL 17/C2.3

ADA RAMP WITH RAILING

RETAINING WALLS

OUTDOOR SEATING AREA

NEW ACCESSIBLE SIGNS
(TYP.)
SEE DETAIL 17/C2.3

NEW FLAG POLE

MAPLE AVENUE

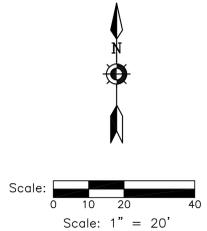
NORTH GRAND AVENUE

ARLINGTON STREET



HATCH LEGEND

- AREAS DISTURBED BY CONSTRUCTION
(NOT SPECIFICALLY CALLED OUT ON THE
LANDSCAPE PLANS) TO BE RESTORED WITH
MINIMUM 4" TOPSOIL, SEED, FERTILIZER, AND
MULCH (TYP). USE SALVAGED TOPSOIL OR
IMPORT TOPSOIL IF REQUIRED.
- NEW ASPHALTIC CONCRETE (LIGHT DUTY)
SEE DETAIL 4/C2.2
- NEW ASPHALTIC CONCRETE (HEAVY DUTY)
SEE DETAIL 4/C2.2
- NEW ASPHALTIC CONCRETE (PUBLIC ROADWAY)
SEE DETAIL 4/C2.2
- NEW CONCRETE SLAB
SEE DETAIL 5/C2.2
- NEW HEAVY DUTY CONCRETE SLAB
SEE DETAIL 5/C2.2
- NEW HIGH-SIDE CURB & GUTTER
SEE DETAIL 7/C2.2
- NEW LOW-SIDE CURB & GUTTER
SEE DETAIL 7/C2.2



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6/27/2019 1:21:56 AM BIM 360/3351 - Waukesha SD/3351 - Waukesha SD - Les Paul Central MI - 20181212_ARCH R10.rvt



Office Locations:
Davenport
220 Emerson Place, Suite 301
Davenport, Iowa 52801
Milwaukee
829 S. 1st Street
Milwaukee, Wisconsin 53204
T: 414.226.0200
Sheboygan
1227A North 8th Street
PO Box 955
Sheboygan, Wisconsin 53082
T: 920.459.4200
www.braraych.com



Project Title:
Additions and Remodeling to:
Les Paul / Central Middle School
School District of Waukesha
325 Carroll St, Waukesha, WI 53186

REVISIONS:

DATE	DESCRIPTION

NOT FOR CONSTRUCTION

Project Number:
3353

Issued For:
PLAN COMMISSION REVIEW
11/11/2019

Sheet Title:
SITE LAYOUT PLAN

Sheet Number:
C1.2



Scale: 0 10 20 40
Scale: 1" = 20'

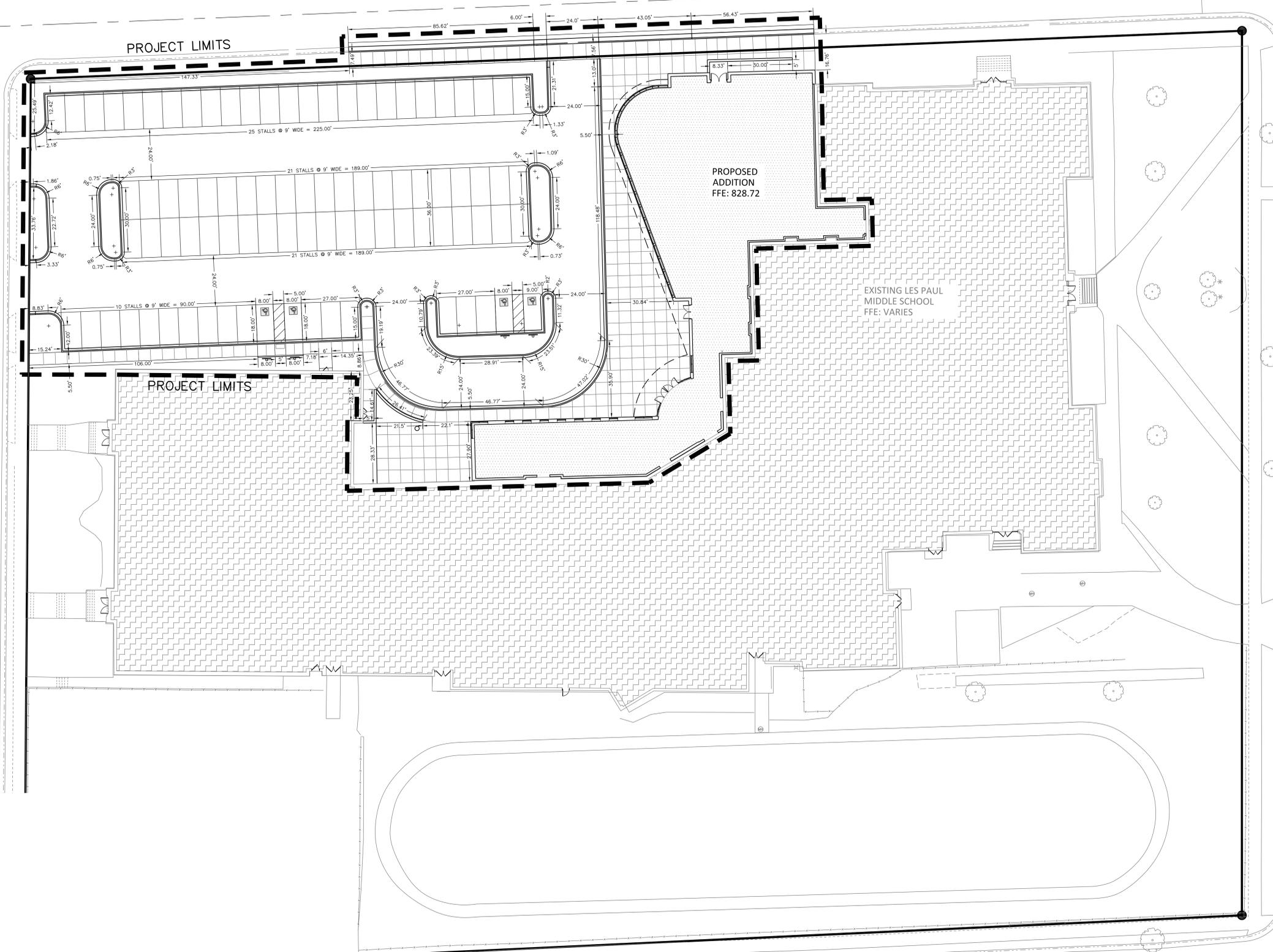
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MAPLE AVENUE

CARROLL STREET

NORTH GRAND AVENUE

ARLINGTON STREET



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www.brayarch.com



7711 N. Port Washington
Road
Milwaukee, WI 53217
www.kapurinc.com

Project Title:
**Additions and Remodeling to:
Les Paul / Central Middle School
School District of Waukesha
325 Carroll St, Waukesha, WI 53186**

REVISIONS:

DATE	DESCRIPTION

**NOT FOR
CONSTRUCTION**

Project Number:
3353

Issued For:
**PLAN
COMMISSION
REVIEW
11/11/2019**

Sheet Title:
**SITE
GEOMETRICS &
TRAFFIC
CONTROL PLAN**

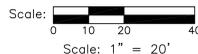
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C1.3

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GRADING LEGEND

---	EXISTING CONTOUR MINOR
---	EXISTING CONTOUR MAJOR
---	PROPOSED CONTOUR MINOR
---	PROPOSED CONTOUR MAJOR
◆ 970.00	PROPOSED SPOT GRADE
◆ 965.0±	MATCH EXISTING SPOT GRADE
◆ T970.00	PROPOSED TOP OF CURB
◆ G970.00	PROPOSED BOTTOM OF CURB
◆ T970.0±	MATCH EXISTING TOP OF CURB
◆ G970.0±	MATCH EXISTING BOTTOM OF CURB
◆ TW 970.00	PROPOSED TOP OF WALL
◆ BW 956.00	PROPOSED BOTTOM OF WALL
◆ TW 970.0±	MATCH EXISTING TOP OF WALL
◆ BW 956.0±	MATCH EXISTING BOTTOM OF WALL



Dial 811 or (800)242-8511

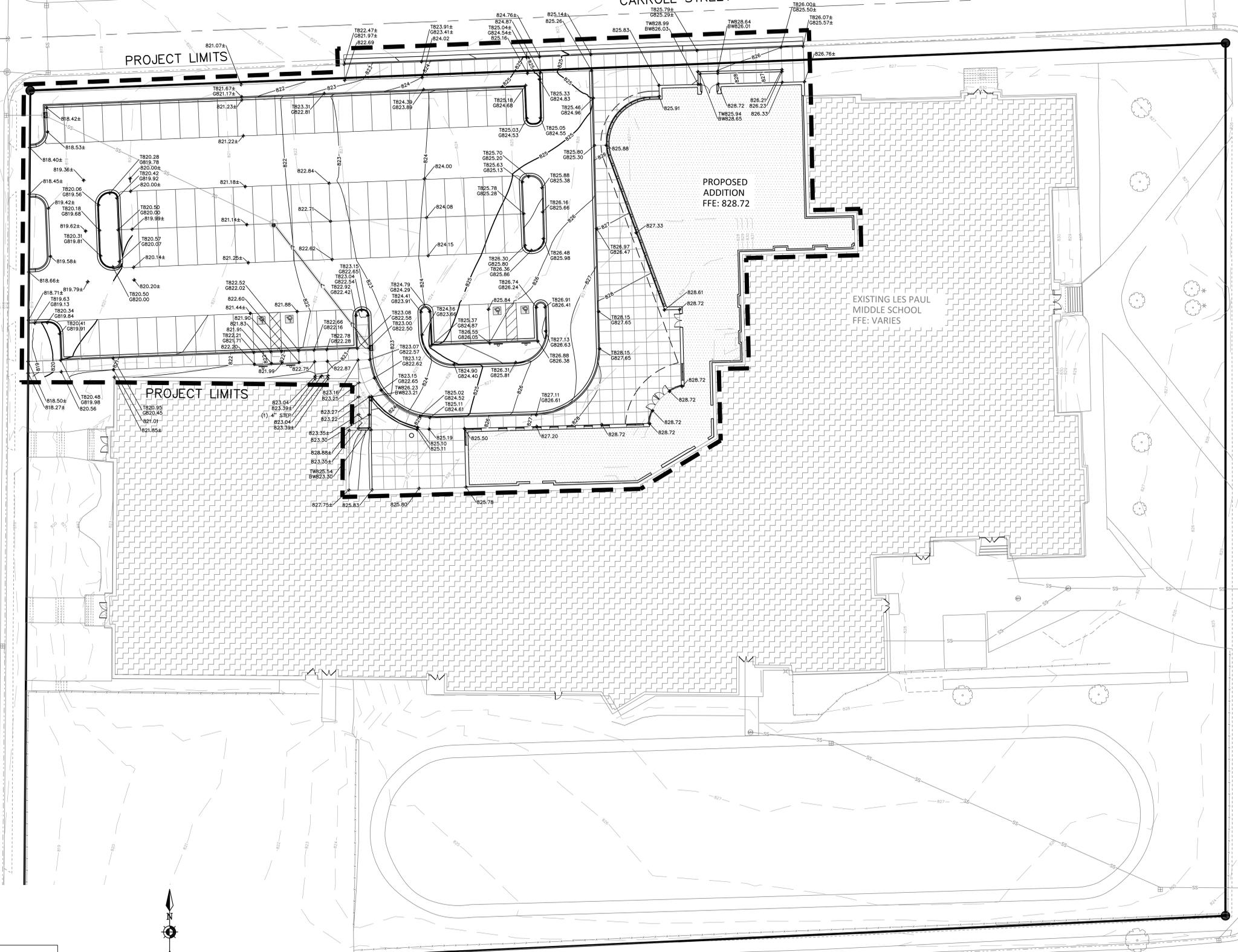
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CARROLL STREET

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REVISIONS:	
DATE	DESCRIPTION

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Project Number:
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COMMISSION
REVIEW**
11/11/2019

Sheet Title:
**SITE GRADING
PLAN**

Sheet Number:

C1.4

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REVISIONS:

DATE	DESCRIPTION

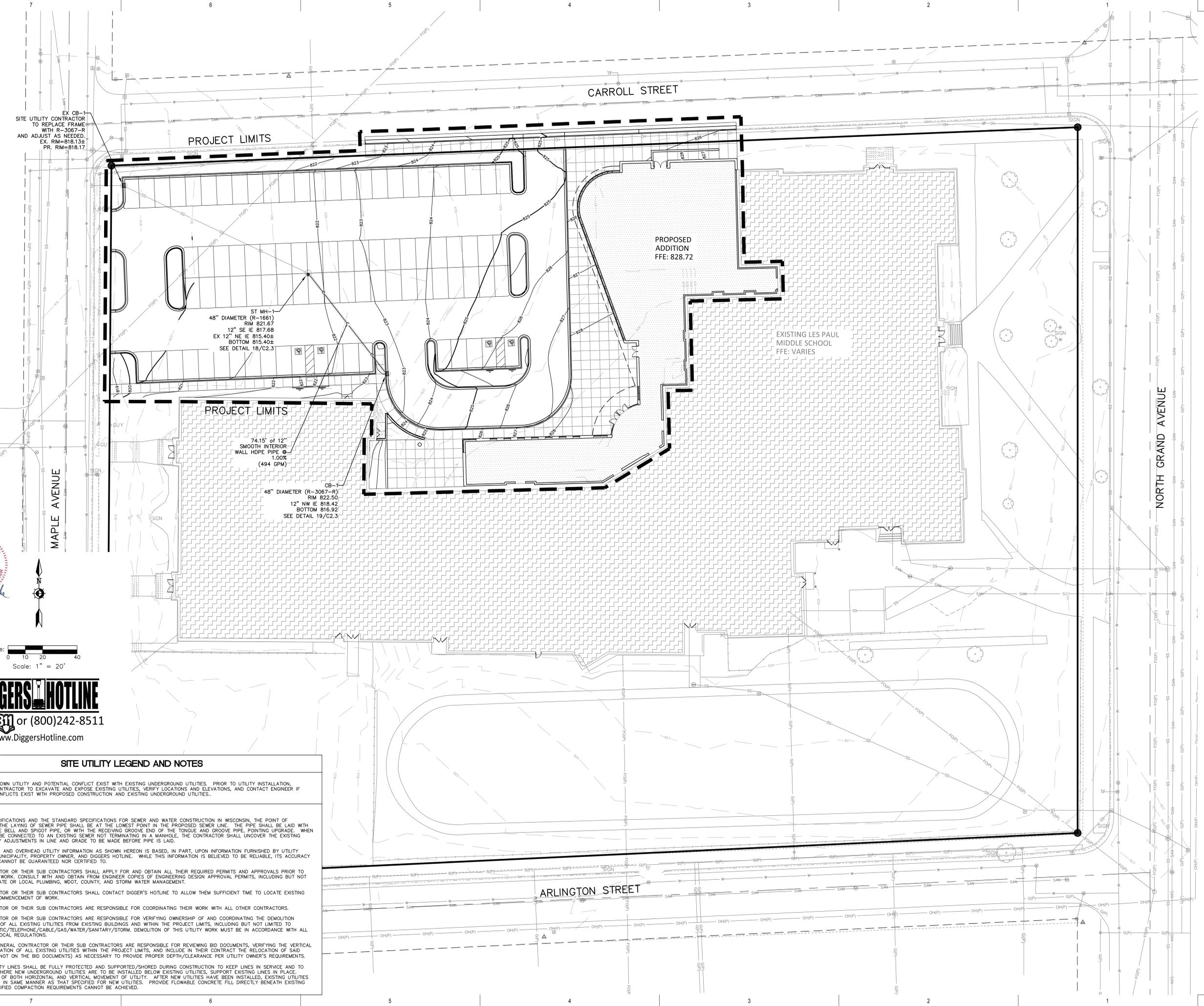
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Project Number:
3353

Issued For:
PLAN COMMISSION REVIEW
11/11/2019

Sheet Title:
SITE UTILITY PLAN

Sheet Number:
C1.5



EX CB-1
SITE UTILITY CONTRACTOR
TO REPLACE FRAME
WITH R-3067-R
AND ADJUST AS NEEDED.
EX. RIM=818.13±
PR. RIM=818.17

PROJECT LIMITS

PROPOSED ADDITION
FFE: 828.72

EXISTING LES PAUL
MIDDLE SCHOOL
FFE: VARIES

ST MH-1
48" DIAMETER (R-1661)
RIM 821.67
12" SE IE 817.68
EX 12" NE IE 815.40±
BOTTOM 815.40±
SEE DETAIL 18/C2.3

PROJECT LIMITS

74.15' of 12" SMOOTH INTERIOR WALL HDPE PIPE @ 1.00% (494 GPM)

CB-1
48" DIAMETER (R-3067-R)
RIM 822.50
12" NW IE 818.42
BOTTOM 816.92
SEE DETAIL 19/C2.3

MAPLE AVENUE

NORTH GRAND AVENUE

ARLINGTON STREET



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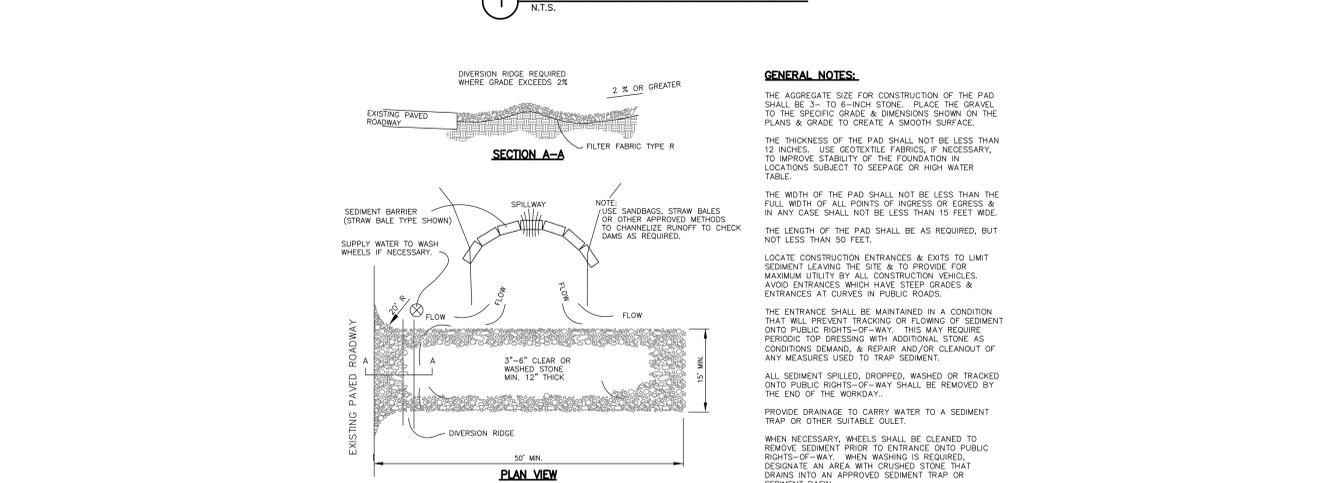
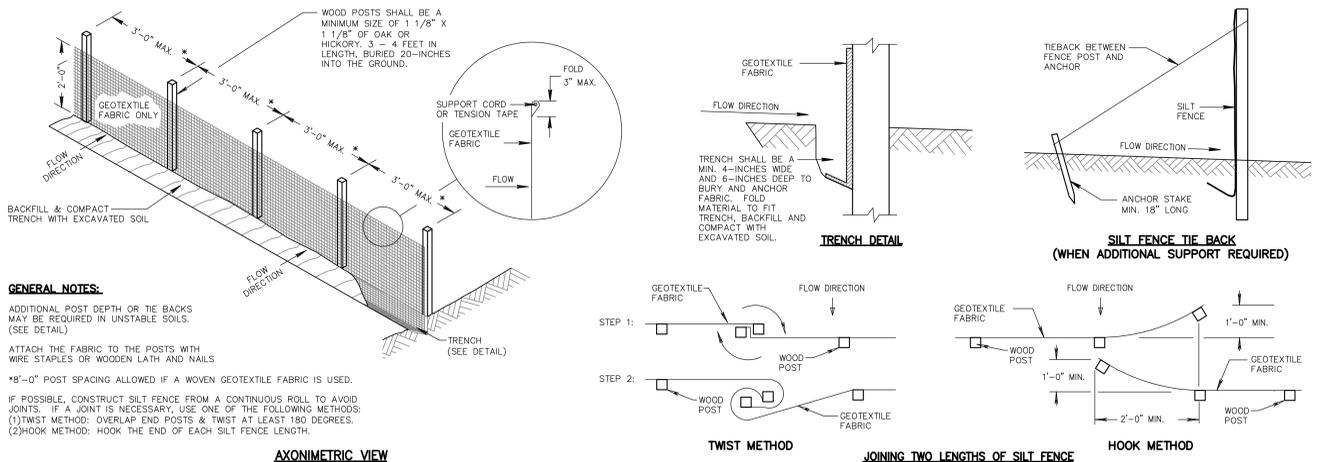
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SITE UTILITY LEGEND AND NOTES

- CAUTION** KNOWN UTILITY AND POTENTIAL CONFLICT EXIST WITH EXISTING UNDERGROUND UTILITIES. PRIOR TO UTILITY INSTALLATION, CONTRACTOR TO EXCAVATE AND EXPOSE EXISTING UTILITIES, VERIFY LOCATIONS AND ELEVATIONS, AND CONTACT ENGINEER IF CONFLICTS EXIST WITH PROPOSED CONSTRUCTION AND EXISTING UNDERGROUND UTILITIES.
- PER PROJECT SPECIFICATIONS AND THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, THE POINT OF COMMENCEMENT FOR THE LAYING OF SEWER PIPE SHALL BE AT THE LOWEST POINT IN THE PROPOSED SEWER LINE. THE PIPE SHALL BE LAID WITH THE BELL END OF THE BELL AND SPIGOT PIPE, OR WITH THE RECEIVING GROOVE END OF THE TONGUE AND GROOVE PIPE, POINTING UPGRADE. WHEN A NEW SEWER IS TO BE CONNECTED TO AN EXISTING SEWER NOT TERMINATING IN A MANHOLE, THE CONTRACTOR SHALL UNCOVER THE EXISTING SEWER TO ALLOW ANY ADJUSTMENTS IN LINE AND GRADE TO BE MADE BEFORE PIPE IS LAID.
 - THE UNDERGROUND AND OVERHEAD UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, UPON INFORMATION FURNISHED BY UTILITY COMPANIES, LOCAL MUNICIPALITY, PROPERTY OWNER, AND DIGGERS HOTLINE. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
 - GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS SHALL APPLY FOR AND OBTAIN ALL THEIR REQUIRED PERMITS AND APPROVALS PRIOR TO THE START OF THEIR WORK. CONSULT WITH AND OBTAIN FROM ENGINEER COPIES OF ENGINEERING DESIGN APPROVAL PERMITS, INCLUDING BUT NOT LIMITED TO WDRN, STATE OR LOCAL PLUMBING, WDOT, COUNTY, AND STORM WATER MANAGEMENT.
 - GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS SHALL CONTACT DIGGER'S HOTLINE TO ALLOW THEM SUFFICIENT TIME TO LOCATE EXISTING UTILITIES PRIOR TO COMMENCEMENT OF WORK.
 - GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS ARE RESPONSIBLE FOR COORDINATING THEIR WORK WITH ALL OTHER CONTRACTORS.
 - GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS ARE RESPONSIBLE FOR VERIFYING OWNERSHIP OF AND COORDINATING THE DEMOLITION AND/OR RELOCATION OF ALL EXISTING UTILITIES FROM EXISTING BUILDINGS AND WITHIN THE PROJECT LIMITS, INCLUDING BUT NOT LIMITED TO ELECTRICAL, FIBER OPTIC/TELEPHONE/CABLE/GAS/WATER/SANITARY/STORM. DEMOLITION OF THIS UTILITY WORK MUST BE IN ACCORDANCE WITH ALL STATE, FEDERAL, & LOCAL REGULATIONS.
 - FOR ALL WORK, GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS ARE RESPONSIBLE FOR REVIEWING BID DOCUMENTS, VERIFYING THE VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UTILITIES WITHIN THE PROJECT LIMITS, AND INCLUDE IN THEIR CONTRACT THE RELOCATION OF SAID UTILITIES (NOTED OR NOT ON THE BID DOCUMENTS) AS NECESSARY TO PROVIDE PROPER DEPTH/CLEARANCE PER UTILITY OWNER'S REQUIREMENTS.
 - ALL EXISTING UTILITY LINES SHALL BE FULLY PROTECTED AND SUPPORTED/SHORED DURING CONSTRUCTION TO KEEP LINES IN SERVICE AND TO PREVENT DAMAGE. WHERE NEW UNDERGROUND UTILITIES ARE TO BE INSTALLED BELOW EXISTING UTILITIES, SUPPORT EXISTING LINES IN PLACE. PROVIDE RESTRICTION OF BOTH HORIZONTAL AND VERTICAL MOVEMENT OF UTILITIES. AFTER NEW UTILITIES HAVE BEEN INSTALLED, EXISTING UTILITIES SHALL BE BACKFILLED IN SAME MANNER AS THAT SPECIFIED FOR NEW UTILITIES. PROVIDE FLOWABLE CONCRETE FILL DIRECTLY BENEATH EXISTING UTILITIES WHERE SPECIFIED COMPACTION REQUIREMENTS CANNOT BE ACHIEVED.

EROSION CONTROL MEASURES

- CONTRACTOR TO INSTALL AND MAINTAIN EROSION CONTROL MEASURES AS INDICATED ON THIS PLAN AND PER THE LATEST WDNR TECHNICAL STANDARDS. TECHNICAL STANDARDS MAY BE VIEWED ONLINE AT: http://dnr.wi.gov/topic/stormwater/standards/const_standards.html
- INLETS AND CATCH BASINS SHALL BE PROTECTED WITH INLET FILTERS THAT ARE PHASED IN WITH CONSTRUCTION TO REDUCE SEDIMENT FROM ENTERING THESE AREAS PER WDNR TECHNICAL STANDARD 1060 AS FOLLOWS:
 - ALL FABRIC BARRIERS SELECTED FOR INLET/CATCH BASIN PROTECTION DEVICES SHALL BE SELECTED FROM THE LIST OF APPROVED FABRICS CERTIFIED FOR INLET PROTECTION. GEOTEXTILE FABRIC, TYPE FF IN THE CURRENT EDITION OF THE WDNR PRODUCT ACCEPTABILITY LIST, TO OBTAIN THE PAL, PLEASE REFER TO THIS WEBSITE: <http://www.dot.wisconsin.gov/business/engserv/pal.htm>
 - INLET PROTECTION SHALL BE AT A MINIMUM INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT OF 1/2 INCH OR GREATER DURING A 24-HOUR PERIOD.
 - PLACEMENT OF SOIL MATERIAL, DEBRIS, SOILS, ETC. ON TOP OF INLETS/CATCH BASINS, EVEN IF TEMPORARY, IS STRICTLY DISCOURAGED AND PROHIBITED.
 - SEDIMENT DEPOSITS SHALL BE REMOVED AND THE INLET PROTECTION DEVICE RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED BETWEEN 1/3 TO 1/2 THE DESIGN DEPTH OF THE DEVICE, OR WHEN THE DEVICE IS NO LONGER FUNCTIONING PER MANUFACTURER'S SPECIFICATIONS. ALL SEDIMENT COLLECTED SHALL BE PROPERLY DISPOSED OF TO PREVENT DISCHARGE INTO AREA WATERWAYS AND WETLANDS.
 - DUE CARE SHALL BE TAKEN TO ENSURE SEDIMENT DOES NOT FALL INTO THE INLETS/CATCH BASINS AND IMPEDE THE INTENDED FUNCTION OF THE DEVICE. ANY MATERIAL FALLING INTO THE INLET/CATCH BASIN SHALL BE REMOVED AND PROPERLY DISPOSED OF PER NOTE D ABOVE.
 - INLET FILTERS MAY BE REMOVED AND PROPERLY DISPOSED OF UPON COMPLETION OF CONSTRUCTION, HAULING OR MOVEMENT OF CONSTRUCTION EQUIPMENT THROUGHOUT THE SITE, AND ONCE THE SITE IS ADEQUATELY STABILIZED, UNLESS AS OTHERWISE NOTIFIED BY THE WDNR.
- TRACKING PAD SHALL BE INSTALLED AS SHOWN ON THE PLAN SHEET PRIOR TO THE START OF CONSTRUCTION TO REDUCE OFF-SITE SEDIMENTATION BY ELIMINATING THE TRACKING OF SEDIMENT FROM THE SITE PER WDNR TECHNICAL STANDARD 1057 AS FOLLOWS:
 - A WISDOT TYPE R GEOTEXTILE FABRIC SHALL BE USED TO PREVENT MIGRATION OF UNDERLYING SOIL INTO THE STONE.
 - AGGREGATE USED FOR TRACKING PADS SHALL BE 3 TO 6 INCH CLEAR OR WASHED STONE. ALL MATERIAL TO BE RETAINED BY 3 INCH SIEVE.
 - THE AGGREGATE SHALL BE PLACED IN A LAYER ON TOP OF THE TYPE R GEOTEXTILE FABRIC AT LEAST 12 INCHES THICK.
 - THE TRACKING PAD SHALL BE THE FULL WIDTH OF THE EGRESS POINT AND BE AT LEAST 50 FEET LONG.
 - VEHICLES TRAVELING ACROSS THE TRACKING PAD SHALL MAINTAIN A SLOW CONSTANT SPEED.
 - ANY SEDIMENT OR ROCK ACCUMULATION ONTO LOCAL ROADWAYS SHALL BE REMOVED BY STREET CLEANING, NOT FLUSHING BEFORE THE END OF EACH WORKING DAY.
 - THE TRACKING PAD SHALL, AT A MINIMUM BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT OF 1/2 INCH OR MORE DURING A 24-HOUR PERIOD.
 - THE TRACKING PAD PERFORMANCE SHALL BE MAINTAINED BY SCRAPING OR TOP-DRESSING WITH ADDITIONAL AGGREGATE.
 - A MINIMUM 12-INCH THICK PAD SHALL BE MAINTAINED.
- THE CONSTRUCTION SITE PERIMETER AND TOPSOIL STOCKPILE AREA SHALL BE PROTECTED WITH SILT FENCE AS SHOWN ON THE PLAN SHEET PRIOR TO THE START OF CONSTRUCTION. INTERCEPT AND REDUCE THE FLOW OF SEDIMENT-LADEN SHEET FLOW RUNOFF FROM THE CONSTRUCTION SITE PER WDNR TECHNICAL STANDARD 1056 AS FOLLOWS:
 - SILT FENCE ENDS SHALL BE EXTENDED UPSLOPE TO PREVENT WATER FROM FLOWING AROUND THE ENDS OF THE FENCE AS SHOWN ON THE PLAN SHEET.
 - INSTALLED SILT FENCE SHALL BE A MINIMUM 14 INCHES HIGH AND SHALL NOT EXCEED 28 INCHES IN HEIGHT MEASURED FROM THE INSTALLED GROUND ELEVATION.
 - SILT FENCE SHALL BE SUPPORTED BY EITHER STEEL OR WOOD SUPPORT POSTS.
 - THE MAXIMUM SPACING OF POSTS FOR NONWOVEN SILT FENCE SHALL BE 3 FEET OR FOR WOVEN FABRIC 8 FEET.
 - SILT FENCE SHALL HAVE A SUPPORT CORD AT THE TOP OF THE FENCE.
 - WHERE JOINTS ARE NEEDED, EACH END OF THE FABRIC SHALL BE SECURELY FASTENED TO A POST. THE POSTS SHALL BE WRAPPED AROUND EACH OTHER TO PRODUCE A STABLE AND SECURE JOINT OR SHALL BE OVERLAPPED THE DISTANCE BETWEEN TWO POSTS.
 - A MINIMUM OF 20 INCHES OF THE POSTS SHALL EXTEND INTO THE GROUND AFTER INSTALLATION.
 - SILT FENCE SHALL BE ANCHORED BY SPREADING AT LEAST 8 INCHES OF THE FABRIC IN A 4 INCH WIDE BY 6 INCH DEEP TRENCH, OR 6 INCH DEEP 1/2-TRENCH ON THE UPSLOPE SIDE OF THE FENCE. THE TRENCH SHALL BE BACKFILLED AND COMPACTED. TRENCHES SHALL NOT BE EXCAVATED ANY WIDER OR DEEPER THAN NECESSARY FOR PROPER INSTALLATION.
 - ON THE TERMINAL ENDS OF THE SILT FENCE THE FABRIC SHALL BE WRAPPED AROUND THE POST SUCH THAT THE STAPLES ARE NOT VISIBLE.
 - GEOTEXTILE FABRIC SPECIFICATIONS SHALL MEET VALUES ESTABLISHED IN TECHNICAL STANDARD 1056.
 - SILT FENCE SHALL BE REMOVED ONCE THE SITE IS ADEQUATELY STABILIZED.
 - WHEN PLACING SILT FENCE NEAR TREES, CARE SHALL BE TAKEN TO MINIMIZE DAMAGE TO THE ROOT SYSTEM BY AVOIDING CONTACT AND ROOT CUTTING WITHIN 1.5 FEET MULTIPLIED BY THE INCH DIAMETER OF THE TREE.
 - THE CONTRACTOR MAY FURTHER STRENGTHEN THE SILT FENCE BY USING HAY BALES ON THE DOWN SLOPE SIDE AS NOTED.
 - SILT FENCE SHALL AT A MINIMUM BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 1/2 INCH OF RAIN OR MORE DURING A 24 HOUR PERIOD.
 - DAMAGED OR DECOMPOSED SILT FENCE, UNDERPINNING OR FLOW CHANNELS AROUND THE END OF BARRIERS SHALL BE REPAIRED OR CORRECTED.
 - DEBRIS SHALL BE PROPERLY DISPOSED OF ONCE THE DEPOSITS REACH 1/2 THE HEIGHT OF THE FENCE TO PREVENT DISCHARGE INTO AREA WATERWAYS AND WETLANDS.
- SEEDING AND MULCHING TECHNIQUES SHALL BE USED ON AREAS OF EXPOSED SOIL WHERE THE ESTABLISHMENT OF VEGETATION IS DESIRED. TEMPORARY SEEDING APPLIES TO DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND-DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 14 CALENDAR DAYS, REQUIRING VEGETATIVE COVER FOR LESS THAN ONE YEAR. SEED AND MULCH SHALL BE UTILIZED THROUGHOUT THE DURATION OF CONSTRUCTION TO ESTABLISH TEMPORARY VEGETATION TO HELP REDUCE EROSION PER WDNR TECHNICAL STANDARDS 1059 AND 1058 RESPECTIVELY AS FOLLOWS:
 - TEMPORARY SEEDING REQUIRES A SEEDBED OF LOOSE SOIL TO A MINIMUM DEPTH OF 2 INCHES.
 - FERTILIZER APPLICATION IS NOT GENERALLY REQUIRED FOR TEMPORARY SEEDING. HOWEVER, ANY APPLICATION OF FERTILIZER OR LIME SHALL BE BASED ON SOIL TESTING.
 - THE SOIL SHALL HAVE A PH RANGE OF 5.5 TO 8.0.
 - ALL SEED SHALL CONFORM TO THE REQUIREMENTS OF THE WISCONSIN STATE STATUTES AND OF THE ADMINISTRATIVE CODE CHAPTER ATCP 20.01 REGARDING NOXIOUS WEED SEED CONTENT AND LABELING.
 - SEED SHALL NOT BE USED LATER THAN ONE YEAR AFTER THE TEST DATE ON THE LABEL.
 - IN THE SUMMER-SPRING, CONTRACTOR SHALL USE OATS APPLIED AT 131 LBS/ACRE FOR TEMPORARY SEEDING PURPOSES. IN THE FALL THE CONTRACTOR SHALL USE ANNUAL RYEGRASS APPLIED AT 80 LBS/ACRE OR WINTER WHEAT APPLIED AT 131 LBS/ACRE. THE CONTRACTOR SHALL USE STRAW MULCH APPLIED AT 1 TONS/ACRE. DORMANT SEED SHALL BE STORED IN A DRY, NONTOXIC TYPE B SOIL STABILIZER (TYPICALLY NOV. 1 UNTIL SNOW COVER ANNUALLY). NEVER PLACE SEED ON TOP OF SNOW. IF COVER IS NEEDED AFTER SNOW FALL, CONTRACTOR MAY CHOOSE TO USE A DRY, NONTOXIC TYPE B SOIL STABILIZER PER MANUFACTURER'S SPECIFICATIONS AS REQUIRED BY THE WDNR.
 - SEEDING SHALL NOT TAKE PLACE WHEN THE SOIL IS TOO WET.
 - CONTRACTOR MAY CONSIDER WATERING TO HELP ESTABLISH THE SEED. WATER APPLICATION RATES SHALL BE CONTROLLED TO HELP PREVENT RUNOFF AND EROSION.
 - DURING CONSTRUCTION, AREAS THAT HAVE BEEN SEEDED AND MULCHED SHALL AT A MINIMUM BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 1/2 INCH OF RAIN OR MORE DURING A 24 HOUR PERIOD. INSPECT WEEKLY DURING THE GROWING SEASON UNTIL VEGETATION IS DENSELY ESTABLISHED OR THE SOIL IS LAID. REPAIR AND RESEED AREAS THAT HAVE EROSION DAMAGE AS NECESSARY.
 - CONTRACTOR IS TO LIMIT VEHICLE TRAFFIC AND OTHER FORMS OF COMPACTION IN AREAS THAT ARE SEEDED AS MUCH AS POSSIBLE. RE-SEED DRIVEN OVER AREAS AS NEEDED.
 - MULCH SHOULD BE PLACED WITHIN 24 HOURS OF SEEDING.
 - MULCHING OPERATIONS SHALL NOT TAKE PLACE DURING PERIODS OF EXCESSIVELY HIGH WINDS THAT WOULD PRECLUDE THE PROPER PLACEMENT OF MULCH.
 - MULCH THAT IS DISPLACED SHALL BE REAPPLIED AND PROPERLY ANCHORED. MAINTENANCE SHALL BE COMPLETED AS SOON AS POSSIBLE WITH CONSIDERATION TO SITE CONDITIONS.
 - WHEN CHANNEL EROSION MAT IS USED WITHIN CONSTRUCTION SITE DIVERSION AREAS, TECHNICAL STANDARDS 1055 AND 1066 SHALL BE FOLLOWED.
 - WHEN NON-CHANNEL EROSION MAT IS USED TECHNICAL STANDARD 1052 SHALL BE FOLLOWED.
 - DEPENDING ON DURATION OF CONSTRUCTION, THE CONTRACTOR MAY NEED TO RE-SEED AND RE-STABILIZE THE TOPSOIL STOCKPILE AS NECESSARY TO DISCOURAGE SEDIMENT AND EROSION.
- A COPY OF EROSION CONTROL INSPECTION REPORTS AND THE APPROVED EROSION CONTROL PLANS SHALL BE KEPT ON SITE.
- CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL PRACTICES BY THE END OF EACH WORKDAY.
- LOCAL ROADS SHALL BE CLEAN BY THE END OF EACH WORKDAY. CONTRACTOR SHALL HAVE LOCAL ROADS SWEEPED WHERE SEDIMENT ACCUMULATES.



EROSION CONTROL OPERATION SEQUENCE + SCHEDULE

- AFTER BIDS ARE RECEIVED AND A MASS GRADING CONTRACTOR IS SELECTED, A PRE-CONSTRUCTION MEETING SHALL TAKE PLACE WITH ALL RELEVANT PARTIES IN ATTENDANCE.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING ALL SILT FENCES, SEEDING, EROSION MATTING, AND OTHER EROSION CONTROL MEASURES. GENERAL CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES PRIOR TO COMMENCING GRADING, GRUBBING, OR OTHER LAND DISTURBING ACTIVITIES. EROSION CONTROL MEASURES MUST BE INSPECTED WEEKLY AND WITHIN 24 HOURS OF EVERY PRECIPITATION EVENT OF 1/2 INCH OR GREATER. IN ADDITION, THE ACTIVE CONTRACTOR SHALL CONDUCT DAILY INSPECTIONS AND DOCUMENT CONDITIONS AND REPAIRS MADE, ALONG WITH DATE, TIME OF INSPECTION, AND WEATHER CONDITIONS IN A DAILY LOG BOOK.
- ALL REGULATORY PERMITS, ALL PROJECT PLANS, AND INSPECTION LOGS SHALL BE KEPT ON SITE IN AN ACCESSIBLE LOCATION AS A MAILBOX, AVAILABLE TO REGULATORY AGENCIES UPON REQUEST.
- CONTRACTORS ARE TO MAINTAIN THE CONSTRUCTION SITE IN A NEAT AND TIDY MANNER FOR THE DURATION OF THE PROJECT.
- THE TIMING AND SEQUENCE OF CONSTRUCTION IS SCHEDULED AS FOLLOWS:**
- OBTAIN PLAN APPROVAL FROM ALL RELEVANT GOVERNMENT AGENCIES AND MUNICIPALITIES, AND ALL APPLICABLE PERMITS, INCLUDING EROSION CONTROL PERMIT.
- CONSTRUCTION IS SCHEDULED TO BEGIN IN 2020, DEPENDING ON WEATHER & GROUND CONDITIONS.
- A GRAVEL TRACKING PAD UNDERLAIN WITH WISDOT TYPE R GEOTEXTILE FABRIC, ALONG WITH A TEMPORARY CULVERT IF NECESSARY, SHALL BE INSTALLED AS SHOWN ON THE PLANS. RE-GRADE EXISTING ROADWAY DITCH AS NECESSARY. IF INSTALLED, THE TEMPORARY CULVERT SHALL BE REMOVED AT END OF CONSTRUCTION ACTIVITIES.
- SILT FENCE SHALL BE INSTALLED AS SHOWN ON THE PLANS, AND INSPECTED PRIOR TO COMMENCING OF ANY LAND DISTURBING ACTIVITIES PER PROJECT PLANS AND DETAILS. SEDIMENT DEPOSITS WILL BE REMOVED FROM BEHIND THE SILT FENCE WHEN THEY REACH A DEPTH OF 1/2 FENCE HEIGHT.
- IF INDICATED ON PLANS, INSTALL CONSTRUCTION FENCE AND ANY TEMPORARY TRAFFIC CONTROLS.
- IMMEDIATELY INSTALL ALL EROSION CONTROL MEASURES PRIOR TO LAND DISTURBANCE. SITE DEMOLITION OF PAVEMENT, ETC. WILL OCCUR AFTER EROSION CONTROL MEASURES ARE IN PLACE.
- CONSTRUCTION OF THE BUILDING, STARTING WITH THE FOUNDATION, WILL BEGIN IMMEDIATELY AFTER THE SITE DEMOLITION IS COMPLETE IN THE BUILDING PAD AREA.
- TOPSOIL STRIPPING AND ROUGH GRADING WILL FOLLOW. TOPSOIL STOCKPILES WILL BE LOCATED AS SHOWN ON THE PLANS. STOCKPILES WILL BE USED FOR FINAL LANDSCAPING. REMAINING STOCKPILES WILL BE REMOVED FROM THE SITE.
- UTILITY INSTALLATION WILL OCCUR NEXT AND CONTINUE UNTIL ALL THE UTILITIES ARE INSTALLED. RESTORATION OF CURB AND GUTTER WILL FOLLOW.
- AFTER ROUGH GRADING IS COMPLETE IN AREAS OUTSIDE OF HARD SURFACE AREAS SUCH AS PROPOSED ROADWAYS, PARKING LOTS, AND BUILDINGS, THE TOPSOIL WILL BE REAPPLIED AND THE LANDSCAPE CONTRACTOR WILL COMPLETE SEEDING/SODDING/FERTILIZING/MULCHING AND INSTALL EROSION MATTING AS PER APPROVED PLANS AND SPECIFICATIONS.
- FINAL SITE STABILIZATION IS ANTICIPATED FOLLOWING THE COMPLETION OF GRADING ACTIVITIES. IF SITE STABILIZATION CANNOT BE COMPLETED BY OCTOBER 1, THEN THE USE OF ANIONIC POLYACRYLAMIDE CONFORMING TO WDNR TECHNICAL STANDARD 1050 SHALL BE USED. IN ADDITION, ALL SLOPES OF GREATER THAN 20% MUST ADHERE TO THE SCHEDULE IN TABLE 1 BELOW.
- AFTER ALL TOPSOIL HAS BEEN REAPPLIED AND STABILIZATION IS UNDERWAY, ROADWAY, PARKING LOT, AND SIDEWALK BASE MATERIAL WILL BE APPLIED PER PROJECT SPECIFICATIONS.
- THE GENERAL CONTRACTOR WILL REQUEST A FINAL INSPECTION BY THE DEPARTMENT OF ADMINISTRATION (DOA). UPON APPROVAL, ALL SILT FENCES, INLET FILTER PROTECTION, AND TRIANGULAR SILT DIKES SHALL BE REMOVED, AND ACCUMULATED SEDIMENT IN THE SEDIMENT BASIN/STORM WATER POND SHALL BE DRESSED AND PROPERLY DISPOSED OF. IN ADDITION, THE CONTRACTOR MUST ENSURE THAT THE STORM WATER POND IS RETURNED TO THE SLOPES AND GRADES SHOWN ON THE PROJECT PLANS AND DETAILS.
- IF REQUIRED, FINAL "AS-BUILT" SURVEYS ARE TO BE CONDUCTED BY THE OWNER AND FINAL DOCUMENTS FORWARDED TO THE DOA.
- BARE SOIL LEFT UNDISTURBED FOR 14 CALENDAR DAYS MUST BE TEMPORARILY STABILIZED PER WDNR TECHNICAL STANDARD 1059, OR TEMPORARY GRADING PRACTICES PER WDNR TECHNICAL STANDARD 1067 MAY BE IMPLEMENTED. HOWEVER BY OCTOBER 1, THE SITE SHALL BE STABILIZED PER NOTE 11 ABOVE.
- WE DO NOT ANTICIPATE THE NEED FOR WATERING WITH THIS CONSTRUCTION SCHEDULE, HOWEVER, IF ADEQUATE RAIN IS NOT EXPERIENCED WITHIN ONE WEEK AFTER INITIAL SEED GERMINATION AT ANY POINT DURING THE CONSTRUCTION PROCESS, WATER SHALL BE TRUCKED IN AND APPLIED ONCE PER WEEK.

IF CONSTRUCTION SCHEDULES SHOULD CHANGE SIGNIFICANTLY, THIS PLAN NARRATIVE WILL BE UPDATED AND RESUBMITTED BY THE CONTRACTOR TO THE DEPARTMENT OF ADMINISTRATION AND WDNR.

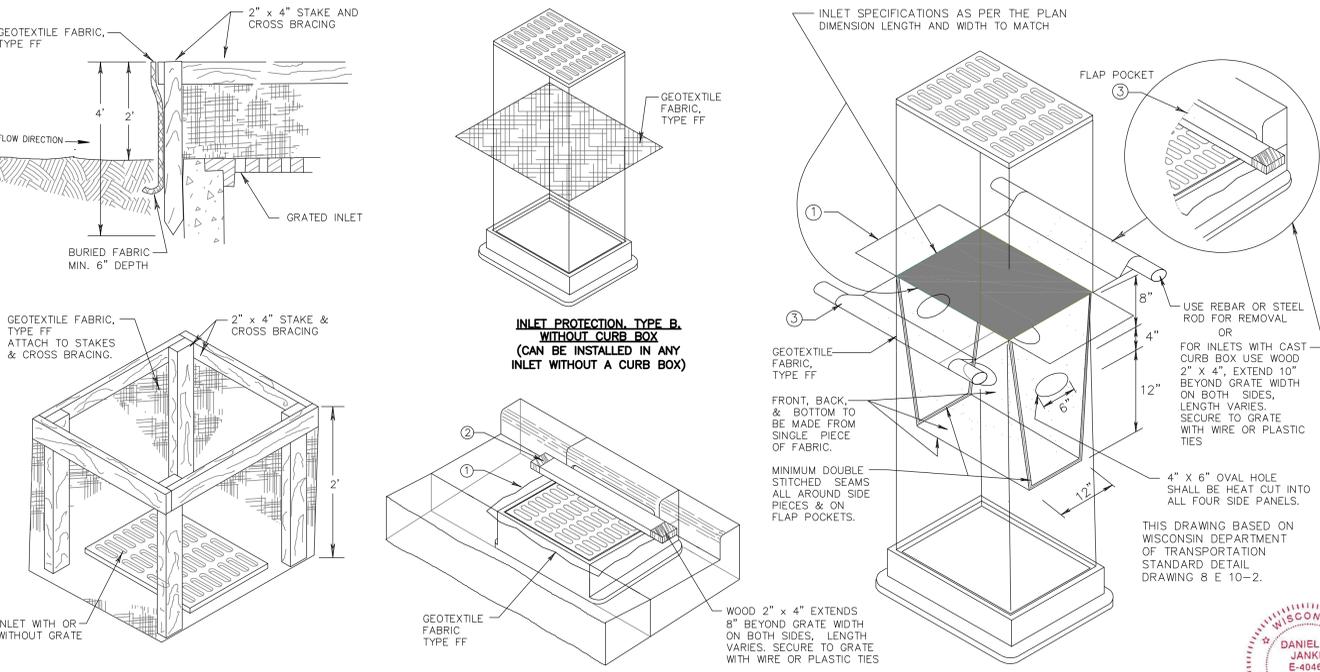
TABLE 1 - MAXIMUM PERIOD OF BARE SOIL FOR SLOPES GREATER THAN 20%

SLOPE AREA DRAINS TO SEDIMENT BASIN?	LAND DISTURBANCE BETWEEN SEPT. 16 AND MAY 1	LAND DISTURBANCE BETWEEN MAY 2 AND SEPT. 15
YES	90 DAYS	90 DAYS
NO	60 DAYS	30 DAYS

TABLE FROM WI DNR GUIDANCE DOC # 3800-2015-06

DEWATERING PLAN

- TO FACILITATE CONSTRUCTION AT THE PROJECT SITE, DEWATERING MAY TAKE PLACE BY THE SELECTED CONTRACTOR. CONTRACTOR TO FOLLOW THESE INSTRUCTIONS WHILE PERFORMING DEWATERING ACTIVITIES ON-SITE. IF DEWATERING IS TO TAKE PLACE AT THE SITE, IT WILL OCCUR BETWEEN STEPS 5 AND 13 OF THE EROSION CONTROL OPERATION SEQUENCE.
- NOTE: THESE INSTRUCTIONS DO NOT APPLY TO WATER BEING DISCHARGED DIRECTLY TO GROUNDWATER OR KARST FEATURES OR WELL DEWATERING SYSTEMS. CONTRACTOR SHALL COORDINATE ACCORDINGLY FOR OTHER DEWATERING ACTIVITIES AS DEEMED NECESSARY WITH THE WDNR.
- THE CONTRACTOR SHALL ENSURE THAT THE DEWATERING PRACTICES CARRIED OUT MEET OR EXCEED WDNR TECHNICAL STANDARD 1061.
 - A PAN OR OTHER CONTAINMENT DEVICE SHALL BE PLACED UNDERNEATH THE PUMP TO CAPTURE ANY SPILLS, OILS, GASOLINE, ETC. SHALL NOT BE STORED WITHIN WETLANDS, NEAR THE STORMWATER POND, OR OTHER ON-SITE WATER AREAS.
 - A TYPE 2 GEOTEXTILE BAG THAT IS NO SMALLER THAN 100 SQUARE FEET; HAS A MAXIMUM APPARENT OPENING SIZE OF 0.21MM; HAS A TENSILE STRENGTH OF 300 LBS; MULLEN BURST OF 580 PSI; PERMEABILITY OF 0.2 CM/SEC; FABRIC WEIGHT OF 12 OZ SHALL BE USED. THE GEOTEXTILE BAG AREA AND DOWNGRADE FLOW AREA SHALL CONSIST OF VEGETATED AND UNDISTURBED SOILS.
 - POLYMER MEETING WDNR TECHNICAL STANDARD 1051 MAY BE USED IN COMBINATION WITH THE DEWATERING BAG IF THE DEWATERING BAG IS NOT DOING AN ADEQUATE JOB ALONE OF FILTERING SEDIMENTS. THE CONTRACTOR SHALL SUPPLY TOXICITY TESTING DATA TO THE WDNR BEFORE USE ON-SITE FOR WDNR APPROVAL. POLYMER SHALL NOT BE DIRECTLY APPLIED TO SURFACE WATER. CONTRACTOR SHALL OBTAIN THE MATERIAL SAFETY DATA SHEETS (MSDS) FOR THE SELECTED POLYMER, MANUFACTURER'S INFORMATION AND WDNR USE RESTRICTIONS (SEE TECHNICAL STANDARD 1051) AND KEEP ALL THIS INFORMATION ON-SITE. CONTRACTOR SHALL ADHERE TO MANUFACTURER AND WDNR'S APPLICATION RATES FOR THE POLYMER, WITH THE WDNR'S RATE TAKING PRECEDENCE. THE CONTRACTOR SHALL TAKE STEPS TO ENSURE THAT THE POLYMER IS NOT SPILLED. SPILL KITS SHALL BE KEPT ON-SITE; THE MANUFACTURER'S RECOMMENDED CLEANUP PROCEDURES SHALL BE FOLLOWED IN THE EVENT OF A SPILL.
 - A TRAP MAY BE UTILIZED UNDERNEATH THE TYPE 2 GEOTEXTILE BAG AND JUST DOWN SLOPE OF THE BAG TO DISCOURAGE EROSION AND SCOUR.
 - A FLOATING SUCTION HOSE OR OTHER FLOTATION METHOD SHALL BE UTILIZED WHEN PUMPING FROM AN AREA WITH STANDING WATER TO AVOID SUCKING SEDIMENT FROM GRADE.
 - IF TURBID WATER IS LEAVING THE GEOTEXTILE BAG, THE CONTRACTOR SHALL SHUT OFF THE PUMP TO ALLOW SEDIMENTS TO SETTLE INTO THE BAG. CONTRACTOR SHALL FOLLOW THE MANUFACTURER'S SPECIFICATIONS FOR DETERMINING THE SEDIMENT CAPACITY OF THE GEOTEXTILE BAG USING GOOD COMMON SENSE. SEDIMENT LEVELS CONTAINED IN THE BAG SHALL BE MONITORED TO MEASURE THE LOSS OF STORAGE CAPACITY OVER TIME. THE CONTRACTOR SHALL PROPERLY DISPOSE OF THE GEOTEXTILE BAG IN A WASTE RECEPTACLE ONCE IT IS NO LONGER USED.
 - DURING DEWATERING ACTIVITIES THE CONTRACTOR SHALL MONITOR DEWATERING PRACTICES AND KEEP A LOG OF THE FOLLOWING:
 - DISCHARGE DURATION AND SPECIFIED PUMPING RATE.
 - OBSERVED WATER TABLE AT TIME OF DEWATERING.
 - MAINTENANCE ACTIVITIES
 - NAME AND QUANTITY OF POLYMER USED. PRODUCT TYPE.
 - APPLICATION RATE OF POLYMER IN POUNDS/ACRE FEET OF WATER.
 - DATE AND TIME APPLIED.
 - WEATHER CONDITIONS DURING APPLICATION.
 - METHOD OF APPLICATION.
- THIS LOG NEEDS TO BE KEPT ON SITE FOR WDNR REGULATORY REVIEW. COPIES OF THIS DOCUMENTATION SHOULD BE KEPT IN THE CONTRACTOR'S MONITORING LOG AND MADE AVAILABLE UPON REQUEST.
- REVIEW THE FOLLOWING FOR MORE INFORMATION:
 WDNR TECHNICAL STANDARD 1061 FOR DEWATERING - http://dnr.wi.gov/topic/stormwater/documents/Dewatering_1061.pdf
 WDNR TECHNICAL STANDARD 1050 FOR POLYMER - <http://dnr.wi.gov/topic/stormwater/documents/dnr1050-polyacrylamide.pdf>
- INSPECT ALL EROSION CONTROL MEASURES PRIOR TO COMMENCING GRADING, GRUBBING OR OTHER LAND DISTURBING ACTIVITIES. EROSION CONTROL MEASURES MUST BE INSPECTED WEEKLY AND WITHIN 24 HOURS OF EVERY PRECIPITATION EVENT OF 0.50 INCH OR GREATER. IN ADDITION THE CONTRACTOR SHALL CONDUCT DAILY INSPECTIONS AND DOCUMENT CONDITIONS AND REPAIRS MADE, ALONG WITH DATE, TIME OF INSPECTION AND WEATHER CONDITIONS IN A DAILY LOG BOOK. THE DAILY LOG BOOK, WEEKLY / 0.50 INCH PRECIPITATION REPORTS, APPROVED PLANS WPDES PERMIT & CHAPTER 30 PERMIT SHALL BE KEPT IN AN ACCESSIBLE LOCATION LIKE A MAILBOX, WITHIN THE STAGING AREA.
- AT ABSOLUTELY NO TIME MAY CONSTRUCTION EQUIPMENT, DEBRIS, FILL, ETC. BE PLACED WITHIN WETLANDS, WATERWAYS OR FLOODPLAINS UNLESS IDENTIFIED IN THE PLANS & APPROVED BY DNR/USACE.



- GENERAL NOTES:**
MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.
- WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
- FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
 - FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
 - FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.
- 3 INLET PROTECTION DETAIL**
N.T.S.

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Project Title:
**Additions and Remodeling to:
Les Paul / Central Middle School
School District of Waukesha
325 Carroll St, Waukesha, WI 53186**

REVISIONS:
DATE DESCRIPTION

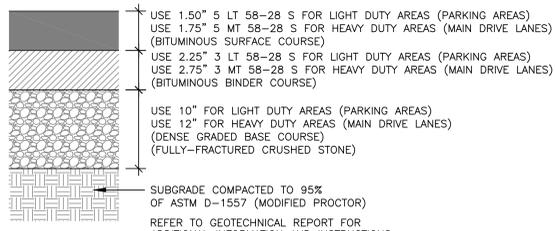
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3353

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11/11/2019

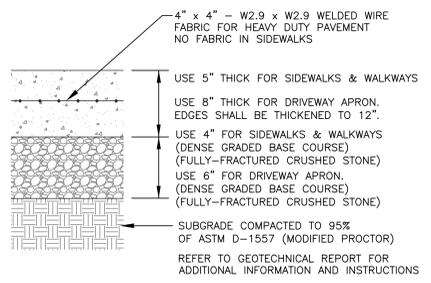
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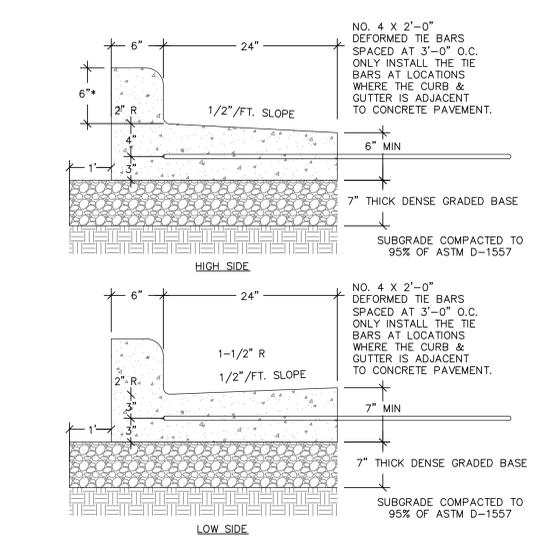
Professional Seal:
DANIEL M. JANKE
E-40464
MILWAUKEE WI
PROFESSIONAL ENGINEER



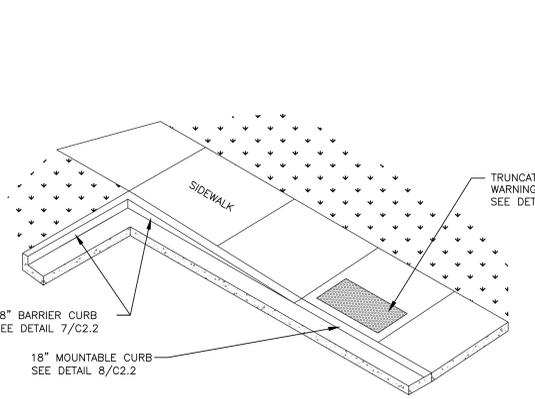
4 ASPHALTIC CONCRETE PAVEMENT
N.T.S.



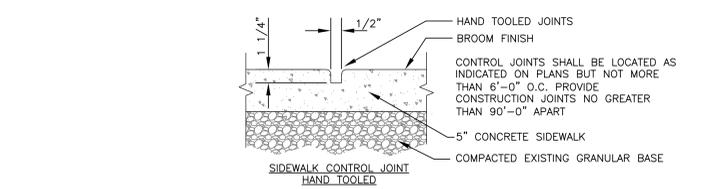
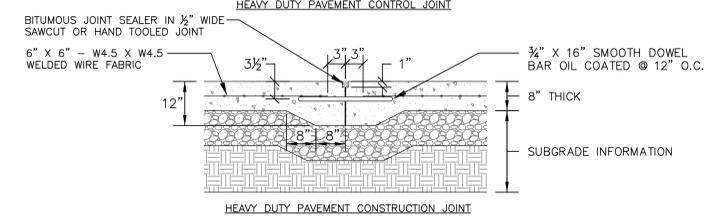
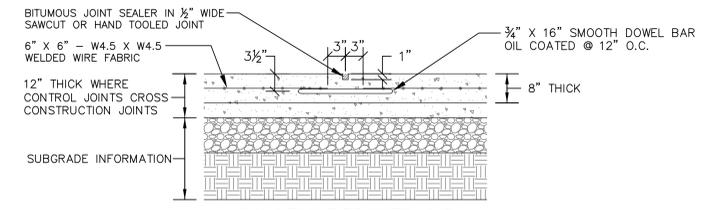
5 CONCRETE SIDEWALK/SLAB
N.T.S.



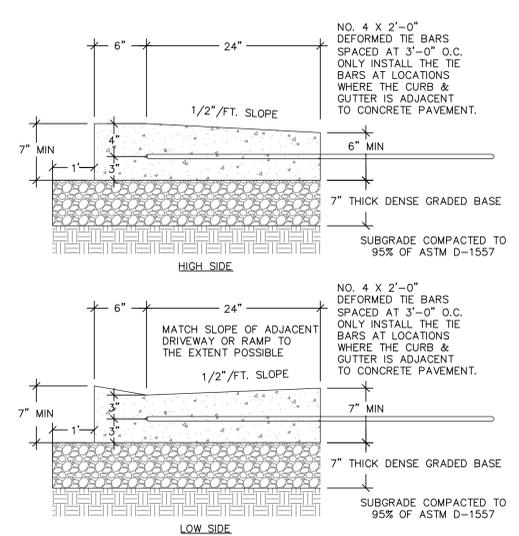
9 30-INCH BARRIER CONCRETE CURB & GUTTER
N.T.S.



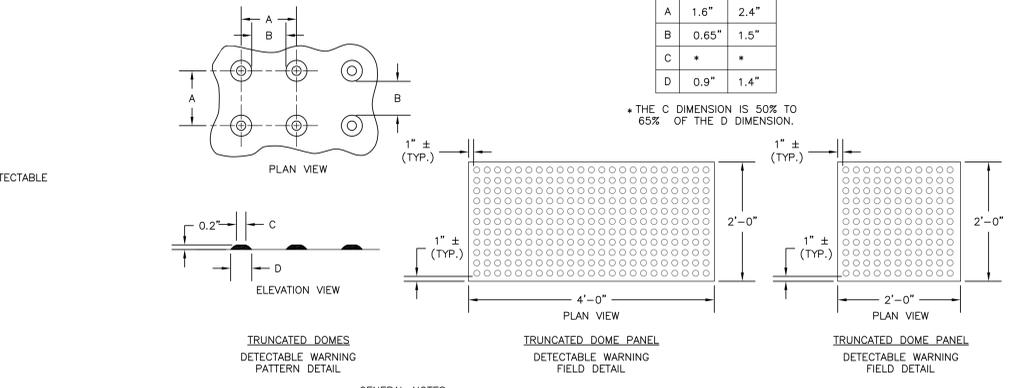
13 ADA WALK ACCESS
N.T.S.



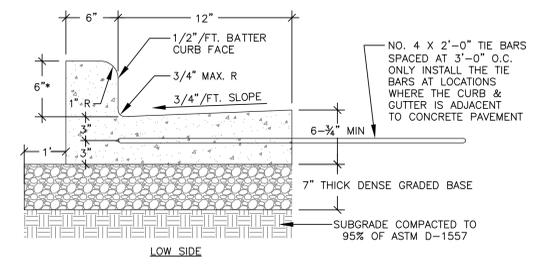
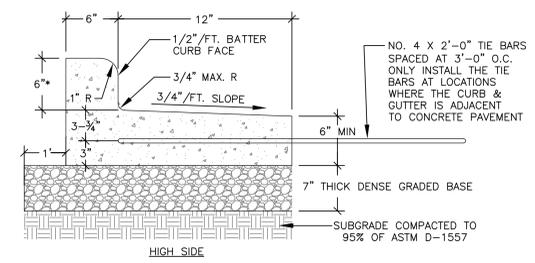
6 CONTROL & CONSTRUCTION JOINT DETAILS (TYP.)
N.T.S.



10 30-INCH DEPRESSED CONCRETE CURB & GUTTER
N.T.S.

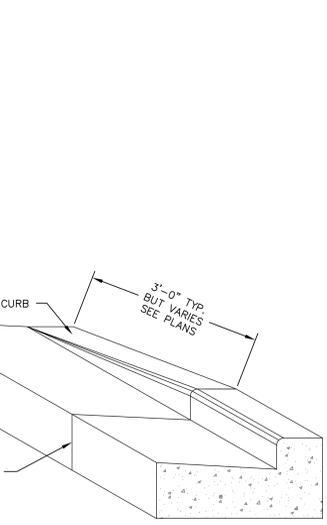


14 TRUNCATED DOME DETECTABLE WARNING FIELD
N.T.S.

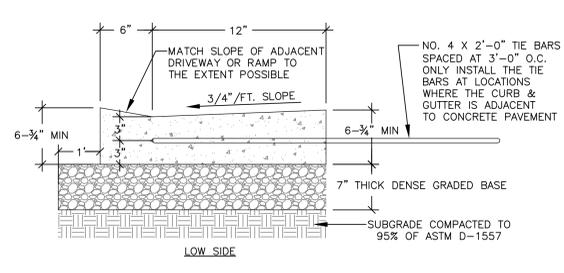
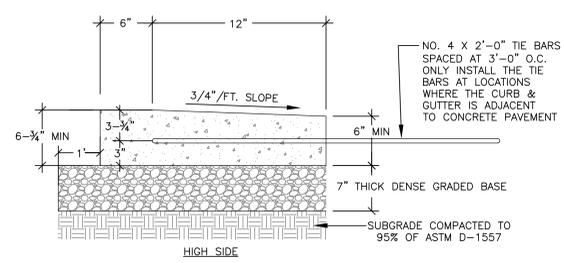


*CURB HEIGHT MAY VARY. SEE SITE GRADING PLAN FOR EXACT CURB HEIGHTS. CONTACT ENGINEER WITH ANY QUESTIONS THAT ARISE. PROVIDE CONSTRUCTION JOINTS BETWEEN 10- FEET AND 300- FEET.

7 18-INCH BARRIER CONCRETE CURB & GUTTER
N.T.S.

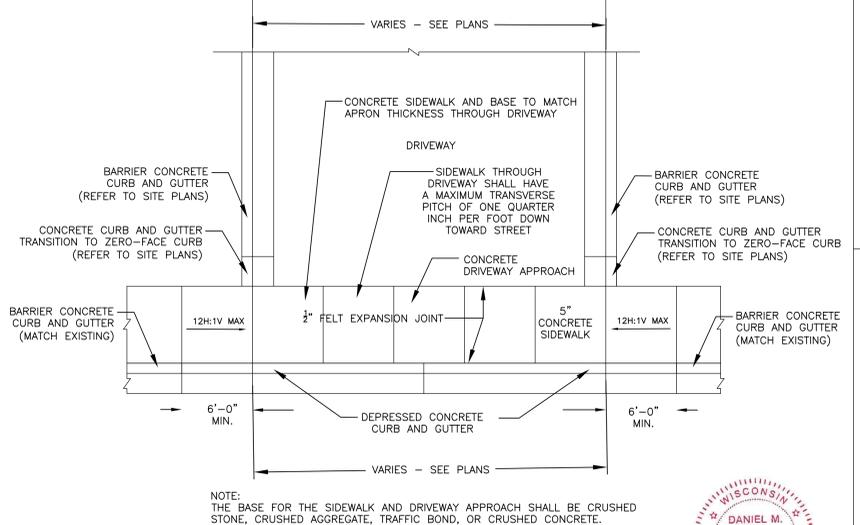


11 CONCRETE CURB & GUTTER TRANSITION TO ZERO-FACE CURB
N.T.S.

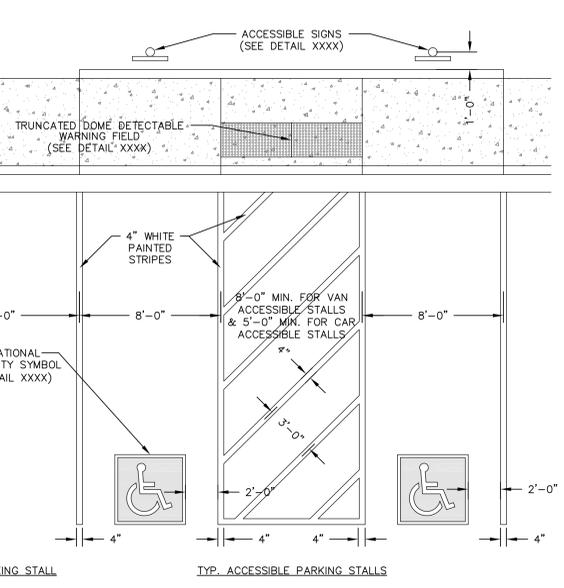


*CURB HEIGHT MAY VARY. SEE SITE GRADING PLAN FOR EXACT CURB HEIGHTS. CONTACT ENGINEER WITH ANY QUESTIONS THAT ARISE. PROVIDE CONSTRUCTION JOINTS BETWEEN 10- FEET AND 300- FEET.

8 18-INCH DEPRESSED CONCRETE CURB & GUTTER
N.T.S.



12 STANDARD CONCRETE DRIVEWAY
N.T.S.



15 ACCESSIBLE PARKING STALL MARKING
N.T.S.



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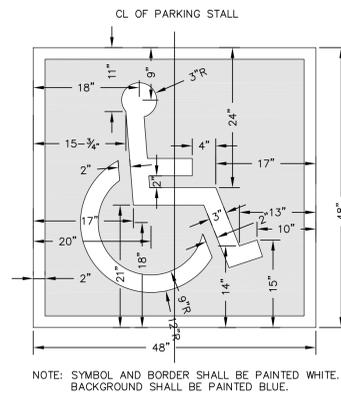
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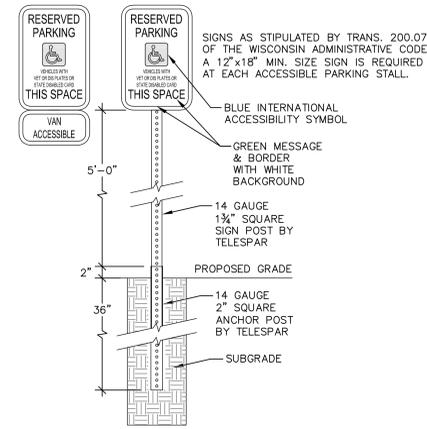
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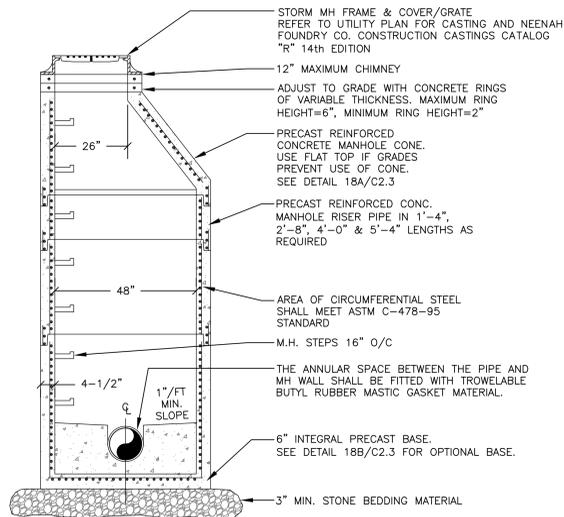
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16 INTERNATIONAL ACCESSIBILITY SYMBOL FOR PARKING STALLS
N.T.S.



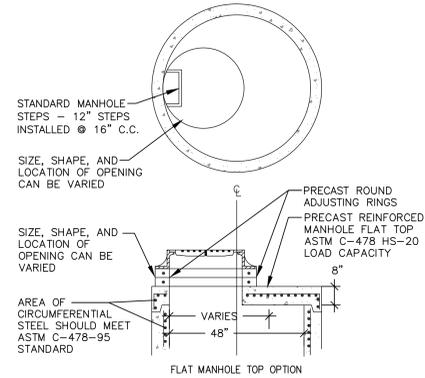
17 ACCESSIBLE PARKING STALL SIGN
N.T.S.



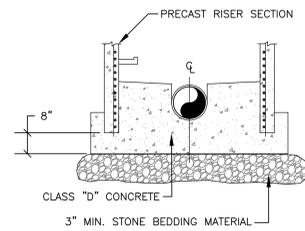
STORM MANHOLE NOTES:

- 1.) PRECAST CONCRETE ADJUSTING RINGS TO BE REINFORCED WITH ONE HOOP OF STEEL CENTERED WITHIN THE RING. WHERE NECESSARY, RINGS SHALL BE GROOVED TO RECEIVE STEP.
- 2.) CONCRETE AND STEEL REINFORCEMENT SHALL CONFORM TO DESIGNATION C-478 REQUIREMENTS OF ASTM SPECIFICATIONS.
- 3.) JOINTS SHALL BE WATERTIGHT AND SHALL BE MADE USING RUBBER GASKETS OR BUTYL RUBBER MASTIC MATERIAL.
- 4.) 3" MIN. BEDDING MATERIAL REQUIRED UNDER MANHOLE BASE AND BACKFILLED STRUCTURE WITH GRANULAR BACKFILL MATERIAL.
- 5.) SEE STANDARD SPECIFICATIONS, FILE NO. 12 FOR PRECAST MANHOLE AND FILE NO. 13 FOR MANHOLE INVERTS, INCLUDING INVERTS OF LATERAL SEWERS THAT CONNECT DIRECTLY TO MANHOLES.

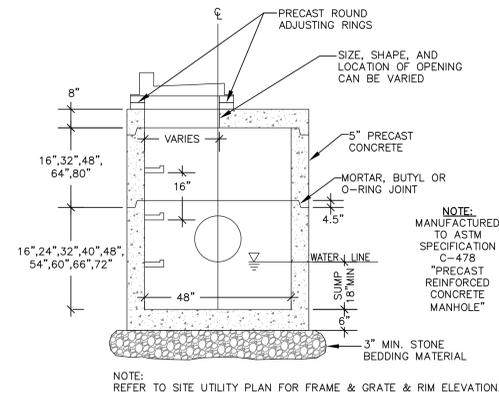
18 STORM MANHOLE DETAIL
N.T.S.



18A OPTIONAL FLAT TOP MANHOLE WITH ROUND FRAME & COVER
N.T.S.



18B OPTIONAL POURED MANHOLE BASE FOR MANHOLES
N.T.S.



19 48-INCH DIAMETER STORM CATCH BASIN WITH CURB BOX FRAME & GRATE
N.T.S.



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Plant Schedule

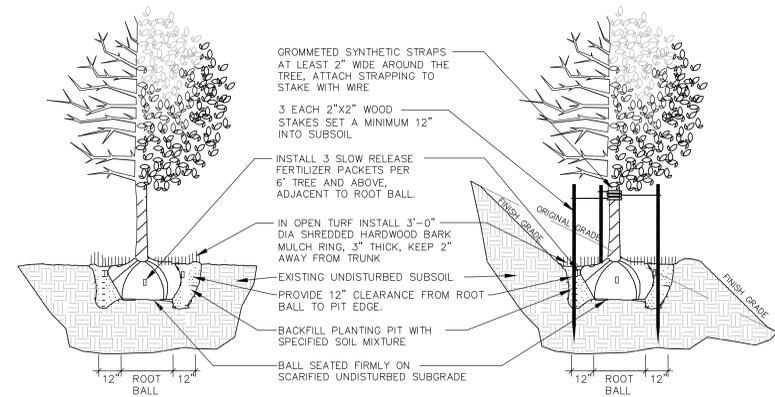
	Scientific Name	Common Name	Quantity	Spacing	Install Size
Deciduous Trees					
JTL	Syringa reticulata	Japanese Tree Lilac	2	Per Plan	2" caliper B&B
RJC	Malus 'Jewelcole'	Red Jewel Crab	2	Per Plan	2" caliper B&B
SGM	Acer x freemanii 'Sienna'	Sienna Glen Maple	4	Per Plan	2.5" caliper B&B
SHL	Gleditsia triacanthos 'Shademaster'	Shademaster Honeylocust	2	Per Plan	2.5" caliper B&B
Evergreen Shrubs					
KCJ	Juniperus x pfitzeriana 'Kallay's Compact'	Kallay Compact Juniper	50	Per Plan	#5 cont.
Deciduous Shrubs					
DBH	Diervilla lonicera 'Jewel'	Jewel Dwarf Bush Honeysuckle	49	Per Plan	#2 cont.
DPR	Rosa rugosa 'Dwarf Pavement'	Dwarf Pavement Rose	7	Per Plan	#3 cont.
GLS	Rhus aromatica 'Gro-Low'	Grow Low Sumac	36	Per Plan	#2 cont.
Perennials					
HMG	Panicum virgatum 'Heavy Metal'	Heavy Metal Switch Grass	49	Per Plan	#1 cont.
KFG	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	25	Per Plan	#1 cont.
PPCB	Heuchera 'Palace Purple'	Palace Purple Coral bell	8	Per Plan	#1 cont.

NOTE: Installation contractor is responsible for verifying plant count from plan. Plan quantities take precedence over list.

1 LANDSCAPE SCHEDULE

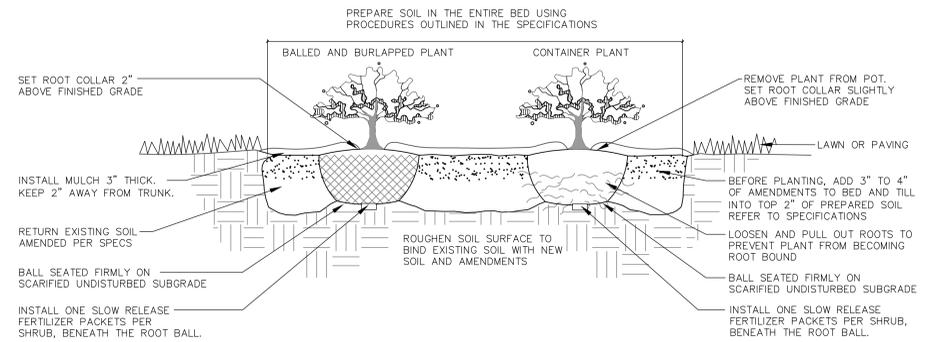
REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION

PLANNING NOTES:
 PARKING LOT PAVED AREA: 33,780 S.F.
 REQUIRED PLANTING AREA (5.0%): 1,689 S.F.
 PROVIDED ISLANDS AND PENINSULAS: 1,785 S.F.



3 DECIDUOUS TREE PLANTING, STAKING, & PLANTING ON A SLOPE

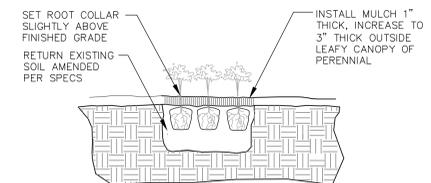
N.T.S.



4 DECIDUOUS & EVERGREEN SHRUB PLANTING

N.T.S.

- ALL PLANT MATERIAL SHALL BE OBTAINED FROM A NURSERY LOCATED IN ZONE 5, CONFORM TO APPLICABLE REQUIREMENTS OF THE CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AND BOTANICAL NAMES SHALL BE ACCORDING TO THE CURRENT EDITION OF "STANDARDIZED PLANT NAMES PREPARED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURE NOMENCLATURE.
- CONTRACTOR TO PROVIDE TO THE LANDSCAPE ARCHITECT SAMPLES OF ALL BARK AND MINERAL/STONE MULCHES, DECORATIVE GRAVELS, MAINTENANCE STRIP STONE, OR OTHER GROUND COVER MATERIALS FOR APPROVAL PRIOR TO INSTALLATION.
- BARK MULCH TO BE FRESHLY ACQUIRED HARDWOOD SHREDDED BARK MULCH. NOT DOUBLE MILLED, EXCESSIVE DIRT AND DUST LIKE MATERIAL OR OLD MATERIAL IS NOT ACCEPTABLE.
- LANDSCAPE EDGING TO BE ALUMINUM EDGING. REFER TO SPECIFICATION 32 93 00 PLANTS FOR ADDITIONAL INFORMATION.
- ALL PLANTING AREAS TO RECEIVE A 3-INCH THICK LAYER OF HARDWOOD SHREDDED BARK MULCH OVER TYPAR WEED FABRIC WITH EDGING. EDGING TO BE INSTALLED BETWEEN DIFFERENT TYPES OF MULCHES, BETWEEN MULCHES AND TURF, AND/OR WHERE SPECIFICALLY NOTED ON THE PLAN. REFER TO SPECIFICATION 32 93 00 PLANTS FOR ADDITIONAL INFORMATION.
- INSTALL SHOVEL CUT EDGE AROUND ALL INDIVIDUAL TREES AND SHRUBS IN LAWN AREAS AND ALONG PAVEMENT WHERE PLANTING AREAS ABUT TO PREVENT HARDWOOD SHREDDED BARK MULCH FROM SPILLING OUT OF PLANTING AREA.
- CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF PLANT MATERIAL FOR 90 DAYS FROM INSTALLATION, INCLUDING WATERING, WEEDING, ETC. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF SEEDED AREAS FOR 60 DAYS FROM INSTALLATION, INCLUDING WATERING, WEEDING, ETC. CONTRACTOR TO PROVIDE AND REVIEW MAINTENANCE INSTRUCTIONS WITH THE OWNER PRIOR TO THE COMPLETION OF THESE MAINTENANCE PERIODS. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- CLEANLY PRUNE AND REMOVE DAMAGED BRANCHES, DEAD WOOD, AND ROOTS IMMEDIATELY PRIOR TO PLANTING. DO NOT CUT LEADERS OR LEAVE "V" CROTCHES OR DOUBLE LEADERS UNLESS A MULTI-STEM TREE IS SPECIFIED.
- REMOVE BURLAP, WIRE BASKET, ROPE, TWINE, AND ALL SYNTHETIC MATERIAL FROM THE ROOTS, TRUNK, OR CROWN OF PLANT.
- REMOVE EXCESS SOIL ABOVE ROOT COLLAR.
- PLANT TREES AND SHRUBS SO THAT THE ROOT COLLAR IS 2" ABOVE FINISHED GRADE OR SEVERAL INCHES ABOVE GRADE IF PLANT IS INSTALLED IN POOR SOILS.
- PLANT TREES AND SHRUBS WITH SAME ORIENTATION AS WHEN HARVESTED FROM THE NURSERY OR TO SHOWCASE THE MOST AESTHETIC VIEW.
- PLANT ALL TREES WITH THREE SLOW RELEASE FERTILIZER PACKETS, SPACED EQUIDISTANT AROUND THE EDGE OF THE ROOT BALL.
- PLANT ALL SHRUBS WITH ONE SLOW RELEASE FERTILIZER PACKET, PLACED BELOW THE ROOTING SYSTEM.
- WATER AND TAMP BACKFILL AND ROOTS OF ALL NEWLY SET PLANT MATERIAL SO THE SOIL AND ROOTS ARE THOROUGHLY SOAKED AND AIR POCKETS ARE REMOVED.
- FOR INDIVIDUAL TREES & SHRUBS PLANTED IN TURF AREAS, PROVIDE CONTINUOUS 3" SOIL SAUCER TO CONTAIN WATER & MULCH (TREES ON SLOPES SHALL BE SAUCERED ON THE DOWNHILL SIDE)
- INSTALL 3" THICK SHREDDED HARDWOOD BARK MULCH RING 3'-0" DIA. FOR DECIDUOUS TREES AND ALL INDIVIDUAL SHRUBS IN LAWN AREAS, 5'-0" DIA. FOR EVERGREEN TREES. KEEP MULCH 2" AWAY FROM TRUNKS.
- STAKING - ONLY STAKE EVERGREEN TREES 5'-0" OR GREATER IN HEIGHT OR TREES THAT ARE UNABLE TO REMAIN UPRIGHT AFTER PLANTING. TREES WILL BECOME STRONGER FASTER WHEN THE TOP 2/3 OF THE TREE IS FREE TO SWAY. DO NOT ATTACH WIRE DIRECTLY TO TREES OR THROUGH HOSES - UTILIZE GROMMETED, SYNTHETIC STRAPS AT LEAST 2" WIDE AROUND THE TREE, ATTACH STRAPPING TO STAKE WITH WIRE. STAKE ONLY WHEN NECESSARY. STAKES SHOULD BE DRIVEN DEEPLY INTO THE GROUND TO PREVENT DISLODGING. CHECK AT LEAST EVERY THREE MONTHS FOR BINDING OR OTHER PROBLEMS. STAKES AND TIES SHOULD BE REMOVED SIX MONTHS TO ONE YEAR AFTER PLANTING.
- REFER TO SPECIFICATIONS 32 93 00 PLANTS AND 32 92 00 TURF AND GRASSES FOR ADDITIONAL INFORMATION.



5 PERENNIAL PLANTING

N.T.S.

2 LANDSCAPE NOTES

REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION

Office Locations:

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www.kapurinc.com

Project Title:
**Additions and Remodeling to:
 Les Paul / Central Middle School
 School District of Waukesha
 325 Carroll St, Waukesha, WI 53186**

REVISIONS:

DATE	DESCRIPTION
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NOT FOR CONSTRUCTION

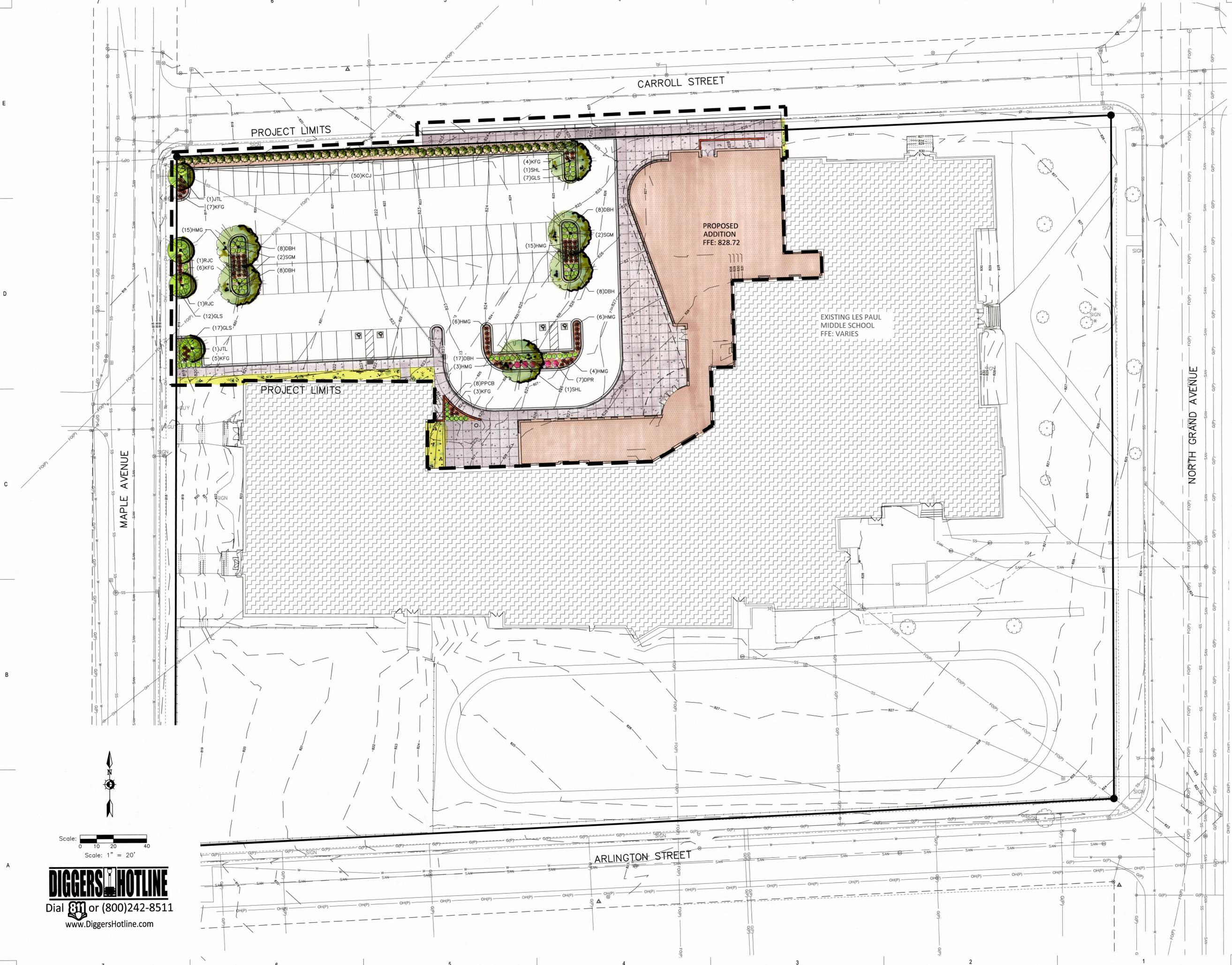
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3353

Issued For:
PLAN COMMISSION REVIEW
 11/11/2019

Sheet Title:
SITE LANDSCAPE DETAILS

Sheet Number:
L2.1





Scale: 1" = 20'

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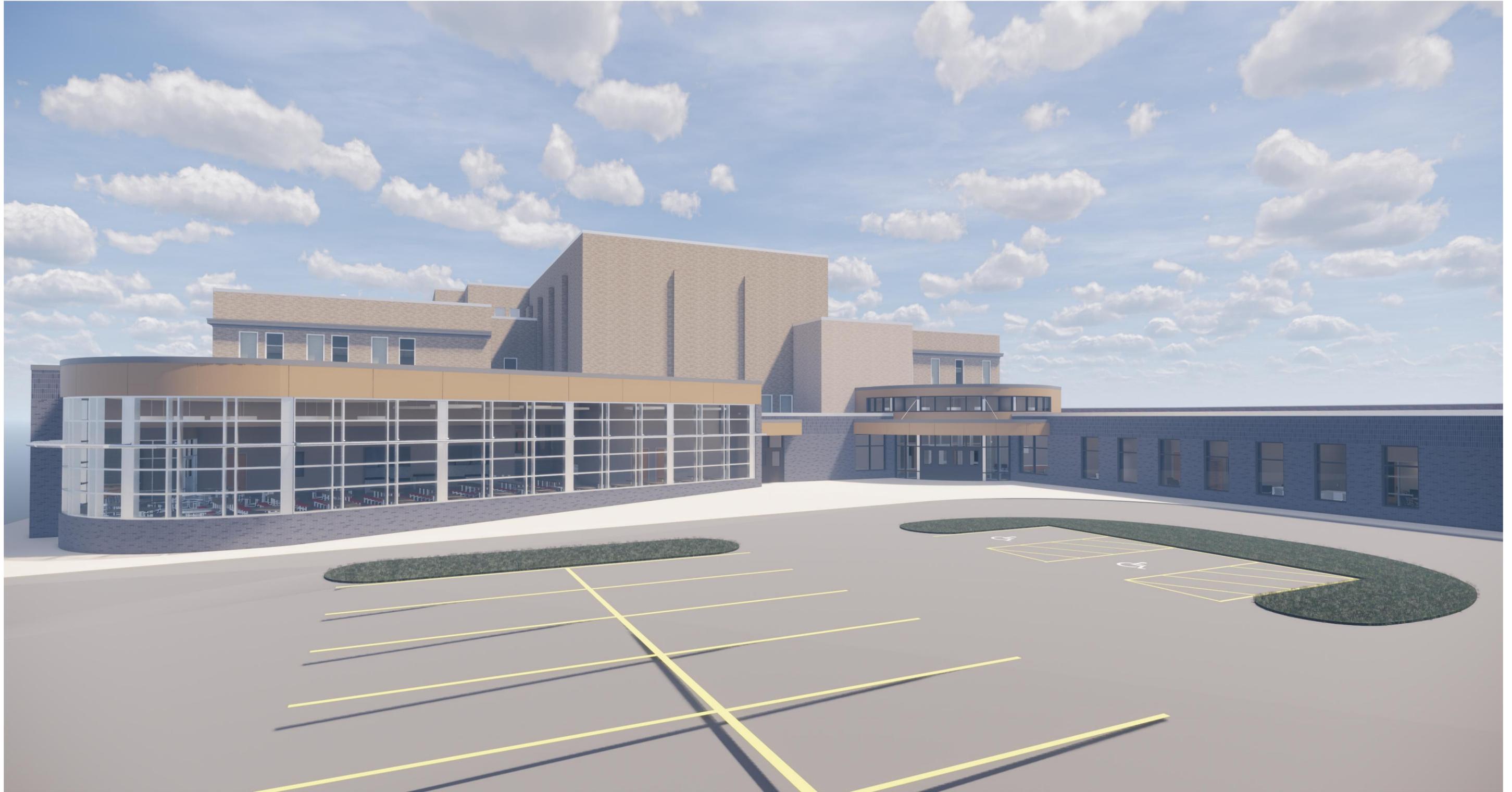
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3353

Issued For:
75% PROGRESS SET
 10/25/2019

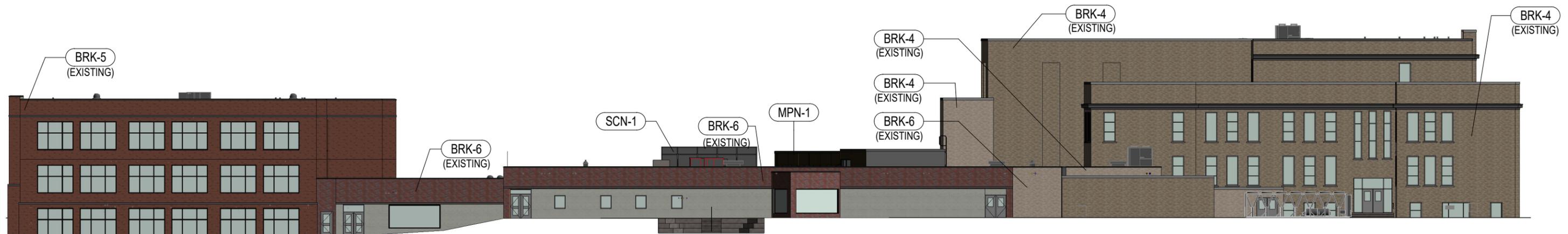
Sheet Title:
SITE LANDSCAPE PLAN

Sheet Number:
L1.1



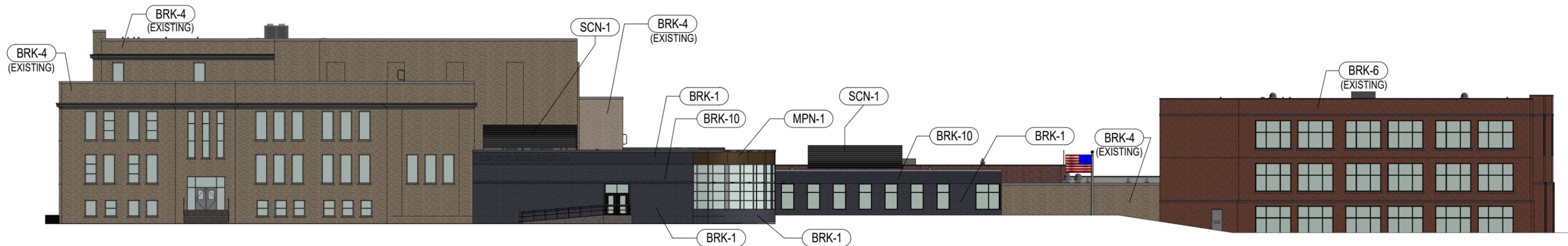
KEYNOTE LEGEND

BRK-1	MANGANESE IORNSPORT VELOUR MODULAR BRICK
BRK-4	EXISTING BRICK A
BRK-5	EXISTING BRICK B
BRK-6	EXISTING BRICK C
BRK-10	MANGANESE IORNSPORT VELOUR SOLDIER BRICK
MPN-1	PAC-CLAD SIERRA TAN METAL PANEL
SCN-1	PREMANUFACTURED ANODIZED ROOF EQUIPMENT SCREEN TO MATCH EXISTING METAL TRIM



OVERALL - SOUTH ELEVATION

Scale: 1" = 30'-0"



OVERALL - NORTH ELEVATION

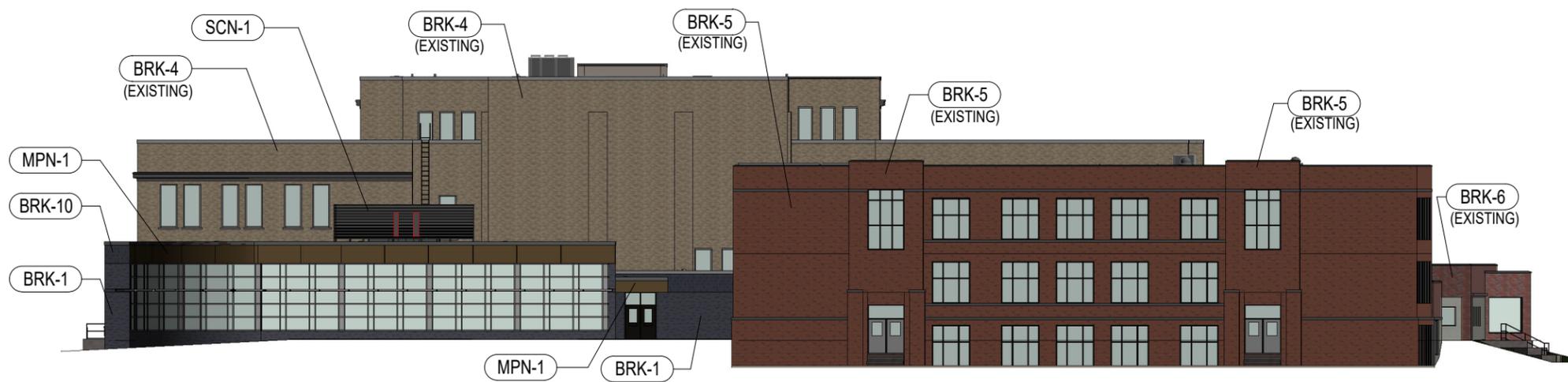
Scale: 1" = 30'-0"

KEYNOTE LEGEND	
BRK-1	MANGANESE IORNSPORT VELOUR MODULAR BRICK
BRK-4	EXISTING BRICK A
BRK-5	EXISTING BRICK B
BRK-6	EXISTING BRICK C
BRK-7	EXISTING BRICK D
BRK-10	MANGANESE IORNSPORT VELOUR SOLDIER BRICK
MPN-1	PAC-CLAD SIERRA TAN METAL PANEL
SCN-1	PREMANUFACTURED ANODIZED ROOF EQUIPMENT SCREEN TO MATCH EXISTING METAL TRIM



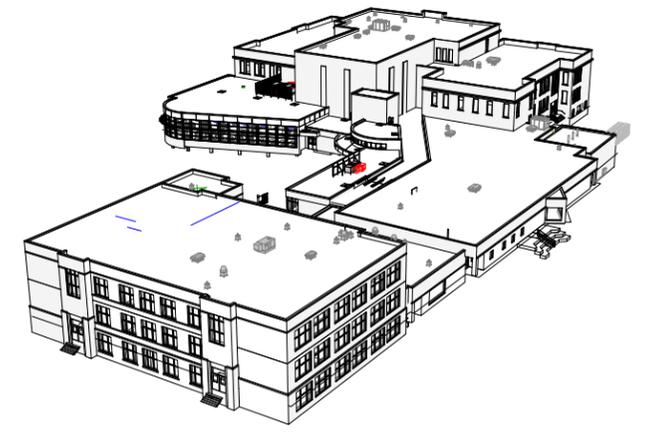
OVERALL - EAST ELEVATION

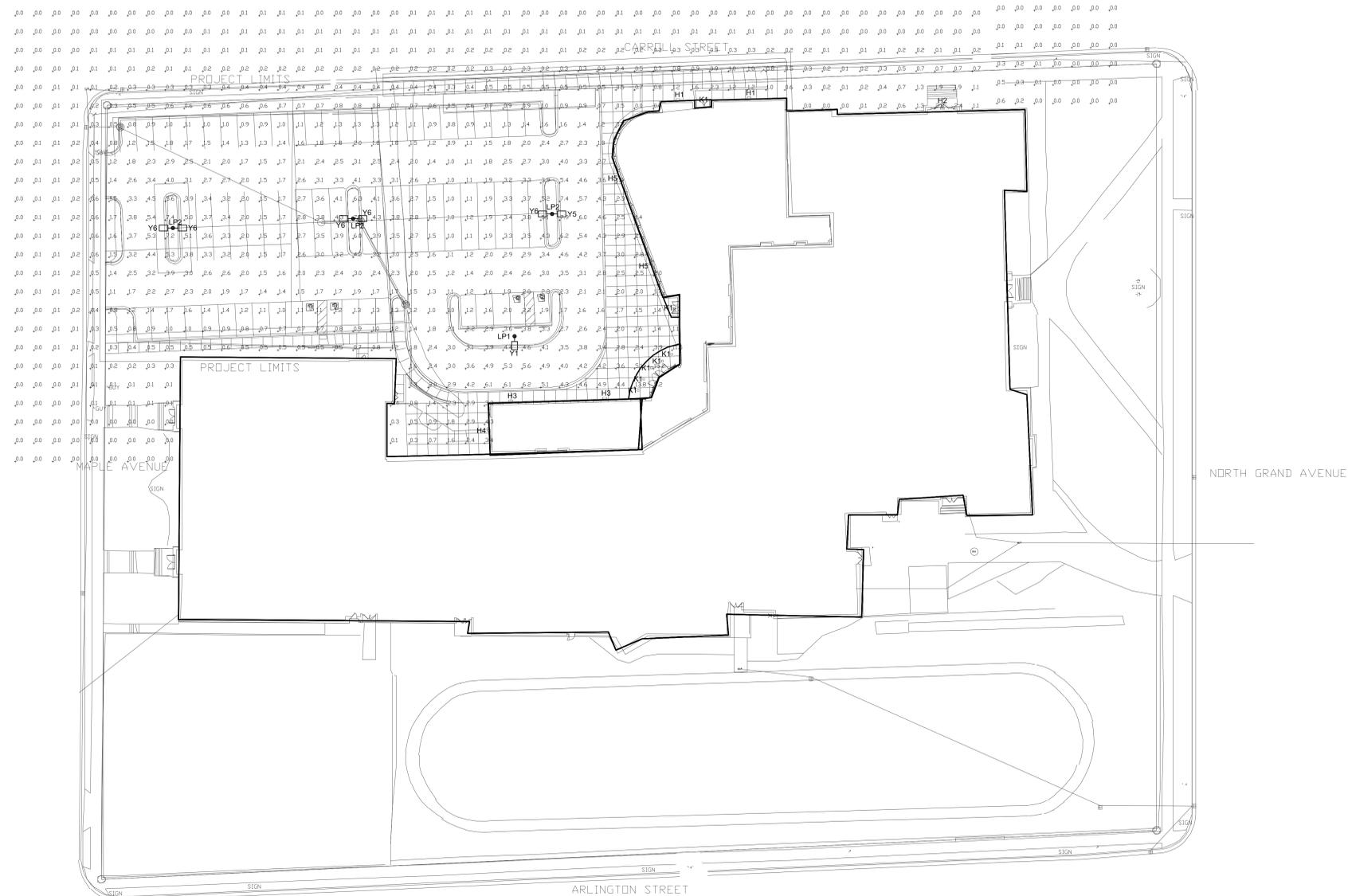
Scale: 1" = 30'-0"



OVERALL - WEST ELEVATION

Scale: 1" = 30'-0"



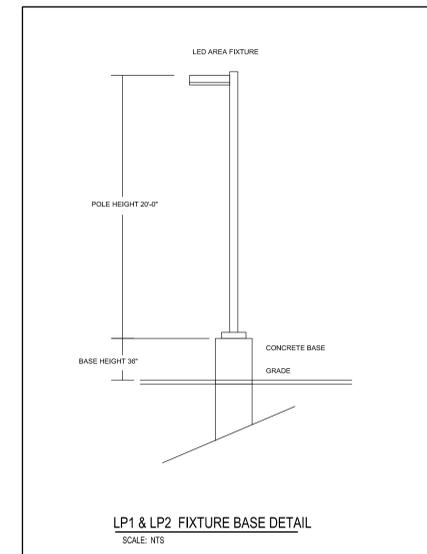


SITE PLAN - PHOTOMETRIC
 Scale: 1" = 30'-0"
 PLAN NORTH

LES PAUL MIDDLE SCHOOL SITE FIXTURE SCHEDULE							
TYPE	DESCRIPTION	LAMP TYPE	VOLT	WATTS	MANUFACTURER	CATALOG NUMBER	NOTE
H1	SIZE 1 LED WALL PACK - FULL CUTOFF - TYPE 2 SHORT - 1530 LUMENS	5000K LED	120-277	13	LITHONIA	DSXW1LED-10C-350-50K-T2S-MVOLT	1
H2	SIZE 1 LED WALL PACK - FULL CUTOFF - TYPE 3 MEDIUM - 2774 LUMENS	5000K LED	120-277	26	LITHONIA	DSXW1LED-10C-700-50K-T3M-MVOLT	1
H3	SIZE 1 LED WALL PACK - FULL CUTOFF - TYPE 3 MEDIUM - 5487 LUMENS	5000K LED	120-277	46	LITHONIA	DSXW1LED-20C-700-50K-T3M-MVOLT	1
H4	SIZE 1 LED WALL PACK - FULL CUTOFF - TYPE 4 MEDIUM - 5376 LUMENS	5000K LED	120-277	46	LITHONIA	DSXW1LED-20C-700-50K-T4M-MVOLT	1
H5	SIZE 2 LED WALL PACK - FULL CUTOFF - TYPE 3 MEDIUM - 6507 LUMENS	5000K LED	120-277	54	LITHONIA	DSXW2LED-30C-630-50K-T3M-MVOLT	1
K1	6" LED RECESSED DOWNLIGHT - 1000 LUMENS	5000K LED	120-277	10.4	LITHONIA	LDN6-60/10-LO6-AR-LSS-MVOLT	1
Y1	LED AREA FIXTURE - TYPE 2 MEDIUM - 14,716 LUMENS	5000K LED	120-277	125	LITHONIA	DSX1LED-P4-50K-T2M-MVOLT-SPA	1
Y5	LED AREA FIXTURE - TYPE 2 SHORT - 14,641 LUMENS	5000K LED	120-277	125	LITHONIA	DSX1LED-P4-50K-T2S-MVOLT-SPA	1
Y6	LED AREA FIXTURE - TYPE 3 SHORT - 14,252 LUMENS	5000K LED	120-277	125	LITHONIA	DSX1LED-P4-50K-T3S-MVOLT-SPA	1
LP1	20'-0" STRAIGHT SQUARE STEEL 6" POLE - SINGLE	-	-	-	LITHONIA	SSS-20-5C-DM19AS-IC	1
LP2	20'-0" STRAIGHT SQUARE STEEL 6" POLE - 2 @ 180°	-	-	-	LITHONIA	SSS-20-5C-DM28AS-IC	1

GENERAL NOTES:
 1. SEE SPECIFICATIONS FOR FIXTURE REQUIREMENTS.
 2. NO ALTERNATE FIXTURES.
 3. ALL INTERIOR LED FIXTURES TO HAVE A MINIMUM CRI OF 80+. ALL EXTERIOR LED FIXTURES TO HAVE A MINIMUM CRI OF 70+.
 4. MOUNT FIXTURES AT HEIGHT INDICATED ON DRAWINGS UNLESS NOTED OTHERWISE.

PLAN NOTES:
 1. ARCHITECT TO SELECT STANDARD COLOR AND FINISH.



GENERAL NOTES:
 1. SITE LIGHTING CALCULATED AT GRADE.



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 www.brayarch.com



Project Title:
**ADDITION AND REMODELING TO:
 LES PAUL MIDDLE SCHOOL
 WAUKESHA SCHOOL DISTRICT
 325 CARROLL STREET, WAUKESHA, WI 53186**

REVISIONS:

DATE	DESCRIPTION

Project Number:
3353

Issued For:
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11/06/2019
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**SITE PLAN -
 PHOTOMETRIC**

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