

6/16/2022

**AHC SW Waukesha – Civil Permit Letter**

To Whom It May Concern:

This letter corresponds to the civil permit application for the AHC SW Waukesha project at 1005 Spring City Drive Waukesha, WI 53186.

The AHC SW Waukesha project will be a new Aurora Healthcare outpatient center built utilizing the existing structure at 1005 Spring City Drive Waukesha, WI 53186. This permit relates to the new civil work at the site which includes site utility work, new site concrete, new asphalt paving, new landscaping, new site lighting, and new trash enclosures. The building permit and interior fit-out permit will be submitted later Summer 2022.

Contained in the combined civil permit package submitted via email to [dkoehler@waukesha-wi.gov](mailto:dkoehler@waukesha-wi.gov) are the following items for review:

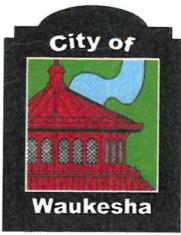
- Application for Development Review
- Erosion Control & Stormwater Management Permit Application
- Erosion Control Grading and Driveway Permit Application
- Civil Drawings (PDF)
- Landscape Drawings & checklist (PDF)
- ALTA Topo Survey (PDF)
- Site Lighting Photometrics Drawing (PDF)
- Waukesha M-3 Zoning Document

Excluded from the civil plan set is the Storm Water Management Plan. The subject property is within the Spring City Business Park. As such, it is tributary to the regional detention basin that is located northwest of Chapman Drive. The proposed improvements to the site stays within the allowable impervious coverage of the permitted detention facility.

If there are any issues or questions with the permit applications, please contact me at [bryan.nuckolls@boldt.com](mailto:bryan.nuckolls@boldt.com) or at 312-505-3449.

Sincerely,

Bryan Nuckolls  
Project Manager  
The Boldt Company



# City of Waukesha Application for Development Review

Last Revision  
Date:  
Dec. 2019

City of Waukesha Community Development Department - 201 Delafield Street, Suite 200, Waukesha, WI 53188 262-524-3750  
City of Waukesha Department of Public Works Engineering Division—130 Delafield Street, Waukesha, WI 53188 262-524-3600  
www.waukesha-wi.gov

### APPLICANT INFORMATION

Applicant Name: Bradley Mayer  
Applicant Company Name: Advocate Aurora Health  
Address: 750 West Virginia Street, PO Box 341880  
City, State: Milwaukee, WI Zip: 53234-1880  
Phone: 312-296-4047  
E-Mail: bradley.mayer@aah.org

### ARCHITECT/ENGINEER/SURVEYOR INFORMATION

Name: Timothy O. Brown, P.E.  
Company Name: Eriksson Engineering Associates, LTD.  
Address: 229 E Wisconsin Ave. Suite 1102  
City, State: Milwaukee, WI Zip: 53202  
Phone: 414-249-6108 ext. 105  
E-Mail: tbrown@eea-ltd.com

### PROPERTY OWNER INFORMATION

Applicant Name: Bradley Mayer  
Applicant Company Name: Advocate Aurora Health  
Address: 750 West Virginia Street, PO Box 341880  
City, State: Milwaukee, WI Zip: 53234-1880  
Phone: 312-296-4047  
E-Mail: bradley.mayer@aah.org

### PROJECT & PROPERTY INFORMATION

Project Name: AHC SW Waukesha  
Property Address 1005 Spring City Dr. Waukesha, WI 53186  
Tax Key Number(s): WAKC1332004001  
Zoning: M-3  
Total Acreage: 0.88 Existing Building Square Footage 15,182  
Proposed Building/Addition Square Footage: 15,182  
Current Use of Property: Vacant

### PROJECT SUMMARY (Please provide a brief project description.)

This civil permit application for the AHC SW Waukesha project consists of redevelopment of the existing site including new asphalt paving, site concrete, trash enclosures, site lighting, and landscaping. There is site utilities work associated with this civil permit application which provide new utilities to the existing building which will be utilized on a future building permit application (Summer 2022) for the interior build-out of the existing building.

All submittals require a complete scaled set of digital plans (Adobe PDF) and shall include a project location map showing a 1/2 mile radius, a COLOR landscape plan, COLOR building elevation plans, and exterior lighting photometric maps and cut sheets. A pre-application meeting is required prior to submittal of any applications for Subdivisions, Planned Unit Developments, and Site and Architectural Plan Review. **The deadline for all applications requiring Plan Commission Reviews is Monday at 4:00 P.M, 30 days prior to the meeting date. The Plan Commission meets the Fourth Wednesday of each month.**

### APPLICATION ACKNOWLEDGEMENT AND SIGNATURES

I hereby certify that I have reviewed the City of Waukesha Development Handbook, City Ordinances, Submittal Requirements and Checklists and have provided one PDF of all required information. Any missing or incomplete information may result in a delay of the review of your application. By signing this I also authorize The City of Waukesha or its agents to enter upon the property for the purpose of reviewing this application.

Applicant Signature \_\_\_\_\_  
Applicant Name (Please Print) Bradley Mayer **Bradley Mayer**  
Date: 2022-06-16

Digitally signed by Bradley Mayer  
DN: C=US, E=Bradley.mayer@aah.org,  
O=Advocate Aurora Health, CN=Bradley Mayer  
Location: 1005 Spring City Dr., Waukesha WI  
53186  
Reason: AMG SW Waukesha - Civil  
Contact Info: 312-296-4047,  
bradley.mayer@aah.org  
Date: 2022.06.16 11:51:46-05'00'

cell: 312-296-4047

### For Internal Use Only:

Amount Due (total from page 2): \_\_\_\_\_ Amount Paid: \_\_\_\_\_ Check #: \_\_\_\_\_  
Trakit ID(s) \_\_\_\_\_ Date Paid: \_\_\_\_\_

## City of Waukesha Application for Development Review

**TYPE OF APPLICATION & FEES (CHECK ALL THAT APPLY)** Please note that each application type has different submittal requirements. Detailed submittal checklists can be found in Appendix A of the Development Handbook.

**FEES**

- Plan Commission Consultation **\$200** \_\_\_\_\_
- Traffic Impact Analysis \_\_\_\_\_
  - Commercial, Industrial, Institutional, and Other Non-Residential **\$480**
  - Residential Subdivision or Multi-Family **\$480**
  - Resubmittal (3rd and all subsequent submittals) **\$480**
- ONE OF THE THREE FOLLOWING ITEMS IS REQUIRED FOR SITE PLAN & ARCHITECTURAL REVIEWS (\*):**
- \*  **Preliminary Site Plan & Architectural Review** \_\_\_\_\_
  - Level 1: Buildings/additions less than 10,000 sq.ft. or sites less than 1 acre **\$2,200**
  - Level 2: Buildings/additions between 10,001-50,000 sq.ft. or sites between 1.01 and 10 acres **\$2,320**
  - Level 3: Buildings/additions between 50,001-100,000 sq.ft. or sites between 10.01 and 25 acres **\$2,440**
  - Level 4: Buildings/additions over 100,001 sq.ft. or sites greater than 25.01 acres. **\$2,560**
  - Resubmittal Fees (after 2 permitted reviews) **\$750**
- \*  **Final Site Plan & Architectural Review** \_\_\_\_\_
  - Level 1: Buildings/additions less than 10,000 sq.ft. or sites less than 1 acre **\$1,320**
  - Level 2: Buildings/additions between 10,001-50,000 sq.ft. or sites between 1.01 and 10 acres **\$1,440**
  - Level 3: Buildings/additions between 50,001-100,000 sq.ft. or sites between 10.01 and 25 acres **\$1,560**
  - Level 4: Buildings/additions over 100,001 sq.ft. or sites greater than 25.01 acres. **\$1,680**
  - Resubmittal Fees (3rd and all subsequent submittals) **\$750**
- \*  **Minor Site Plan & Architectural Review (total site disturbance UNDER 3,000 total square feet)** \_\_\_\_\_
  - Projects that do not require site development plans **\$330**
  - Resubmittal Fees (3rd and all subsequent submittals) **\$330**
- Certified Survey Map (CSM) \_\_\_\_\_
  - 1-3 Lots **\$500**
  - 4 lots or more **\$560**
  - Resubmittal (3rd and all subsequent submittals) **\$180**
  - Extra-territorial CSM **\$260**
- Preliminary Subdivision Plat (Preliminary Site Plan Review is also required.) \_\_\_\_\_
  - Up to 12 lots **\$1,270**
  - 13 to 32 lots **\$1,390**
  - 36 lots or more **\$1,510**
  - Resubmittal (3rd and all subsequent submittals) **\$630**
- Final Subdivision Plat (Final Site Plan Review is also required.) \_\_\_\_\_
  - Up to 12 lots **\$660**
  - 13 to 32 lots **\$780**
  - 36 lots or more **\$900**
  - Resubmittal (3rd and all subsequent submittals) **\$480**
  - Extra-territorial Plat **\$540**
- Rezoning and/or Land Use Plan Amendment \_\_\_\_\_
  - Rezoning **\$630**
  - Land Use Plan Amendment: **\$630**
- Conditional Use Permit \_\_\_\_\_
  - Conditional Use Permit with no site plan changes **\$480**
  - Conditional Use Permit with site plan changes **\$480** plus applicable preliminary and final site plan fees above
- Planned Unit Development or Developer's Agreement (Site Plan Review is also required) \_\_\_\_\_
  - New Planned Unit Development or Developer's Agreement **\$1,760**
  - Planned Unit Development or Developer's Agreement Amendment **\$610**
- Annexation **NO CHARGE**
- House/Building Move **\$150**
- Street or Alley Vacations **\$150**

**TOTAL APPLICATION FEES:**

<b>\$1,440</b>
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# City of Waukesha

## Development Review Submittal Requirements

### PLAN COMMISSION CONSULTATION SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

A Plan Commission Consultation may be submitted for review and comment for the owner/developer to ascertain the feasibility of a proposed project. A consultation is not required but may be submitted in advance of an actual submittal for a preliminary plat, CSM, Planned Unit Development, rezoning, conditional use or site plan. The Plan Commission will only provide feedback, no approvals will be given. Prior to applying for a Plan Commission Consultation you must discuss your project with the Planning Division to determine if a Plan Commission Consultation is recommended.

**Review Time:** Approximately 30 days

**Reviewing Departments:** Community Development Planning Division, Public Works Engineering Division, Fire Department, Water Utility.

**Reviewing Boards:** Plan Commission (optional)

**In addition to this application and corresponding application fee you will also need:**

- One (1) digital (PDF) copy of the plans you want conceptual review of
- Attachment A: Development Review Checklist. You should also review all other corresponding checklists that relate to the project that you are seeking conceptual review of and include as much information as possible.
- Cover letter outlining project details.

### TRAFFIC IMPACT ANALYSIS SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

A Traffic Impact Analysis is required for projects that meet certain criteria. Please refer to the Developer's Handbook Section 4.4 to determine if your project requires a Traffic Impact Analysis

**Review Time:** Approximately 30 days

**Reviewing Departments:** Public Works Engineering Division

**Reviewing Boards:** None, however the Plan Commission may require a copy as part of site plan review process.

**In addition to this application and corresponding application fee you will also need:**

- One (1) digital (PDF) copy of the Traffic Impact Analysis

### PRELIMINARY SITE PLAN & ARCHITECTURAL REVIEW SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

Preliminary site and architectural plans are required for any new residential development with 4 or more units and all non-residential developments. Preliminary site plan approval is also required for additions or modifications to existing developments and projects where a stormwater management plan is needed. Preliminary approval is required unless it is determined by City staff in the Pre-Application meeting that the project only needs Final Site and Architectural Review.

**Review Time:** Approximately 30 days (45 if Common Council review is needed)

**Reviewing Departments:** Community Development Planning Division, Public Works Engineering Division, Fire Department, Water Utility.

**Reviewing Boards:** Plan Commission. Common Council and Board of Public Works review may be required for certain projects.

**In addition to this application and corresponding application fee you will also need:**

- One (1) digital (PDF) that includes of items listed below
  - Cover letter outlining project details.
  - Color architectural elevations of all sides of the building and color perspective renderings
  - Conceptual Landscape Plan
  - Attachment A: Development Review Checklist
  
  - Grading Plan (see Attachment C: Site Grading and Drainage Plan Checklist)
  
  - Any other attachments as applicable.

### FINAL SITE PLAN & ARCHITECTURAL REVIEW PLAN SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

Final site and architectural plans are submitted only after the Plan Commission has approved Preliminary Site Plans for any new residential development with 4 or more units and all non-residential developments, including modifications to existing developments. Some projects may bypass Preliminary approval but only if it is determined by City staff in the Pre-Application meeting.

**Review Time:** Approximately 30 days (45 if Common Council review is needed)

**Reviewing Departments:** Community Development Planning Division, Public Works Engineering Division, Fire Department, Water Utility.

**Reviewing Boards:** Plan Commission. Common Council and Board of Public Works review may be required for certain projects.

**In addition to this application and corresponding application fee you will also need:**

One (1) digital (PDF) that includes of items listed below

Cover letter outlining project details.

Color architectural elevations of all sides of the building and color perspective renderings

Landscape Plan (see Attachment I: Landscape Plan Checklist)

Attachment A: Development Review Checklist

Site Plan (see Attachment B: Engineering Plan Checklist)

Grading Plan (see Attachment C: Site Grading and Drainage Plan Checklist)

Stormwater Management Plan (see Attachment D: Stormwater Management Plan Checklist)

Utility Plans (see Attachment H: Sewer Plan Review Checklist)

Excluded, see cover letter for reasoning.

### MINOR SITE PLAN & ARCHITECTURAL REVIEW SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

Minor Site and Architectural review is intended for projects that may not need the extensive submittal requirements for Preliminary and Final Site Plan approval. Projects that qualify for Minor Site Plan submittal may include landscape, façade and building changes or minor site modifications that don't result in the addition of impervious surface.

**Review Time:** Approximately 30 days (45 if Common Council review is needed)

**Reviewing Departments:** Community Development Planning Division, Public Works Engineering Division, Fire Department, Water Utility.

**Reviewing Boards:** Plan Commission. Common Council and Board of Public Works review may be required for certain projects.

**In addition to this application and corresponding application fee you will also need:**

One (1) digital (PDF) that includes of items listed below

Cover letter outlining project details.

Architectural elevations of all sides of the building being modified

In addition, depending on the type of project, you may also need the following items:

Site Plan (see Attachment B: Engineering Plan Checklist)

Landscape Plan (see Attachment I: Landscape Plan Checklist)

### CERTIFIED SURVEY MAP SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

A Certified Survey Map may be used to divide up to eight (8) lots in Commercial, Industrial, and Mixed Use zoning districts and up to four (4) lots in all other zoning districts.

**Review Time:** Approximately 45-60 days. An extension letter will be required if the approval process will take more than 90 days.

**Reviewing Departments:** Community Development Planning Division, Public Works Engineering Division, Fire Department, Water Utility.

**Reviewing Boards:** Plan Commission. Common Council and Board of Public Works review may be required for certain projects.

**In addition to this application and corresponding application fee you will also need:**

One (1) digital (PDF) that includes of items listed below

Attachment E: Certified Survey Map Checklist

Attachment A: Development Review Checklist and other attachments as applicable.

*\*Please note If any exterior architectural, landscape, or site plan changes are required you must also go through Site Plan Review and meet all of those submittal requirements.*

### PRELIMINARY PLAT SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

A Preliminary Plat shall be used to subdivide land in the City. The applicant is responsible for submitting the Preliminary Plat to Waukesha County and the State of Wisconsin for review.

**Review Time:** Approximately 45-60 days. An extension letter will be required if the approval process will take more than 90 days.

**Reviewing Departments:** Community Development Planning Division, Public Works Engineering Division, Fire Department, Water Utility.

**Reviewing Boards:** Plan Commission. Common Council and Board of Public Works review may be required for certain projects.

**In addition to this application and corresponding application fee you will also need:**

- One (1) digital (PDF) that includes of items listed below
  - Attachment F: Preliminary Plat Checklist
  - Cover letter outlining project details.
  - Attachment A: Development Review Checklist and other attachments as applicable
  - Stormwater Management Plan (see Attachment D: Stormwater Management Plan Checklist)

### FINAL PLAT SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

A Final plat shall be used to subdivide land in the City. The applicant is responsible for submitting the Final Plat to Waukesha County and the State of Wisconsin for review.

**Review Time:** Approximately 45-60 days. An extension letter will be required if the approval process will take more than 90 days.

**Reviewing Departments:** Community Development Planning Division, Public Works Engineering Division, Fire Department, Water Utility.

**Reviewing Boards:** Plan Commission. Common Council and Board of Public Works review may be required for certain projects.

**In addition to this application and corresponding application fee you will also need:**

- One (1) digital (PDF) that includes of items listed below
  - Attachment G: Final Plat Checklist
  - Cover letter outlining project details.
  - Attachment A: Development Review Checklist and other attachments as applicable.
  - Stormwater Management Plan (see Attachment D: Stormwater Management Plan Checklist)

### REZONING & COMPREHENSIVE PLAN AMENDMENT SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

This review is for any requests to rezone land or amend the City's Comprehensive Master Plan. For rezonings all property owners within 300 feet of the property will be notified of your request.

**Review Time:** 45-60 Days

**Reviewing Departments:** Community Development Planning & Building Inspection Divisions, Public Works Engineering Division, Fire Department, Water Utility.

**Reviewing Boards:** Plan Commission, Common Council

**Additional Information:** Rezonings must be done in accordance with the Comprehensive Plan. Please consult with Planning staff to determine if a Comprehensive Plan Amendment is also required prior to submitting a rezoning application.

**In addition to this application and corresponding application fee you will also need:**

- One (1) digital (PDF) that includes of items listed below
  - Cover letter outlining project details and rationale for rezoning
  - Rezoning Form including legal description and notarized owner(s) signatures (rezoning applications only)
  - Conceptual Plan (if applicable)

*\*Please note this application fee only covers the rezoning and/or Comprehensive Plan Amendment. If you are proposing site plan changes or are subdividing land you will also need to meet the applicable submittal requirements for those proposals.*

### CONDITIONAL USE PERMIT SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

Any use listed as a Conditional Use in Chapter 22 (Zoning Code) requires a Public Hearing in front of the Plan Commission prior to building or occupancy permits being issued. All property owners within 300 feet of the property will be notified of your request.

**Review Time:** 30-45 days

**Reviewing Departments:** Community Development Planning & Building Inspection Divisions, Public Works Engineering Division, Fire Department, Water Utility.

**Reviewing Boards:** Plan Commission

**In addition to this application and corresponding application fee you will also need:**

- One (1) digital (PDF) that includes of items listed below
  - Conditional Use Permit Application

*\*Please note If any exterior architectural, landscape, or site plan changes are required you must also go through Site Plan Review and meet all of those submittal requirements.*

### PLANNED UNIT DEVELOPMENT OR DEVELOPER'S AGREEMENT SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

The PUD Overlay District is intended to permit development that will, over a period of time, be enhanced by coordinated area site planning, diversified location of structures, diversified building heights and types, and/or mixing of compatible uses. The PUD Overlay District under this Chapter will allow for flexibility of overall development design with benefits from such design flexibility intended to be derived by both the developer and the community, while at the same time maintaining insofar as possible the standards or use requirements set forth in the underlying basic zoning district.

Developer's Agreements are used for any project that require public infrastructure improvements (sewer, storm sewer, sidewalks, etc) and other off-site improvements such as median openings, traffic signals, street widening, etc..

**Review Time:** 45-60 days

**Reviewing Departments:** Community Development Planning & Building Inspection Divisions, Public Works Engineering Division, Fire Department, Water Utility.

**Reviewing Boards:** Plan Commission, Common Council. Some projects will also require Board of Public Works review.

**In addition to this application and corresponding application fee you will also need:**

- One (1) digital (PDF) that includes of items listed below
  - Cover letter/statement that outlining project details and all of the required information set forth in the Zoning Ordinance Section 22.52 (4)(a)
  - Rezoning Form including legal description and notarized owner(s) signatures (rezoning applications only)
  - General Development Plan
  - Proposed Supplemental Design Elements (required for all PUDs under the minimum required acreage)

*\*Please note in addition to the PUD submittal requirements your project will also need additional application fees and submittal materials based on the project type. This may include Preliminary and Final Plats, Preliminary and Final Site and Architectural Plans, Certified Survey Maps, Traffic Impact Analysis. Staff will inform you of any additional submittal requirements at the Pre-Application meeting, which is required prior to submitting your application.*

### ANNEXATION SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

Requests for annexation as permitted under Section 66.0217 Wisconsin Statutes.

**Review Time:** 45-60 days

**Reviewing Departments:** Community Development Planning & Building Inspection Divisions, Public Works Engineering Division, Fire Department, Water Utility.

**Reviewing Boards:** Plan Commission, Common Council

**In addition to this application and corresponding application fee you will also need:**

- One (1) digital (PDF) that includes of items listed below
  - Copy of your State of Wisconsin Request for Annexation Review Application
  - Signed City of Waukesha Direct Annexation Petition
  - Map of property of property to be annexed.
  - A boundary description (legal description of property to be annexed)
  - Any additional information on the annexation.

**HOUSE/BUILDING MOVE SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION**

Any application to move a home or building from one location to another in the City requires review by staff and the Plan Commission.

**Review Time:** 30-45 days

**Reviewing Departments:** Community Development Planning & Building Inspection Divisions, Public Works Engineering Division, Fire Department, Water Utility, Police Department, Any affected Public Utilities

**Reviewing Boards:** Plan Commission

**In addition to this application and corresponding application fee you will also need:**

- One (1) digital (PDF) that includes of items listed below
  - Address of existing structure and address of final destination for structure
  - Site Plan showing location of house/building at the new location
  - Proposed route for moving structure. Should also include any overhead wires, mailboxes, or other obstructions that will need to be temporarily relocated to allow for the house/building to get to the new site.

**STREET VACATIONS**

Street Vacations must be reviewed and approved by the Plan Commission.

**Review Time:** 45-60 days

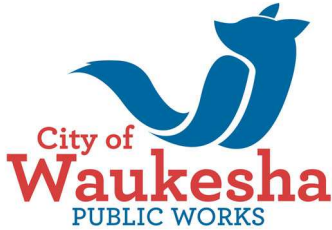
**Reviewing Departments:** Community Development Planning & Building Inspection Divisions, Public Works Engineering Division, Fire Department, Water Utility.

**Reviewing Boards:** Plan Commission, Common Council

**In addition to this application and corresponding application fee you will also need:**

- One (1) digital (PDF) that includes a map and legal description of the areas to be vacated.





**Stormwater and Erosion Control  
Permit Application**

Public Works - Engineering Division  
(262) 524-3600

Form P106

Project Name: Advocate Aurora Health SW Waukesha Clinic

Project Location: 1005 Spring City Drive

Project Type (From Fee Schedule): Commercial Building

Area of Disturbance (SF or AC): 0.88 acres WPDES permit FIN # (if applicable): \_\_\_\_\_

The following contacts are required at the time of application: (Enter on page 2)

- **Applicant:** The person or entity holding fee title to the property or their representative. The applicant shall sign the initial permit application form in accordance with the items 1 – 5 listed below, after which the applicant may provide written authorization for others to serve as the applicant’s representative: **1)** In the case of a corporation, by a principal executive officer of at least the level of vice-president or by the officer’s authorized representative having overall responsibility for the operation of the site for which a permit is sought; **2)** In the case of a limited liability company, by a member or manager; **3)** In the case of a partnership, by the general partner; **4)** In the case of a sole proprietorship, by the proprietor, or; **5)** For a unit of government, by a principal executive officer, ranking elected official or other duly authorized representative.
- **Engineer (or Preparer):** The primary contact for the preparation of erosion control and Storm water management plans. All plan review comments will be addressed to this Contact. For all storm water plans and other engineering, this person must: **1)** be a licensed P.E. in Wisconsin; **2)** stamp P.E. number and sign all plans submitted as part of permit; and **3)** oversee and verify construction of all practices.
- **Erosion Control Coordinator:** The person(s) responsible for maintaining records of EC inspections and for maintaining or scheduling maintenance of the EC measures.

<b>OFFICE USE ONLY</b>	
Permit Fee: _____	Permit Number: _____
Permit Issued: _____	Permit Expires: _____
<b><u>Items submitted:</u></b>	<b><u>Permit Approved</u></b>
<input type="checkbox"/> 1. Signed Application	_____
<input type="checkbox"/> 2. Application Fee	
<input type="checkbox"/> 3. Site Plan Map	By
<input type="checkbox"/> 4. Erosion Control Plan	_____
<input type="checkbox"/> 5. Storm Water Mgt. Plan (including inspection plan)	
<input type="checkbox"/> 6. Maintenance Agreement	
<input type="checkbox"/> 7. Financial Assurance	Date

**Application for Storm Water Management & Erosion Control Permit**

**Applicant Contact Information:** *(required to process application)*

Name: Bryan Nuckolls Company: The Boldt Company  
Mailing Address: 205 West Wacker Drive Suite 250  
City, State, Zip: Chicago, IL 60606  
Daytime Phone #: 312-505-3449  
E-mail Address: bryan.nuckolls@boldt.com

If the box is checked below, I hereby authorize the contact(s) identified to serve as my representative(s).

I understand by submitting this application, City staff may enter upon the subject site to obtain information necessary to administer the ordinance.

Signature of Applicant:  Date: 2022-06-15

**Engineer Contact Information:** *(required to process application)*

**Authorized as applicant representative**

Name: Timothy O Brown, P.E. Company: Eriksson Engineering Associates LTD  
Mailing Address: 229 E Wisconsin Ave Suite 1102  
City, State, Zip: Milwaukee, WI 53202  
Daytime Phone #: 414-249-6108 x105  
E-mail Address: tbrown@eea-ltd.com

**Primary Erosion Control Coordinator:** *(required to process application)*

Name: Timothy O Brown, P.E. Company: Eriksson Engineering Associates LTD  
Mailing Address: 229 E Wisconsin Ave Suite 1102  
City, State, Zip: Milwaukee, WI 53202  
Daytime Phone #: 414-249-6108 x105  
E-mail Address: tbrown@eea-ltd.com

**Secondary Erosion Control Coordinator:**

Name: \_\_\_\_\_ Company: \_\_\_\_\_  
Mailing Address: \_\_\_\_\_  
City, State, Zip: \_\_\_\_\_  
Daytime Phone #: \_\_\_\_\_  
E-mail Address: \_\_\_\_\_

## **STORM WATER PERMIT – GENERAL REQUIREMENTS**

Subject to Chapter 32 of the City of Waukesha Municipal Code, storm water permits are subject to all the requirements listed below. The City may include other permit requirements that it determines are necessary to ensure compliance with the ordinance. **Signing this form is required before a permit will be issued.** Violation of any permit requirement shall cause the permit holder and any other responsible party (as defined) to be subject to enforcement action.


(Definition: “Responsible party” means any person or entity holding fee title to the property or acting as the Owners’ representative, including any person, firm, corporation or other entity performing services, contracted, subcontracted or obligated by other agreement to design, implement, inspect, verify or maintain the Best Management Practices (BMPs) and other approved elements of erosion control and storm water plans and permits under this ordinance.)

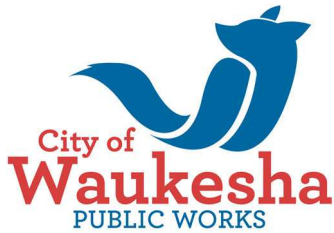
1. **Other Permits.** Compliance with a storm water permit does not relieve the permit holder or other responsible party of the responsibility to comply with other applicable federal, state, and local laws and regulations. The City may require the applicant to obtain other permits or plan approvals prior to issuing a storm water permit.
2. **Approved Plans.** All best management practices (BMPs) shall be installed and maintained in accordance with approved plans and construction schedules. A copy of the approved plans shall be kept at the construction site at all times during normal business hours.
3. **Plan Modifications.** The City shall be notified of any significant modifications proposed to be made to the approved plans. The City may require proposed changes to be submitted for review prior to incorporation into the approved plans or implementation. Any modifications made during plan implementation without prior approval by the project engineer under sub. 6 below and the City are subject to enforcement action.
4. **Notification.** The City shall be notified at least 2 working days before commencing any work in conjunction with approved plans. The City shall also be notified of proposed plan modifications under sub. 3 above and within 1 working day of completing construction of a storm water BMP. The City may require additional notification according to a schedule established by the City so that practice installations can be inspected during construction.
5. **Access.** The City or its designee shall be permitted access to the site for the purpose of inspecting the property for compliance with the approved plans and other permit requirements.
6. **Project Engineer/Landscape Architect.** The permit holder shall provide an engineer licensed in the state of Wisconsin to be responsible for achieving compliance with approved construction plans, including the implementation of the approved inspection plan and verification of construction in accordance with the city ordinance. If warm season or wetland plantings (as defined) are involved, the permit holder shall also provide a landscape architect or other qualified professional to oversee and verify the planting process and its successful establishment.

(Definition: “Warm season and wetland plantings” means seed or plant stock that is native to a prairie or wetland setting. These types of plantings usually take a couple of years to get established and require diligent removal of invasive species during this time. Upon maturity, warm season plants generally have a deep root system, which enhances infiltration.)

7. **Inspection Log.** The permit holder shall provide a qualified professional to conduct inspections and maintain an inspection log for the site. All BMPs shall be inspected within 24 hours after each rain event of 0.5 inch or more, and at least once each week. The inspection log shall include the name of the inspector, the location, date, and time of inspection, a description of the present phase of construction, the findings of the inspection, including an assessment of the condition of erosion and sediment control measures and the installation of storm water management BMPs, and any action needed or taken to comply with this ordinance. The inspection log shall also include a record of BMP maintenance and repairs conducted under subs. 9 and 9 below. The permit holder shall maintain a copy of the inspection log at the construction site and the City may view or obtain a copy at any time during normal business hours until permit termination.
  
8. **BMP Maintenance.** The permit holder shall maintain and repair all best management practices within 24 hours of inspection, or upon notification by the City, unless the City approves a longer period due to weather conditions. All BMP maintenance shall be in accordance with approved plans and applicable technical standards until the site is stabilized and a permit termination letter is issued by the City. The permit holder, upon approval by the City, shall remove all temporary erosion control practices such as silt fence. The permit holder, in accordance with approved plans and applicable technical standards, shall maintain permanent storm water management practices until maintenance responsibility is transferred to another party or unit of government pursuant to the recorded maintenance agreement.
  
9. **Other Repairs.** The permit holder shall be responsible for any damage to adjoining properties, municipal facilities or drainage ways caused by erosion, siltation, runoff, or equipment. The City may order immediate repairs or clean-up within road right of ways or other public lands if the City determines that such damage is caused by activities regulated by a permit under this ordinance. With the approval of the landowner, the City may also order repairs or clean-up on other affected property.
  
10. **Emergency Work.** The permit holder authorizes the City, in accordance with the enforcement procedures under section 32.14 of the ordinance, to perform any work or operations necessary to bring erosion control or storm water management practices into conformance with the approved plans and consents to charging such costs against the financial assurance retained or to a special assessment or charge against the property as authorized under subch. VII of ch. 66, Wisconsin Statutes.
  
11. **Permit Display.** The permit holder shall display the storm water permit in a manner that can be seen from the nearest public road and shall protect it from damage from weather and construction activities until permit termination by the City.

I have read and understand the above noted permit requirements. I also understand that a violation of any permit requirement is subject to enforcement action.

Applicant's Signature:  Date: 2022-06-15  
 Print Name: Bryan Nuckolls  
 Title: Project Manager



## Stormwater and Erosion Control Permit Fee Schedule

Public Works - Engineering Division  
(262) 524-3600

Form P106c

PROJECT TYPE	FEE
Single or Double Family Residence	<i>See Community Development</i>
<b>Multi-Family Residence</b>	<b>\$80.00/unit within building footprint</b>
<b>Commercial Building</b>	<b>\$400.00 minimum</b> + \$50.00 per acre > 2 acres
<b>Industrial Building</b>	<b>\$400.00 minimum</b> + \$50.00 per acre > 2 acres
<b>Institutional Building</b>	<b>\$400.00 minimum</b> + \$50.00 per acre > 2 acres
<b>Single Family Site Development</b>	<b>\$400.00 minimum</b> + \$20.00 per lot
<b>Multi-family Site Development</b>	<b>\$400.00 minimum</b> + \$10.00 per unit
<b>Minor Land Divisions</b>	<b>\$400.00 minimum</b> + \$50.00 per acre >2 acres
<b>Utilities/Trenching</b>	<b>\$0.10 per linear foot</b>
<b>Municipal</b>	<b>No Fee</b>

CITY OF WAUKESHA, WISCONSIN  
DEPARTMENT OF COMMUNITY DEVELOPMENT – BUILDING INSPECTION  
**APPLICATION FOR EROSION CONTROL, GRADING, and DRIVEWAY PERMIT**  
For New One and Two Family Dwellings Only

Job Address: 1005 Spring City Drive Waukesha, WI 53186

**Read carefully. Your signature indicates that you have read and understand the terms of this Application.**

**Deadline for Completion of Final Site Grading, Installation of Driveway, and Stabilization of Disturbed Land:** Final site grading, installation of driveway, and stabilization of disturbed land as defined in Wis. Admin. Code SPS 321.125(1)(c) must be completed by the date the certificate of occupancy is issued, except as provided in subsection (3) of Municipal Code §16.075. Failure to comply shall not preclude the issuance of the certificate of occupancy, but will result in penalties being assessed for each day thereafter the work remains uncompleted.

**Exception for Seasonal Delay:** If, after a good-faith effort to complete construction, a certificate of occupancy cannot be issued before October 15 of the year in which construction began, then final site grading, installation of driveway, and stabilization of disturbed land as defined in Wis. Admin. Code SPS 321.125(1)(c) shall be completed by the subsequent May 31. Failure to do so will result in penalties being assessed for each day thereafter the work remains uncompleted.

**Responsible Parties:** This Application shall be signed by both the general contractor performing the construction and the owner of the land on which the construction is taking place, and both shall be jointly and severally liable for compliance with the requirements of Municipal Code §16.075 unless the construction contract specifically states that only one of the parties is responsible for compliance, and that party expressly acknowledges sole responsibility by signing in Box 2, below.

**Erosion Control Must Remain in Place until Stabilization of Disturbed Land:** Erosion control measures complying with Wis. Admin. Code SPS 321.125 must remain in place and be maintained in effective condition at all times prior to stabilization of disturbed land as defined in Wis. Admin. Code SPS 321.125(1)(c), including during a seasonal delay period. If during a delay period erosion control measures become ineffective, they must be replaced. Failure to maintain erosion control measures will result in penalties being assessed for each day the erosion control remains ineffective.

**An Erosion Control Site Plan must be submitted with this application:** The plan shall be legible, drawn to scale or dimensioned and include all the following: 1. The location of all buildings, wells, surface waters and dispersal systems on site with respect to property lines and surface waters adjacent to the site. 2. The areas of land-disturbing activity and location of all erosion and sediment control measures to be employed in order to comply with SPS 321.125. 3. The pre-construction ground surface slope and direction of runoff flow within the proposed areas of land disturbance.

**Both the property owner and the contractor must sign in Box 1.**

**By signing this Application, you acknowledge that you have read this entire Application and agree to be bound by its terms.**

**Box 1**

**Note to property owner: If your contractor is to have sole responsibility, you must still sign in Box 1. Your contractor will release you from responsibility by signing in Box 2, however, if your contractor fails to sign in Box 2, you will remain jointly responsible. Therefore, to ensure that the contractor takes sole responsibility, it is advisable to first have the contractor sign in Box 2 before you sign in Box 1. If you are to have sole responsibility, then you must be the one to sign in both boxes.**

Property owner signature: [Signature] Date: 2022-06-15  
Property owner print name: Bradley Mayer, Advocate Aurora Healthcare Phone: 312-296-4047  
Property owner address: 3075 Highland Parkway Suite 600 Downers Grove, IL 60515

Contractor signature: [Signature] Date: 2022-06-15  
Contractor print name: Bryan Nuckolls, The Boldt Company Phone: 312-505-3449  
Contractor address: 205 W. Wacker Drive Chicago, IL 60606

**Optional agreement to assume sole responsibility for compliance with the Erosion Control, Grading and Driveway Permit and Municipal Code §16.075:**

**By signing in Box 2, you are agreeing that the construction contract requires you to be solely responsible for completion of the final site grading, driveway installation, and stabilization of disturbed land by the date the certificate of occupancy is issued, or as provided in the "exception for Seasonal Delay" described above; that you will be solely responsible for complying with Municipal Code §16.075; and that the non-signing party will be relieved of that responsibility. If both the property owner and the contractor want to remain jointly liable for compliance, then neither party should sign in Box 2.**

**Box 2**

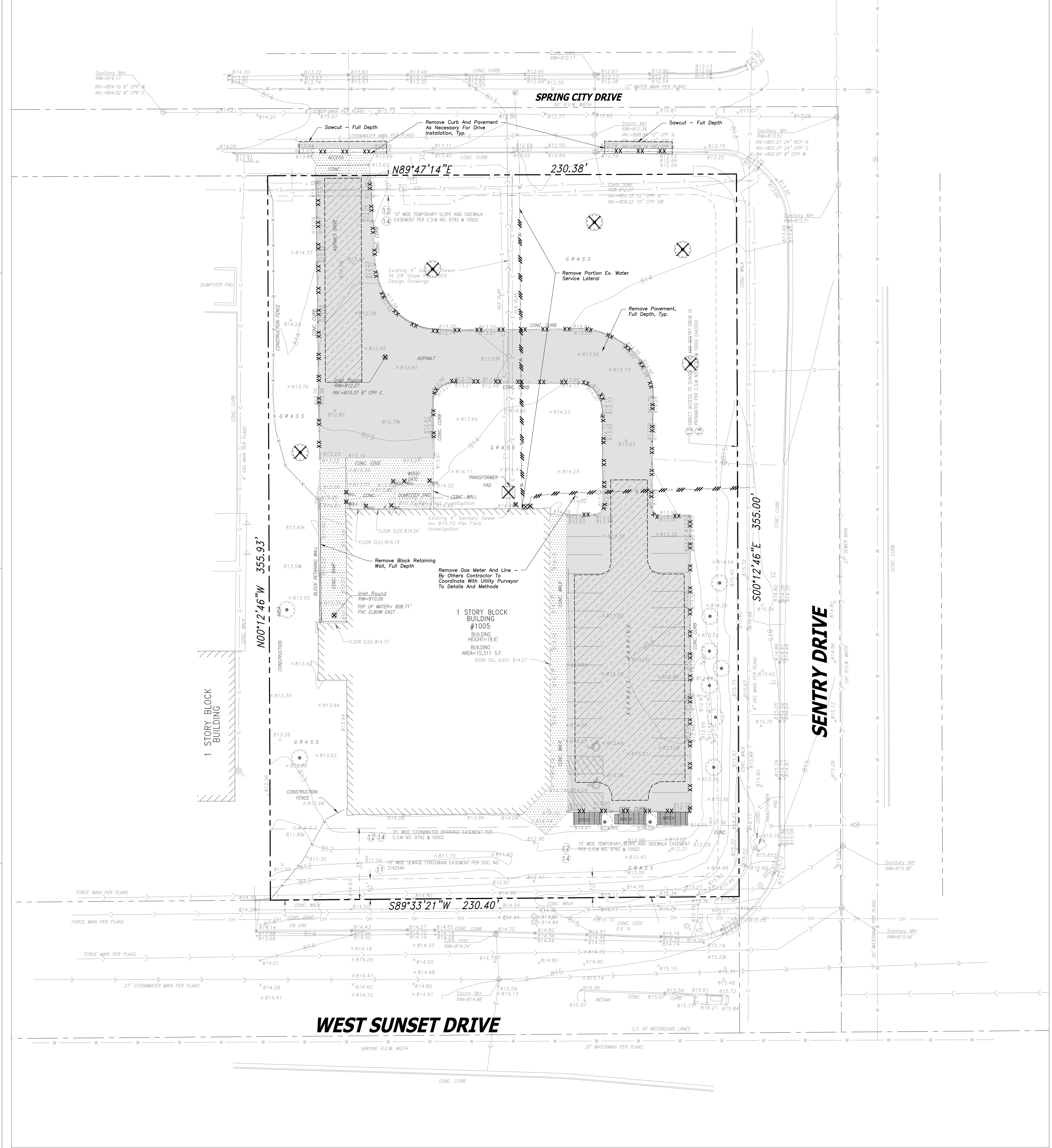
**Warning to property owner: If your construction contract requires your contractor to complete final grading, install the driveway, or stabilize disturbed land by seeding or sodding, then do not sign here. If you sign here, your contractor will not be responsible for those items.**

Signature: (of same person shown in Box 1) \_\_\_\_\_ Date: \_\_\_\_\_  
Circle one: (Property Owner) (Contractor)

**Transfer of Permit**

This Erosion Control, Grading and Driveway Permit is transferable by filing a Permit Transfer Form signed by both the original permittee and the transferee with the City. Upon transfer, the original permittee shall no longer be responsible for compliance with the requirements of §16.075.





### DEMOLITION LEGEND

- Utility Line Removal
- Bituminous Pavement Removal (Full Depth)
- Bituminous Pavement Mill (2" Mill)
- Concrete Pavement Removal (Full Depth)
- Brick Removal (Full Depth)
- Pavement Sawcut
- Structure Removal

### DEMOLITION NOTES

- Keep All City Streets Free and Clear of Construction Related Dirt/Dust/Debris.
- Coordinate Existing Utility Removal with Local Authorities and Utility Companies Having Jurisdiction.
- Coordinate Removal of Overhead Wires And Utility Poles With Authorities Having Jurisdiction And Respective Utility Providers.
- All Sawcutting Shall be Full Depth to Provide a Clean Edge to Match New Construction. Match Existing Elevations at Points of Connection for New and Existing Pavement, Curb, Sidewalks, etc. All Sawcut Locations Shown are Approximate and May Be Field Adjusted to Accommodate Conditions, Joints, Material Type, etc. Remove Minimum Amount Necessary for Installation of Proposed Improvements.
- Provide and Maintain All Necessary Traffic Control and Safety Measures Required During Demolition and Construction Operations Within or Near the Public Right-of-Way.
- All Light Poles to Be Removed From Private Property Shall Be Removed in Their Entirety, Including Base and All Appurtenances. Coordinate Abandonment of Electrical Lines With Electrical Engineer and Owner Prior to Demolition.
- Perform Tree Pruning in All Locations Where Proposed Pavement And/Or Utility Installation Enroach Within The Existing Drip Line Of Trees to Remain. All Trenching Within The Drip Line Of Existing Trees To Remain Shall Be Done Radially Away From Trunk If Roots In Excess Of 1" Diameter are Exposed. Roots Must Be Cut By Reputable Tree Pruning Service Prior to Any Transverse Trenching. Obtain Approval Of The Architect Prior to Operations For A Variance From This Procedure.
- Coordinate Tree Removal with Landscape Designer. All Trees To Be Removed Shall Be Removed in Their Entirety and Stumps Shall Be Ground to Proposed Subgrade. Coordinate Reuse Of Wood With Architect and Landscape Designer.
- Provide Tree Protection Fencing Prior to Construction Operations. Maintain Throughout Construction.

### LEGEND

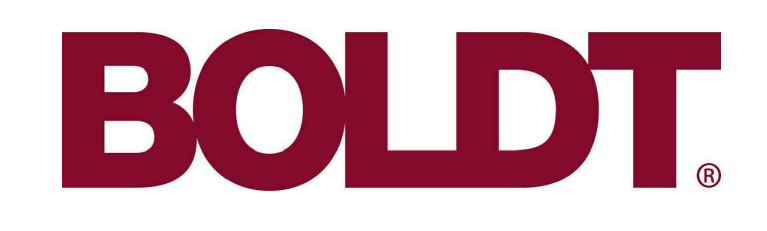
EXISTING	PROPOSED
Manhole	Manhole
Catch Basin	Catch Basin
Inlet	Inlet
Area Drain	Area Drain
Clean Out	Clean Out
Flared End Section	Flared End Section
Storm Sewer	Storm Sewer
Sanitary Sewer	Sanitary Sewer
Combined Sewer	Combined Sewer
Water Main	Water Main
Gas Line	Gas Line
Overhead Wires	Overhead Wires
Electrical Cable (Buried)	Electrical Cable (Buried)
Telephone Line	Telephone Line
Fire Hydrant	Fire Hydrant
Valve Vault	Valve Vault
Buffer Box	Buffer Box
Downspout	Downspout
Bollard	Bollard
Gas Valve	Gas Valve
Gas Meter	Gas Meter
Electric Meter	Electric Meter
ComEd Manhole	ComEd Manhole
Hand Hole	Hand Hole
Light Pole	Light Pole
Mail Box	Mail Box
Utility Pole	Utility Pole
Telephone Pedestal	Telephone Pedestal
Telephone Manhole	Telephone Manhole
Sign	Sign
Fence	Fence
Accessible Parking Stall	Accessible Parking Stall
Curb & Gutter	Curb & Gutter
Depressed Curb	Depressed Curb
Curb Elevation	Curb Elevation
Garage Pavement	Garage Pavement
Pavement Elevation	Pavement Elevation
SideWalk Elevation	SideWalk Elevation
Ground Elevation	Ground Elevation
Top of Retaining Wall Elevation	Top of Retaining Wall Elevation
Seale	Seale
Contour Line	Contour Line
Deciduous Tree	Deciduous Tree
Coniferous Tree	Coniferous Tree
Brushline	Brushline
Tree Protection Fencing at Drip Line	Tree Protection Fencing at Drip Line

### GENERAL NOTES

- The Location of Existing Underground Utilities, Such As Watermains, Sewers, Gas Lines, Etc., as Shown On The Plans, Has Been Determined From The Best Available Information and is Given For The Convenience of The Contractor. However, The Owner and The Engineer Do Not Assume Responsibility In The Event That During Construction, Utilities Other Than Those Shown May Be Encountered, and That The Actual Location of Those Which are Shown May Be Different From The Location as Shown On The Drawings. Contact Engineer Immediately if Surface and/or Subsurface Features are Different Than Shown On The Drawings.
- Notify The Engineer Without Delay of Any Discrepancies Between the Drawings and Existing Field Conditions.
- Notify The Owner, Engineer and The City of Waukesha A Minimum of 48 Hours in Advance of Performing Any Work.
- All Areas, On or Off Site, Disturbed During Construction Operations and Not Part of the Work as Shown Hereon Shall Be Restored to Original Condition to the Satisfaction of The Owner at No Additional Cost to The Owner. It is incumbent upon Contractor to Show That Damaged Areas were Not Disturbed By Construction Operations.
- These Drawings Assume That The Contractor Will Utilize An Electronic Drawing File (DWG) and Stake All Site Improvements Accordingly.
- No Person May Utilize The Information Contained Within These Drawings Without Written Approval From Erickson Engineering Associates, Ltd.
- The Engineer is Furnishing These Drawings For Construction Purposes as A Convenience to The Owner, Architect, Surveyor, or Contractor. Prior to the Use of These Drawings For Construction Purposes, The User of This Media Shall Verify All Dimensions and Locations of Buildings With The Foundation Drawings and Architectural Site Plan, and Coordinate All Dimensions and Locations of All Site Items. If Conflicts Exist The User of This Information Shall Contact The Engineer Immediately.
- Provide An As-built Survey Prepared By A Licensed Professional Land Surveyor in Accordance With The Authorities Having Jurisdiction Which Shall Include as a Minimum All Detention Basins and Best Management Practices, include All Storm and Sanitary Sewers, Structure Locations, Sizes, Rim and Invert Elevations, Final Detention Volume Calculations For The Basin(s), Watermain and Valve and Appurtenance Locations.
- The Wisconsin Department of Transportation (WisDOT) Standard Specifications for Highway and Structure Construction Latest Edition, And All Addenda Thereto, Shall Govern The Earthwork And Paving Work Under This Contract Unless Noted Otherwise.
- All Traffic Control Requirements Shall be Governed by WisDOT Traffic Engineering, Operations and Safety Manual (TEOS).



HDR Architecture  
30 WEST MONROE STREET  
SUITE 700  
CHICAGO, IL 60603



ADVOCATE AURORA HEALTH  
SW WAUKESHA CLINIC  
1005 Spring City Dr.  
Waukesha, WI 53186



MARK	DATE	DESCRIPTION

06/13/2022 ISSUED FOR PERMIT - CIVIL

Project Number 1033529  
Original Issue

Sheet Name  
**SITE DEMOLITION PLAN**

Sheet Number  
**C-100**

Project Status





Scale: 1"=20'

### GEOMETRY NOTES

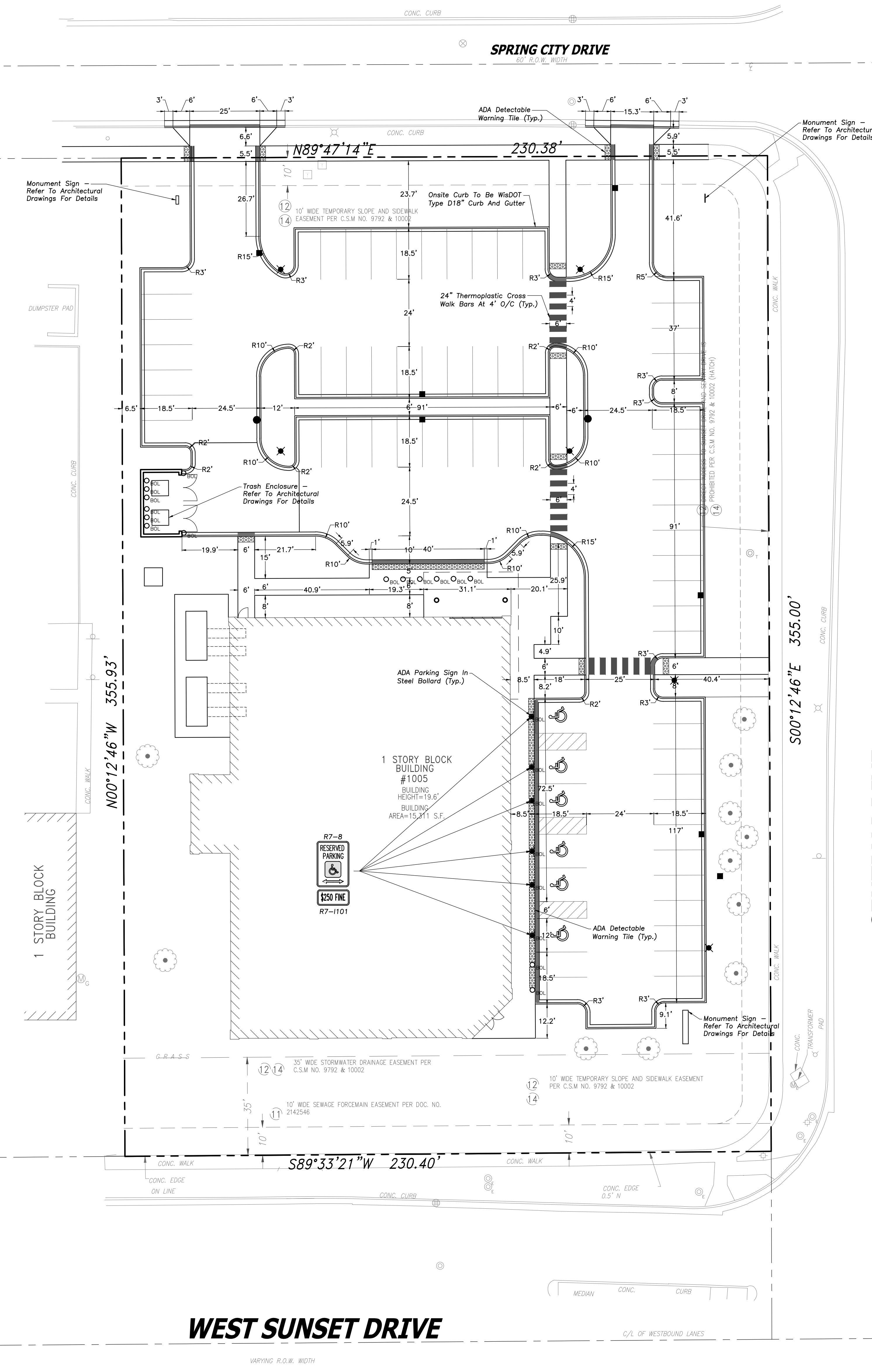
1. All Dimensions Contained Herein Reference Back Of Curb, Face Of Retaining Wall, Edge Of Pavement, Center of Structure And Outside Face Of Building Foundation Unless Otherwise Noted.
2. All Pavement Striping Shall Be 4" Wide Yellow Paint Per Specifications. All Cross Hatch Striping Shall Be 45° At 2'-0" Centers.
3. All Accessible Parking Signs (R7-8) Must Be Placed at the Center of the Space and Within 5 Feet of the Space.
4. Refer to Architectural Drawings for Exact Locations of All Buildings.
5. Refer to Architectural Drawings for Locations and Details of All Permanent Site Fencing.
6. Traffic Sign Posts Shall Be Breakaway Green U-Channel Posts, 2-1/2" Ft., 11 Gauge Steel, Embedded 42" Minimum Into Ground.

### LEGEND

EXISTING	PROPOSED

### GENERAL NOTES

1. The Location of Existing Underground Utilities, Such As Watermains, Sewers, Gas Lines, Etc., As Shown On The Plans, Has Been Determined From The Best Available Information and is Given For the Convenience of The Contractor. However, The Owner and The Engineer Do Not Assume Responsibility In The Event That During Construction, Utilities Other Than Those Shown May Be Encountered, and That The Actual Location of Those Which Are Shown May Be Different From The Location As Shown On The Drawings. Contact Engineer Immediately if Surface and/or Subsurface Features Are Different Than Shown On The Drawings.
2. Notify The Engineer Without Delay of Any Discrepancies Between the Drawings and Existing Field Conditions.
3. Notify The Owner, Engineer and The City of Waukesha A Minimum of 48 Hours in Advance of Performing Any Work.
4. All Areas, On or Off Site, Disturbed During Construction Operations and Not Part of the Work As Shown Hereon Shall Be Restored to Original Condition to the Satisfaction of the Owner at No Additional Cost to the Owner. It is incumbent upon Contractor to Show That Damaged Areas Were Not Disturbed By Construction Operations.
5. These Drawings Assume That The Contractor Will Utilize An Electronic Drawing File (DWG) and Stake All Site Improvements Accordingly.
6. No Person May Utilize The Information Contained Within These Drawings Without Written Approval From Eriksson Engineering Associates, Ltd.
7. The Engineer Is Furnishing These Drawings For Construction Purposes As A Convenience To The Owner, Architect, Surveyor or Contractor. Prior to the Use Of These Drawings For Construction Purposes, The User Of This Media Shall Verify All Dimensions And Locations Of Buildings With The Foundation Drawings And Architectural Site Plan, and Coordinate All Dimensions and Locations of All Site Items. If Conflicts Exist The User Of This Information Shall Contact The Engineer Immediately.
8. Provide An As-built Survey Prepared By A Licensed Professional Land Surveyor In Accordance With The Authorities Having Jurisdiction Which Shall Include As a Minimum All Detention Basins and Best Management Practices, include All Storm and Sanitary Sewers, Structure Locations, Sizes, Rim and Invert Elevations, Final Detention Volume Calculations For The Basin(s), Watermain and Valve and Appurtenance Locations.
9. The Wisconsin Department of Transportation (WisDOT) Standard Specifications For Highway And Structure Construction Latest Edition, And All Addenda Thereto, Shall Govern The Earthwork And Paving Work Under This Contract Unless Noted Otherwise.
10. All Traffic Control Requirements Shall Be Governed By WisDOT Traffic Engineering, Operations and Safety Manual (TEOpS)



MARK	DATE	DESCRIPTION

06/13/2022 ISSUED FOR PERMIT - CIVIL

Project Number 10335129

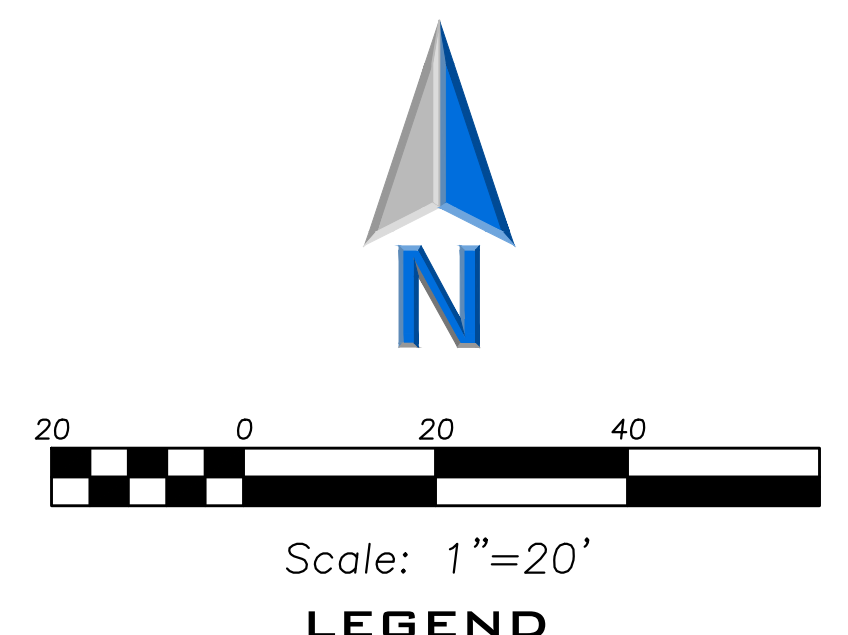
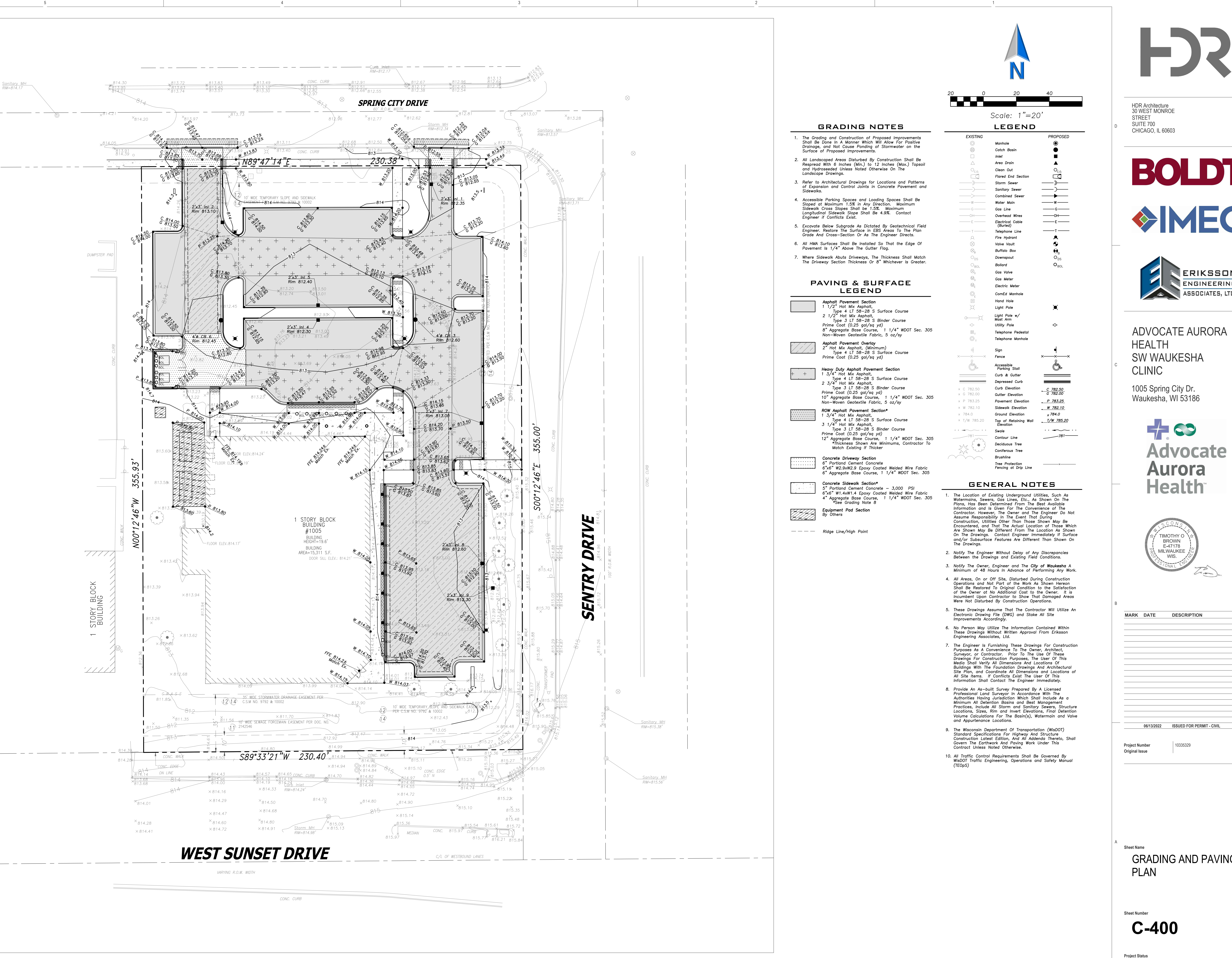
Project Status

Sheet Name  
**SITE GEOMETRY PLAN**

Sheet Number  
**C-200**

Project Status





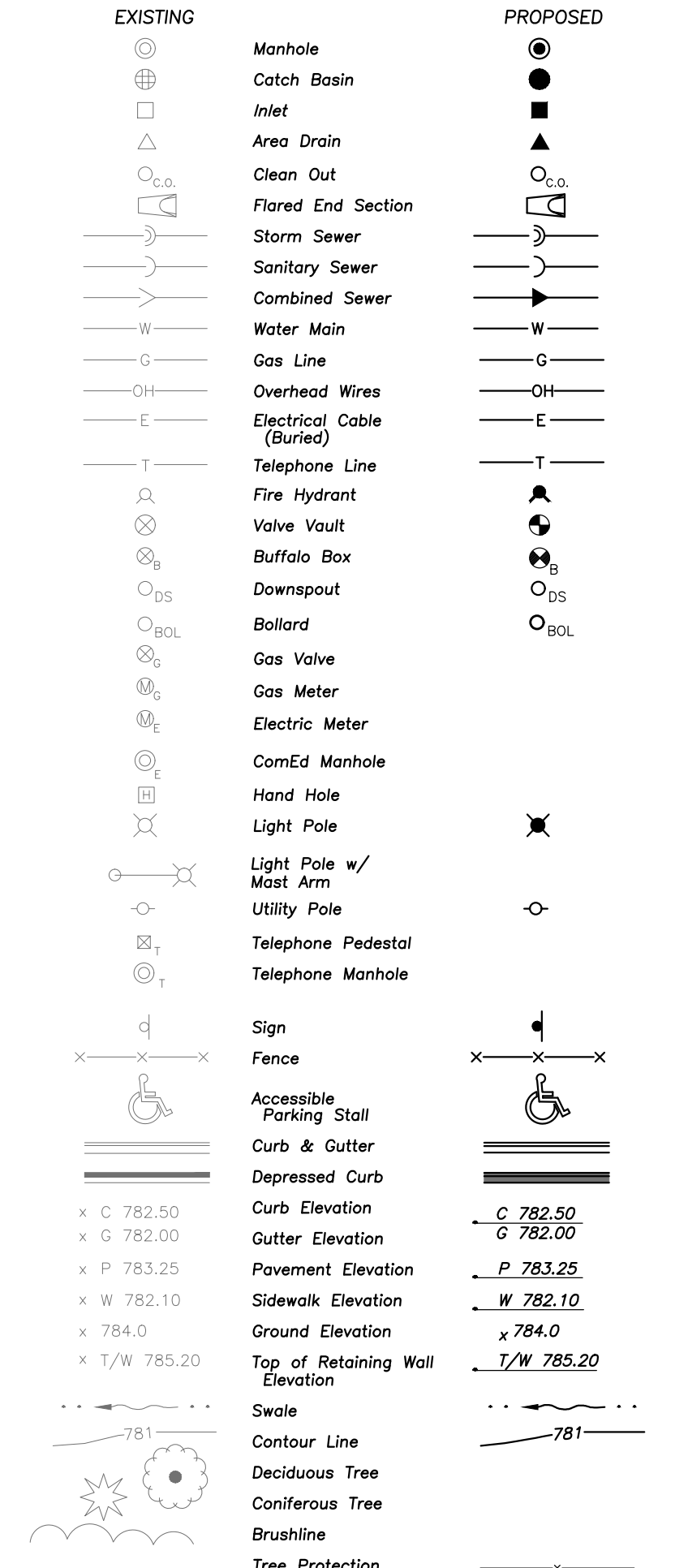
**GRADING NOTES**

1. The Grading and Construction of Proposed Improvements Shall Be Done In A Manner Which Will Allow For Positive Drainage, and Not Cause Flooding of Stormwater on the Surface of Proposed Improvements.
2. All Landscaped Areas Disturbed By Construction Shall Be Reseeded With 6 Inches (Min.) to 12 Inches (Max.) Topsoil and hydroseeded Unless Noted Otherwise On The Landscape Drawings.
3. Refer to Architectural Drawings for Locations and Patterns of Expansion and Control Joints in Concrete Pavement and Sidewalks.
4. Accessible Parking Spaces and Loading Spaces Shall Be Sloped at Maximum 1.5% in Any Direction. Maximum Sidewalk Cross Slopes Shall Be 1.5%. Maximum Longitudinal Sidewalk Slope Shall Be 4.9%. Contact Engineer if Conflicts Exist.
5. Excavate Below Subgrade As Dictated By Geotechnical Field Engineer. Restore the Surface in EBS Areas To The Plan Grade And Cross-Section Or As The Engineer Directs.
6. All HMA Surfaces Shall Be Installed So That the Edge of Pavement is 1/4" Above The Gutter Flag.
7. Where Sidewalk Abuts Driveways, The Thickness Shall Match The Driveway Section Thickness Or 8" Whichever is Greater.

**PAVING & SURFACE LEGEND**

- Asphalt Pavement Section**
  - 1 1/2" Hot Mix Asphalt, Type 4 LT 58-28 S Surface Course
  - 2 1/2" Hot Mix Asphalt, Type 3 LT 58-28 S Binder Course
  - Prime Coat (0.25 gal/sq yd)
  - 8" Aggregate Base Course, 1 1/4" WDOT Sec. 305
  - Non-Woven Geotextile Fabric, 5 oz/sy
- Asphalt Pavement Overlay**
  - Type 4 LT 58-28 S Surface Course
  - Prime Coat (0.25 gal/sq yd)
- Heavy Duty Asphalt Pavement Section**
  - 1 3/4" Hot Mix Asphalt, Type 4 LT 58-28 S Surface Course
  - 2 3/4" Hot Mix Asphalt, Type 3 LT 58-28 S Binder Course
  - Prime Coat (0.25 gal/sq yd)
  - 10" Aggregate Base Course, 1 1/4" WDOT Sec. 305
  - Non-Woven Geotextile Fabric, 5 oz/sy
- ROW Asphalt Pavement Section\***
  - 1 3/4" Hot Mix Asphalt, Type 4 LT 58-28 S Surface Course
  - 3 1/4" Hot Mix Asphalt, Type 3 LT 58-28 S Binder Course
  - Prime Coat (0.25 gal/sq yd)
  - 12" Aggregate Base Course, 1 1/4" WDOT Sec. 305
  - \*Thickness Shown Are Minimums, Contractor To Match Existing If Thicker
- Concrete Driveway Section**
  - 8" Portland Cement Concrete
  - 6"x6" W2.8W2.8 Epoxy Coated Welded Wire Fabric
  - 8" Aggregate Base Course, 1 1/4" WDOT Sec. 305
- Concrete Sidewalk Section\***
  - 5" Portland Cement Concrete - 3,000 PSI
  - 6"x6" W1.4xW1.4 Epoxy Coated Welded Wire Fabric
  - 4" Aggregate Base Course, 1 1/4" WDOT Sec. 305
  - \*See Grading Note 8
- Equipment Pad Section**
  - By Others
- Ridge Line/High Point**

**LEGEND**



**GENERAL NOTES**

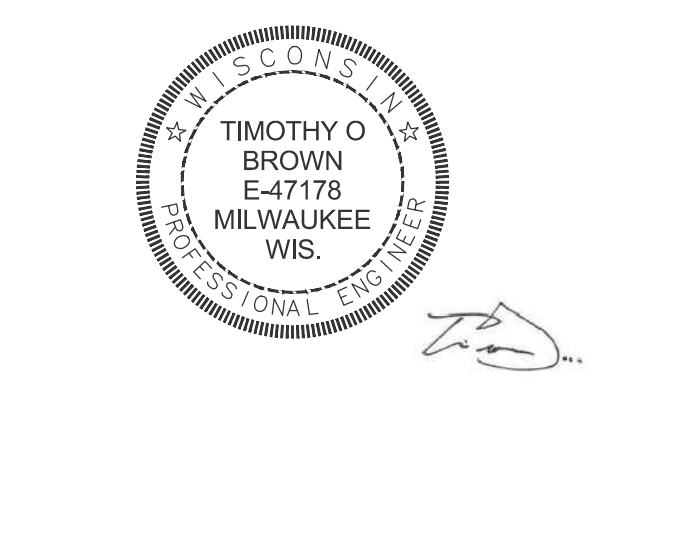
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30 WEST MONROE STREET  
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ADVOCATE AURORA HEALTH  
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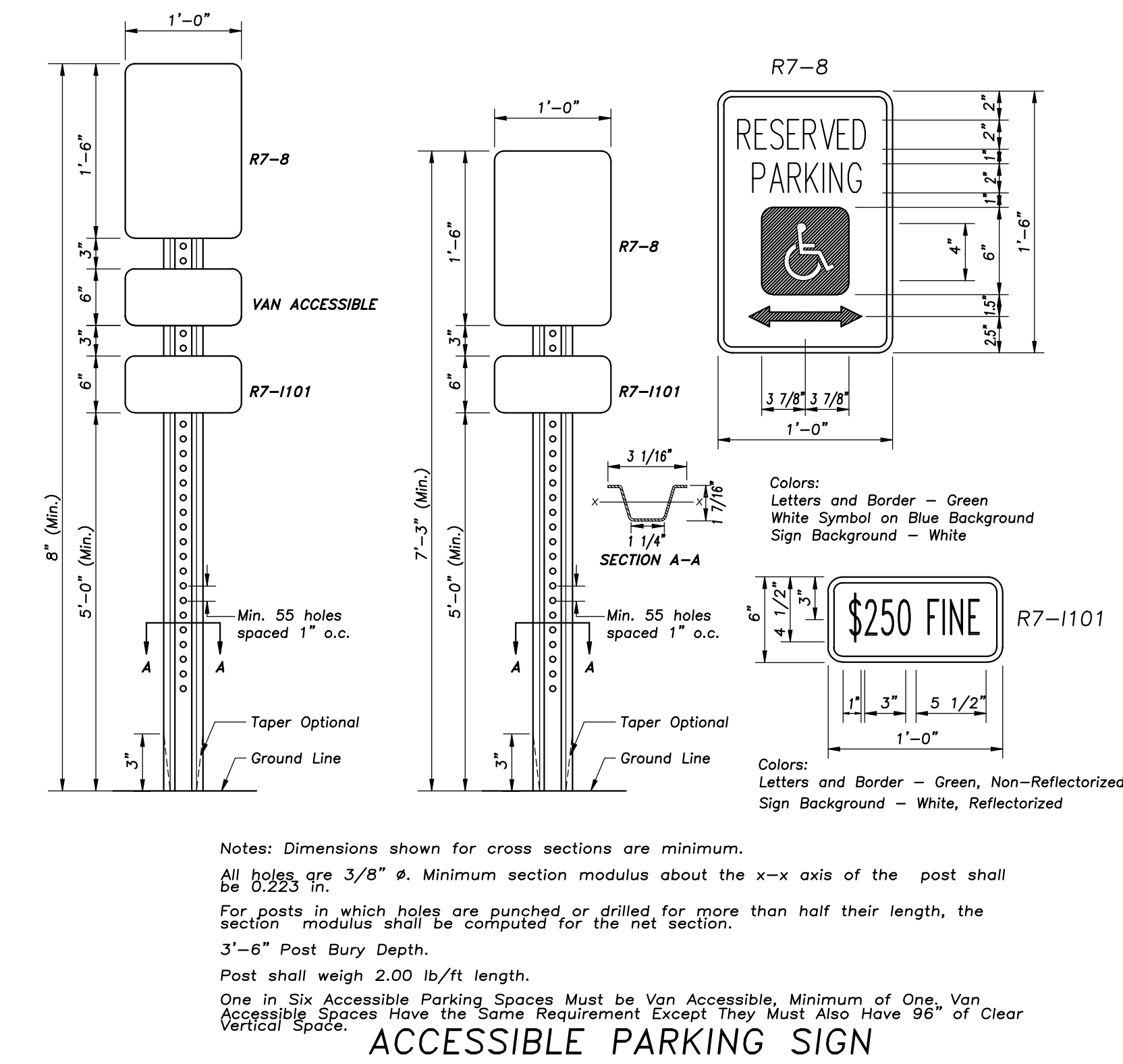
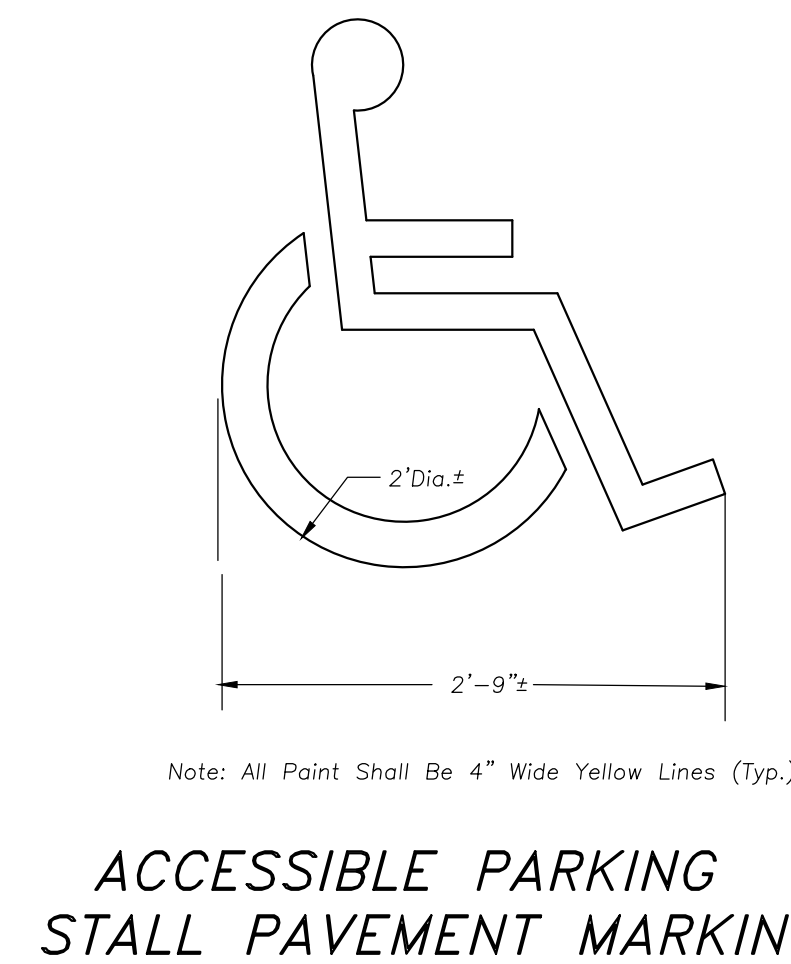
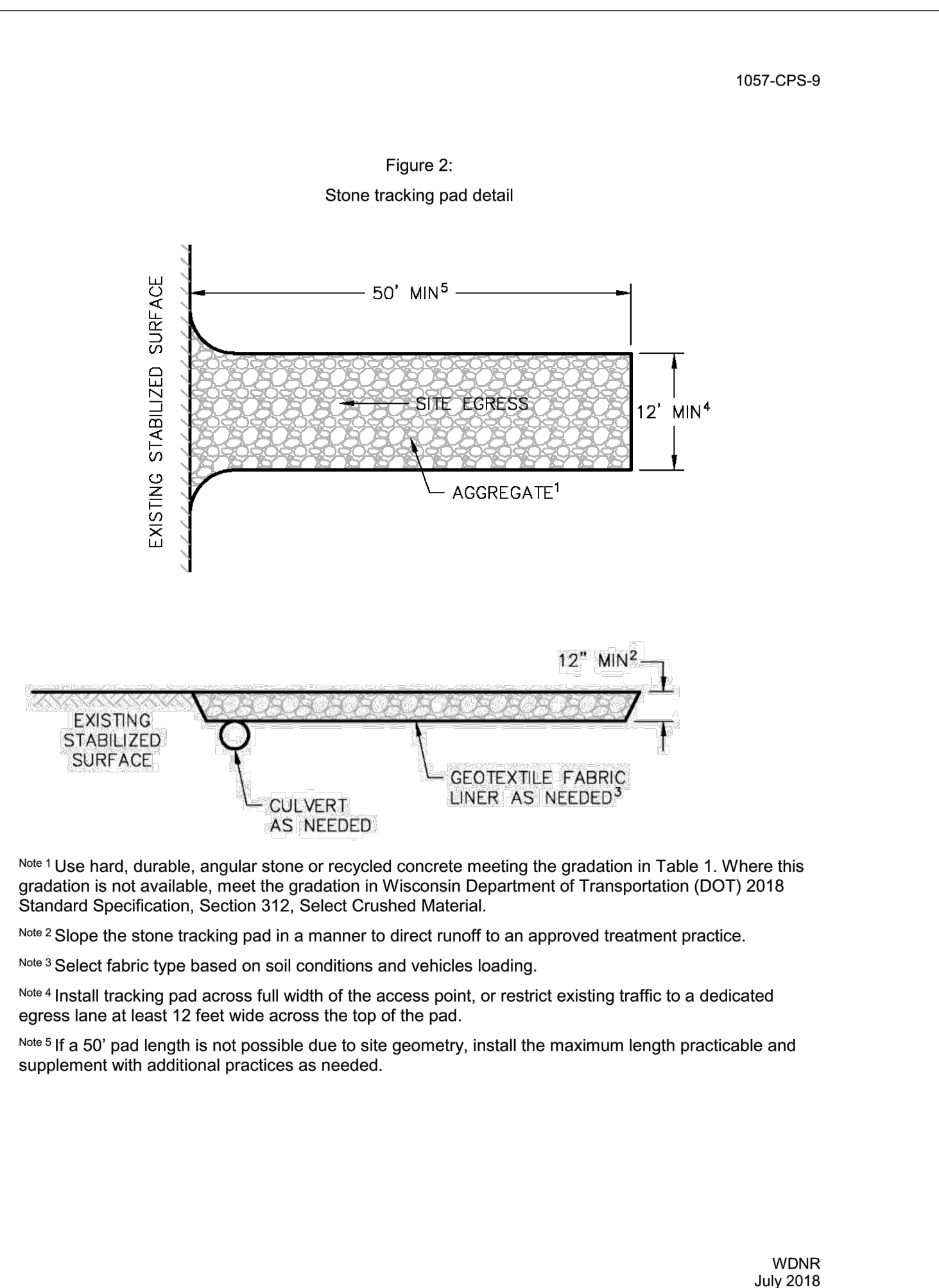
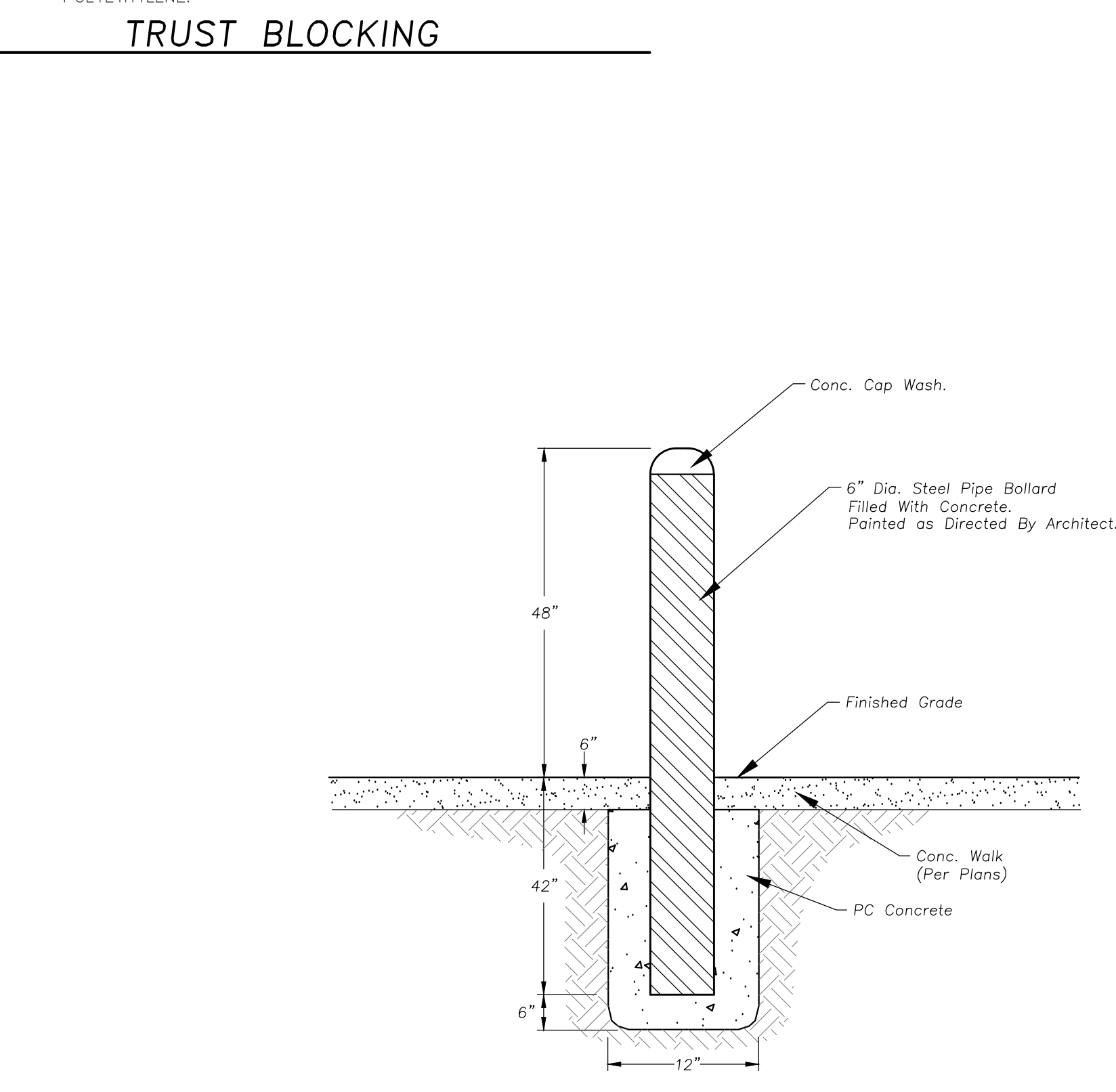
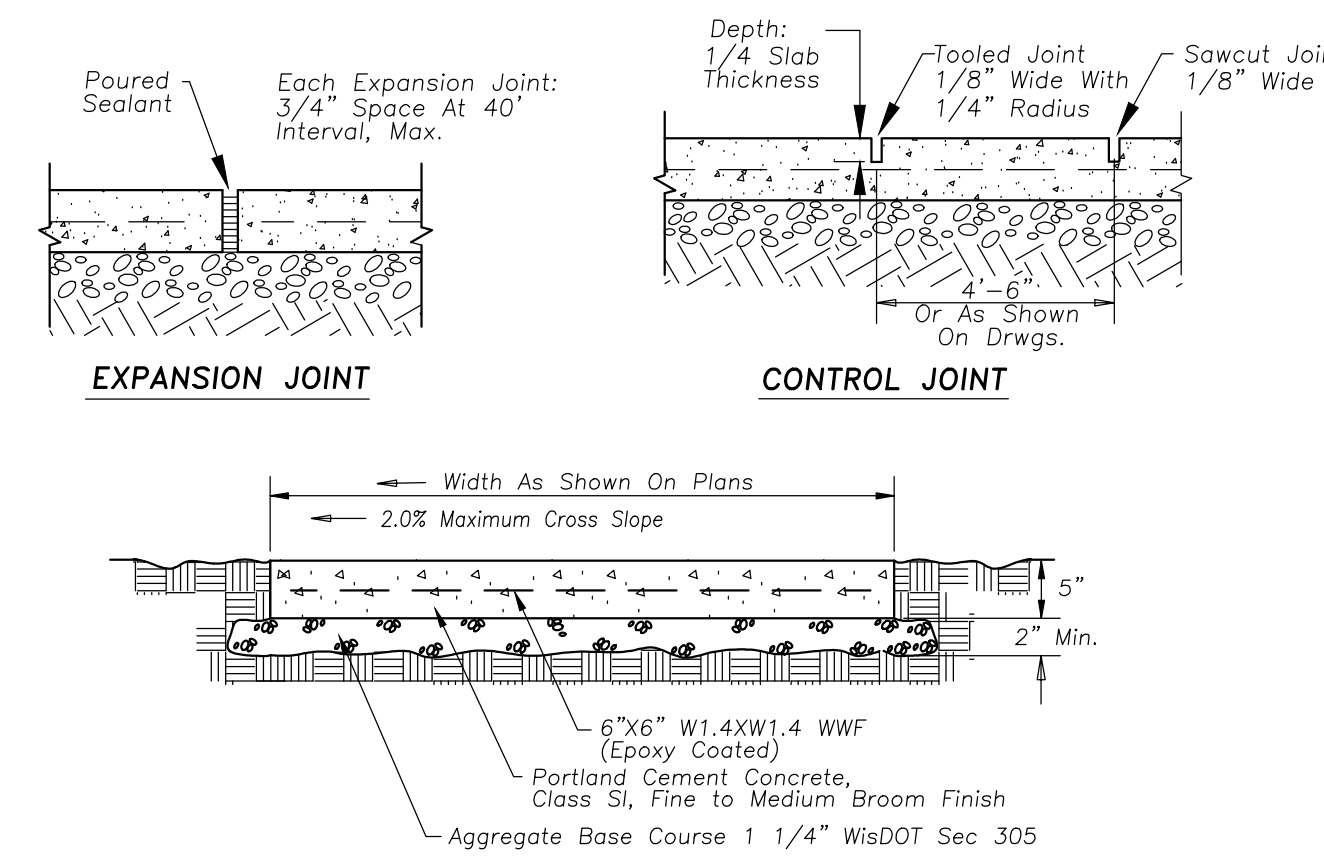
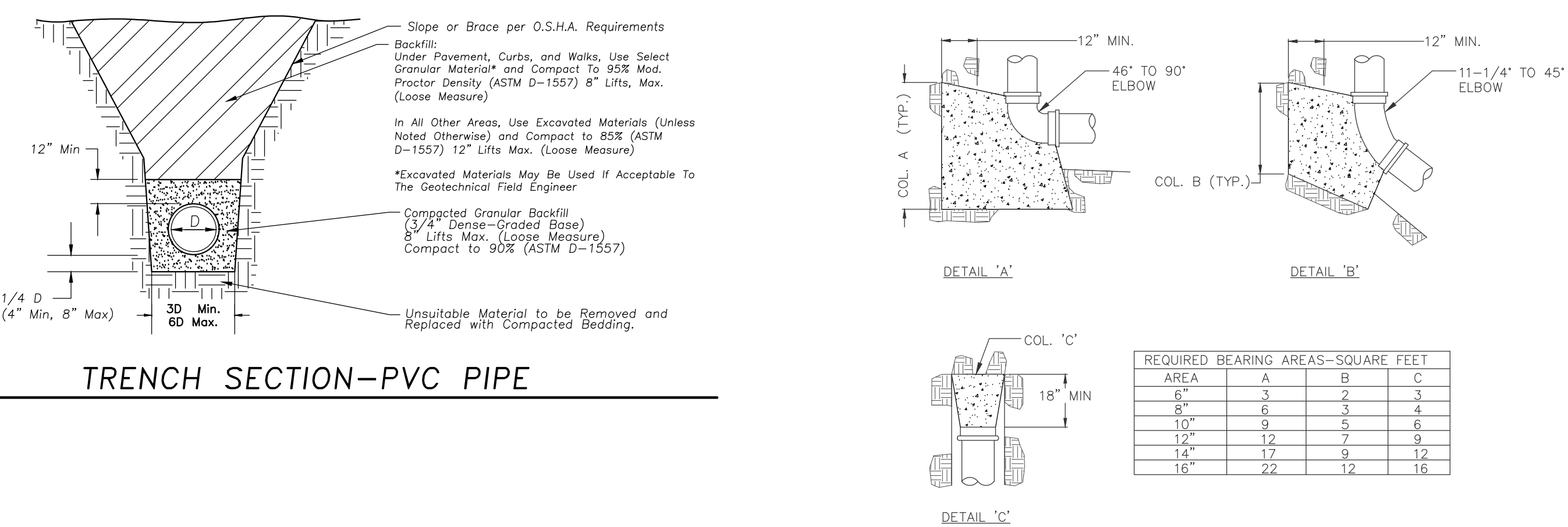
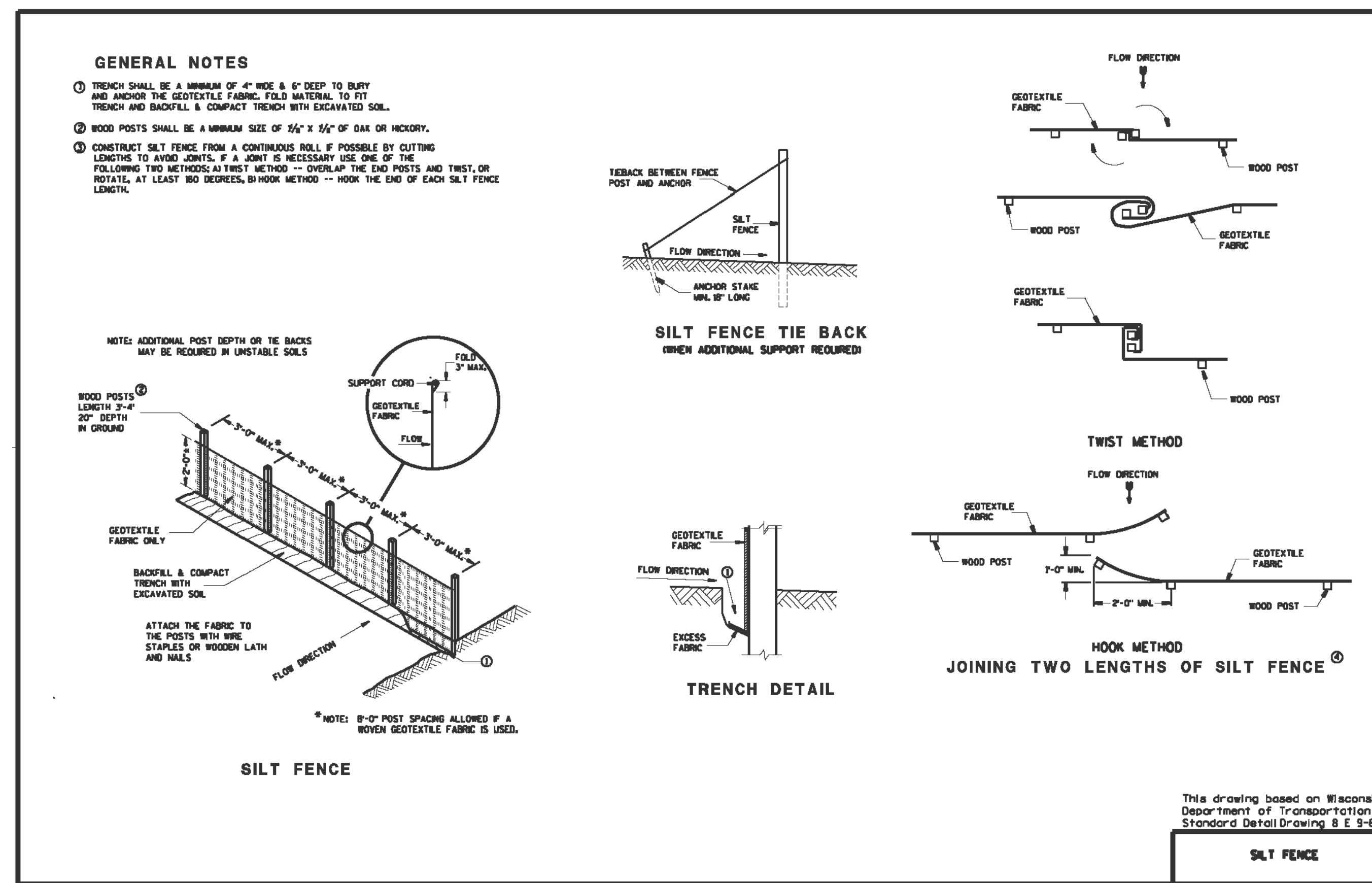
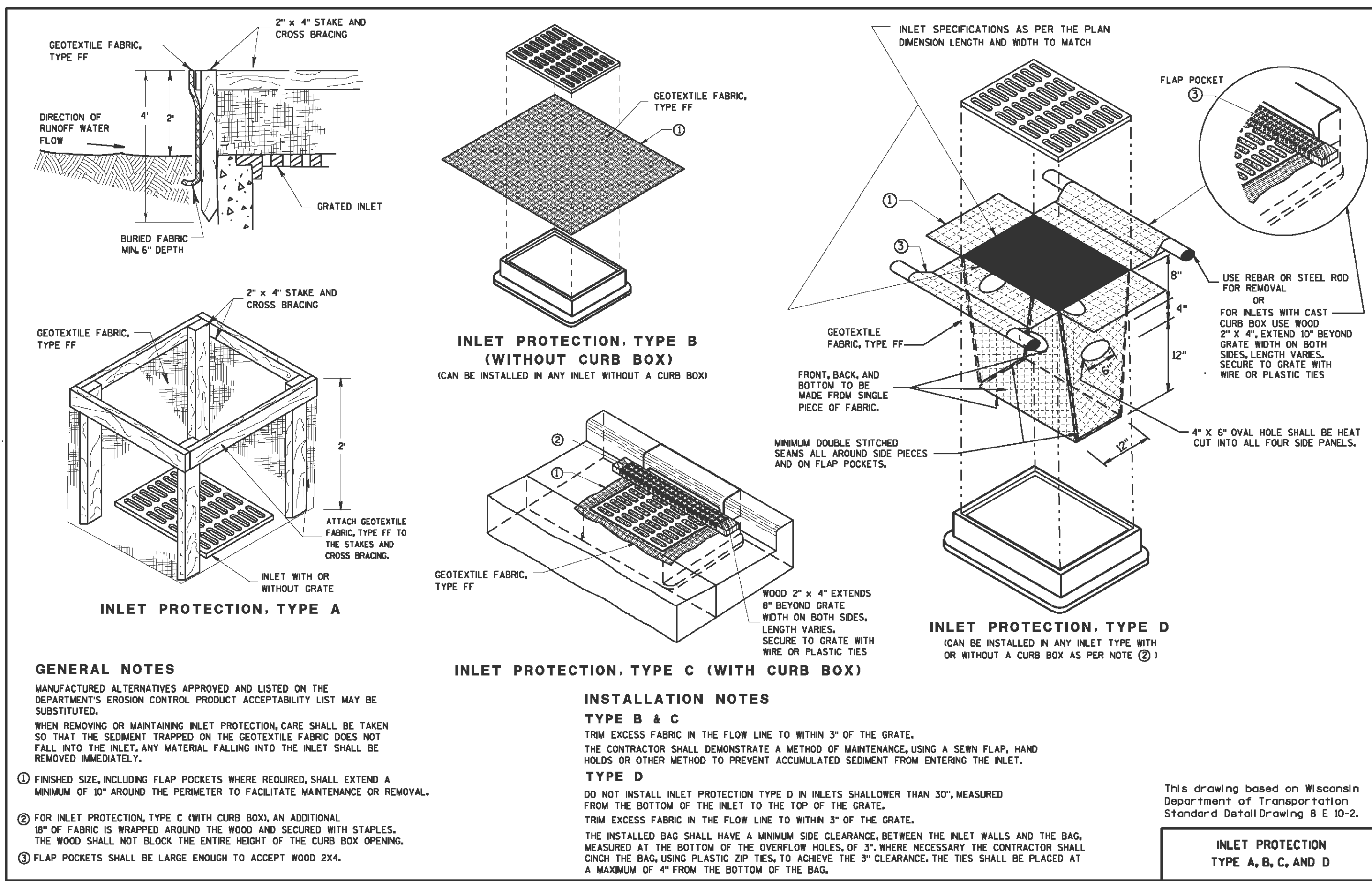
Original Issue

Sheet Name  
**GRADING AND PAVING PLAN**

Sheet Number  
**C-400**

Project Status





**HDR**

HDR Architecture  
30 WEST MONROE STREET  
SUITE 700  
CHICAGO, IL 60603

**BOLDT**

**IMEG**

**ERIKSSON ENGINEERING ASSOCIATES, LTD.**

**ADVOCATE AURORA HEALTH SW WAUKESHA CLINIC**

1005 Spring City Dr.  
Waukesha, WI 53186

**Advocate Aurora Health**

TIMOTHY O BROWN  
E-47178  
MILWAUKEE WIS.  
PROFESSIONAL ENGINEER

MARK	DATE	DESCRIPTION

06/13/2022 ISSUED FOR PERMIT - CIVIL

Project Number: 1033529  
Original Issue

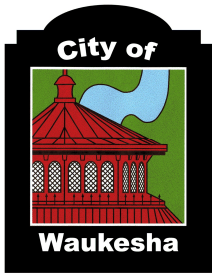
Sheet Name: **SITE WORK DETAILS**

Sheet Number: **C-600**

Project Status







City of Waukesha  
 Department of Public Works  
 201 Delafield Street  
 Waukesha, WI 53188  
 Waukesha-wi.gov

## Landscape Plan Checklist

Attachment I  
 (Rev 1/22)

Project Name: Advocate Aurora Health SW Waukesha Clinic

Engineering & Design Firm: HDR

Contact Community Development Department for Requirements

**Listed below are general design considerations only:**

YES	NO	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Show easements
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location and footprint of any and all buildings
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Dimensions of development site along property line
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Existing and proposed streets
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Pedestrian and vehicular access points
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Location and dimensions of parking lots, etc.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Location and dimensions of all existing or planned easements
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location and dimensions of snow removal and storage areas
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Location and dimensions of outdoor lighting fixtures
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Interior parkway provided
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Parkway provided
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Buffer strip provided
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Dumpster enclosure details
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Parking lot landscaping
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Utility/mechanical equipment screened
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Service area screened
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location of freestanding signs
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Walls and fences shown
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Location of utilities
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Existing and proposed contours and grades, including berm elevations
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location, name and size of proposed plant materials
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Specifications of all types of all proposed ground cover, i.e., seed, sod, etc.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location, species, and size of existing trees
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Clear identification of trees to be removed
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Square footage of parking lot area
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Tree protection plan



**PLANTING NOTES:**

1. THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING AND PROPOSED SITE UTILITIES PRIOR TO INSTALLATION OF PLANT MATERIAL. IF A CONFLICT ARISES, NOTIFY THE LANDSCAPE ARCHITECT.
2. THE LOCATION OF ALL OVERHEAD AND UNDERGROUND UTILITIES MAY NOT BE INDICATED IN THESE PLANS. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES 48 HOURS BEFORE WORK STARTED TO VERIFY UTILITY LOCATIONS; J.U.L.I.E. OF ILLINOIS 811 OR 1.800.892.0123.
3. PERFORM WORK IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
4. CONTRACTOR TO RESTORE ANY DISTURBED AREA WITH GRASS SEEDING.
5. SEE PLANTING DETAILS AND PLANT SCHEDULE ON L-501 SHEET.
6. ALL SHRUBS AND TREES SHALL NOT BE PLANTED WITHIN 5' OF UTILITIES.

**CODE REQUIREMENTS:**

**PARKING LOT SCREENING**  
24-36" HIGH VEGETATED SCREEN ADJACENT TO STREET

**PARKING LOT INTERIOR LANDSCAPING**  
MINIMUM OF 5% OF SURFACE AREA FOR LANDSCAPING  
MINIMUM SIZE OF ISLANDS TO BE 170 SF

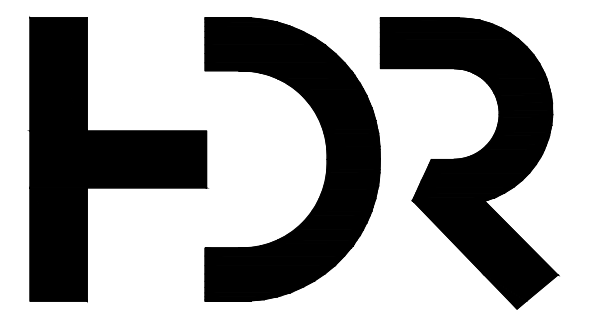
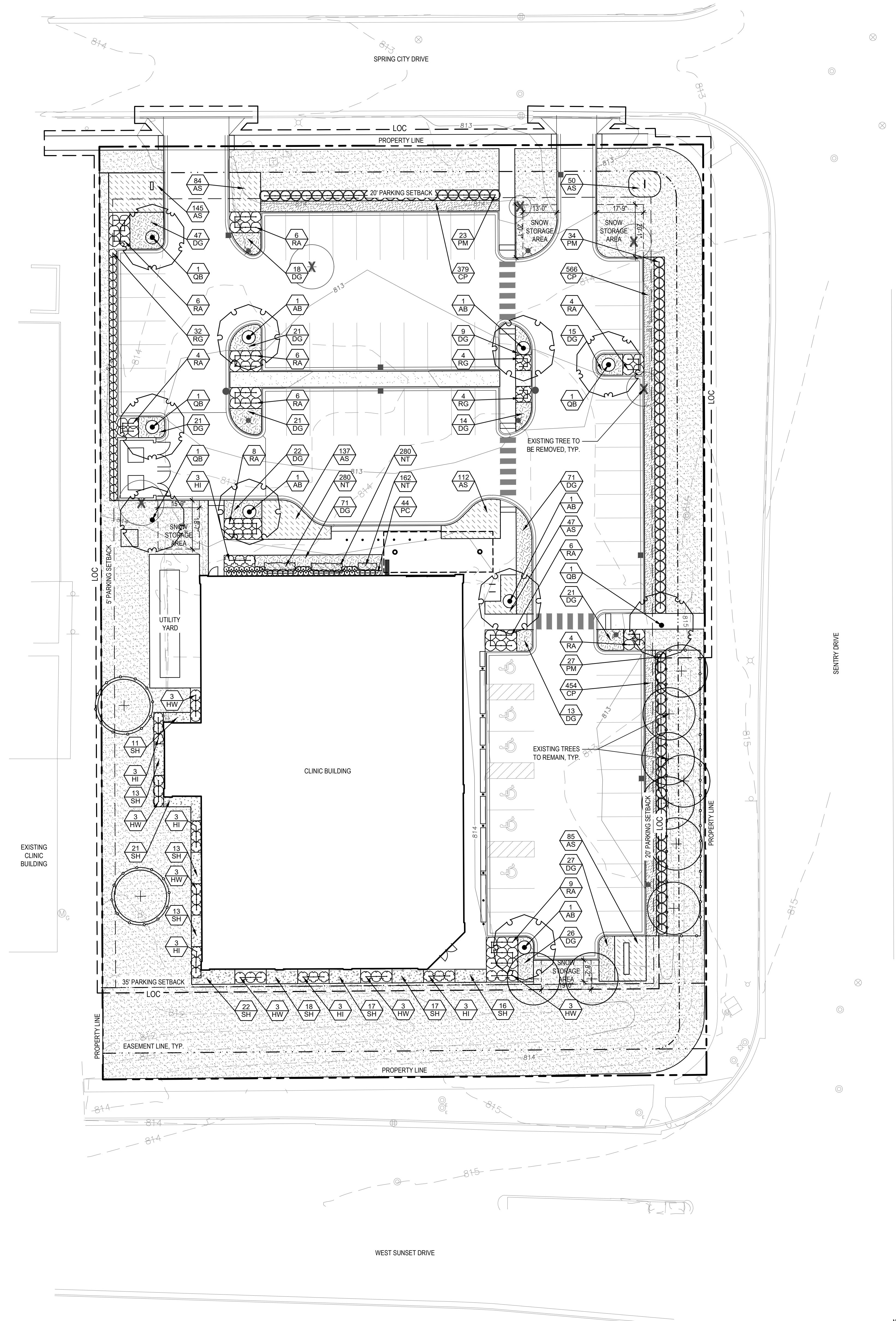
AREA OF PARKING SURFACE: 26,956 SF  
REQUIRED LANDSCAPE AREA: 1,348 SF  
LANDSCAPE AREA SHOWN: 2,585 SF

**PLANT INSTALL SIZES**  
SHADE TREES: 2.5" DBH  
ORNAMENTAL TREES: 1.5" DBH  
EVERGREEN TREES: 6' HEIGHT  
SHRUBS: 18" HEIGHT OR SPREAD

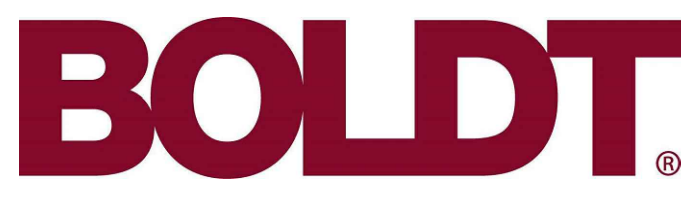
**LEGEND:**

- LIMIT OF CONSTRUCTION
- PROPERTY LINE
- - - EASEMENT LINE
- - - SETBACK LINE
- TREE PROTECTION FENCING
- ✕ POLE LIGHT

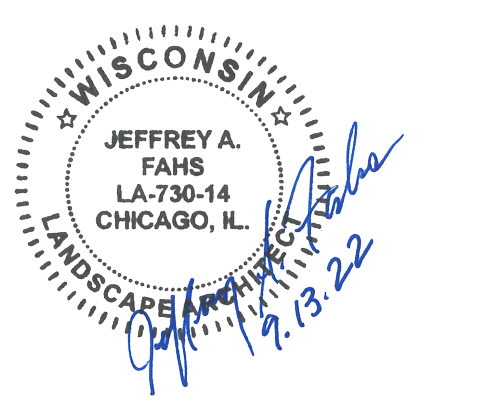
PLANT SCHEDULE		
TREES	CODE	BOTANICAL / COMMON NAME
+	EX	Existing Tree / Existing Tree
DECIDUOUS TREES		
•	AB	Acer saccharum 'Baileit' TM / Fall Fiesta Sugar Maple Note: Straight Central Leader
•	QB	Quercus bicolor / Swamp White Oak Note: Straight Central Leader
DECIDUOUS SHRUBS		
•	HI	Hydrangea arborescens 'NCHA1' TM / Invinibelle Spirit Hydrangea
•	HW	Hydrangea quercifolia 'Pee Wee' / Pee Wee Oakleaf Hydrangea 4" O.C.
•	RA	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac 4" O.C.
•	RG	Ribes alpinum 'Green Mound' / Green Mound Alpine Currant 3" O.C.
EVERGREEN SHRUBS		
•	PM	Pinus mugo 'Mopsi' / Mopsi Mugo Pine
•	PC	Pinus mugo 'Valley Cushion' / Valley Cushion Mugo Pine 24" O.C.
GROUND COVERS		
•	AS	Allium 'Summer Beauty' / Summer Beauty Allium 18" O.C.
BULB		
•	NT	Narcissus x 'Thalia' / Thalia Daffodil 3 BULBS / SF INTERPLANTED
ORNAMENTAL GRASS		
•	CP	Carex pensylvanica / Pennsylvania Sedge 12" O.C.
•	DG	Deschampsia oesplosa 'Goldbar' / Gold Dew Tufted Hair Grass 24" O.C.
•	SH	Sporobolus heterolepis / Prairie Droopseed 24" O.C.
SEED MIX		
•	TS	Rhizomatous Tall Fescue Blend / Turf Saver RTF



HDR Architecture  
30 WEST MONROE  
STREET  
SUITE 700  
CHICAGO, IL 60603



ADVOCATE AURORA  
HEALTH  
SW WAUKESHA  
CLINIC  
1005 Spring City Dr.  
Waukesha, WI 53186



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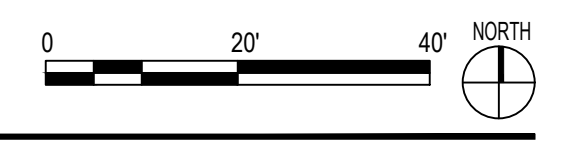
Project Number 10335329  
Original Issue

Sheet Name  
LANDSCAPE PLAN

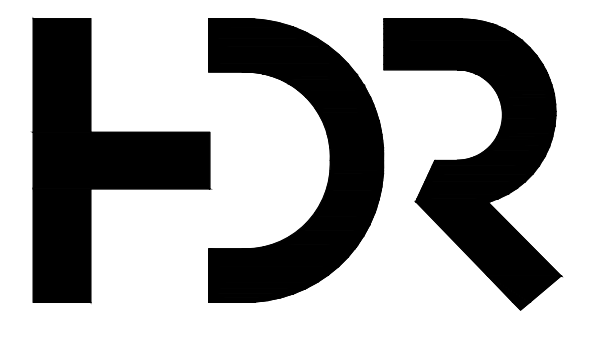
Sheet Number  
**L-101**

Project Status

1 LANDSCAPE PLAN  
SCALE: 1"=20'-0"



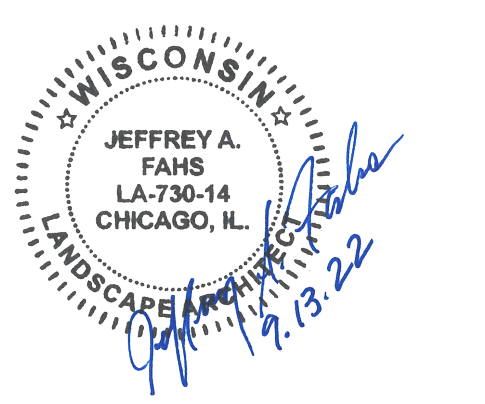
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HDR Architecture  
30 WEST MONROE STREET  
SUITE 700  
CHICAGO, IL 60603



ADVOCATE AURORA HEALTH  
SW WAUKESHA CLINIC  
1005 Spring City Dr.  
Waukesha, WI 53186



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Project Number 10335329  
Original Issue

Sheet Name  
**LAYOUT, MATERIALS AND JOINTING PLAN**

Sheet Number  
**L-102**

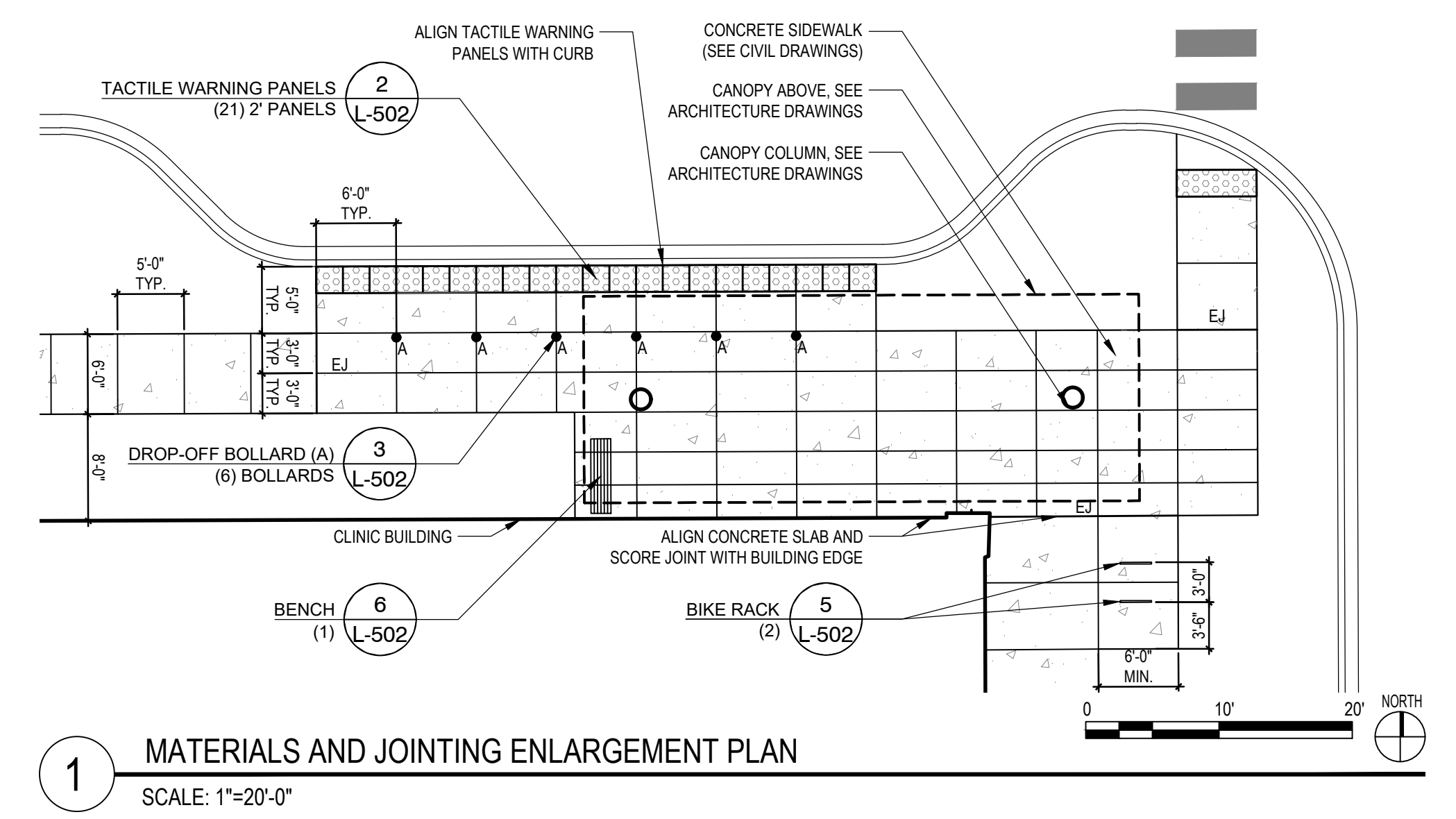
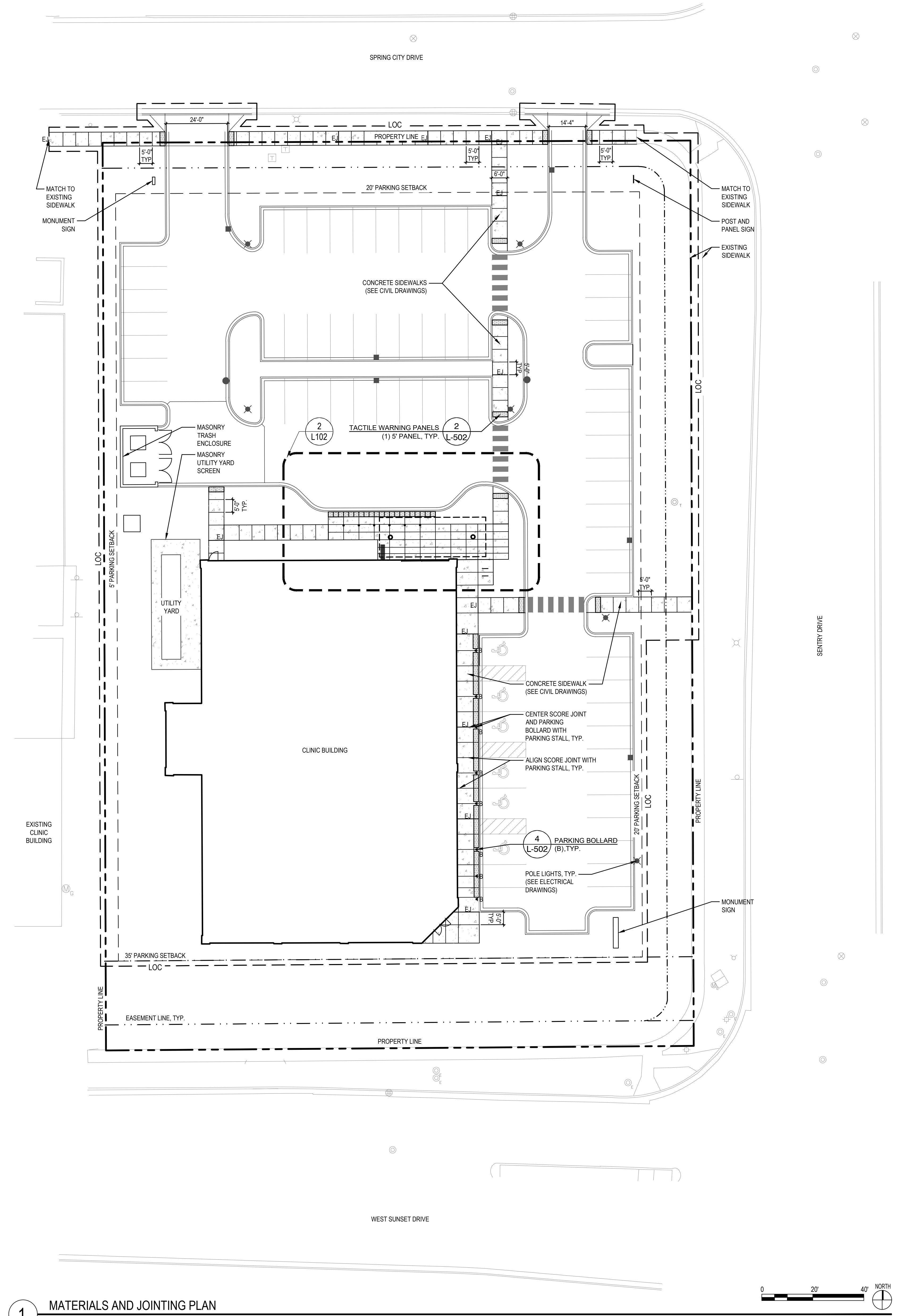
Project Status

**GENERAL NOTES:**

- GENERAL NOTES:  
1. THE LOCATION OF ALL OVERHEAD AND UNDERGROUND UTILITIES MAY NOT BE INDICATED IN THESE PLANS. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES 48 HOURS BEFORE WORK IS STARTED TO VERIFY UTILITY LOCATIONS. CONTACT DIGGERS HOTLINE (811 OR 800-242-8511).  
2. SEE DETAILS ON SHEET L-501.  
3. SEE CIVIL PLANS FOR LAYOUT, DIMENSIONS, GRADING, AND UTILITIES.  
4. SEE PLAN FOR FINAL SITE FURNISHING QUANTITIES.

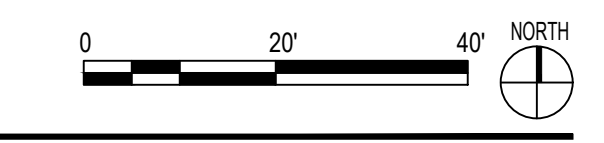
**LEGEND:**

- LIMIT OF CONSTRUCTION
- PROPERTY LINE
- EASEMENT LINE
- SETBACK LINE
- ✕ POLE LIGHT
- DROP-OFF BOLLARD
- ▬ PARKING BOLLARD
- ▬ BENCH
- ▬ BICYCLE RACKS
- EJ EXPANSION JOINT
- CONTROL JOINT



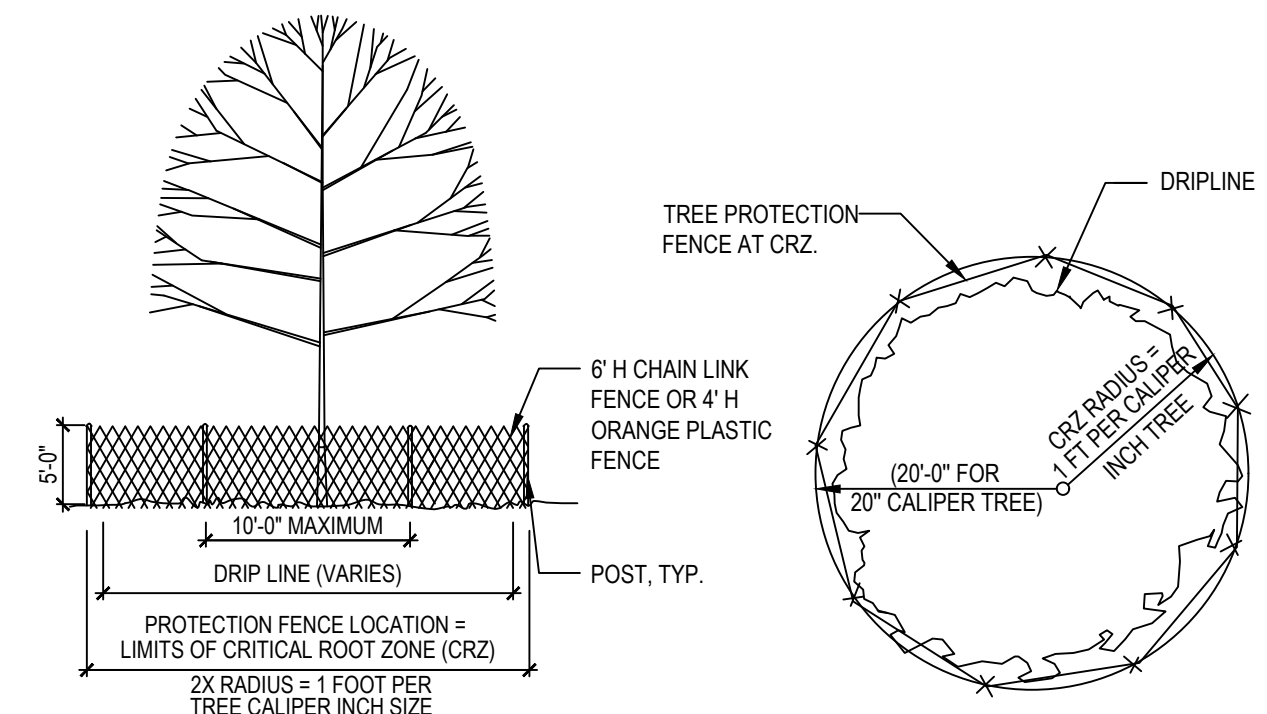
**1 MATERIALS AND JOINTING ENLARGEMENT PLAN**  
SCALE: 1"=20'-0"

**1 MATERIALS AND JOINTING PLAN**  
SCALE: 1"=20'-0"

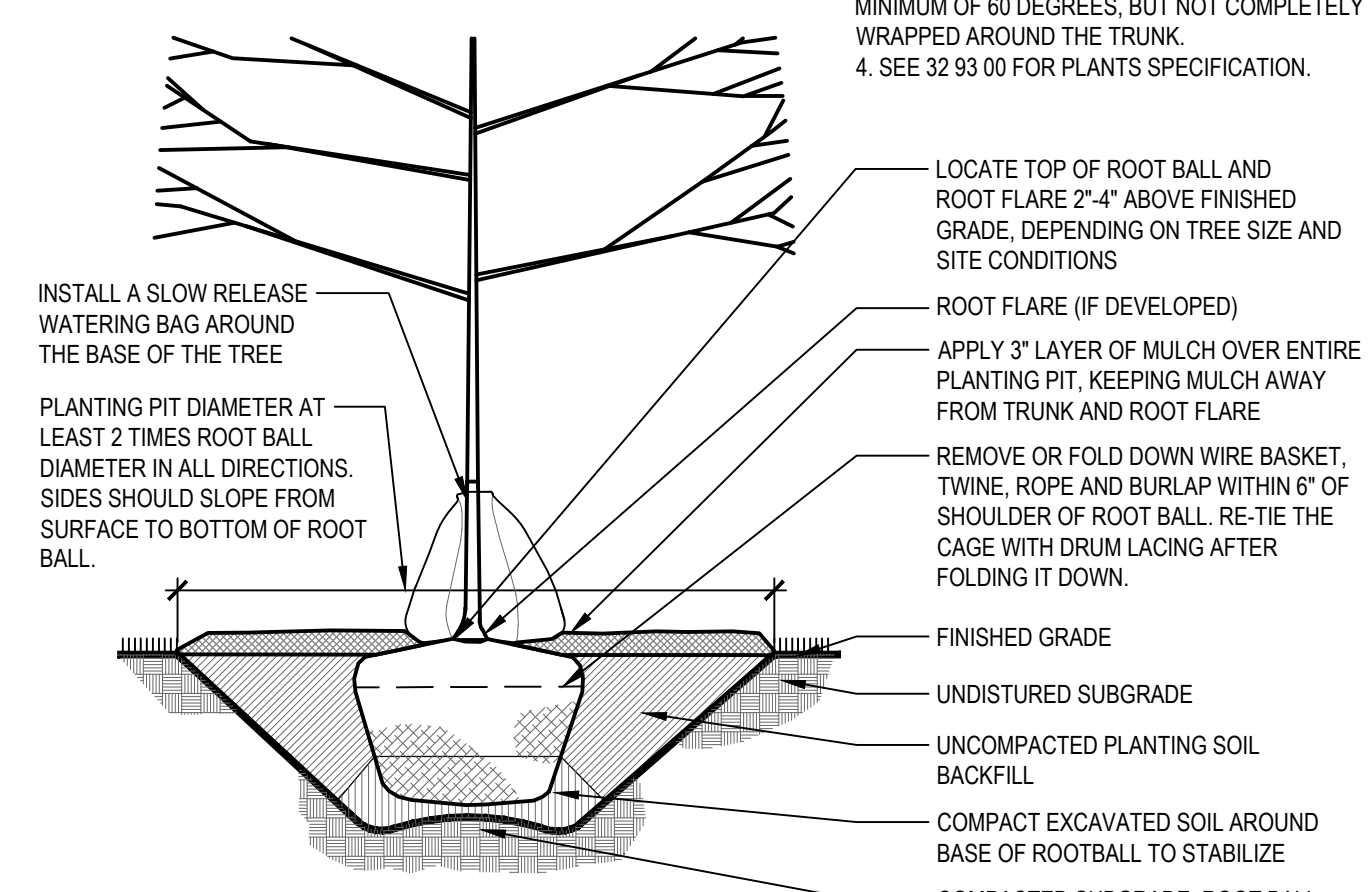
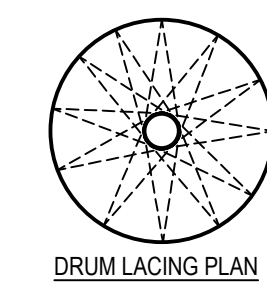


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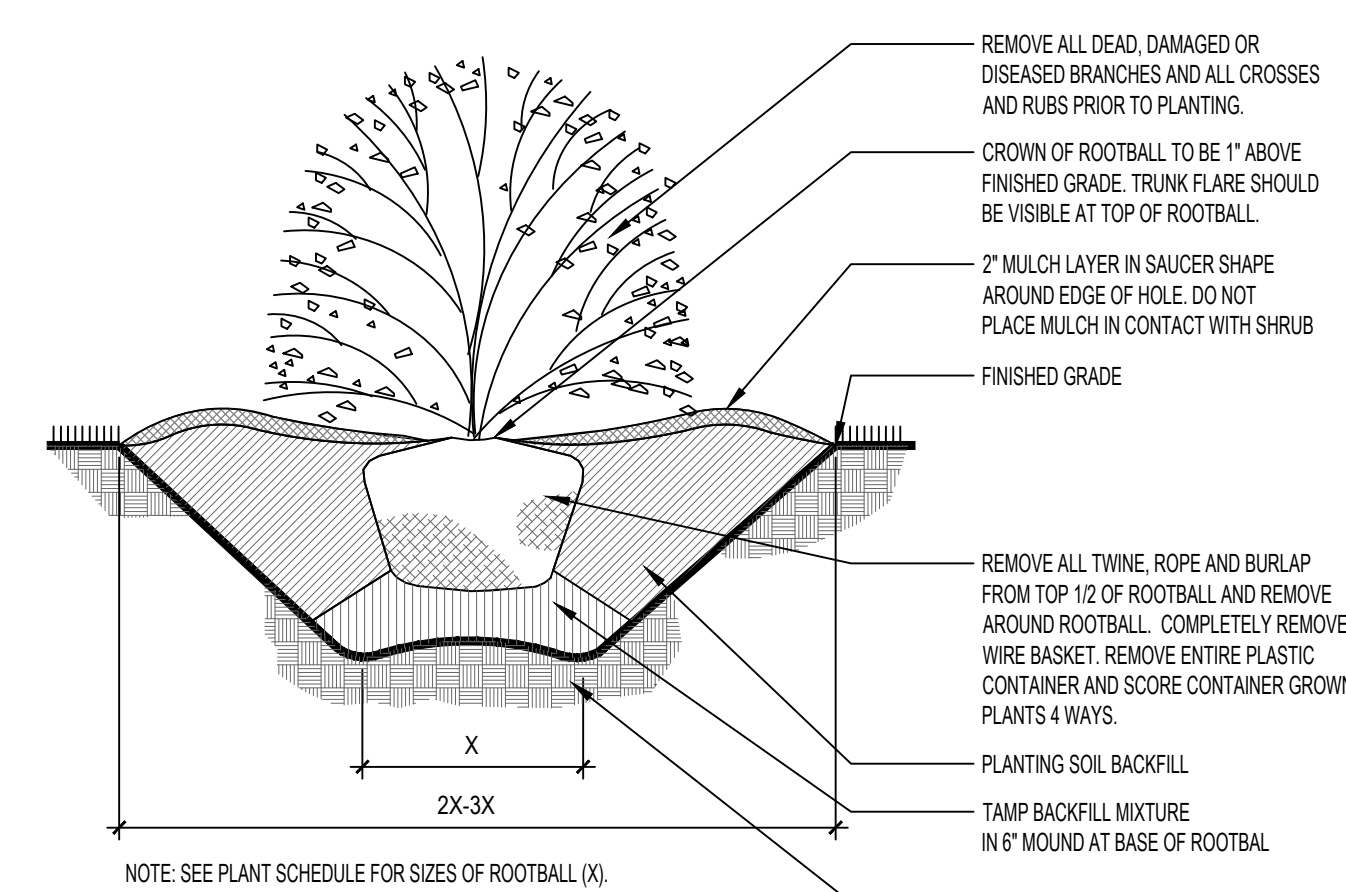
NOTE:  
 1) CONTRACTOR SHALL BE RESPONSIBLE FOR PRESERVING ALL TREES SHOWN TO BE PRESERVED ON SHEET 11L100 WITH THE MEANS OF TREE PROTECTION FENCE AND ROOT PRUNING. TREE PROTECTION FENCE SHALL BE PROVIDED AT CRZ. ANY TREES THAT WILL NOT MEET THE TREE PRESERVATION FENCE REQUIREMENT AT CRZ MUST BE SAVED PER THE CONTRACTOR'S DISCRETION.  
 2) ALL ROOT PRUNING AND TREE CARE DURING CONSTRUCTION SHALL BE MONITORED AND ADMINISTERED BY A CERTIFIED ARBORIST.  
 3) THE RADIUS OF THE CRITICAL ROOT ZONE (CRZ) = 1.2 x TREE CALIPER INCHES. MEASUREMENT OF TREE CALIPER INCH SHALL MEET CITY OF CHEYENNE URBAN FORESTRY DEFINITION.



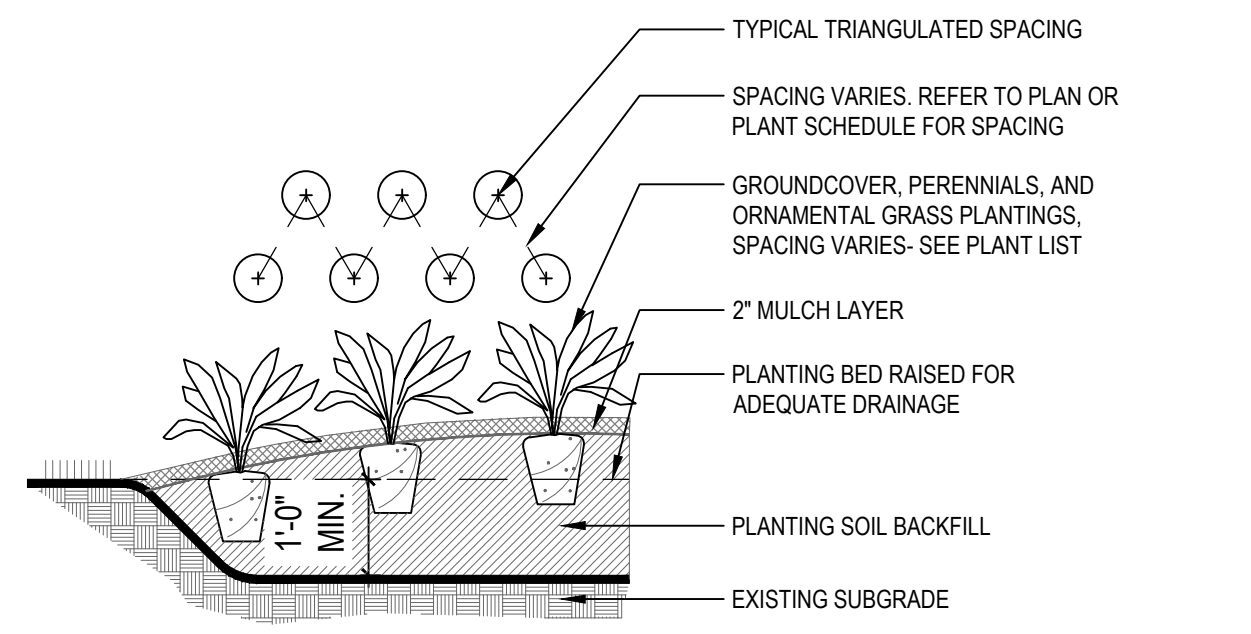
**1 TREE PROTECTION DETAIL**  
 3/16" = 1'-0"  
 P:HE-AAH-SWW-23



**2 TREE PLANTING DETAIL**  
 1/2" = 1'-0"  
 P:HE-AAH-SWW-04



**3 SHRUB PLANTING DETAIL**  
 1/2" = 1'-0"  
 P:HE-AAH-SWW-25



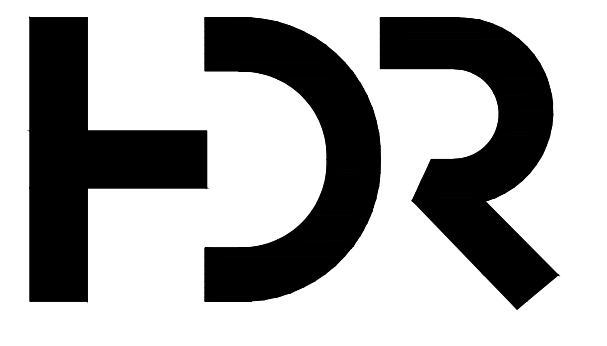
**4 GROUND COVER PLANTING DETAIL**  
 1/2" = 1'-0"  
 P:HE-AAH-SWW-27

AMENDED PLANTING SOIL DEPTH CHART	
LANDSCAPE AREAS	DEPTH IN INCHES
PLANTING BEDS- ORNAMENTAL GRASSES, PERENNIALS, AND GROUND COVER	12"
PLANTING BEDS- SHRUBS	18"
TREES	36"
TURF	6"

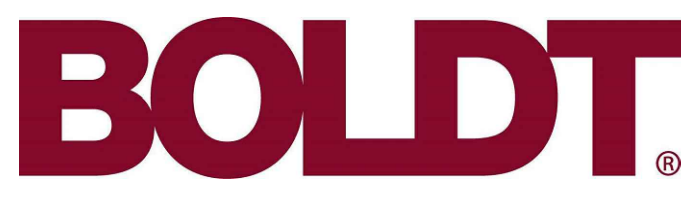
NOTES:  
 1) ACCEPTABLE TOPSOIL SHALL CONSIST OF LOOSE FRABLE LOAM, FREE OF HEAVY CLAY, REFUSE, STUMPS AND LARGE ROOTS, ROCKS OVER 1 INCH IN DIAMETER, BRUSH, WEEDS AND WEED SEEDS, OR OTHER MATERIAL WHICH WOULD BE DETRIMENTAL TO THE PROPER DEVELOPMENT OF VEGETATIVE GROWTH. TOPSOIL SHOULD CONTAIN 3 TO 5 PERCENT ORGANIC MATTER BY TEST AND HAVE AN ACIDITY RANGE OF PH 5.0 TO 7.5. 50% SHOULD PASS THE 2.0MM (NO. 10) SIEVE.  
 2) CONTRACTOR TO TAKE REPRESENTATIVE SAMPLES OF SOIL AVAILABLE ON SITE PRIOR TO INSTALLATION OF PLANT MATERIAL. TEST SOIL TO DETERMINE PH RATING, CLASSIFICATION, HUMUS AND NUTRIENT LEVEL. CONTRACTOR TO RECOMMEND SOIL AMENDMENTS FOR PLANTING SOIL.

**5 AMENDED SOIL DEPTH CHART**  
 3/4" = 1'-0"  
 P:HE-AAH-SWW-26

PLANT SCHEDULE						
TREES	CODE	QTY	BOTANICAL / COMMON NAME	CALIPER	ROOT	HEIGHT
	EX	11	Existing Tree / Existing Tree	-		
DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	CALIPER	ROOT	HEIGHT
	AB	5	Acer saccharum 'Baista' TM / Fall Fiesta Sugar Maple Note: Straight Central Leader	2.5" CAL	B & B	
	QB	5	Quercus bicolor / Swamp White Oak Note: Straight Central Leader	2.5" CAL	B & B	
DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT	HEIGHT
	HI	18	Hydrangea arborescens 'NCHA1' TM / Invincible Spirit Hydrangea	#5	B&B	24" HT
	HW	18	Hydrangea quercifolia 'Pee Wee' / Pee Wee Oakleaf Hydrangea 4" O.C.	#5	B&B	24" HT
	RA	59	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac 4" O.C.	#5	CG	36" HT
	RG	40	Ribes alpinum 'Green Mound' / Green Mound Alpine Currant 3" O.C.	#5	CG	30" HT
EVERGREEN SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT	HEIGHT
	PM	84	Pinus mugo 'Mops' / Mops Mugo Pine	#5	CG	36" HT
	PC	44	Pinus mugo 'Valley Cushion' / Valley Cushion Mugo Pine 24" O.C.	#5	CG	24" HT
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER	HEIGHT
	AS	660	Allium 'Summer Beauty' / Summer Beauty Allium 18" O.C.	#1	CG	
BULB	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER	HEIGHT
	NT	722	Narcissus x 'Thalia' / Thalia Daffodil 3 BULBS / SF INTERPLANTED	3 BULBS / SF	BULB	
ORNAMENTAL GRASS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER	HEIGHT
	CP	1,399	Carex pensylvanica / Pennsylvania Sedge 12" O.C.	#1	CG	
	DG	405	Deschampsia cespitosa 'Goldtau' / Gold Dew Tufted Hair Grass 24" O.C.	#1	CG	
	SH	161	Sporobolus heterolepis / Prairie Dropseed 24" O.C.	#1	CG	
SEED MIX	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER	HEIGHT
	TS	21,827 sf	Rhizomatous Tall Fescue Blend / Turf Saver RTF	-		

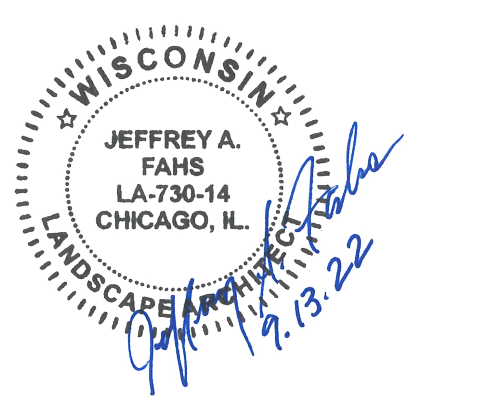


HDR Architecture  
 30 WEST MONROE  
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 HEALTH  
 SW WAUKESHA  
 CLINIC

1005 Spring City Dr.  
 Waukesha, WI 53186



06/13/2022 ISSUED FOR PERMIT - CIVIL

Project Number 10335329  
 Original Issue

Sheet Name  
**LANDSCAPE DETAILS  
 AND SCHEDULE**

Sheet Number  
**L-501**

Project Status

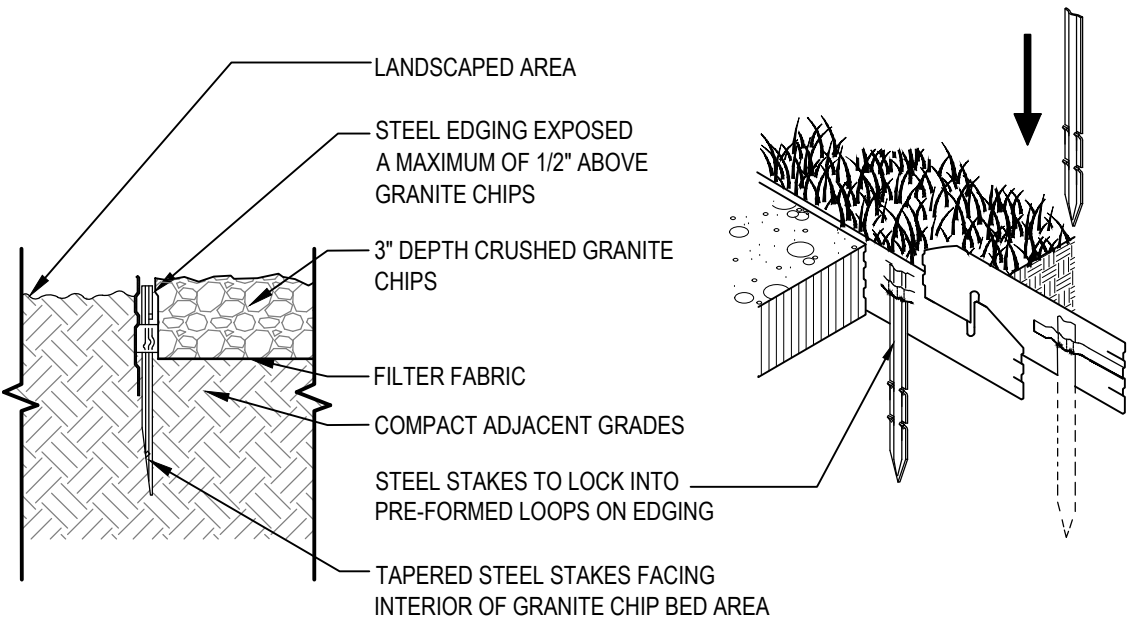
06/13/2022 ISSUED FOR PERMIT - CIVIL

Project Number 10335329  
Original Issue

Sheet Name  
**LANDSCAPE DETAILS**

Sheet Number  
**L-502**

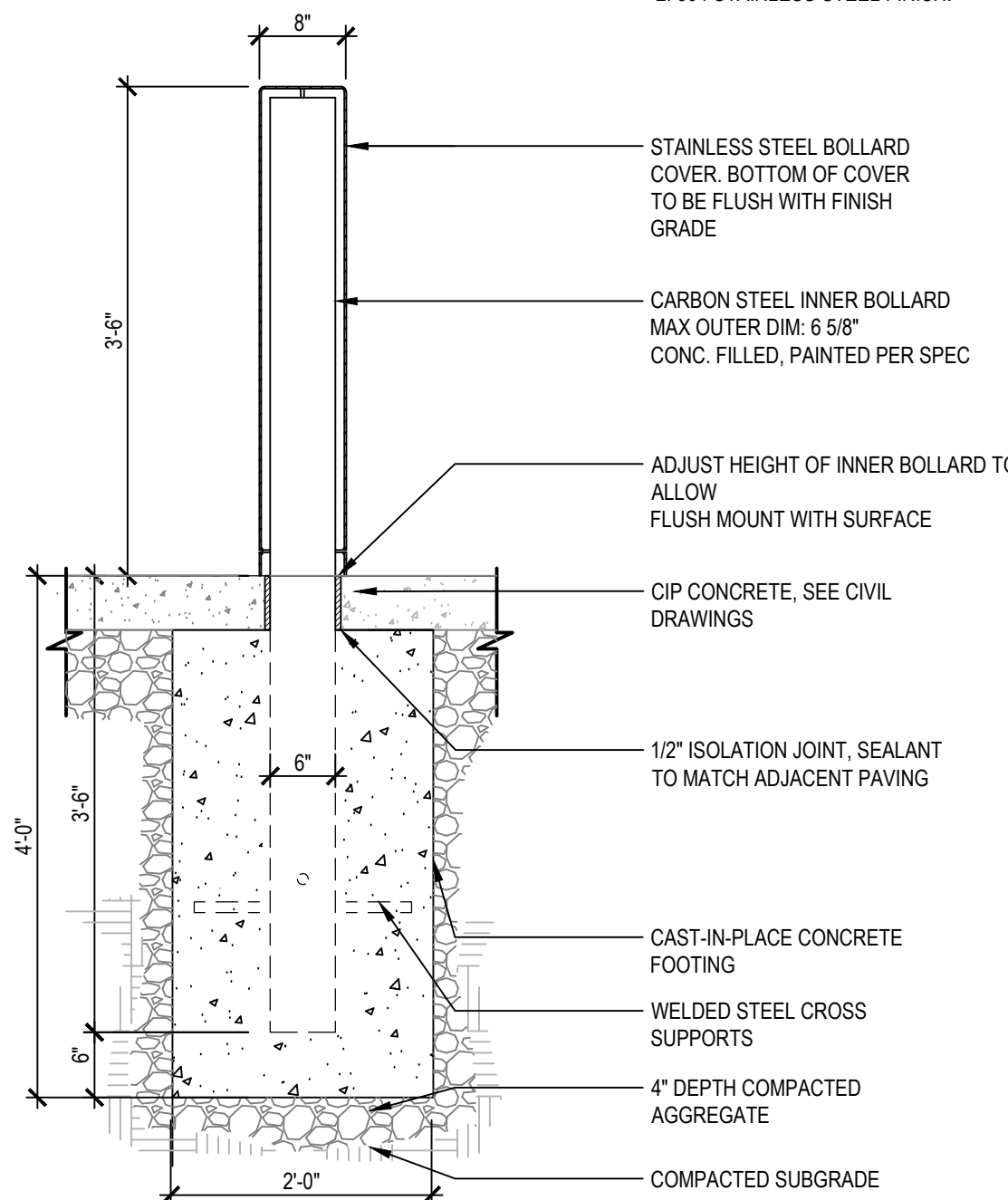
Project Status



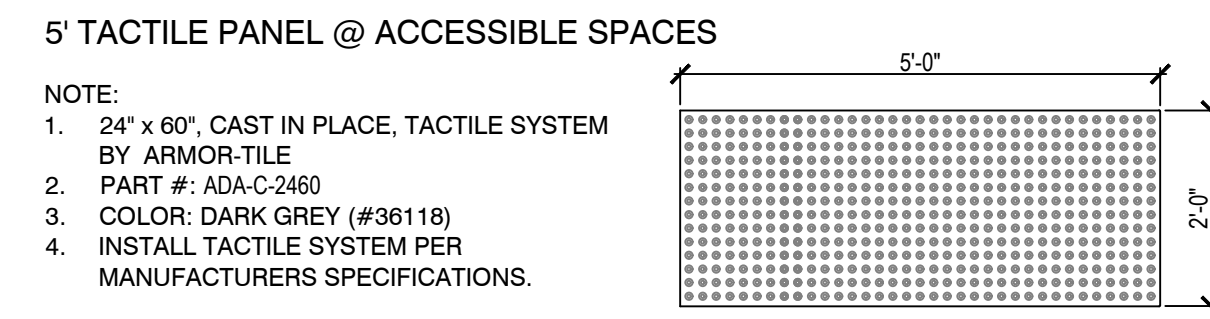
STEEL EDGE, 1/8" WIDE BY 4" DEEP, 1/2" STAKE  
1. FINISH: POWDERCOAT BLACK  
2. ACCESSORIES: STANDARD TAPERED ENDS,  
3. CORNERS AND SPLICERS

**1 STEEL EDGING**  
1/4" = 1'-0" P:HE-AAH-DPRI-20

NOTE:  
1. INSTALL WITH SECURITY CORE PER MANUFACTURERS SPECIFICATIONS.  
2. 304 STAINLESS STEEL FINISH.

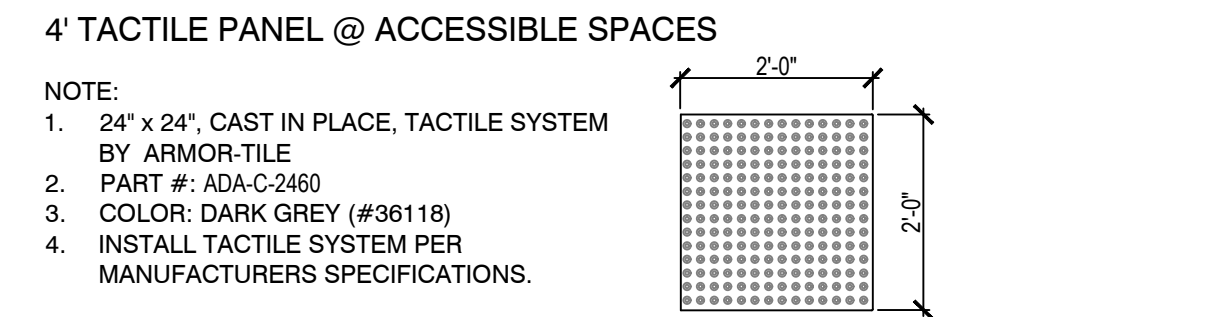


**3 DROP-OFF BOLLARD (A)**  
3/4" = 1'-0" P:HE-AAH-SWW-18



**5' TACTILE PANEL @ ACCESSIBLE SPACES**

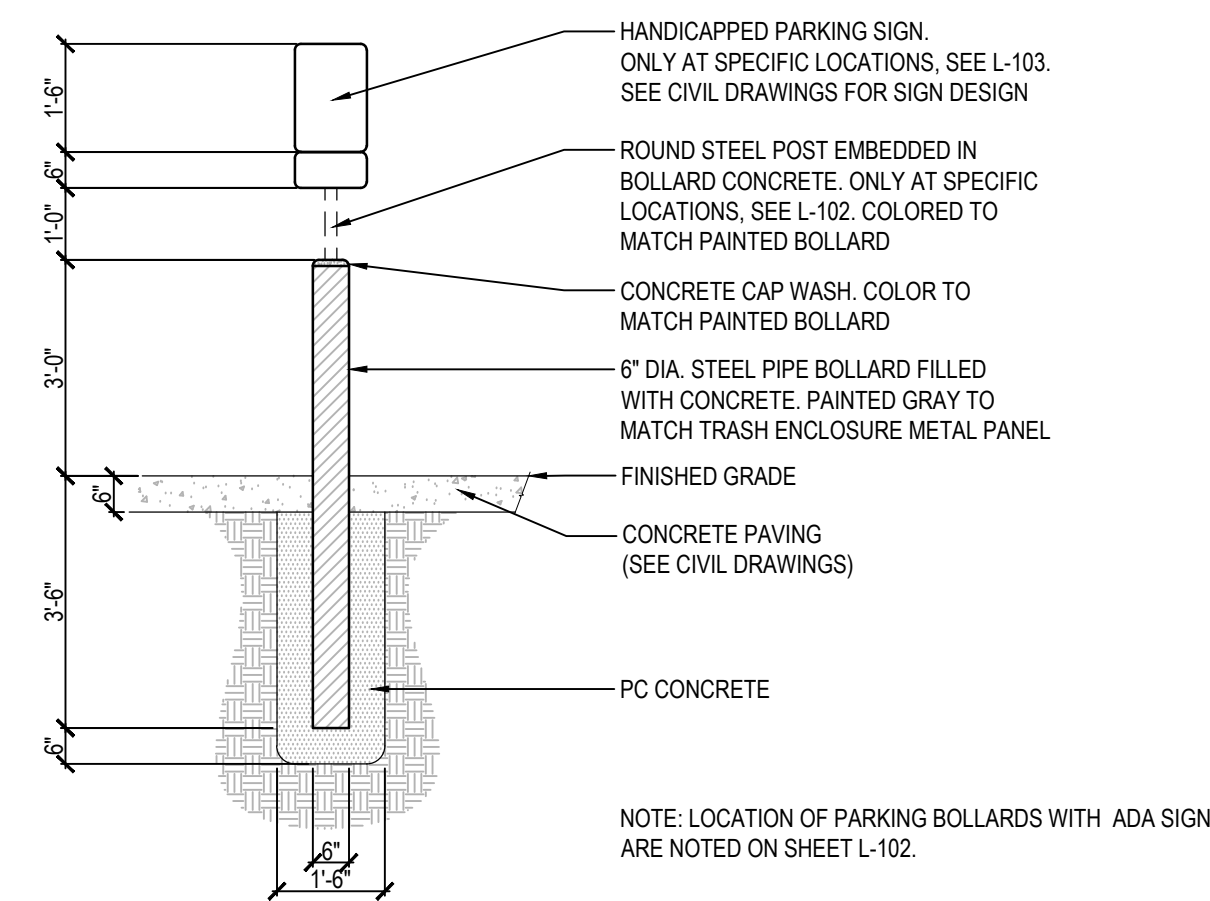
NOTE:  
1. 24" x 60", CAST IN PLACE, TACTILE SYSTEM BY ARMOR-TILE  
2. PART #: ADA-C-2460  
3. COLOR: DARK GREY (#36118)  
4. INSTALL TACTILE SYSTEM PER MANUFACTURERS SPECIFICATIONS.



**4' TACTILE PANEL @ ACCESSIBLE SPACES**

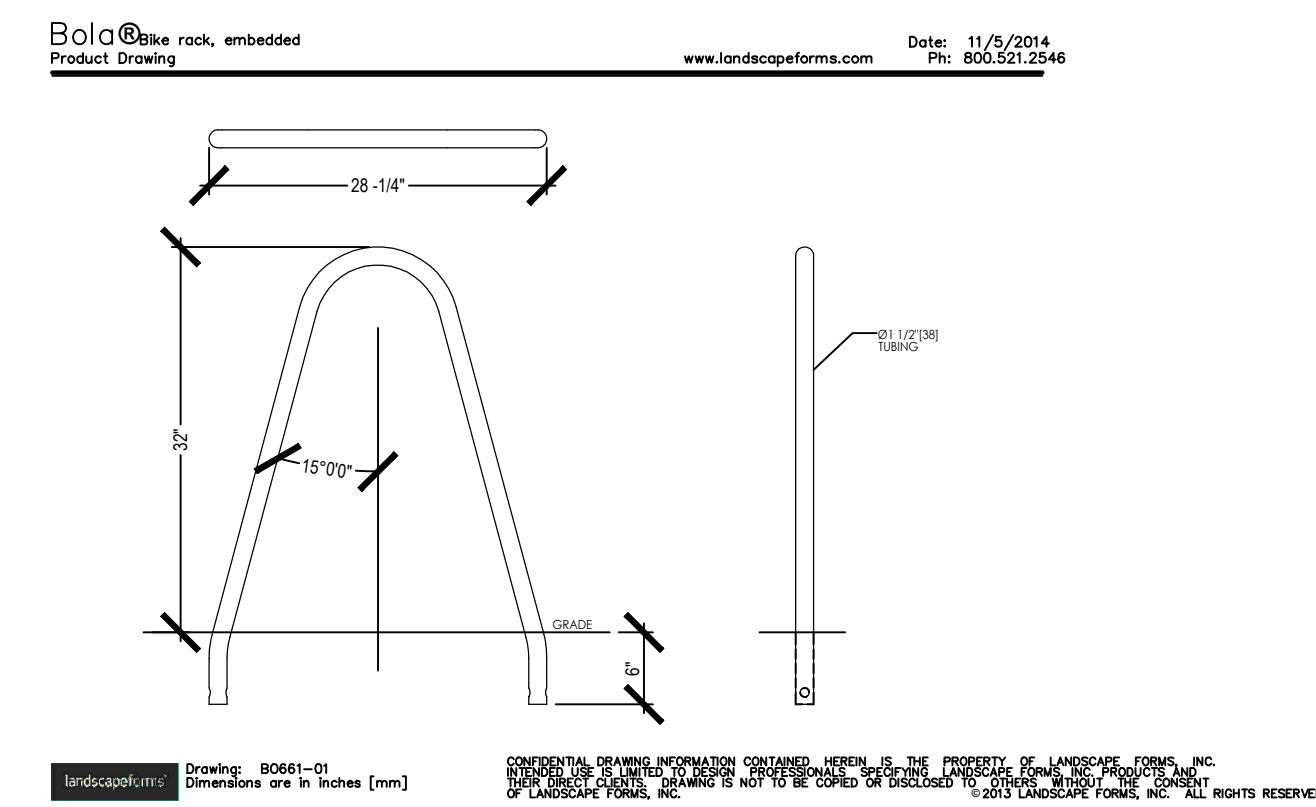
NOTE:  
1. 24" x 24", CAST IN PLACE, TACTILE SYSTEM BY ARMOR-TILE  
2. PART #: ADA-C-2460  
3. COLOR: DARK GREY (#36118)  
4. INSTALL TACTILE SYSTEM PER MANUFACTURERS SPECIFICATIONS.

**2 TACTILE WARNING PANELS**  
1/2" = 1'-0" P:HE-AAH-SWW-22



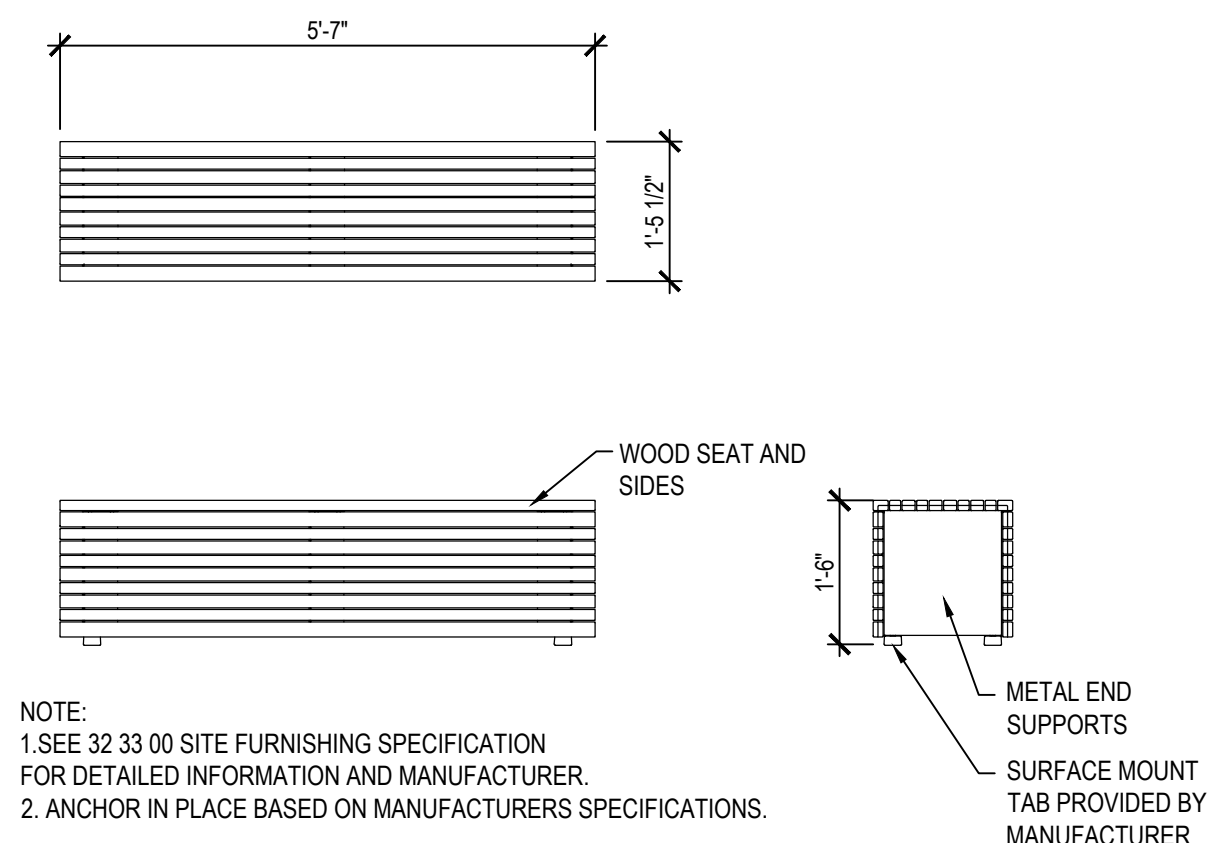
**4 PARKING BOLLARD (B)**  
3/8" = 1'-0" P:HE-AAH-SWW-19

NOTE: LOCATION OF PARKING BOLLARDS WITH ADA SIGN ARE NOTED ON SHEET L-102.



NOTE: INSTALL AND EMBED BIKE RACKS PER MANUFACTURERS SPECIFICATIONS

**5 BIKE RACK**  
3/4" = 1'-0" P:HE-AAH-SWW-29



NOTE:  
1. SEE 32 33 00 SITE FURNISHING SPECIFICATION FOR DETAILED INFORMATION AND MANUFACTURER.  
2. ANCHOR IN PLACE BASED ON MANUFACTURERS SPECIFICATIONS.

**6 BENCH**  
1/2" = 1'-0" P:HE-AAH-SWW-21

# ALTA/NSPS LAND TITLE SURVEY

## VICINITY MAP



## CLIENT

ERIKSSON ENGINEERING ASSOCIATES, LTD.

## SITE ADDRESS

1005 Spring City Drive, City of Waukesha, Waukesha County, Wisconsin.

## LEGAL DESCRIPTION

Parcel 1 of Certified Survey Map No. 10002 recorded in the office of the Register of Deeds for Waukesha County, Wisconsin, on April 28, 2005 in Volume 93 of Certified Survey Maps, at Pages 209 to 212 inclusive, as Document No. 3270895, being a division of Parcel 4 of Certified Survey Map No. 9792, being a part of the Southwest 1/4 and Southeast 1/4 of the Southeast 1/4 of Section 9, Town 6 North, Range 19 East, in the City of Waukesha, County of Wisconsin.

## BASIS OF BEARINGS

Bearings are referenced to the Wisconsin State Plane Coordinate System (South Zone) NAD 83 (2011), in which the South line of the SE 1/4 Section 9 bears S89°33'21"W.

## VERTICAL DATUM

Vertical datum is based on North American Vertical Datum of 1988 (12).

## TITLE COMMITMENT

This survey was prepared based on Knight Barry Title, Inc. File No. 2116440, effective date of February 11, 2022 (last revised on February 16, 2022) which lists the following easements and/or restrictions from schedule B-II:

1, 5, 6, 7 and 8 visible evidence shown, if any.

2, 3, 4, 15, 16, 17 and 18 not survey related.

10. Easement granted to Wisconsin Electric Power Company and Wisconsin Telephone Company and other matters contained in the instrument recorded December 2, 1969 as Document No. 752098. **Does not affect property by location, not shown.**

11. Sewage Forcemain Easement granted to the City of Waukesha and other matters contained in the instrument recorded July 18, 1996 as Document No. 2142546. **Affects property by location, shown.**

12. Easements, restrictions and other matters shown on Certified Survey Map No. 9792 recorded June 10, 2004 as Document No. 3173148. **Affects property by location, shown.**

13. Distribution Easement Underground Joint granted to Wisconsin Electric Power Company, a Wisconsin corporation doing business as We Energies, and Wisconsin Bell, Inc. d/b/a SBC Wisconsin, a Wisconsin corporation and other matters contained in the instrument recorded September 20, 2004 as Document No. 3206012. **Affects property by location, shown.**

14. Easements, restrictions and other matters shown on Certified Survey Map No. 10002 recorded April 28, 2005 as Document No. 3270895. **Affects property by location, shown.**

## TABLE "A" ITEMS

- According to the flood insurance rate map of the County of Waukesha, Community Panel No. 55133C0307G, effective date of November 5, 2014, this site falls in Zone X (Areas determined to be outside the 0.2% annual chance floodplain.)
- The Land Area of the subject property is 81,893 square feet or 1.880 acres.
- Vertical Datum is based on North American Vertical Datum of 1988 (12)
- There are 28 regular parking spaces and 2 handicap spaces marked on this site.
- 11(a). No plans or reports provided by client.
- 11(b). Evidence of underground utilities existing on or serving the surveyed property as determined by markings requested by the surveyor pursuant to a Diggers Hotline One-call center utility locate. Ticket Number 20220803183 and 20220803179. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. Client understands only utility lines with imbedded electric tracer wires or utilities made of materials capable of electric connectivity can be marked at the surface and located. Depth of utilities may prohibit their location even with electric connectivity.
- There is no visible evidence of earth moving, building construction or building additions within recent months.
- 20(a). The zoning information noted below is taken from the municipal code ordinance (March 07, 2022). It does not reflect all zoning restrictions that may apply. It is not intended to be used in lieu of a comprehensive zoning report as stated in ALTA Table A item 6(a) nor to be relied on for site development purposes.

Municipal Code: Waukesha Zoning Ordinance, Chapter 22.40

Site is zoned: M-3 (Limited Business and Industrial Park)

Street setback: 40' from all street r.o.w.'s

Front setback: 40 feet

Side setback: 10 feet

Rear setback: 25 feet

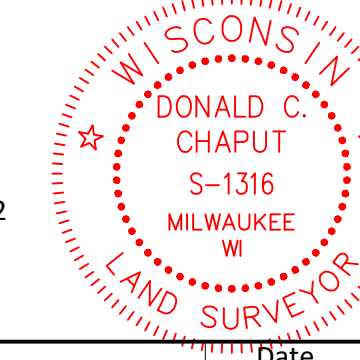
Maximum building height: 55 feet

20(b). Engineering design topography and utility survey: Vertical datum, elevations with 1 foot contour intervals and spot elevations on paved surfaces. Sewer lines will be depicted by location and depths where accessible without confined entry safety procedures and where traffic lanes do not pose a safety hazard accessing sewer data. Pipe sizes will be shown from plans, if available. Watermain and water services will be depicted from surface evidence and available plans. The limits of topography will extend to the centerline of the adjacent streets and 25' onto adjacent properties unless otherwise agreed upon.

TO: Aurora Medical Group, Inc.  
Knight Barry Title, Inc.  
First American Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 7(a), 7(b)(1), 7(c), 8, 9, 11(a), 11(b), 16, 19, 20(a) and 20(b) of Table A thereof. The field work was completed on March 04, 2022.

Date of Map: March 07, 2022



*Donald C. Chaput*

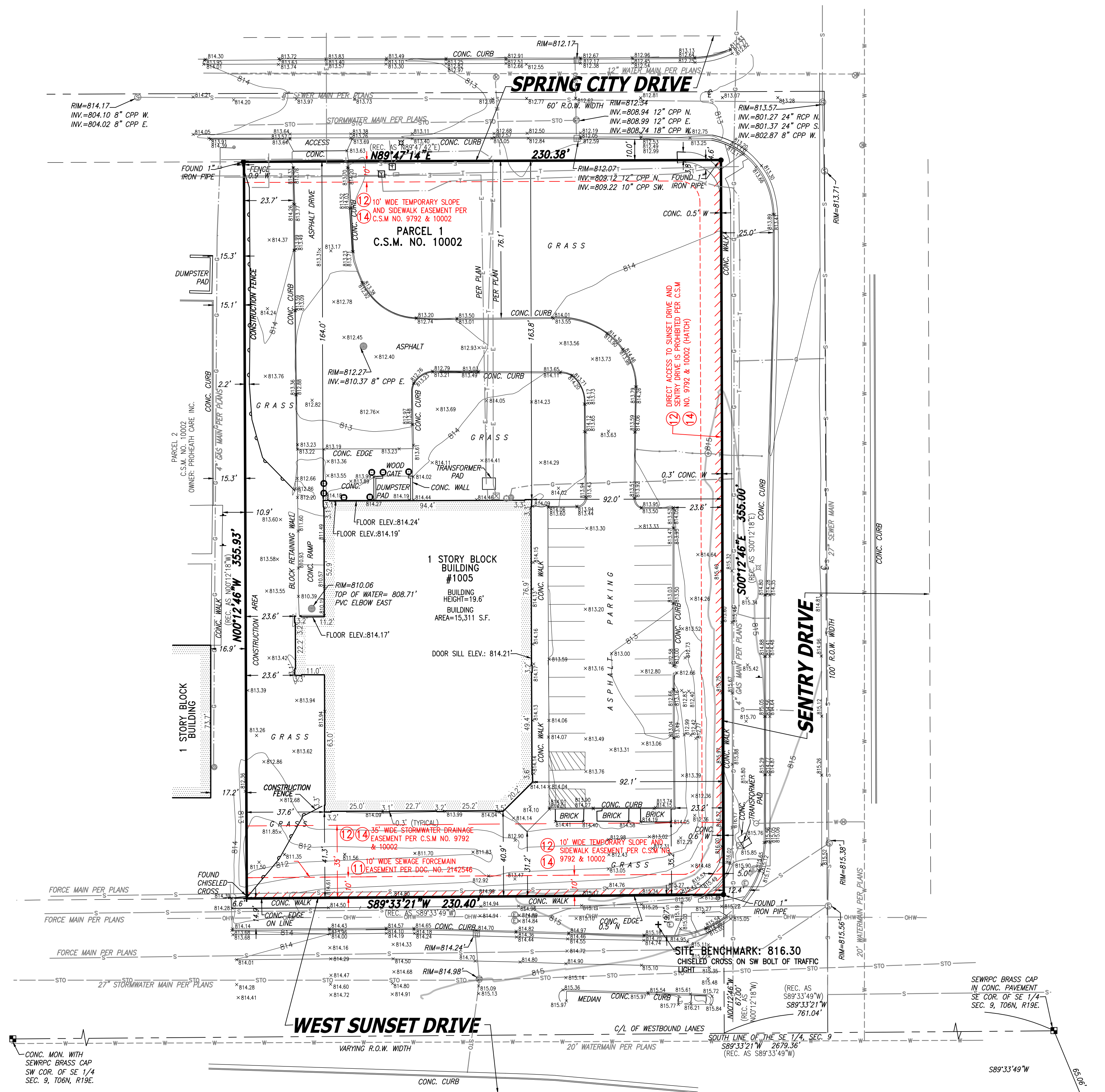
Donald C. Chaput  
Professional Land Surveyor  
Registration Number S-1316

**CHAPUT**  
LAND SURVEYS

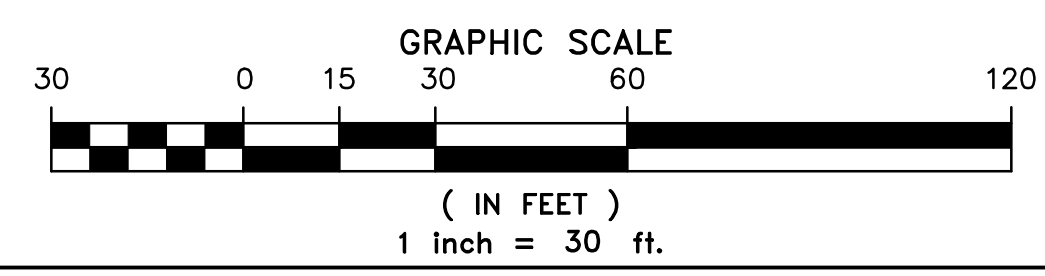
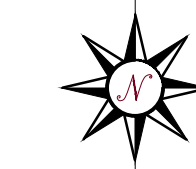
234 W. Florida Street Milwaukee, WI 53204 414-224-8068 www.chaputlandsurveys.com

This document is an instrument of professional service, and may be protected by the surveyor's work product doctrine or surveyor's client privileges. The information shown herein is intended solely for the use of the client and client directed third parties.

Drawing No. 2056-dzb

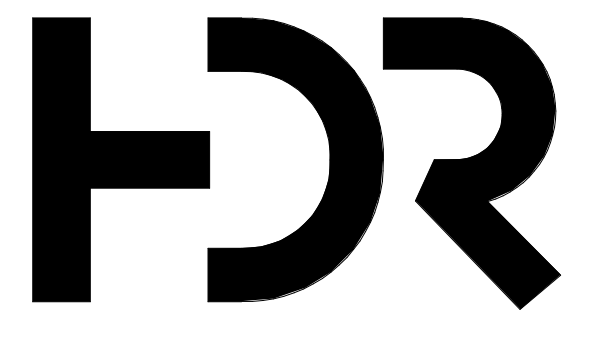


STARTING BENCHMARK: 816.269  
REFERENCE MARK AND REFERENCE BENCHMARK  
CHISELED CROSS ON SW BOLT OF TRAFFIC LIGHT



CHAPUT LAND SURVEYS

1. CALCULATION RESULTS ARE SHOWN IN FOOT-CANDLES.



HDR Architecture  
HDR ARCHITECTURE  
30 W MONROE ST  
CHICAGO, IL 60603



ADVOCATE AURORA  
HEALTH CENTER  
SW WAUKESHA

1005 Spring City Drive  
Waukesha, WI 53186



### D-Series Size 2 LED Area Luminaire

**Specifications**  
EPA: 1.1 fcd  
Length: 40" (1014 mm)  
Width: 15" (381 mm)  
Height 1: 7.14" (181 mm)  
Height 2: 3.5" (89 mm)  
Weight: 30lbs

**Introduction**  
The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. The Size 2 is ideal for replacing 400-1000W metal halide in area lighting applications with energy savings of up to 80% and expected service life of over 100,000 hours.

**Ordering Information** **EXAMPLE: DSX2 LED P7 40K T3M MVOLT SPA NLTAR2 PIRHN DDBXD**

Series	LEDs	Color temperature	Distribution	IES	Type	Mounting	Shipped included
DSX2 LED	Forward optics	30K 3000K	T15 Type I Short (Automotive)	T5S Type V Short	MVOLT 1	SPA	Square pole mounting
		40K 4000K	T25 Type II Short	T5M Type V Medium	120°	RPA	Round pole mounting
		50K 5000K	T3M Type III Medium	T5W Type V Wide	240°	WBA	Wall bracket
	Rotated optics	50K 5000K	T35 Type III Short	RLC Backlight control	277°	SPUMBA	Square pole universal mounting adapter
			T3M Type III Medium	LCCO Left corner cutoff	347°	RPUMBA	Round pole universal mounting adapter
			T4M Type IV Medium	RCCO Right corner cutoff	480°	Shipped separately	
							KMAB DDBXD U Mast arm mounting bracket adapter (specify finish)

**Control options**  
 Shipped installed: NLTAR2 Night AR generation 2 enabled; PIRHN Human 30-level motion/ambient sensor; PER NEMA three-lock receptacle only (no controls); PERS Five-wire receptacle only (no controls); PER2 Seven-wire receptacle only (no controls); DMG 0-10V dimming extend out back of housing for external control (no controls); DS Dual switching.

**Other options**  
 PIRH 30-level motion/ambient sensor 15-30' mounting height; FAO Field Adjustable Output.

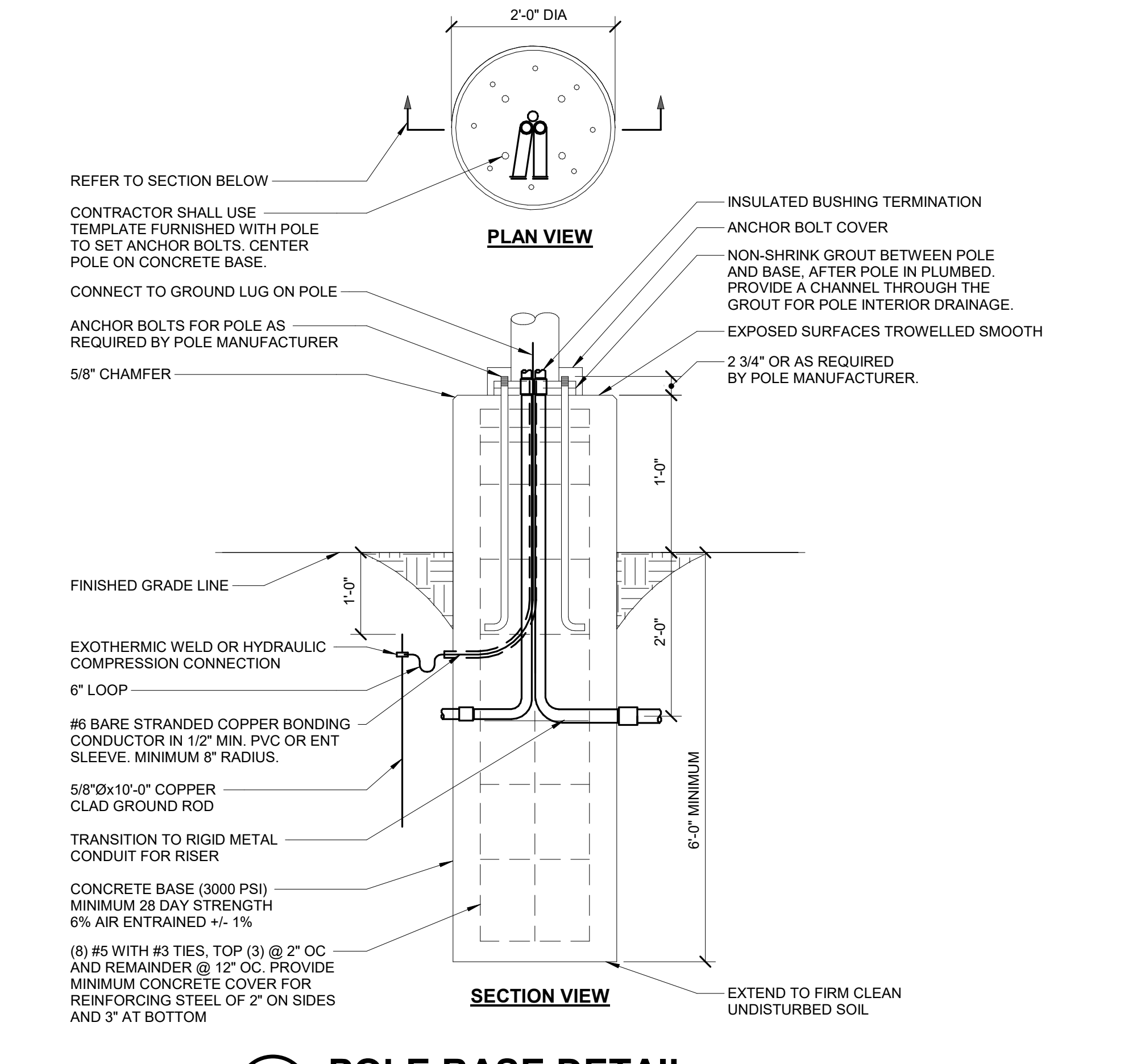
**Shipped installed**  
 HS House-side shield; SF Single-face (130, 227, 347V); DF Double-face (130, 340, 480V); L90 Left rotated optics; R90 Right rotated optics.

**Shipped separately**  
 BS Bird spikes; EGS External glare shield.

**Finish**  
 DDBXD Dark bronze; DRXDD Black; DNAXD Natural aluminum; DWHXD White; DDBTXD Textured dark bronze; DDBLXD Textured black; DNATXD Textured natural aluminum; DWHGXD Textured white.

One Lithonia Way • Cary, Georgia 30012 • Phone: 1-800-705-SERV (7378) • [www.lithonia.com](http://www.lithonia.com)  
 © 2011-2020 Acuity Brands Lighting, Inc. All rights reserved. DSX2-LED Rev. 02/05/20 Page 1 of 8

Symbol	Label	Qty	Manufacturer	Catalog Number	Description	Number	Fixture	Lumen	Lumen	L.F.	Wattage	Efficiency	Distribution	Pole Part	Notes	Layer
S1	S1	1	Lithonia Lighting	DSX2 LED P1 40K T4M MVOLT	DSX2 LED P1 40K T4M MVOLT	1	DSX2_LED_P1_40K_T4M_MVOLT	1955	1	0.82	140	100%	TWE IV SHRT; BWP; BAW; B2 -UP -OS	See notes		LED
S2	S2	3	Lithonia Lighting	DSX2 LED P1 40K T4M MVOLT 75	DSX2 LED P1 40K T4M MVOLT with recessed shade	1	DSX2_LED_P1_40K_T4M_MVOLT_75	1497	1	0.82	140	100%	TWE III SHRT; BWP; BAW; B2 -UP -OS	See notes		LED
S3	S3	4	Lithonia Lighting	DSX2 LED P1 40K T3M MVOLT	DSX2 LED P1 40K T3M MVOLT	1	DSX2_LED_P1_40K_T3M_MVOLT	1957	1	1	140	100%	TWE VS SHRT; BWP; BAW; B2 -UP -OS	See notes		LED



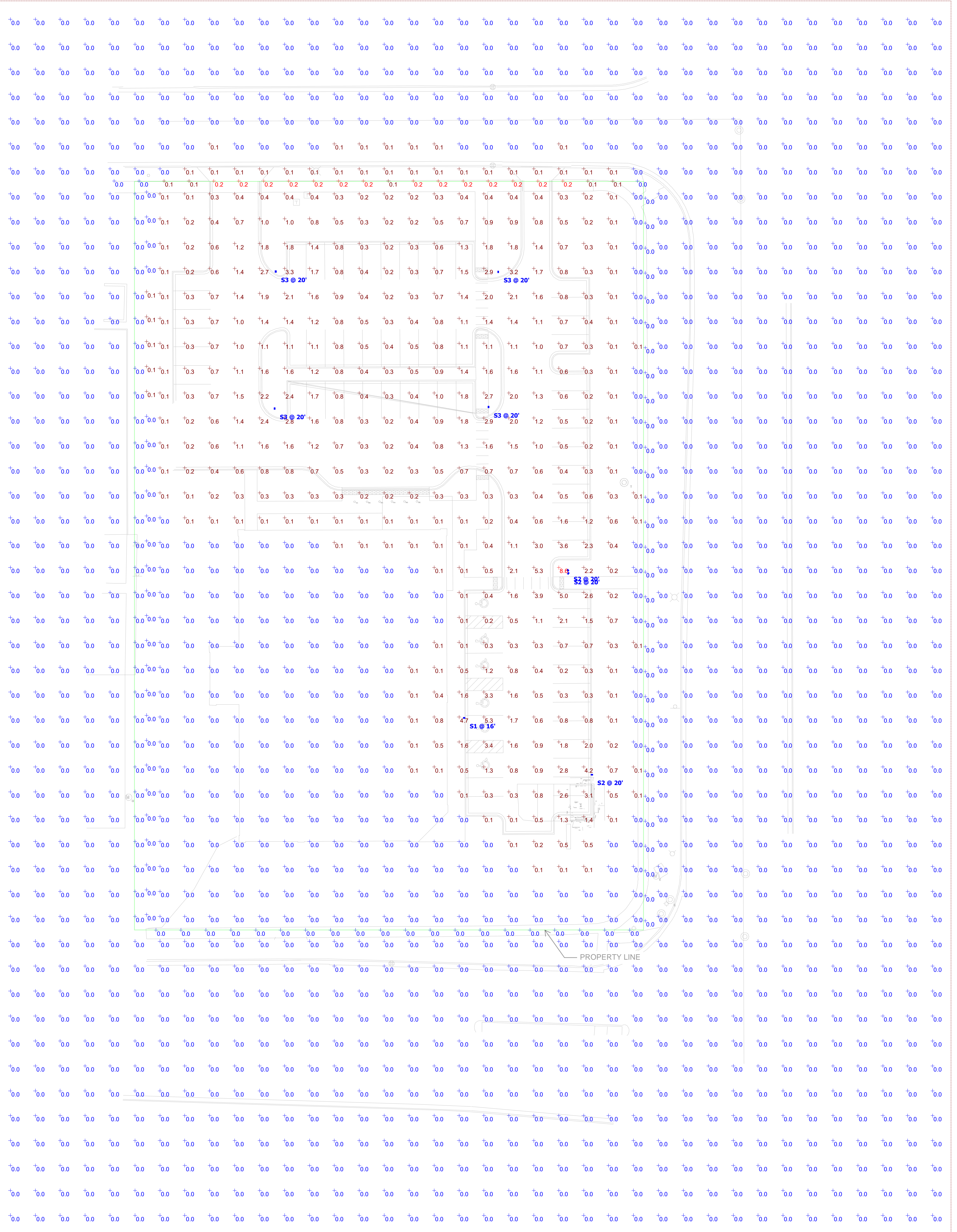
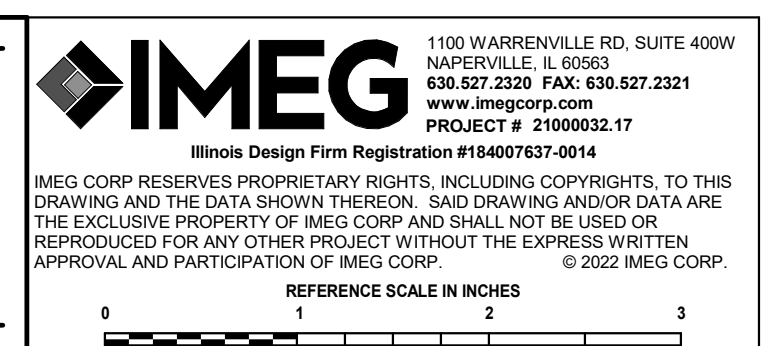
MARK	DATE	DESCRIPTION

Project Number: 10335329  
 Original Issue: 11/21/2018

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Property Line	+	0.0 fcd	0.2 fcd	0.0 fcd	N/A	N/A
Site Lighting	+	0.2 fcd	8.6 fcd	0.0 fcd	N/A	N/A

2 POLE BASE DETAIL  
NO SCALE

FOR REVIEW ONLY  
NOT FOR  
CONSTRUCTION

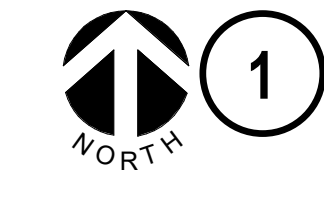


1 ELECTRICAL SITE PLAN - LIGHTING CALCULATIONS  
1" = 20'-0"

Sheet Name  
ELECTRIC SITE PLAN -  
LIGHTING  
CALCULATIONS

Sheet Number  
E012

Project Status  
ISSUED FOR PERMIT



		DETAIL Current Estimated Cost (Level 4)
2		
Uniformat	Scope of Work	Detail
G1030	Site Earthwork	\$ 92,000
G2010	Asphalt Paving	\$ 84,546
G2030	Site Concrete	\$ 146,045
G2040	Site Development	\$ 22,200
G2050	Landscaping	\$ 73,388
G3010	Water Supply	\$ 27,496
G3020	Sanitary Sewer	\$ 29,256
G3030	Storm Sewer	\$ 73,320
G4020	Site Lighting	\$ 42,800
<b>Site Total</b>	<b>Sitework Totals</b>	<b>\$ 591,051</b>

## **22.40 M-3 Limited Business And Industrial Park District**

1. PURPOSE. To provide for the development of an attractive and aesthetic grouping of limited light industrial uses, offices, corporate headquarters, and support facilities in a park-like setting. The district is further intended to promote properly arranged traffic and parking facilities, and to promote landscaping which will provide for an attractive setting, minimizing adverse effects upon the adjoining or surrounding areas.
2. PERMITTED PRINCIPAL USES. Office and light manufacturing facilities including:
  - a. Accounting, auditing, and bookkeeping services.
  - b. Adult and child day care centers, provided that such uses are necessitated by employees, customers and visitors to offices, business and plants in the district, and provided that such day care centers shall not be located closer than two hundred (200) feet from any through highway unless approved by the Plan Commission.
  - c. Animal hospitals, veterinary services, and boarding of animals when boarding is not adjacent to residential districts.
  - d. Architectural services.
  - e. Banks, savings and loan associations, and other financial institutions.
  - f. Chiropractor services.
  - g. Corporate headquarters, manufacturing offices, and sales and distribution centers.
  - h. Dental services.
  - i. Dry cleaning and dyeing establishments.
  - j. Engineering services.
  - k. Food, beverage, and milk processing and soft drink bottling plants.
  - l. General or clerical offices.
  - m. Health and recreational facilities.
  - n. Land surveying services.
  - o. Legal services.
  - p. Medical clinics.
  - q. Optometrists.
  - r. Osteopaths.
  - s. Physician and surgeon services.
  - t. Printing, lithographing, blueprinting, and photocopying establishments.
  - u. Professional offices.
  - v. Research offices and laboratories.
  - w. Testing centers.
  - x. Training schools for employment in the fields of industry or manufacturing.
  - y. Urban planning services.



z. Warehousing.

aa. Wholesalers and distributors.

### 3. PERMITTED ACCESSORY USES.

a. Garages used for storage of vehicles used in conjunction with the operation of the business.

b. Off-street parking and loading areas.

c. Office, storage, power supply, and other uses normally auxiliary to the principal industrial operation.

d. Roof-mounted solar collectors provided that a registered engineer or registered architect shall certify that the structure is adequate to support the load.

e. Earth station dish antennas located on the roof of the principal or accessory structure or in the rear yard. Where the earth station dish is roof-mounted, a registered engineer or registered architect shall certify that the structure is adequate to support the load.

f. Solar energy collectors erected as an accessory structure.

### 4. CONDITIONAL USES.

a. (Am. #28-08) Public passenger transportation terminals, such as bus and rail depots, but not including airports, airstrips, heliports, helipads and landing fields. Any such use shall be located not less than one hundred (100) feet from any residential district boundary.

b. Radio, television, and electronics assembly, not to be located within five hundred (500) feet of any residential district.

c. Transmitting towers, receiving towers, and relay and microwave towers without broadcast facilities or studios.

d. Utility substations, municipal wells, pumping stations, and towers provided that the use is not less than fifty (50) feet from any lot line.

e. Wireless communications facilities as set forth and under conditions authorized in Section 22.21.

f. (Cr. #11-16) Buildings exceeding forty (40) feet in height when adjacent to a residential district.

g. Retail sales facility directly related to the principal use which promotes the principal use or activity.

h. Uses similar to and reasonably related to permitted principal uses.

5. LOT AREA. Lots shall have a minimum area of twenty thousand (20,000) square feet and shall be not less than ninety (90) feet in width.

### 6. LOT COVERAGE AND OPEN SPACE.

a. Lot coverage by buildings, accessory structures, and surface parking and driveways shall occupy a maximum of seventy-five (75) percent of the lot area. Landscaped open space not covered by buildings, accessory structures, and surface parking and driveways shall occupy a minimum of twenty-five (25) percent of the lot area. The open space may include storm water retention/detention areas.

b. All operations and activities of all uses within this district shall be conducted wholly inside a building or buildings. Any outdoor storage areas shall occupy an area no larger than

10% of the area of the building and shall be screened from view by an approved solid wall, fence or hedge.

7. BUILDING HEIGHT. (Am. #11-16) Subject to subsection (4) above, there shall be no maximum height for a principal building. Accessory buildings shall be less than twenty (20) feet tall and shall not exceed the height of the principal structure.

8. SETBACK AND YARDS.

- a. There shall be a minimum street yard setback of forty (40) feet from the right-of-way of all streets.
- b. There shall be a side yard on each side of all buildings of not less than ten (10) feet.
- c. There shall be a rear yard of not less than twenty-five (25) feet.
- d. There shall be a minimum shoreyard setback of seventy-five (75) feet from the ordinary highwater mark of a navigable body of water.
- e. No building in the M-3 district shall be located closer than one hundred (100) feet from a residential district boundary unless a buffering plan has been prepared by the developer and approved by the Plan Commission.

9. EROSION CONTROL. The uses and structures in the M-3 District are subject to Chapter 32 of the City of Waukesha Municipal Code, Chapter 21 of the Wisconsin Uniform Dwelling Code, and any other applicable State laws and administrative rules.

10. PLANS AND SPECIFICATIONS TO BE SUBMITTED TO THE PLAN COMMISSION. (Am. #38-02) To encourage a business environment that is compatible with the residential character of the City, building permits for permitted uses in the M-3 District shall not be issued nor shall any substantial changes be made to any site improvements without review and approval of the Plan Commission in accordance with Section 22.15. Plan Commission review shall include consideration of such factors as open space utilization, ingress, egress, parking, landscaping, building plans and the general layout in relationship to the surrounding area.

11. PLANNED UNIT DEVELOPMENTS. (Cr. #38-02) The restrictions on lot area, lot width, building height, setbacks, and yards may be reduced or increased if the property is part of a Planned Unit Development Overlay District in accordance with Section 22.52.

(Rep. & recr. #66-01) (Repealed & replaced #2020-14)

#### HISTORY

Amended by Ord. [2022-3](#) on 3/1/2022