



Friday | December 18th, 2020

City of Waukesha | Community Development
201 Delafield Street, Suite 200
Waukesha, WI 53188

Project: Hawthorne Elementary School
Site Address: 1111 Maitland Dr
Waukesha, WI 53188

Bray Project Number: 3353

Owner: School District of Waukesha
222 Maple Ave
Waukesha, WI 53186

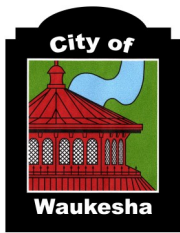
Applicant / Architect: Bray Architects
829 S 1st Street
Milwaukee, WI 53204

Application for Development Review – Hawthorne Elementary School

Project Description:

The focus for the addition and renovations at Hawthorne Elementary School are to improve overall safety and security for the school, create an ADA compliant entrance, and improve accessibility in the building.

The building addition includes a new secure vestibule into the main office with reception, principal's office, and health room; an elevator creating accessible access to the main levels of building; and two ADA compliant rest rooms. Interior renovations include creating a classroom in existing office space, the addition of a platform lift at existing stairs to increase accessibility to an additional level of the building, and renovations where the elevator connects to existing space.



City of Waukesha

Application for Development Review

Last Revision
Date:
Dec. 2019

City of Waukesha Community Development Department - 201 Delafield Street, Suite 200, Waukesha, WI 53188 262-524-3750
City of Waukesha Department of Public Works Engineering Division—130 Delafield Street, Waukesha, WI 53188 262-524-3600
www.waukesha-wi.gov

APPLICANT INFORMATION

Applicant Name: Kate Egan
Applicant Company Name: Bray Architects
Address: 829 S 1st Street
City, State: Milwaukee, WI Zip: 53228
Phone: 414-615-7679
E-Mail: kegan@brayarch.com

ARCHITECT/ENGINEER/SURVEYOR INFORMATION

Name: Kate Egan
Company Name: Bray Architects
Address: 829 S 1st Street
City, State: Milwaukee, WI Zip: 53228
Phone: 414-615-7679
E-Mail: kegan@brayarch.com

PROPERTY OWNER INFORMATION

Applicant Name: School District of Waukesha
Applicant Company Name: School District of Waukesha
Address: 222 Maple Ave
City, State: Waukesha, WI Zip: 53186
Phone: 414-615-7679
E-Mail: dclark@waukesha.k12.wi.us

PROJECT & PROPERTY INFORMATION

Project Name: Hawthorne Elementary School
Property Address 1111 Maitland Dr, Waukesha, 53188
Tax Key Number(s): WAKC 0993.966
Zoning: Institutional - 1
Total Acreage: 6.484 Existing Building Square Footage 47,803
Proposed Building/Addition Square Footage: 2,449
Current Use of Property: Elementary School

PROJECT SUMMARY (Please provide a brief project description.)

Small office and elevator addition to provide an accessible secure entry / new main office for the school and accessible access to the main levels of the building. Renovations include converting the existing main office into a classroom and renovations of spaces where new elevator connects at each level.

All submittals require a complete scaled set of digital plans (Adobe PDF) and shall include a project location map showing a 1/2 mile radius, a COLOR landscape plan, COLOR building elevation plans, and exterior lighting photometric maps and cut sheets. A pre-application meeting is required prior to submittal of any applications for Subdivisions, Planned Unit Developments, and Site and Architectural Plan Review. **The deadline for all applications requiring Plan Commission Reviews is Monday at 4:00 P.M, 30 days prior to the meeting date. The Plan Commission meets the Fourth Wednesday of each month.**

APPLICATION ACKNOWLEDGEMENT AND SIGNATURES

I hereby certify that I have reviewed the City of Waukesha Development Handbook, City Ordinances, Submittal Requirements and Checklists and have provided one PDF of all required information. Any missing or incomplete information may result in a delay of the review of your application. By signing this I also authorize The City of Waukesha or its agents to enter upon the property for the purpose of reviewing this application.

Applicant Signature Kate Egan
Applicant Name (Please Print) Kate Egan
Date: 12/18/2020

For Internal Use Only:

Amount Due (total from page 2): _____ Amount Paid: _____ Check #: _____
Trakit ID(s) _____ Date Paid: _____

City of Waukesha Application for Development Review

TYPE OF APPLICATION & FEES (CHECK ALL THAT APPLY) Please note that each application type has different submittal requirements. Detailed submittal checklists can be found in Appendix A of the Development Handbook.

FEES

- Plan Commission Consultation **\$200** _____
 - Traffic Impact Analysis _____
 - Commercial, Industrial, Institutional, and Other Non-Residential **\$480**
 - Residential Subdivision or Multi-Family **\$480**
 - Resubmittal (3rd and all subsequent submittals) **\$480**
- ONE OF THE THREE FOLLOWING ITEMS IS REQUIRED FOR SITE PLAN & ARCHITECTURAL REVIEWS (*):**
- * **Preliminary Site Plan & Architectural Review** _____
 - Level 1: Buildings/additions less than 10,000 sq.ft. or sites less than 1 acre **\$2,200**
 - Level 2: Buildings/additions between 10,001-50,000 sq.ft. or sites between 1.01 and 10 acres **\$2,320**
 - Level 3: Buildings/additions between 50,001-100,000 sq.ft. or sites between 10.01 and 25 acres **\$2,440**
 - Level 4: Buildings/additions over 100,001 sq.ft. or sites greater than 25.01 acres. **\$2,560**
 - Resubmittal Fees (after 2 permitted reviews) **\$750**
 - * **Final Site Plan & Architectural Review** \$1,320
 - Level 1: Buildings/additions less than 10,000 sq.ft. or sites less than 1 acre **\$1,320**
 - Level 2: Buildings/additions between 10,001-50,000 sq.ft. or sites between 1.01 and 10 acres **\$1,440**
 - Level 3: Buildings/additions between 50,001-100,000 sq.ft. or sites between 10.01 and 25 acres **\$1,560**
 - Level 4: Buildings/additions over 100,001 sq.ft. or sites greater than 25.01 acres. **\$1,680**
 - Resubmittal Fees (3rd and all subsequent submittals) **\$750**
 - * **Minor Site Plan & Architectural Review (total site disturbance UNDER 3,000 total square feet)** _____
 - Projects that do not require site development plans **\$330**
 - Resubmittal Fees (3rd and all subsequent submittals) **\$330**
 - Certified Survey Map (CSM) _____
 - 1-3 Lots **\$500**
 - 4 lots or more **\$560**
 - Resubmittal (3rd and all subsequent submittals) **\$180**
 - Extra-territorial CSM **\$260**
 - Preliminary Subdivision Plat (Preliminary Site Plan Review is also required.) _____
 - Up to 12 lots **\$1,270**
 - 13 to 32 lots **\$1,390**
 - 36 lots or more **\$1,510**
 - Resubmittal (3rd and all subsequent submittals) **\$630**
 - Final Subdivision Plat (Final Site Plan Review is also required.) _____
 - Up to 12 lots **\$660**
 - 13 to 32 lots **\$780**
 - 36 lots or more **\$900**
 - Resubmittal (3rd and all subsequent submittals) **\$480**
 - Extra-territorial Plat **\$540**
 - Rezoning and/or Land Use Plan Amendment _____
 - Rezoning **\$630**
 - Land Use Plan Amendment: **\$630**
 - Conditional Use Permit _____
 - Conditional Use Permit with no site plan changes **\$480**
 - Conditional Use Permit with site plan changes **\$480** plus applicable preliminary and final site plan fees above _____
 - Planned Unit Development or Developer's Agreement (Site Plan Review is also required) _____
 - New Planned Unit Development or Developer's Agreement **\$1,760**
 - Planned Unit Development or Developer's Agreement Amendment **\$610**
 - Annexation **NO CHARGE**
 - House/Building Move **\$150**
 - Street or Alley Vacations **\$150**

TOTAL APPLICATION FEES:

A CHECK FROM THE SCHOOL
DISTRICT OF WAUKESHA WAS
DROPPED OFF ON 12/16/2020

\$1,320

City of Waukesha

Development Review Submittal Requirements

PLAN COMMISSION CONSULTATION SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

A Plan Commission Consultation may be submitted for review and comment for the owner/developer to ascertain the feasibility of a proposed project. A consultation is not required but may be submitted in advance of an actual submittal for a preliminary plat, CSM, Planned Unit Development, rezoning, conditional use or site plan. The Plan Commission will only provide feedback, no approvals will be given. Prior to applying for a Plan Commission Consultation you must discuss your project with the Planning Division to determine if a Plan Commission Consultation is recommended.

Review Time: Approximately 30 days

Reviewing Departments: Community Development Planning Division, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission (optional)

In addition to this application and corresponding application fee you will also need:

- One (1) digital (PDF) copy of the plans you want conceptual review of
- Attachment A: Development Review Checklist. You should also review all other corresponding checklists that relate to the project that you are seeking conceptual review of and include as much information as possible.
- Cover letter outlining project details.

TRAFFIC IMPACT ANALYSIS SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

A Traffic Impact Analysis is required for projects that meet certain criteria. Please refer to the Developer's Handbook Section 4.4 to determine if your project requires a Traffic Impact Analysis

Review Time: Approximately 30 days

Reviewing Departments: Public Works Engineering Division

Reviewing Boards: None, however the Plan Commission may require a copy as part of site plan review process.

In addition to this application and corresponding application fee you will also need:

- One (1) digital (PDF) copy of the Traffic Impact Analysis

PRELIMINARY SITE PLAN & ARCHITECTURAL REVIEW SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

Preliminary site and architectural plans are required for any new residential development with 4 or more units and all non-residential developments. Preliminary site plan approval is also required for additions or modifications to existing developments and projects where a stormwater management plan is needed. Preliminary approval is required unless it is determined by City staff in the Pre-Application meeting that the project only needs Final Site and Architectural Review.

Review Time: Approximately 30 days (45 if Common Council review is needed)

Reviewing Departments: Community Development Planning Division, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission. Common Council and Board of Public Works review may be required for certain projects.

In addition to this application and corresponding application fee you will also need:

- One (1) digital (PDF) that includes of items listed below
 - Cover letter outlining project details.
 - Color architectural elevations of all sides of the building and color perspective renderings
 - Conceptual Landscape Plan
 - Attachment A: Development Review Checklist
 - Site Plan (see Attachment B: Engineering Plan Checklist)
 - Grading Plan (see Attachment C: Site Grading and Drainage Plan Checklist)
 - Stormwater Management Plan (see Attachment D: Stormwater Management Plan Checklist)
 - Utility Plans (see Attachment H: Sewer Plan Review Checklist)
 - Any other attachments as applicable.

FINAL SITE PLAN & ARCHITECTURAL REVIEW PLAN SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

Final site and architectural plans are submitted only after the Plan Commission has approved Preliminary Site Plans for any new residential development with 4 or more units and all non-residential developments, including modifications to existing developments. Some projects may bypass Preliminary approval but only if it is determined by City staff in the Pre-Application meeting.

Review Time: Approximately 30 days (45 if Common Council review is needed)

Reviewing Departments: Community Development Planning Division, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission. Common Council and Board of Public Works review may be required for certain projects.

In addition to this application and corresponding application fee you will also need:

One (1) digital (PDF) that includes of items listed below

Cover letter outlining project details.

Color architectural elevations of all sides of the building and color perspective renderings

Landscape Plan (see Attachment I: Landscape Plan Checklist)

Attachment A: Development Review Checklist

Site Plan (see Attachment B: Engineering Plan Checklist)

Grading Plan (see Attachment C: Site Grading and Drainage Plan Checklist)

N/A Stormwater Management Plan (see Attachment D: Stormwater Management Plan Checklist)

N/A Utility Plans (see Attachment H: Sewer Plan Review Checklist)

MINOR SITE PLAN & ARCHITECTURAL REVIEW SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

Minor Site and Architectural review is intended for projects that may not need the extensive submittal requirements for Preliminary and Final Site Plan approval. Projects that qualify for Minor Site Plan submittal may include landscape, façade and building changes or minor site modifications that don't result in the addition of impervious surface.

Review Time: Approximately 30 days (45 if Common Council review is needed)

Reviewing Departments: Community Development Planning Division, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission. Common Council and Board of Public Works review may be required for certain projects.

In addition to this application and corresponding application fee you will also need:

One (1) digital (PDF) that includes of items listed below

Cover letter outlining project details.

Architectural elevations of all sides of the building being modified

In addition, depending on the type of project, you may also need the following items:

Site Plan (see Attachment B: Engineering Plan Checklist)

Landscape Plan (see Attachment I: Landscape Plan Checklist)

CERTIFIED SURVEY MAP SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

A Certified Survey Map may be used to divide up to eight (8) lots in Commercial, Industrial, and Mixed Use zoning districts and up to four (4) lots in all other zoning districts.

Review Time: Approximately 45-60 days. An extension letter will be required if the approval process will take more than 90 days.

Reviewing Departments: Community Development Planning Division, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission. Common Council and Board of Public Works review may be required for certain projects.

In addition to this application and corresponding application fee you will also need:

One (1) digital (PDF) that includes of items listed below

Attachment E: Certified Survey Map Checklist

Attachment A: Development Review Checklist and other attachments as applicable.

**Please note If any exterior architectural, landscape, or site plan changes are required you must also go through Site Plan Review and meet all of those submittal requirements.*

PRELIMINARY PLAT SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

A Preliminary Plat shall be used to subdivide land in the City. The applicant is responsible for submitting the Preliminary Plat to Waukesha County and the State of Wisconsin for review.

Review Time: Approximately 45-60 days. An extension letter will be required if the approval process will take more than 90 days.

Reviewing Departments: Community Development Planning Division, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission. Common Council and Board of Public Works review may be required for certain projects.

In addition to this application and corresponding application fee you will also need:

- One (1) digital (PDF) that includes of items listed below
 - Attachment F: Preliminary Plat Checklist
 - Cover letter outlining project details.
 - Attachment A: Development Review Checklist and other attachments as applicable
 - Stormwater Management Plan (see Attachment D: Stormwater Management Plan Checklist)

FINAL PLAT SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

A Final plat shall be used to subdivide land in the City. The applicant is responsible for submitting the Final Plat to Waukesha County and the State of Wisconsin for review.

Review Time: Approximately 45-60 days. An extension letter will be required if the approval process will take more than 90 days.

Reviewing Departments: Community Development Planning Division, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission. Common Council and Board of Public Works review may be required for certain projects.

In addition to this application and corresponding application fee you will also need:

- One (1) digital (PDF) that includes of items listed below
 - Attachment G: Final Plat Checklist
 - Cover letter outlining project details.
 - Attachment A: Development Review Checklist and other attachments as applicable.
 - Stormwater Management Plan (see Attachment D: Stormwater Management Plan Checklist)

REZONING & COMPREHENSIVE PLAN AMENDMENT SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

This review is for any requests to rezone land or amend the City's Comprehensive Master Plan. For rezonings all property owners within 300 feet of the property will be notified of your request.

Review Time: 45-60 Days

Reviewing Departments: Community Development Planning & Building Inspection Divisions, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission, Common Council

Additional Information: Rezoning must be done in accordance with the Comprehensive Plan. Please consult with Planning staff to determine if a Comprehensive Plan Amendment is also required prior to submitting a rezoning application.

In addition to this application and corresponding application fee you will also need:

- One (1) digital (PDF) that includes of items listed below
 - Cover letter outlining project details and rationale for rezoning
 - Rezoning Form including legal description and notarized owner(s) signatures (rezoning applications only)
 - Conceptual Plan (if applicable)

**Please note this application fee only covers the rezoning and/or Comprehensive Plan Amendment. If you are proposing site plan changes or are subdividing land you will also need to meet the applicable submittal requirements for those proposals.*

CONDITIONAL USE PERMIT SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

Any use listed as a Conditional Use in Chapter 22 (Zoning Code) requires a Public Hearing in front of the Plan Commission prior to building or occupancy permits being issued. All property owners within 300 feet of the property will be notified of your request.

Review Time: 30-45 days

Reviewing Departments: Community Development Planning & Building Inspection Divisions, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission

In addition to this application and corresponding application fee you will also need:

- One (1) digital (PDF) that includes of items listed below
 - Conditional Use Permit Application

**Please note If any exterior architectural, landscape, or site plan changes are required you must also go through Site Plan Review and meet all of those submittal requirements.*

PLANNED UNIT DEVELOPMENT OR DEVELOPER’S AGREEMENT SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

The PUD Overlay District is intended to permit development that will, over a period of time, be enhanced by coordinated area site planning, diversified location of structures, diversified building heights and types, and/or mixing of compatible uses. The PUD Overlay District under this Chapter will allow for flexibility of overall development design with benefits from such design flexibility intended to be derived by both the developer and the community, while at the same time maintaining insofar as possible the standards or use requirements set forth in the underlying basic zoning district.

Developer’s Agreements are used for any project that require public infrastructure improvements (sewer, storm sewer, sidewalks, etc) and other off-site improvements such as median openings, traffic signals, street widening, etc..

Review Time: 45-60 days

Reviewing Departments: Community Development Planning & Building Inspection Divisions, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission, Common Council. Some projects will also require Board of Public Works review.

In addition to this application and corresponding application fee you will also need:

- One (1) digital (PDF) that includes of items listed below
 - Cover letter/statement that outlining project details and all of the required information set forth in the Zoning Ordinance Section 22.52 (4)(a)
 - Rezoning Form including legal description and notarized owner(s) signatures (rezoning applications only)
 - General Development Plan
 - Proposed Supplemental Design Elements (required for all PUDs under the minimum required acreage)

**Please note in addition to the PUD submittal requirements your project will also need additional application fees and submittal materials based on the project type. This may include Preliminary and Final Plats, Preliminary and Final Site and Architectural Plans, Certified Survey Maps, Traffic Impact Analysis. Staff will inform you of any additional submittal requirements at the Pre-Application meeting, which is required prior to submitting your application.*

ANNEXATION SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

Requests for annexation as permitted under Section 66.0217 Wisconsin Statutes.

Review Time: 45-60 days

Reviewing Departments: Community Development Planning & Building Inspection Divisions, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission, Common Council

In addition to this application and corresponding application fee you will also need:

- One (1) digital (PDF) that includes of items listed below
 - Copy of your State of Wisconsin Request for Annexation Review Application
 - Signed City of Waukesha Direct Annexation Petition
 - Map of property of property to be annexed.
 - A boundary description (legal description of property to be annexed)
 - Any additional information on the annexation.

HOUSE/BUILDING MOVE SUBMITTAL REQUIREMENTS AND ADDITIONAL INFORMATION

Any application to move a home or building from one location to another in the City requires review by staff and the Plan Commission.

Review Time: 30-45 days

Reviewing Departments: Community Development Planning & Building Inspection Divisions, Public Works Engineering Division, Fire Department, Water Utility, Police Department, Any affected Public Utilities

Reviewing Boards: Plan Commission

In addition to this application and corresponding application fee you will also need:

- One (1) digital (PDF) that includes of items listed below
 - Address of existing structure and address of final destination for structure
 - Site Plan showing location of house/building at the new location
 - Proposed route for moving structure. Should also include any overhead wires, mailboxes, or other obstructions that will need to be temporarily relocated to allow for the house/building to get to the new site.

STREET VACATIONS

Street Vacations must be reviewed and approved by the Plan Commission.

Review Time: 45-60 days

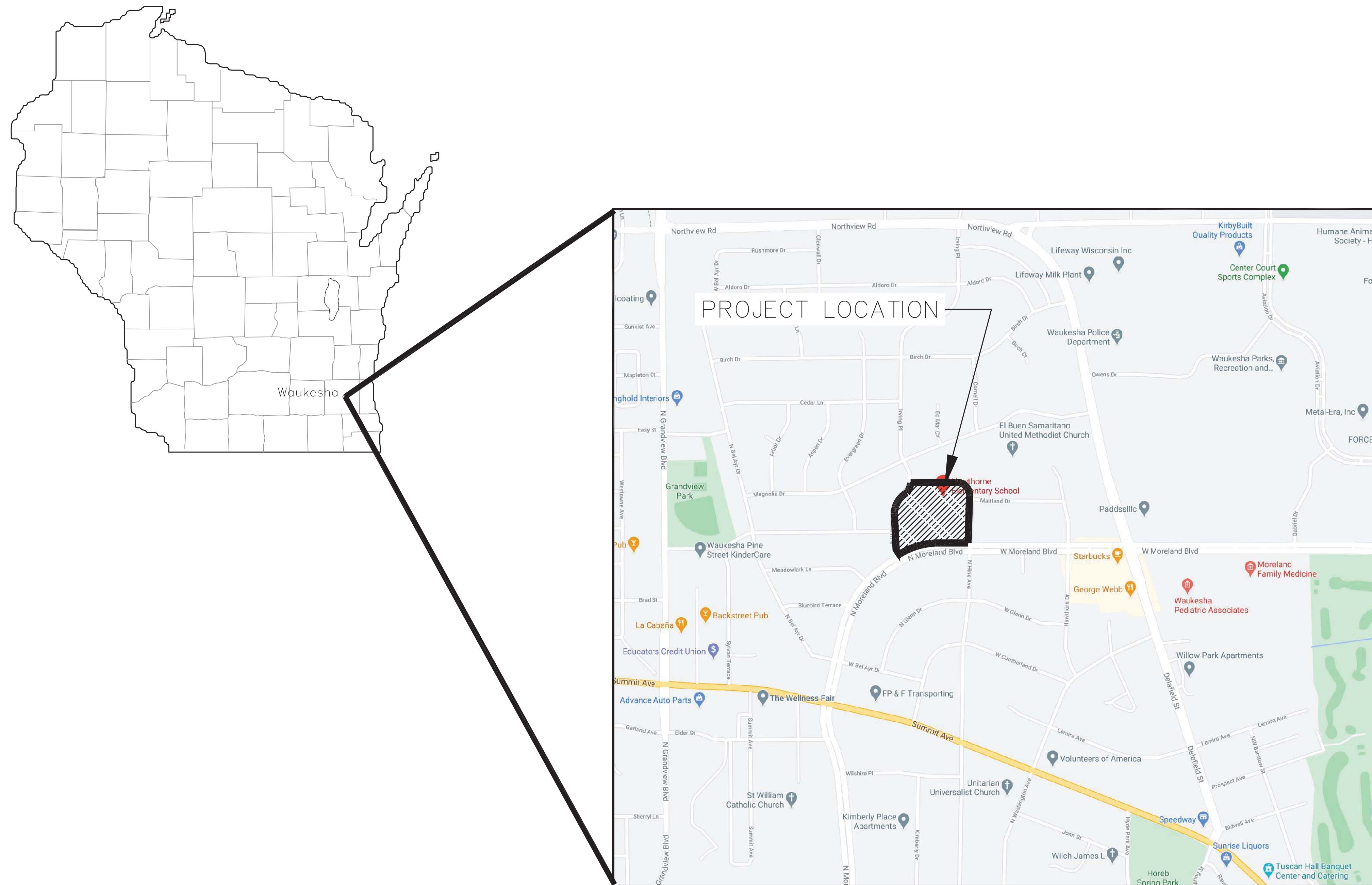
Reviewing Departments: Community Development Planning & Building Inspection Divisions, Public Works Engineering Division, Fire Department, Water Utility.

Reviewing Boards: Plan Commission, Common Council

In addition to this application and corresponding application fee you will also need:

- One (1) digital (PDF) that includes a map and legal description of the areas to be vacated.

HAWTHORNE ELEMENTARY SCHOOL SCHOOL DISTRICT OF WAUKESHA



INDEX TO DRAWINGS

SHEET NO.	TITLE
T1.1	TITLE SHEET & LOCATION MAP
C1.0	PLAT OF SURVEY WITH TOPOGRAPHY
C1.1	SITE DEMOLITION PLAN
C1.2	SITE LAYOUT & GEOMETRIC PLAN
C1.3	SITE GRADING & EROSION CONTROL PLAN
C2.1	SITE DETAILS



SURVEY INFORMATION

- 1) BEARINGS ARE BASED ON THE WISCONSIN STATE PLANE COORDINATE SYSTEM SOUTH ZONE NAD 27.
- 2) ELEVATIONS ARE BASED ON NGVD 29 DATUM.
- 3) EXISTING TOPOGRAPHY IS BASED ON FIELD SURVEY TAKEN ON 3/24/2020 BY KAPUR & ASSOCIATES, INC.
- 4) REFER TO PLAT OF SURVEY, SHEET C1.0 FOR ADDITIONAL INFORMATION.



*ALL SITE IMPROVEMENTS AND CONSTRUCTION SHOWN ON THE PLANS SHALL CONFORM TO THE CITY OF WAUKESHA DEVELOPMENT HANDBOOK & INFRASTRUCTURE SPECIFICATIONS. WHERE THE PLANS DO NOT COMPLY, IT SHALL BE THE SOLE RESPONSIBILITY AND EXPENSE OF THE DEVELOPER TO MAKE REVISIONS TO THE PLANS AND/OR CONSTRUCTED INFRASTRUCTURE TO COMPLY.



Office Locations:

Davenport
220 Emerson Place, Suite 301
Davenport, IA 52801
T: 563.326.6900

Milwaukee
829 South 1st Street
Milwaukee, Wisconsin 53204
T: 414.226.0200

Moline
1465 4th Street, Suite 10
Moline, IL 61205
T: 309.762.0511

Sheboygan
1227A North 8th Street
PO Box 955
Sheboygan, Wisconsin 53082
T: 920.456.4200

www.brayarch.com

Project Title:
ADDITIONS AND REMODELING TO:
HAWTHORNE ELEMENTARY SCHOOL
WAUKESHA SCHOOL DISTRICT
1111 MAITLAND DR, WAUKESHA, WI 53188

REVISIONS:

DATE	DESCRIPTION

**NOT FOR
CONSTRUCTION**



Project Number:
3353 - M

Issued For:
**PLAN
COMMISSION
REVIEW**
DECEMBER 18, 2020

Sheet Title:
**TITLE SHEET &
LOCATION MAP**

Sheet Number:

T1.1

PLAT OF SURVEY WITH TOPOGRAPHY

ALL THAT PART OF THE NORTHEAST ¼ AND SOUTHEAST ¼ OF SECTION 33, TOWNSHIP 7 NORTH, RANGE 19 EAST,
CITY OF WAUKESHA, WAUKESHA COUNTY, WISCONSIN

PROJECT:
**HAWTHORNE
ELEMENTARY
SCHOOL**

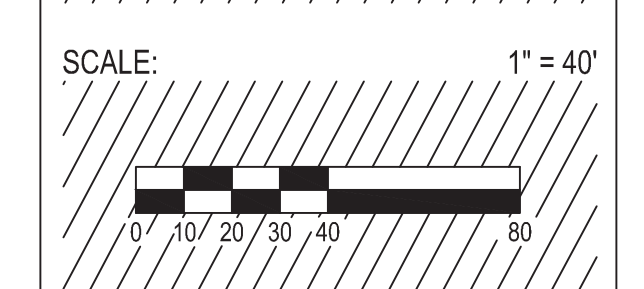
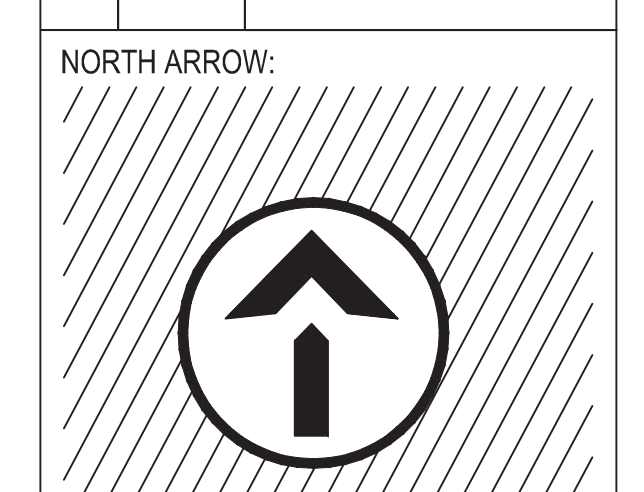
LOCATION:
**1111 MAITLAND DR
WAUKESHA, WI
53188**

CLIENT:
**SCHOOL
DISTRICT OF
WAUKESHA**

RELEASE:
DRAFT

REVISIONS:

#	DATE	DESCRIPTION



SHEET:
**PLAT OF
SURVEY**

PROJECT MANAGER: B.S.
PROJECT NUMBER: 200281.01
DATE: 4/22/2020

SHEET NUMBER:
C1.0

LINE TABLE

LINE #	DISTANCE	BEARING
L1	180.00'	S88°05'58"W
L2	50.00'	N00°37'02"W
L3	30.00'	S87°05'58"W
L4	25.00'	N00°37'02"W
L5	99.74'	N03°41'46"E
L6	99.76'	N03°41'46"E
L7	13.86'	S25°22'37"E

CURVE TABLE

CURVE	LENGTH	RADIUS	CHORD	CHORD DIR
C1	143.67'	90.809'	129.15'	N45°56'32"W
C2	134.29'	204.749'	131.89'	S33°43'24"W
C3	140.17'	151.160'	135.20'	S25°56'51"W
C4	121.11'	292.575'	120.25'	S12°28'35"E
C5	16.12'	292.575'	16.12'	S25°54'50"E
C6	75.55'	914.342'	75.53'	N66°48'00"E
C7	302.13'	914.342'	300.76'	N78°38'00"E

BEARINGS ARE BASED ON THE WISCONSIN STATE PLANE COORDINATE SYSTEM SOUTH ZONE NAD 27.
CITY OF WAUKESHA DATUM

- LEGEND**
- ▲ = BENCH MARK
 - △ = CONTROL POINT
 - = 1 1/4" IRON PIPE O.D. FOUND OR AS NOTED
 - = 1-1/4" O.D. x 18" LONG IRON PIPE SET, WEIGHING 1.68 LBS./FT.
 - = SECTION CORNER MON.
 - (R.A.) = RECORDED AS
 - O.D. = OUTSIDE DIAMETER
 - ⊗ = WATER VALVE
 - ⊙ = FIRE HYDRANT
 - 970.90 = SPOT ELEVATION
 - ⊕ = BUSH, SHRUB
 - ⊙ = POLE/POST/BOLLARD
 - = BOULDER
 - ⊙ = PULLBOX
 - (M) = MANHOLE TYPE NOTED
 - (S) = SANITARY SEWER MANHOLE
 - (ST) = STORM SEWER MANHOLE
 - (E) = ELECTRIC MANHOLE
 - (T) = TELEPHONE MANHOLE
 - (W) = WATER MANHOLE
 - ⊗ = UTILITY METER
 - ⊕ = GUY WIRE POLE
 - ⊕ = LIGHT POLE
 - ⊕ = PEDESTAL
 - ⊕ = POWER POLE
 - ⊕ = INLET
 - ⊕ = CURB INLET
 - ⊕ = GAS VALVE
 - ⊕ = LIGHT POLE WITH MAST
 - ⊕ = TREE (CONIFEROUS) DRIP LINE SCALABLE
 - ⊕ = TREE (DECIDUOUS) DRIP LINE SCALABLE
 - ⊕ = CLEANOUT
 - ⊕ = FLAG POLE
 - ⊕ = UTILITY MARKER POST
 - ⊕ = SIGN ON POST
 - ⊕ = UTILITY CONTROL BOX
 - ⊕ = UNKNOWN UTILITY VALVE
 - FL. EL. = FIRST FLOOR ELEVATION
 - = BUILDING OUTLINE
 - = MINOR CONTOUR
 - = MAJOR CONTOUR
 - = FENCE
 - = BEAM GUARD
 - = CHAINLINK FENCE
 - = WOODED AREA/SHRUB EDGE
 - = WATER MAIN
 - = STORM SEWER
 - = SANITARY SEWER
 - = NATURAL GAS MAIN
 - = UNDERGROUND TELEPHONE
 - = UNDERGROUND ELECTRIC
 - = OVERHEAD UTILITY LINES
 - = UNDERGROUND FIBER OPTIC
 - = UNDERGROUND CABLE TV
 - = COMMUNICATION CONDUIT
 - = ASPHALT SURFACE
 - = CONCRETE SURFACE
 - = WETLANDS

LEGAL DESCRIPTION

ALL THAT PART OF THE NORTHEAST ¼ AND SOUTHEAST ¼ OF SECTION 33, TOWNSHIP 7 NORTH, RANGE 19 EAST, CITY OF WAUKESHA, WAUKESHA COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS: COMMENCING AT THE EAST ¼ CORNER OF SAID SECTION 33; THENCE SOUTH 88°37' WEST ALONG THE EAST ¼ LINE OF SAID SECTION, 180.00 FEET; THENCE NORTH 0°06' WEST 50.0 FEET; THENCE SOUTH 88°37' WEST, 30 FEET TO THE INTERSECTION OF N. MORELAND BLVD. AND N. HINE AVENUE AND THE PLACE OF BEGINNING OF THE FOLLOWING DESCRIBED PROPERTY; THENCE NORTH 0°06' WEST ALONG THE WEST LINE OF N. HINE AVENUE, 25.0 FEET TO THE BEGINNING OF A CURVE; THENCE 99.83 FEET ALONG SAID WEST LINE AND THE ARC OF A CURVE HAVING A CHORD BEARING NORTH 4°12'48" EAST, 99.74 FEET TO THE P.R.C.; THENCE 99.83 FEET ALONG SAID WEST LINE AND THE ARC OF A CURVE HAVING A CHORD BEARING NORTH 4°12'48" EAST, 99.76 FEET TO THE END OF SAID CURVE; THENCE NORTH 0°06' WEST ALONG SAID WEST LINE, 165.00 FEET TO THE BEGINNING OF A CURVE ON THE SOUTH LINE OF MAITLAND DRIVE; THENCE 143.67 FEET ALONG SAID SOUTH LINE AND THE ARC OF A CURVE HAVING A CHORD BEARING NORTH 45°25.5' WEST, 129.15 FEET TO THE END OF SAID CURVE; THENCE SOUTH 89°15' WEST ALONG SAID SOUTH LINE, 371.90 FEET TO THE EAST LINE OF IRVING PLACE AND THE BEGINNING OF A CURVE, THENCE 134.73 FEET ALONG SAID EAST LINE AND THE ARC OF A CURVE HAVING A CHORD BEARING SOUTH 44°44'35" WEST, 132.46 FEET TO THE P.R.C.; THENCE 140.23 FEET ALONG SAID EAST LINE AND THE ARC OF A CURVE HAVING A CHORD BEARING SOUTH 26°27'53" WEST, 135.20 FEET TO THE END OF SAID CURVE; THENCE SOUTH 0°06' EAST ALONG SAID EAST LINE, 190.00 FEET TO THE BEGINNING OF A

CURVE; THENCE 137.23 FEET ALONG SAID EAST LINE AND THE ARC OF A CURVE HAVING A CHORD BEARING SOUTH 13°32'15" EAST, 135.98 FEET TO THE END OF SAID CURVE; THENCE SOUTH 24°51'35" EAST ALONG SAID EAST LINE, 13.86 FEET TO THE NORTH LINE OF N. MORELAND BLVD.; THENCE 377.68 FEET ALONG SAID NORTH LINE AND THE ARC OF A CURVE HAVING A CHORD BEARING NORTH 76°47' EAST, 375.00 FEET TO THE END OF SAID CURVE; THENCE NORTH 88°37' EAST ALONG SAID NORTH LINE, 181.33 FEET TO THE POINT OF BEGINNING.

FOR INFORMATIONAL PURPOSES ONLY

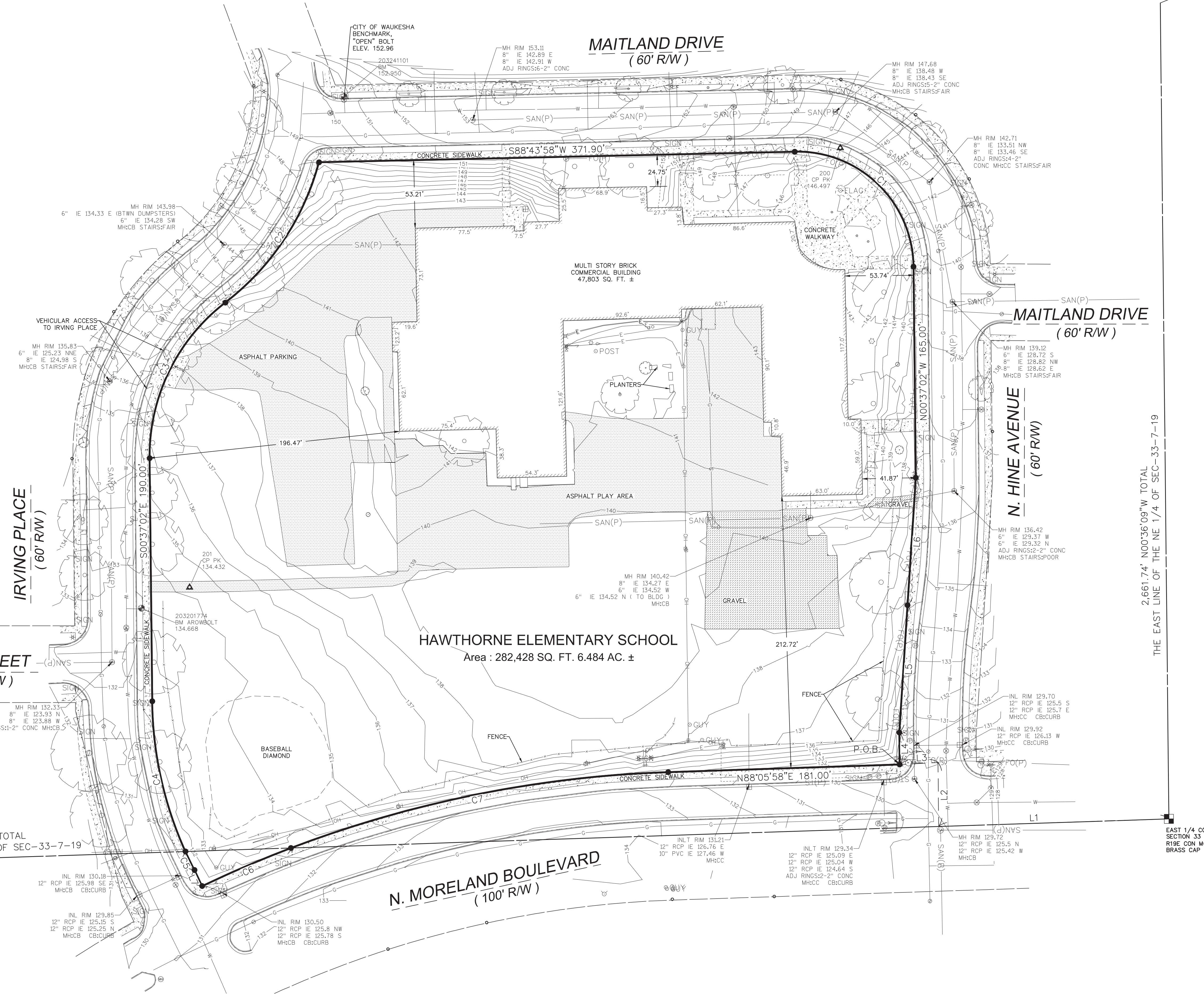
PROPERTY ADDRESS: 1111 MAITLAND DRIVE, WAUKESHA, WI 53188
TAX KEY NO.: WAKC 0993.966

BASIS OF BEARINGS

BEARING ARE REFERENCED TO WISCONSIN STATE PLANE COORDINATE SYSTEM SOUTH ZONE NAD 27. ELEVATIONS ARE BASED ON NGVD 29 DATUM

FLOOD NOTE

ACCORDING TO THE FLOOD INSURANCE RATE MAP OF THE CITY OF WAUKESHA, COMMUNITY PANEL NO. 55133C0213G, EFFECTIVE DATE OF NOVEMBER 5, 2014, THIS SITE FALLS IN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN).



CONTROL POINTS

POINT NO.	NORTHING	EASTING	ELEVATION	DESCRIPTION
200	37910.190	2468831.053	146.50	CP PK
201	378666.827	2468322.461	134.43	CP PK
202	379179.258	2468328.063	147.06	CP PK
203201774	378650.423	2468284.948	134.67	BM, ARROW BOLT ON HYDRANT, EAST SIDE OF IRVING PLACE 20' N. OF PINE ST.
203241101	379050.300	2468443.254	152.95	BM, OPEN BOLT, HYDRANT NE CORNER OF IRVING PL. & MAITLAND DR

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Toll Free (800)242-8511
Milwaukee Area (414)259-1981
Hearing Impaired TDD (800)542-2289
www.DiggerHotline.com
REGISTERS HOTLINE TICKETS

20201108133, 20201108145, 20201108210, 20201108211, 20201108250, 20201108252, 20201108264, 20201108267

ALTHOUGH DIGGERS' HOTLINE WAS NOTIFIED THIS SURVEY DOES NOT GUARANTEE THAT ALL UTILITIES HAVE BEEN LOCATED ON SITE. SOME OF THE UTILITIES MAY HAVE BEEN DRAWN IN PER PLAN BASED ON MAPS RECEIVED FROM MEMBERS NOTIFIED. LACKING EXCAVATION THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY.

SURVEYOR'S CERTIFICATE:

I, Brian Sandberg do hereby certify that that under My direction and control the above described property was surveyed on 3/24/2020 in accordance with AE-7 of the Wisconsin Administrative Code and is correct to the best of my knowledge and belief.

Brian Sandberg
Brian E. Sandberg S-2500
APRIL ##, 2020

E

53.11
42.89' E
42.31' W
356'-2" CONC

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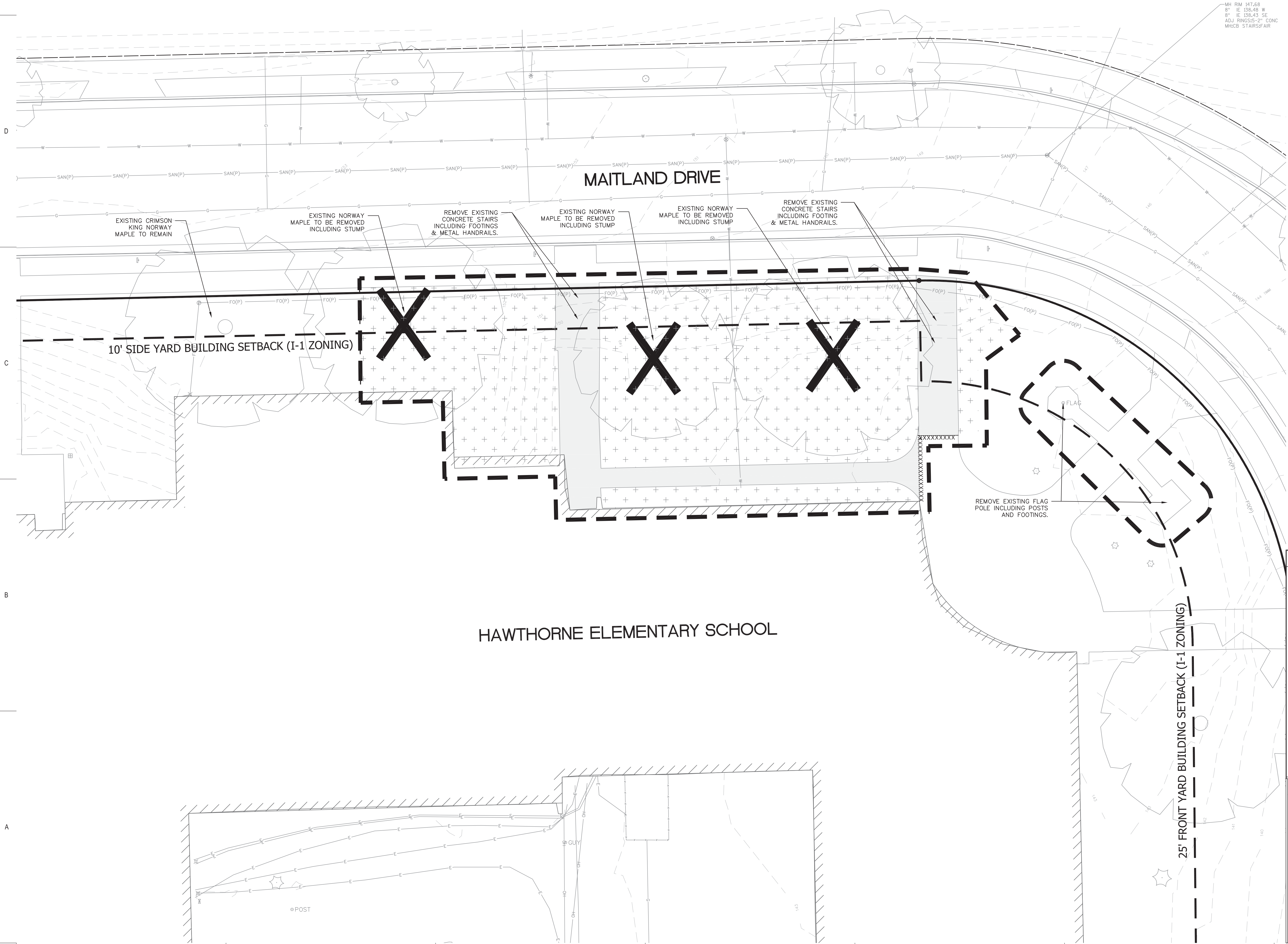
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Scale: 1" = 10'
0 5 10 20



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DEMOLITION NOTES

1. CONSULT WITH OWNER TO DETERMINE A SAFE STORAGE LOCATION OF ITEMS SPECIFICALLY CALLED OUT TO BE SALVAGED FOR OWNER REUSE. EXERCISE CARE DURING REMOVAL AND TRANSPORT TO PREVENT DAMAGE.
2. THE UNDERGROUND AND OVERHEAD UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, UPON INFORMATION FURNISHED BY UTILITY COMPANIES, LOCAL MUNICIPALITY, PROPERTY OWNER, AND DIGGERS HOTLINE. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
3. GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS SHALL APPLY FOR AND OBTAIN ALL THEIR REQUIRED PERMITS AND APPROVALS PRIOR TO THE START OF THEIR WORK. CONSULT WITH AND OBTAIN FROM ENGINEER COPIES OF ENGINEERING DESIGN APPROVAL PERMITS, INCLUDING BUT NOT LIMITED TO WORK, STATE OR LOCAL PLUMBING, WDOT, COUNTY, AND STORM WATER MANAGEMENT.
4. GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS SHALL CONTACT DIGGERS HOTLINE TO ALLOW THEM SUFFICIENT TIME TO LOCATE EXISTING UTILITIES PRIOR TO COMMENCEMENT OF WORK.
5. GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS ARE RESPONSIBLE FOR COORDINATING THEIR WORK WITH ALL OTHER CONTRACTORS.
6. GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS ARE RESPONSIBLE FOR VERIFYING OWNERSHIP OF AND COORDINATING THE DEMOLITION AND / OR RELOCATION / ELEVATION ADJUSTMENT OF ALL EXISTING PUBLIC OR PRIVATE UTILITIES WITHIN THE PROJECT LIMITS THAT MAY BE AFFECTED BY TOPOGRAPHICAL CHANGES, UTILITIES, OR OTHER PROPOSED CONSTRUCTION ON THE PROJECT, INCLUDING BUT NOT LIMITED TO ELECTRICAL / FIBER OPTIC / TELEPHONE / CABLE / GAS / WATER / SANITARY / STORM. DEMOLITION / RELOCATION OF THIS UTILITY WORK MUST BE IN ACCORDANCE WITH ALL STATE, FEDERAL, LOCAL, AND UTILITY OWNER REGULATIONS.
7. FOR ALL WORK, GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS ARE RESPONSIBLE FOR REVIEWING BID DOCUMENTS, VERIFYING THE VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UTILITIES WITHIN THE PROJECT LIMITS, AND INCLUDE IN THEIR CONTRACT THE RELOCATION OF SAID UTILITIES (NOTED OR NOT ON THE BID DOCUMENTS) AS NECESSARY TO PROVIDE PROPER DEPTH/CLEARANCE PER UTILITY OWNER'S REQUIREMENTS.

KEY INDEX

PROJECT LIMITS	
+	VEGETATION TO BE REMOVED & DISPOSED OF OFFSITE, IF SUITABLE FOR REUSE. TOPSOIL TO BE STOCKPILED, UNUSED & UNSUITABLE TOPSOIL TO BE REACHED OFFSITE. TOPSOIL THICKNESS MAY VARY. REFER TO GEOTECHNICAL REPORT.
XXXXXX	CONCRETE & BASE MATERIAL TO BE REMOVED TO SUB-BASE & DISPOSED OF OFFSITE. CONCRETE & BASE THICKNESS MAY VARY. REFER TO GEOTECHNICAL REPORT.
XXXXXXXXXX	SAWCUT FULL DEPTH
X	TREES & STUMPS TO BE REMOVED



Office Locations:

Davenport
220 Emerson Place, Suite 301
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Sheboygan
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PO Box 955
Sheboygan, Wisconsin 53082
T: 920.456.4200

www.brayarch.com

Project Title:
**ADDITIONS AND REMODELING TO:
HAWTHORNE ELEMENTARY SCHOOL
WAUKESHA SCHOOL DISTRICT
1111 MAITLAND DR, WAUKESHA, WI 53188**

REVISIONS:

DATE	DESCRIPTION

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Milwaukee, WI 53217
www.kapurtnc.com

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PLAN COMMISSION REVIEW
DECEMBER 18, 2020

Sheet Title:
SITE DEMOLITION PLAN

Sheet Number:
C1.1

MAITLAND DRIVE

HAWTHORNE ELEMENTARY SCHOOL

10' SIDE YARD BUILDING SETBACK (I-1 ZONING)

25' FRONT YARD BUILDING SETBACK (I-1 ZONING)

(3)AUTUMN FLAME RED MAPLE 3" CAL. B&B

NEW CONCRETE STAIR WITH 1-1/2" O.D. TYPE 316 STAINLESS STEEL PIPE HANDRAILS. SEE DETAILS 4&5/C2.1

PROPOSED BUILDING
FFE = 148.00+/-

NEW FLAG POLES. REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.

Scale: 1" = 10'

DIGGERS HOTLINE
Dial 811 or (800)242-8511
www.DiggersHotline.com

KEY INDEX	
	PROJECT LIMITS
	AREAS DISTURBED BY CONSTRUCTION (NOT SPECIFICALLY CALLED OUT ON THE LANDSCAPE PLANS) TO BE RESTORED WITH MINIMUM 4" TOPSOIL, SEED, FERTILIZER, AND MULCH (TYP). USE SALVAGED TOPSOIL OR IMPORT TOPSOIL IF REQUIRED.
	NEW CONCRETE SLAB



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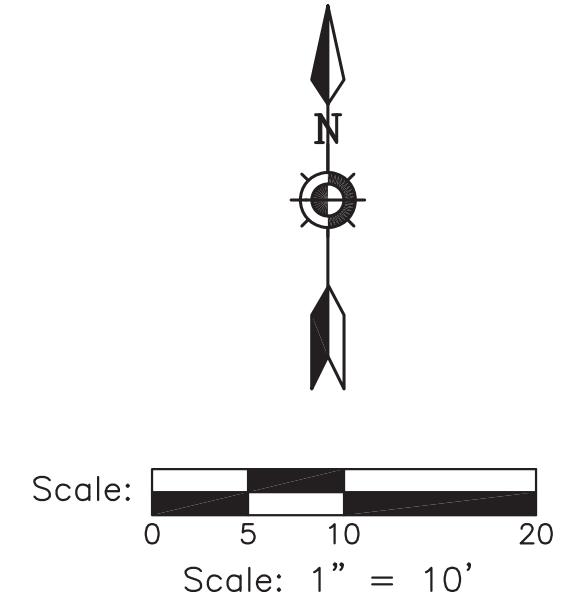
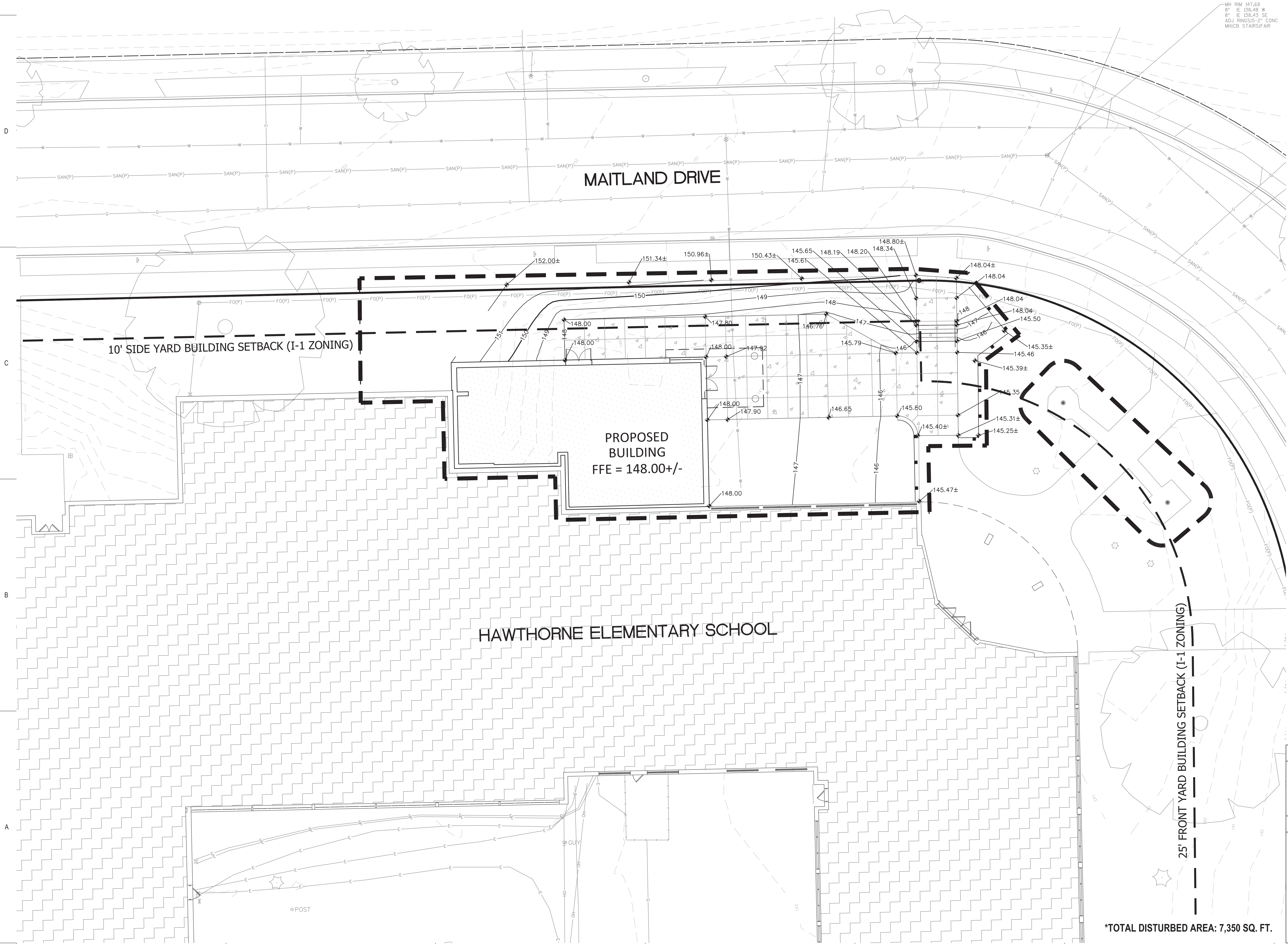
DECEMBER 18, 2020
Sheet Title:
SITE LAYOUT & GEOMETRIC PLAN

Sheet Number:
C1.2

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53.11
42.29' E
42.31' W
356'-2" CONC

MH RIM 147.68
8" IE 138.48 W
8" IE 138.43 SE
ADJ RINGSIS-2" CONC
MHCB STAIRSFAIR



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GRADING NOTES	
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KEY INDEX	
---	PROJECT LIMITS
---	EXISTING CONTOUR MINOR
---	EXISTING CONTOUR MAJOR
---	PROPOSED CONTOUR MINOR
---	PROPOSED CONTOUR MAJOR
+	970.00 PROPOSED SPOT GRADE
+	970.0± MATCH EXISTING GRADE
---	SILT FENCE

*TOTAL DISTURBED AREA: 7,350 SQ. FT.

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1111 MAITLAND DR, WAUKESHA, WI 53188**

REVISIONS:
DATE DESCRIPTION

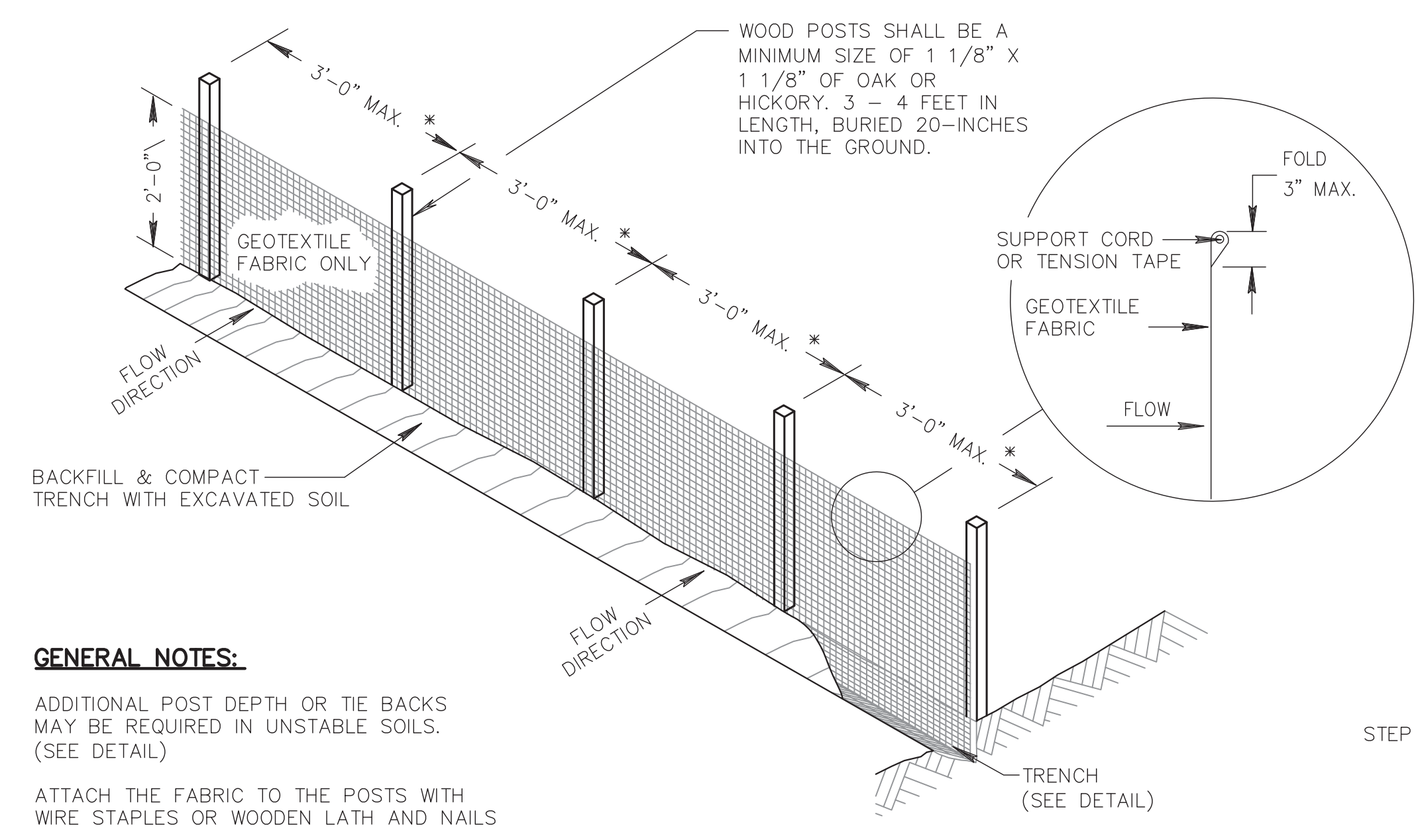
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PLAN COMMISSION REVIEW
DECEMBER 18, 2020
Sheet Title:
SITE GRADING & EROSION CONTROL PLAN

Sheet Number:
C1.3



GENERAL NOTES:

ADDITIONAL POST DEPTH OR TIE BACKS MAY BE REQUIRED IN UNSTABLE SOILS. (SEE DETAIL)

ATTACH THE FABRIC TO THE POSTS WITH WIRE STAPLES OR WOODEN LATH AND NAILS

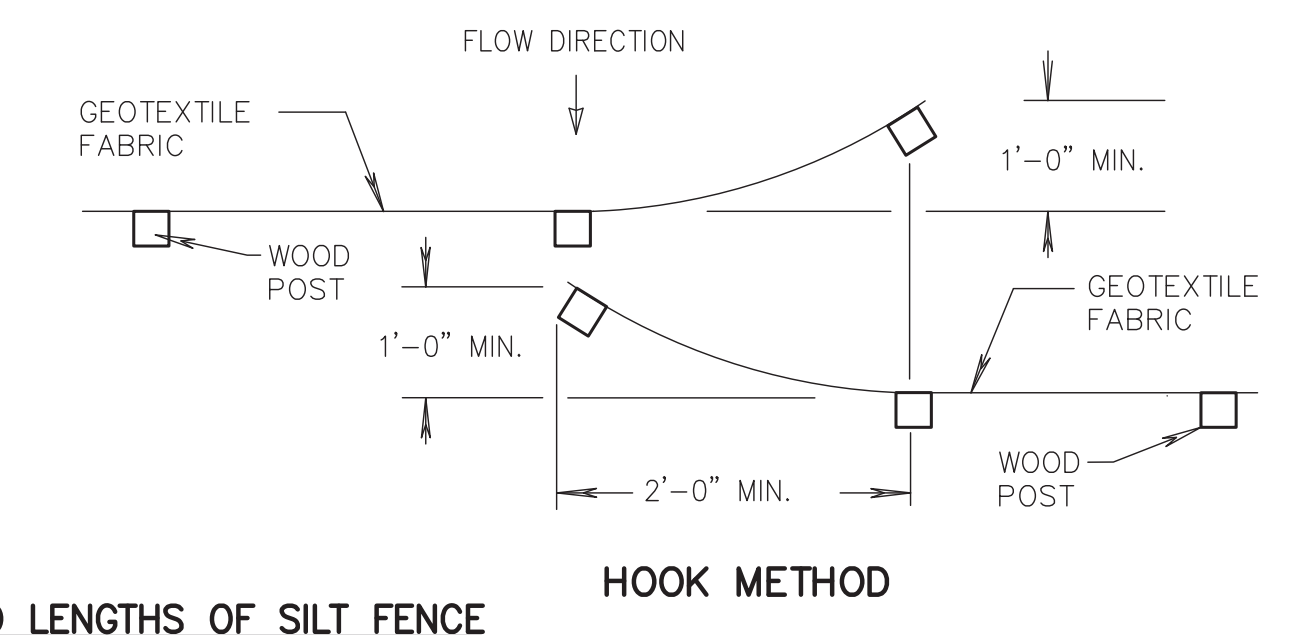
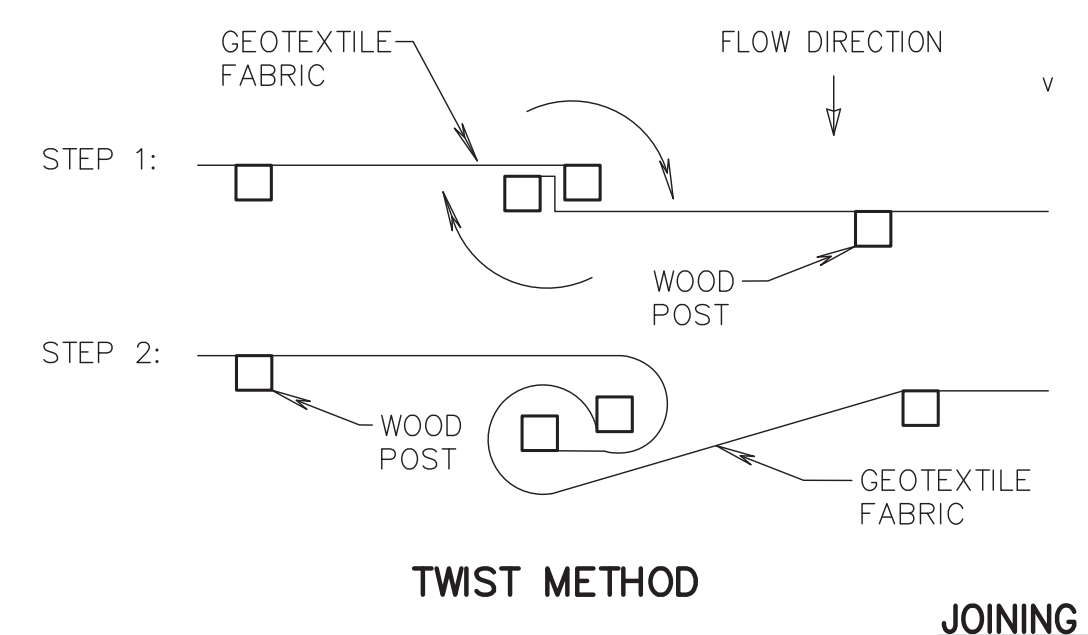
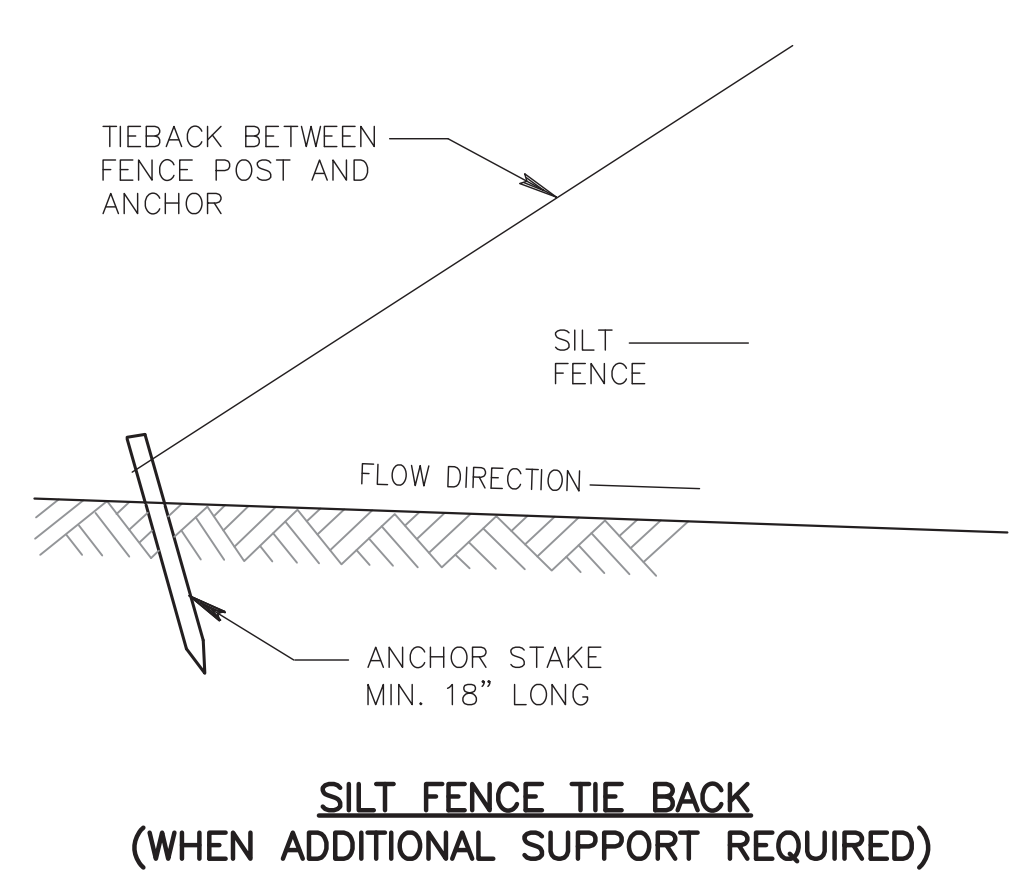
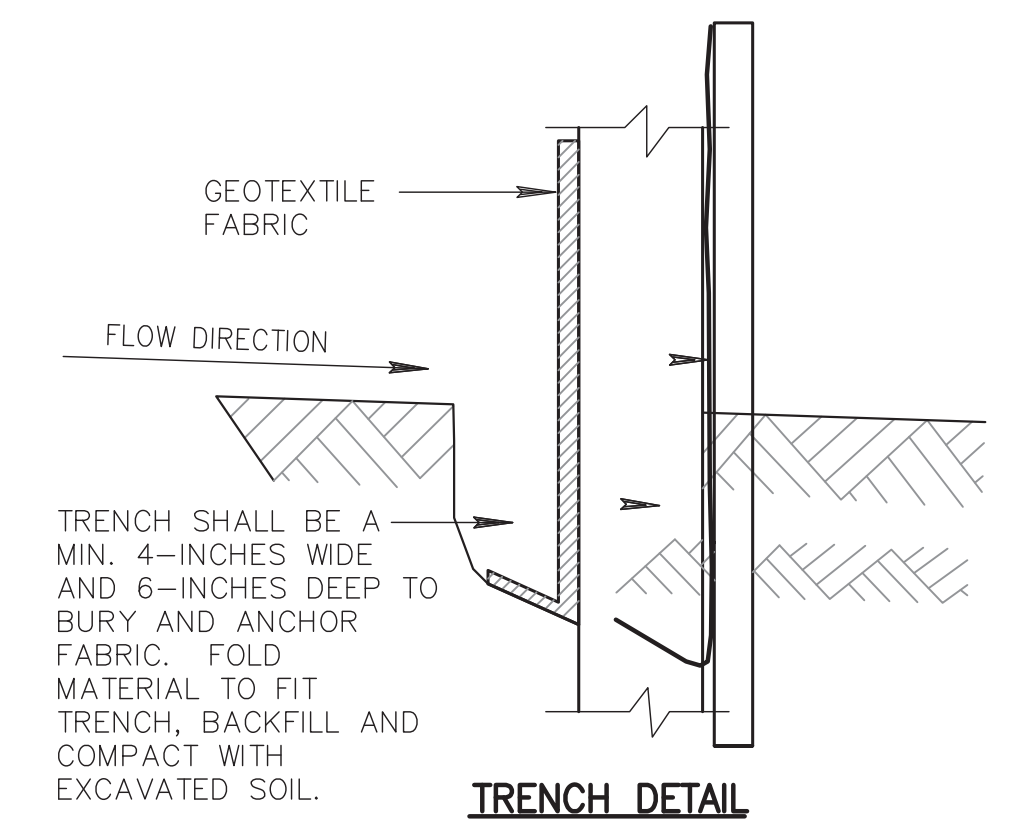
*8'-0" POST SPACING ALLOWED IF A WOVEN GEOTEXTILE FABRIC IS USED.

IF POSSIBLE, CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL TO AVOID JOINTS. IF A JOINT IS NECESSARY, USE ONE OF THE FOLLOWING METHODS:

(1) TWIST METHOD: OVERLAP END POSTS & TWIST AT LEAST 180 DEGREES.

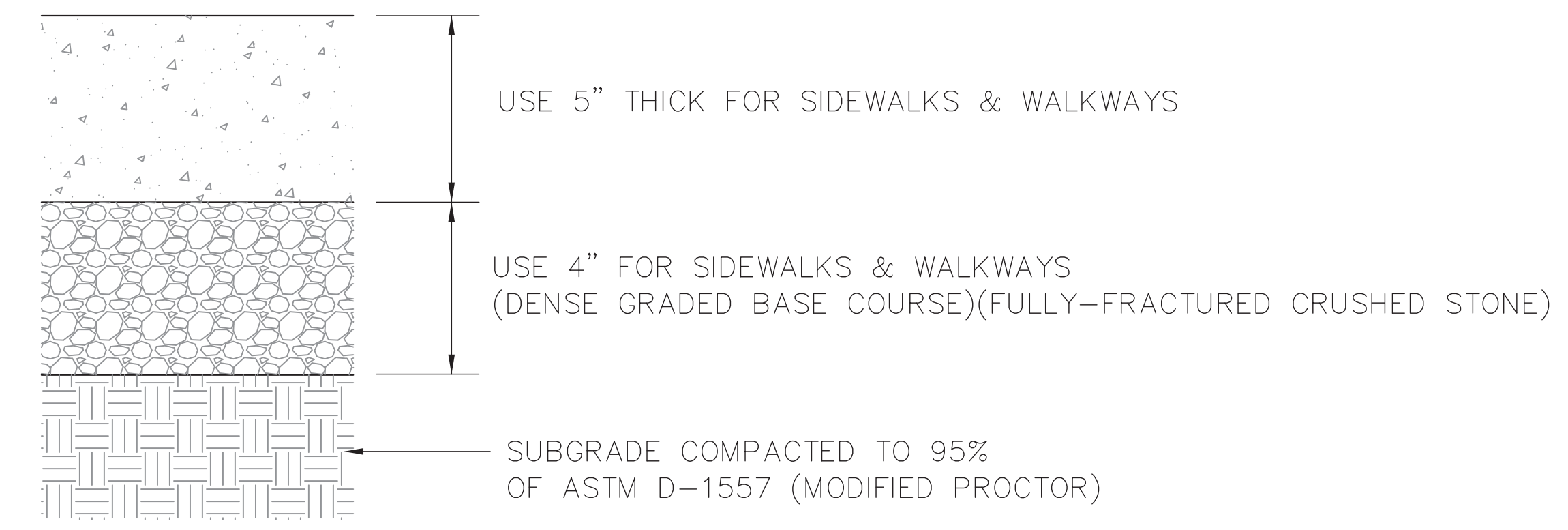
(2) HOOK METHOD: HOOK THE END OF EACH SILT FENCE LENGTH.

AXONOMETRIC VIEW

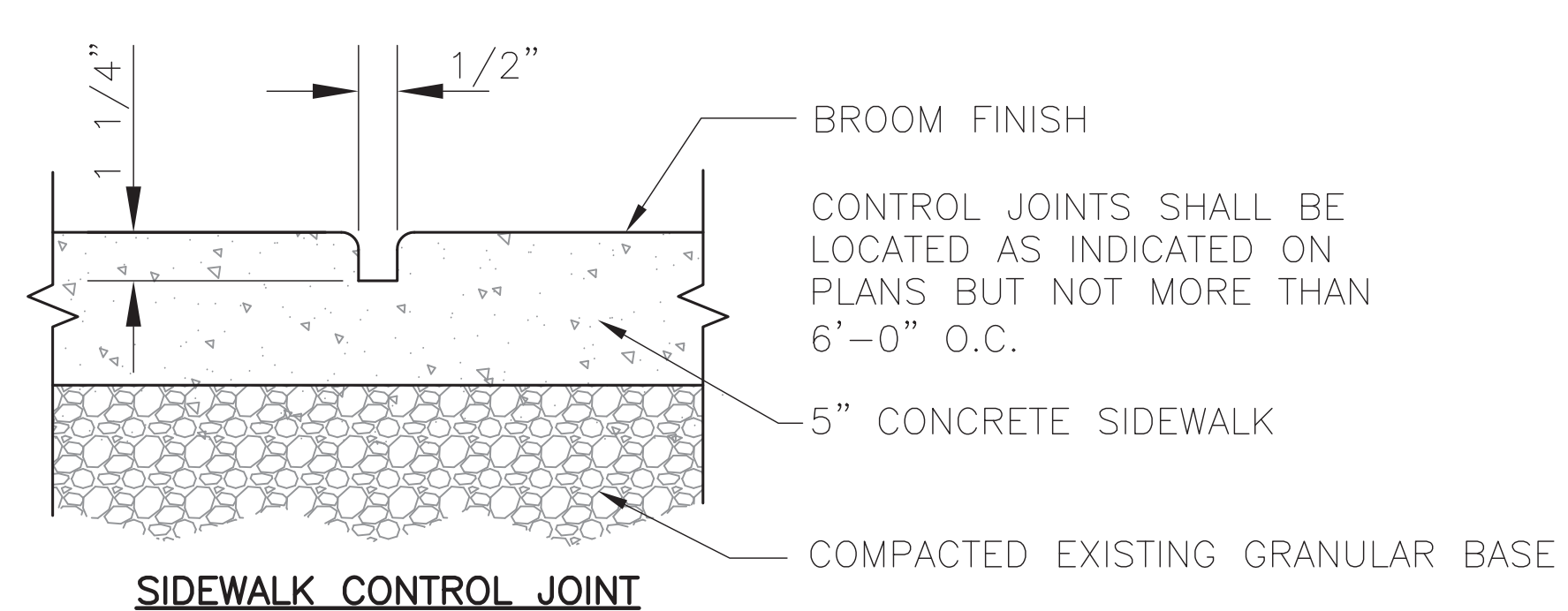


JOINING TWO LENGTHS OF SILT FENCE

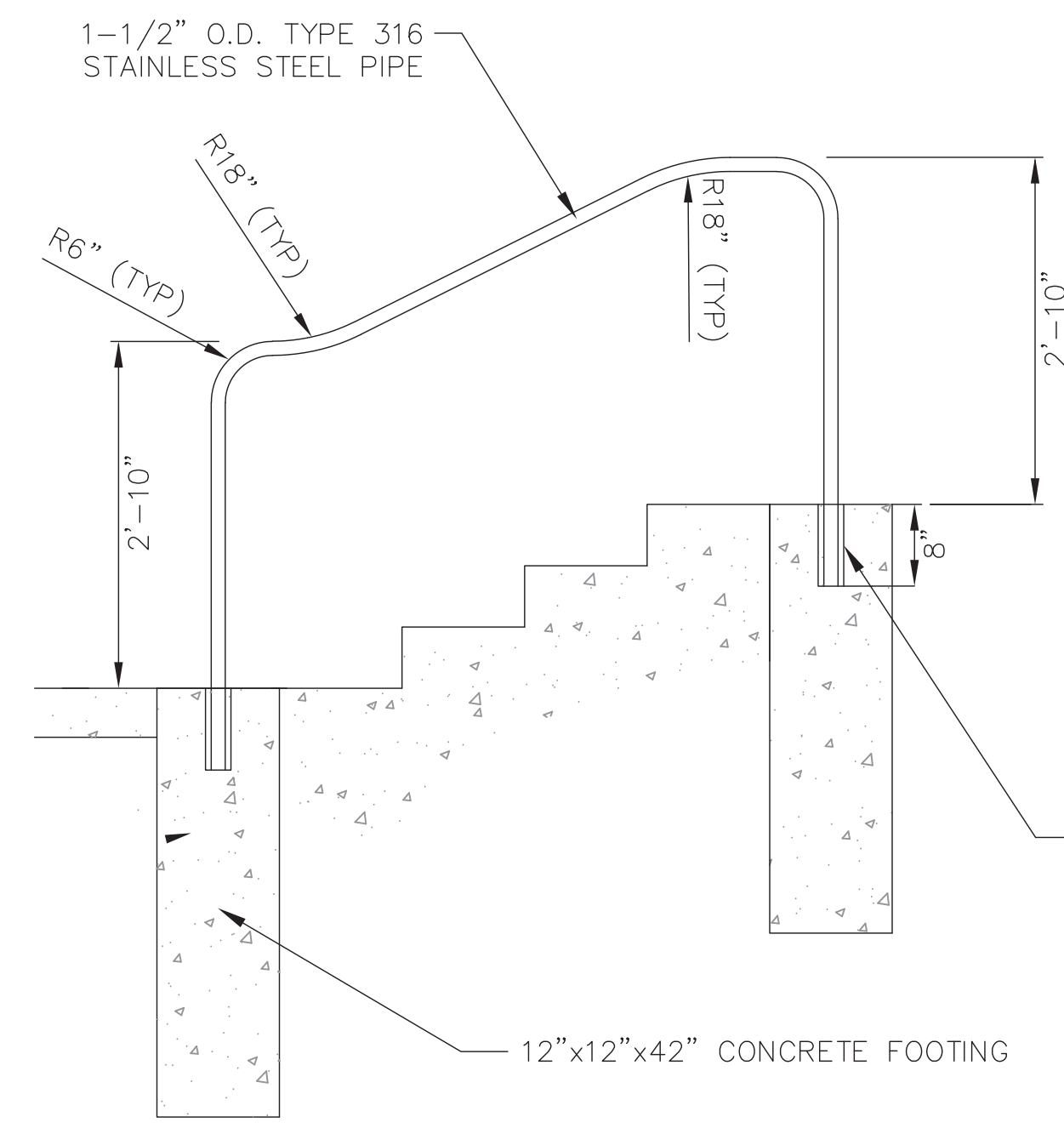
1 FILTER FABRIC SILT FENCE DETAIL N.T.S.



2 CONCRETE SIDEWALK/SLAB N.T.S.



3 CONTROL & CONSTRUCTION JOINT DETAILS (TYP.) N.T.S.

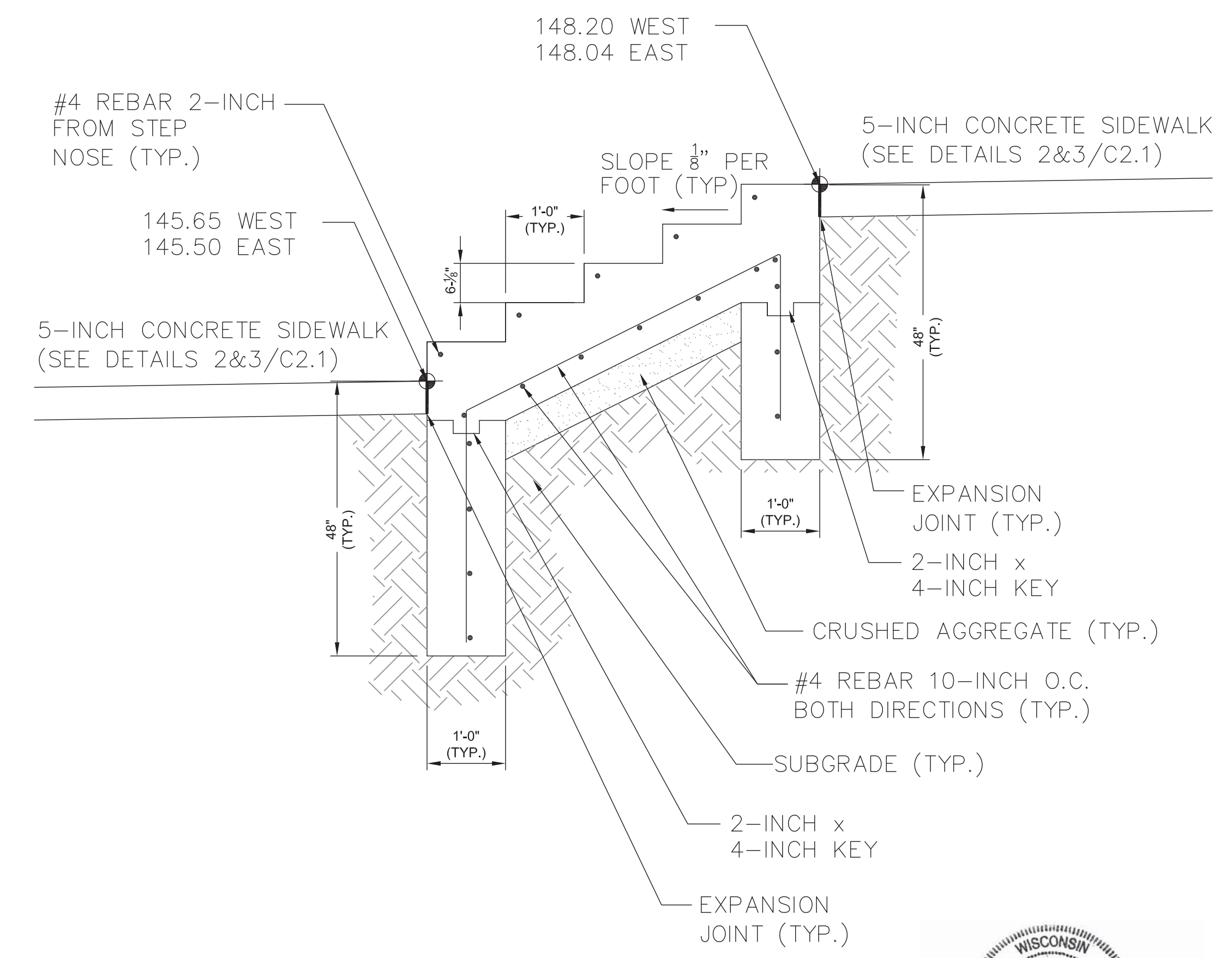


NOTES:

CENTERLINE OF HANDRAIL AND POSTS TO BE LOCATED WITHIN THE CONCRETE, 5" FROM THE EDGE.

ADJUST DESIGN AS NECESSARY TO MATCH STAIR CONFIGURATION PER THE SITE LAYOUT AND GRADING PLANS. SUBMIT SHOP DRAWINGS FOR APPROVAL PRIOR TO MANUFACTURING.

4 STAINLESS STEEL PIPE STAIR HANDRAIL N.T.S.



5 CONCRETE STAIR N.T.S.



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ADDITIONS AND REMODELING TO:
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SITE DETAILS

Sheet Number: C2.1

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Scale: 1" = 10'

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KEY INDEX	
	PROJECT LIMITS
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	NEW CONCRETE SLAB



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Project Number:
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 DECEMBER 18, 2020

Sheet Title:
SITE LANDSCAPE PLAN - COLOR

Sheet Number:
L1.1

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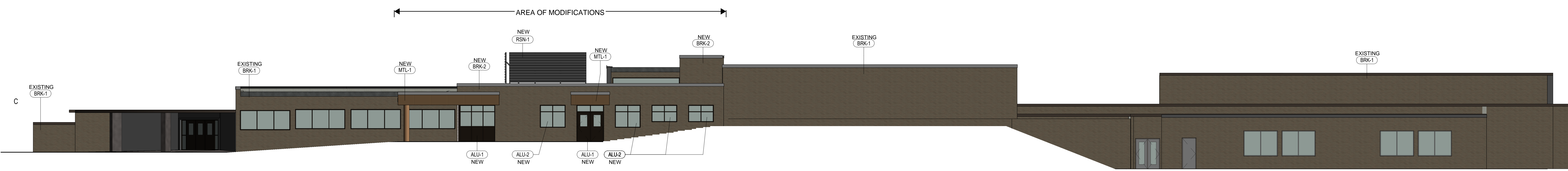
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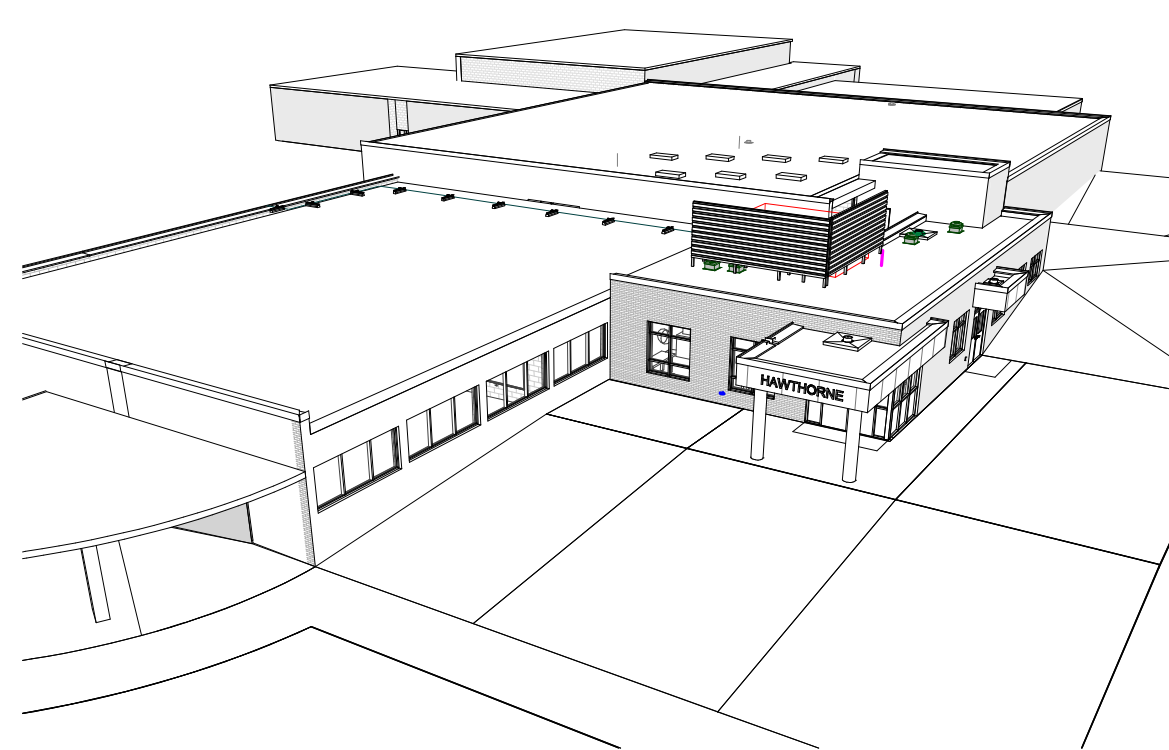
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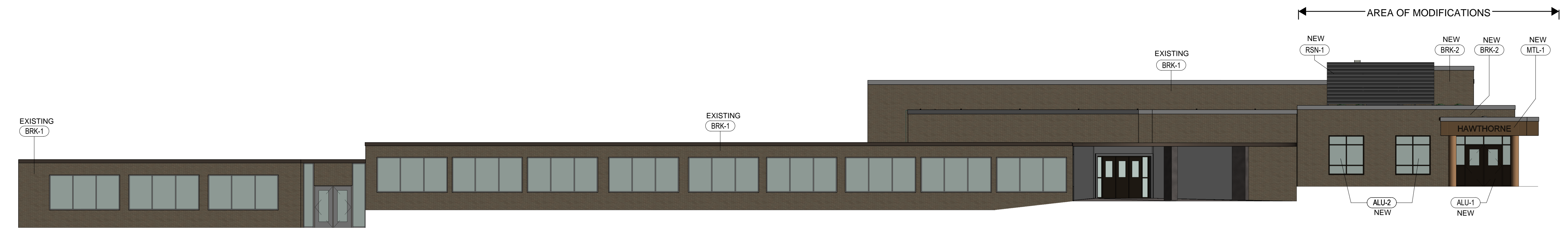
7D OVERALL - NORTH ELEVATION
 AX.1 Scale: 1" = 10'-0"



7B PARTIAL AXON
 AX.1 Scale:

KEYNOTE LEGEND

ALU-1	ALUMINUM ENTRANCE
ALU-2	ALUMINUM WINDOW
BRK-1	EXISTING BRICK
BRK-2	EXISTING BRICK MATCH
MTL-1	METAL WALL PANEL
RSN-1	ROOF SCREEN



6B OVERALL - EAST ELEVATION
 AX.1 Scale: 1" = 10'-0"



6A OVERALL - WEST ELEVATION
 AX.1 Scale: 1" = 10'-0"



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12/18/2020

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Sheet Number:
AX.1



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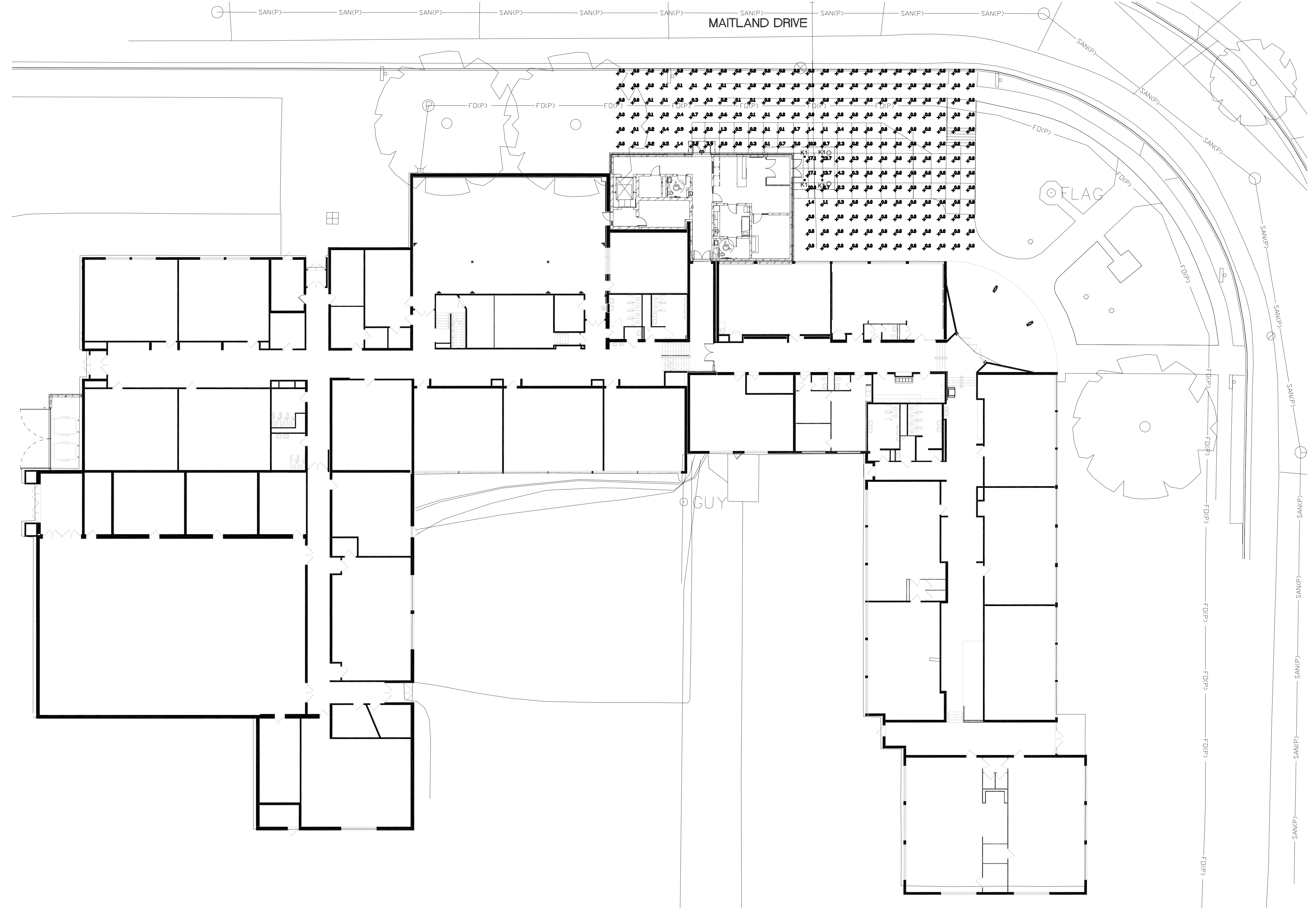
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1 FIRST FLOOR - ELECTRICAL
 E1.0 Scale: 1" = 20'-0"

12/16/2020 12:09:15 PM
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7

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DATE	DESCRIPTION

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Issued For:
CITY SUBMITTAL

December 16, 2020

Sheet Title:
**SITE
 PHOTOMETRIC**

Sheet Number:
E1

FEATURES & SPECIFICATIONS

INTENDED USE — Typical applications include corridors, lobbies, conference rooms and private offices.
CONSTRUCTION — Galvanized steel mounting/plaster frame; galvanized steel junction box with bottom-hinged access covers and spring latches. Reflectors are retained by torsion springs.

Vertically adjustable mounting brackets with commercial bar hangers provide 3-3/4" total adjustment. Two combination 1/2"-3/4" and four 1/2" knockouts for straight-through conduit runs. Capacity: 8 (4 in, 4 out). No. 12 AWG conductors, rated for 90°C.

Accommodates 12"-24" joist spacing.

Passive cooling thermal management for 25°C standard; high ambient (40°C) option available. Light engine and drivers are accessible from above or below ceiling.

Max ceiling thickness 1-1/2".

OPTICS — LEDs are binned to a 3-step SDCM; 80 CRI minimum. 90 CRI optional.

LED light source concealed with diffusing optical lens.

General illumination lighting with 1.0 S/MH and 55° cutoff to source and source image.

Self-flanged anodized reflectors in specular, semi-specular, or matte diffuse finishes. Also available in white and black painted reflectors.

ELECTRICAL — Multi-volt (120-277V, 50/60Hz) 0-10V dimming drivers mounted to junction box, 10% or 1% minimum dimming level available.

0-10V dimming fixture requires two (2) additional low-voltage wires to be pulled.

70% lumen maintenance at 60,000 hours.

LISTINGS — Certified to US and Canadian safety standards. Wet location standard (covered ceiling). IP55 rated. ENERGY STAR® certified product.

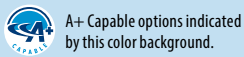
WARRANTY — 5-year limited warranty. Complete warranty terms located at:

www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application.

All values are design or typical values, measured under laboratory conditions at 25°C.

Specifications subject to change without notice.



Catalog Number
Notes
Type



LDN6

**6" Open and WallWash LED
Non-IC
New Construction Downlight**



ORDERING INFORMATION

Lead times will vary depending on options selected. Consult with your sales representative.

Example: LDN6 35/15 L06AR LSS MVOLT EZ10

LDN6 Series	Color temperature	Lumens ¹	Aperture/Trim Color	Finish	Voltage	
LDN6 6" round	27/ 2700K	05 500 lumens	L06 Downlight LW6 Wallwash	LSS Semi-specular LD Matte diffuse LS Specular	MVOLT Multi-volt 120 120V 277 277V 347 ³ 347V	
	30/ 3000K	07 750 lumens				AR Clear
	35/ 3500K	10 1000 lumens				WR ² White
	40/ 4000K	15 1500 lumens				BR ² Black
	50/ 5000K	20 2000 lumens				
						25 2500 lumens
		30 3000 lumens				
		40 4000 lumens				
		50 5000 lumens				

Driver	Options
GZ10 0-10V driver dims to 10%	SF ⁴ Single fuse
GZ1 0-10V driver dims to 1%	TRW ⁵ White painted flange
D10 Minimum dimming 10% driver for use with JOT	TRBL ⁵ Black painted flange
D1 Minimum dimming 1% driver for use with JOT	EL ⁶ Emergency battery pack with integral test switch. 10W Constant Power, Not Certified in CA Title 20 MAEDBS
EZ10 0-10V eldoLED driver with smooth and flicker-free deep dimming performance down to 10%	ELR ⁶ Emergency battery pack with remote test switch. 10W Constant Power, Not Certified in CA Title 20 MAEDBS
	ELSD ⁶ Emergency battery pack with self-diagnostics, integral test switch. 10W Constant Power, Not Certified in CA Title 20 MAEDBS
	ELRSD ⁶ Emergency battery pack with self-diagnostics, remote test switch. 10W Constant Power, Not Certified in CA Title 20 MAEDBS
EZ1 0-10V eldoLED driver with smooth and flicker-free deep dimming performance down to 1%	E10WCP ⁶ Emergency battery pack, 10W Constant Power with integral test switch. Certified in CA Title 20 MAEDB
	E10WCPR ⁶ Emergency battery pack, 10W Constant Power with remote test switch. Certified in CA Title 20 MAEDB
EDAB eldoLED DALI SOLDRIIVE dim to dark	NPP16D ⁷ nLight® network power/relay pack with 0-10V dimming for non-eldoLED drivers (GZ10, GZ1).
	NPP16DER ⁷ nLight® network power/relay pack with 0-10V dimming for non-eldoLED drivers (GZ10, GZ1). ER controls fixtures on emergency circuit.
	N80 ⁸ nLight™ Lumen Compensation
	JOT ¹³ Wireless room control with "Just One Touch" pairing
	NPS80EZ ⁷ nLight® dimming pack controls 0-10V eldoLED drivers (EZ10, EZ1).
	NPS80EZER ⁷ nLight® dimming pack controls 0-10V eldoLED drivers (EZ10, EZ1). ER controls fixtures on emergency circuit.
	HAO ¹¹ High ambient option
	CP ¹² Chicago Plenum
	RRL ¹² RELOC®-ready luminaire connectors enable a simple and consistent factory installed option across all ABL luminaire brands. Available only in RRLA, RRLB, RRLAE, and RRLC12S. Refer to RRL spec sheet on www.acuitybrands.com for the RELOC product specifications.
	NLTAIR2 ^{9,10} nLight® Air enabled
	NLTAIRER2 ^{9,10} nLight® AIR Dimming Pack Wireless Controls. Controls fixtures on emergency circuit, not available with battery pack options
	NLTAIREM2 ^{9,10} nLight® AIR Dimming Pack Wireless Controls. UL924 Emergency Operation, via power interrupt detection. Available with battery pack options.
	USPOM US point of manufacture
	90CRI High CRI (90+)

Accessories: Order as separate catalog number.	
PS1055CP	FMC Power Sentry battery pack, T20 compliant, field installable, 10w constant power
EAC ISSM 375	Compact interruptible emergency AC power system
EAC ISSM 125	Compact interruptible emergency AC power system
GRA68 JZ	Oversized trim ring with 8" outside diameter ¹

Notes

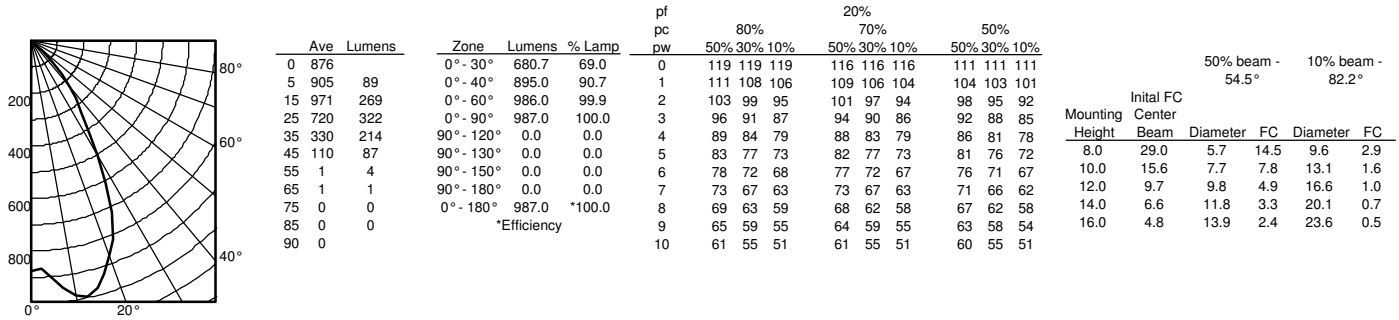
- Overall height varies based on lumen package; refer to dimensional chart on page 3.
- Not available with finishes.
- Not available with emergency options.
- Must specify voltage 120V or 277V.
- Available with clear (AR) reflector only.
- 12.5" of plenum depth or top access required for battery pack maintenance.
- Specify voltage. ER for use with generator supply EM power. Will require an emergency hot feed and normal hot feed.
- Fixture begins at 80% light level. Must be specified with NPS80EZ or NPS80EZ ER. Only available with EZ10 and EZ1 drivers.
- Not available with CP, NPS80EZ, NPS80EZER, NPP16D, NPP-16DER or N80 options.
- NLTAIR2, NLTAIRER2 and NLTAIREM2 not recommended for metal ceiling installations.
- Fixture height is 6.5" for all lumen packages with HAO.
- Must specify voltage for 3000lm and above. 5000lm with marked spacing 24 L x 24 W x 14 H. Not available with emergency battery pack option.
- Must specify D10 or D1 driver. Not available with nLight options. Not available with CP. Not recommended for metal ceiling installation. Not for use with emergency backup power systems other than battery packs.

LDN6

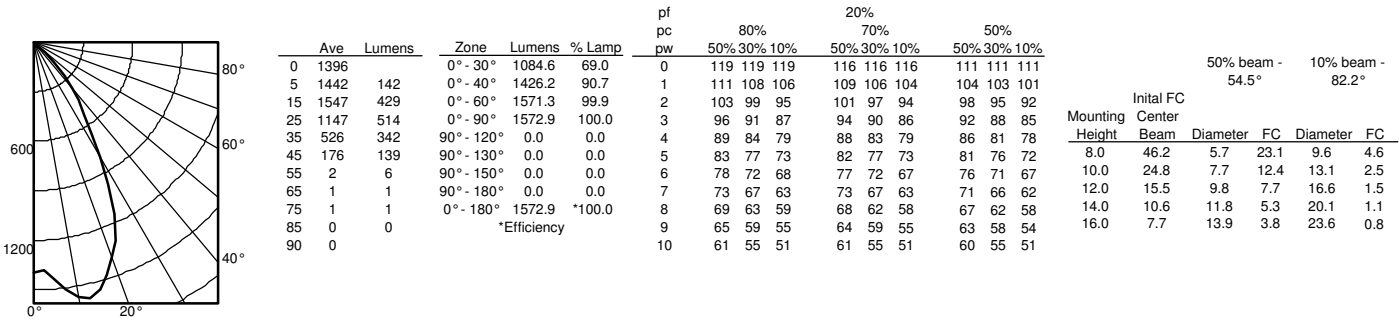
PHOTOMETRY

Distribution Curve Distribution Data Output Data Coefficient of Utilization Illuminance Data at 30" Above Floor for a Single Luminaire

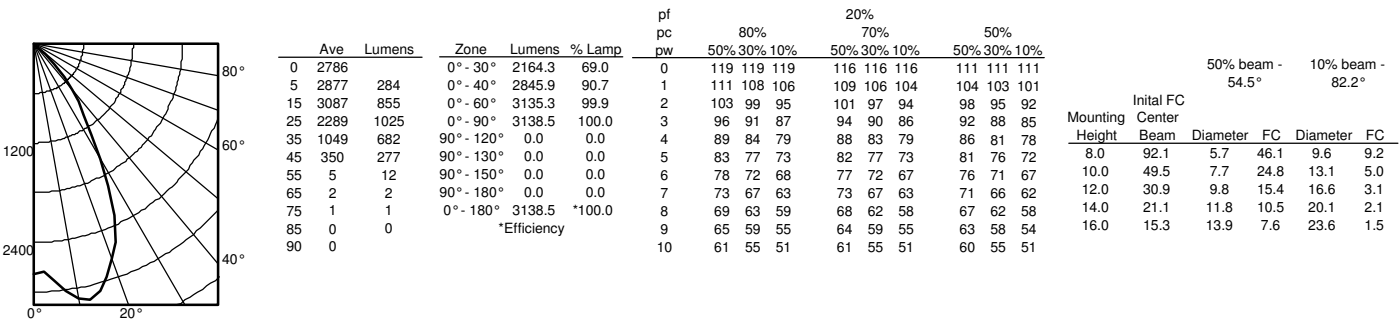
LDN6 35/10 L06AR, input watts: 10.44, delivered lumens: 987.10, LM/W = 94.54, spacing criterion at 0= 1.02, test no. ISF 30716P262.



LDN6 35/15 L06AR, input watts: 17.52, delivered lumens: 1572.9, LM/W = 89.77, spacing criterion at 0= 1.02, test no. ISF 30716P265.



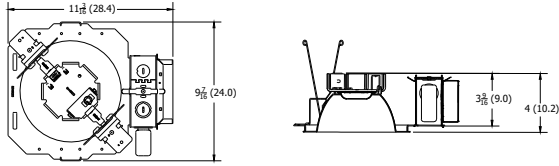
LDN6 35/30 L06AR, input watts: 34.75, delivered lumens: 3138.5, LM/W = 90.31, spacing criterion at 0= 1.02, test no. ISF 30716P274.



LDN6

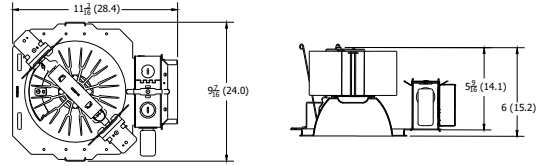
* All dimensions are inches (centimeters) unless otherwise noted.

LDN6 500 - 1500 LUMENS



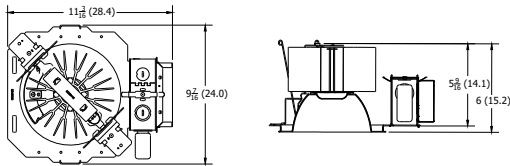
Aperture: 6-1/4 (15.9)
Ceiling Opening: 7-1/8 (18.1)
Overlap Trim: 7-1/2 (19.1)

LDN6 2000 - 3000 LUMENS



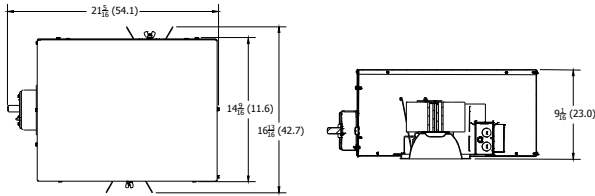
Aperture: 6-1/4 (15.9)
Ceiling Opening: 7-1/8 (18.1)
Overlap Trim: 7-1/2 (19.1)

LDN6 4000 - 5000 LUMENS



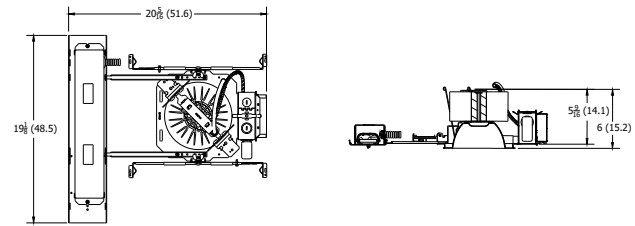
Marked Spacing: 24 x 24 x 10
Aperture: 6-1/4 (15.9)
Ceiling Opening: 7-1/8 (18.1)
Overlap Trim: 7-1/2 (19.1)

LDN6 CP



Aperture: 6-1/4 (15.9)
Ceiling Opening: 7-1/8 (18.1)
Overlap Trim: 7-1/2 (19.1)

LDN6 EL



Marked Spacing above 3000 Lumens: 24 x 24 x 10
Aperture: 6-1/4 (15.9)
Ceiling Opening: 7-1/8 (18.1)
Overlap Trim: 7-1/2 (19.1)

LDN6			
Nominal Lumens	Lumens	Wattage	Lm/W
500	527.9	5.8	90.5
750	758.1	8.9	85.1
1000	950.1	10.4	91.0
1500	1514	17.5	86.4
2000	2006	22.5	89.1
2500	2504	28.3	88.6
3000	3021	34.8	86.9
4000	4008	44.3	90.6
5000	4975	57.7	86.3

HOW TO ESTIMATE DELIVERED LUMENS IN EMERGENCY MODE

Use the formula below to estimate the delivered lumens in emergency mode

$$\text{Delivered Lumens} = 1.25 \times P \times \text{LPW}$$

P = Output power of emergency driver. P = 10W for PS1055CP

LPW = Lumen per watt rating of the luminaire. This information is available on the ABL luminaire spec sheet.

The LPW rating is also available at Designlight Consortium.

	LUMEN OUTPUT MULTIPLIERS - FINISH		
	Clear (AR)	White (WR)	Black (BR)
Specular (LS)	1.0	N/A	N/A
Semi-specular (LSS)	0.950	N/A	N/A
Matte diffuse (LD)	0.85	N/A	N/A
Painted	N/A	0.87	0.73

	LUMEN OUTPUT MULTIPLIERS - CCT				
	2700K	3000K	3500K	4000K	5000K
80CRI	0.950	0.966	1.000	1.025	1.101

Notes

- Tested in accordance with IESNA LM-79-08.
- Tested to current IES and NEMA standards under stabilized laboratory conditions.
- CRI: 80 typical.

ADDITIONAL DATA



The Sensor Switch JOT enabled solution offers a wireless, app-free approach to single room lighting control. JOT enabled products use Bluetooth® Low Energy (BLE) technology to enable wireless dimming and switching.

Diagram



LDN6 Series

Sensor Switch
WSXA JOT

- Power:** Install JOT enabled fixtures and controls as instructed.
- Pair:** Insert the pairing tool into the pinhole on the wall switch; press and hold any button for 6 seconds.
- Play:** Once paired, each fixture will individually dim down to 10% brightness. All products will be fully functional.

COMPATIBLE 0-10V WALL-MOUNT DIMMERS		
MANUFACTURER	PART NO.	POWER BOOSTER AVAILABLE
Lutron®	Diva® DDTV	
	Diva® DVSTCTV	
	Nova T® NTFTV	
	Nova® NFTV	
Leviton®	AWSMT-7DW	CN100
	AWSMG-7DW	PE300
	AMRMG-7DW	
	Leviton Centura Fluorescent Control System	
	IllumaTech® IP7 Series	
Synergy®	ISD BC	RDMFC
	SLD LPCS	
	Digital Equinox (DEQ BC)	
Douglas Lighting Controls	WPC-5721	
Entertainment Technology	Tap Glide TG600FAM120 (120V)	
	Tap Glide Heatsink TGH1500FAM120 (120V)	
	Oasis 0A2000FAMU	
Honeywell	EL7315A1019	EL7305A1010 (optional)
	EL7315A1009	
HUNT Dimming	Preset slide: PS-010-IV and PS-010-WH	
	Preset slide: PS-010-3W-IV and PS-010-3W-WH	
	Preset slide, controls FD-010: PS-IFC-010-IV and PS-IFC-010-WH-120/277V	
	Preset slide, controls FD-010: PS-IFC-010-3W-IV and PS-IFC-010-3W-WH-120/277V	
	Remote mounted unit: FD-010	
Lehigh Electronic Products	Solitaire	PBX
PDM Electrical Products	WPC-5721	
Starfield Controls	TR61 with DALI interface port	RT03 DALInet Router
WattStopper®	LS-4 used with LCD-101 and LCD-103	

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and out-of-the-box control compatibility with simple commissioning.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is part of an A+ Certified solution for nLight® control networks when ordered with drivers marked by a **shaded background***
- This luminaire is part of an A+ Certified solution for nLight control networks, providing advanced control functionality at the luminaire level, when selection includes driver and control options marked by a **shaded background***

To learn more about A+, visit www.acuitybrands.com/aplus.

*See ordering tree for details

LDN6

EXAMPLE

Group Fixture Control*

*Application diagram applies for fixtures with eldoLED drivers only.

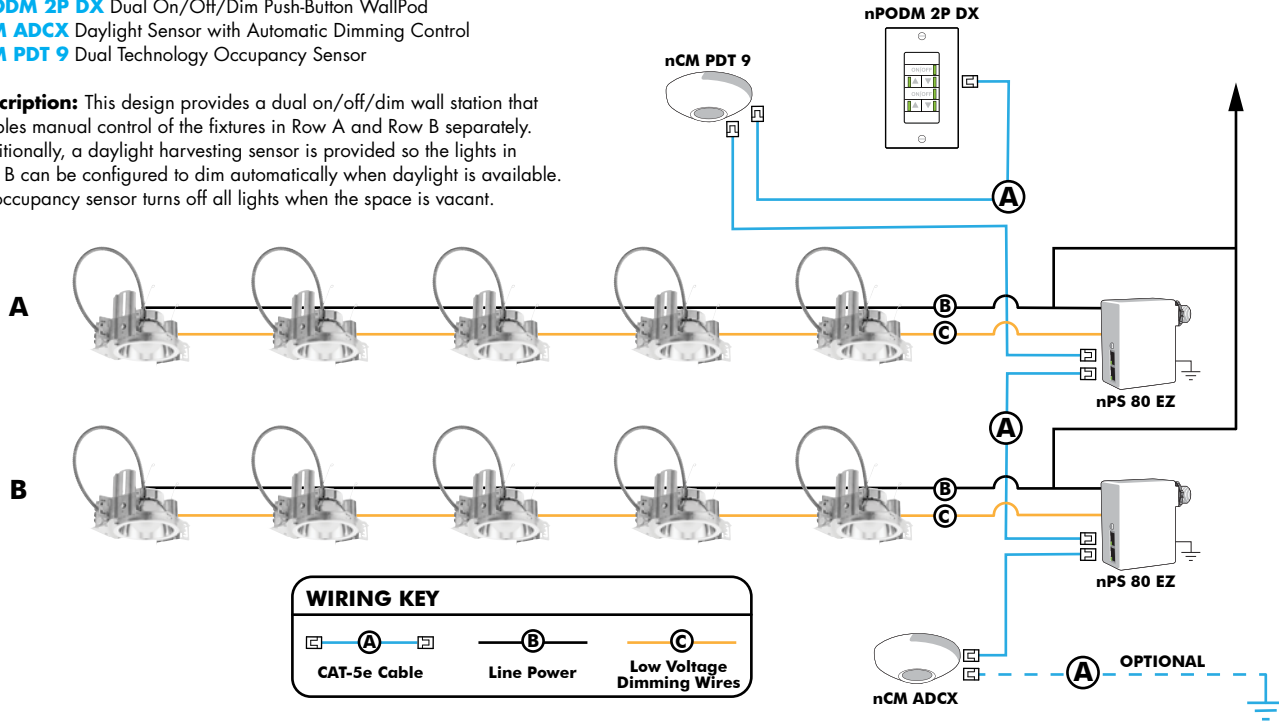
nPS 80 EZ Dimming/Control Pack (qty: 2 required)

nPODM 2P DX Dual On/Off/Dim Push-Button WallPod

nCM ADCX Daylight Sensor with Automatic Dimming Control

nCM PDT 9 Dual Technology Occupancy Sensor

Description: This design provides a dual on/off/dim wall station that enables manual control of the fixtures in Row A and Row B separately. Additionally, a daylight harvesting sensor is provided so the lights in Row B can be configured to dim automatically when daylight is available. An occupancy sensor turns off all lights when the space is vacant.



Choose Wall Controls

nLight offers multiple styles of wall controls - each with varying features and user experience.



Push-Button Wallpod
Traditional tactile buttons and LED user feedback



Graphic Wallpod
Full color touch screen provides a sophisticated look and feel

nLight® Wired Controls Accessories:

Order as separate catalog number. Visit www.acuitybrands.com/products/controls/nlight for complete listing of nLight controls.

WallPod Stations	Model number	Occupancy sensors	Model Number
On/Off	nPODM (Color)	Small motion 360°, ceiling (PIR/dual Tech)	nCM 9 / nCM PDT 9
On/Off & Raise/Lower	nPOD DX (Color)	Large motion 360°, ceiling (PIR/dual tech)	nCM 10 / nCM PDT 10
Graphic Touchscreen	nPOD GFX (Color)	Wide View (PIR/dual tech)	nWV 16 / nWV PDT 16
Photocell controls	Model Number	Wall Switch w/ Raise/Lower (PIR/dual tech)	nWSX LV DX / nWSX PDT LV DX
Dimming	nCM ADCX	Cat-5 cables (plenum rated)	Model Number
		10', CAT5 10FT	CAT5 10FT J1
		15', CAT5 15FT	CAT5 15FT J1

nLight® AIR Control Accessories:

Order as separate catalog number. Visit www.acuitybrands.com/products/controls/nlightair.

Wall switches	Model number
On/Off single pole	rPODB [color]
On/Off two pole	rPODB 2P [color]
On/Off & raise/lower single pole	rPODB DX [color]
On/Off & raise/lower two pole	rPODB 2P DX [color]
On/Off & raise/lower single pole	rPODBZ DX WH ¹

Notes

1 Can only be ordered with the RES7Z zone control sensor version.

nLight AIR

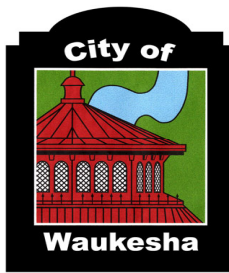
nLight AIR is the ideal solution for retrofit or new construction spaces where adding communication is cost prohibitive. The integrated nLight AIR rPP20 Power Pack is part of each Lithonia LDN Luminaire. These individually addressable controls offer the ultimate in flexibility during initial setup and for space repurposing.



Simple as 1,2,3

1. Install the nLight® AIR fixtures with embedded smart sensor
2. Install the wireless battery-powered wall switch
3. With CLAIRITY app, pair the fixtures with the wall switch and if desired, customize the sensor settings for the desired outcome





Attachment A - Application for Development Review Checklist

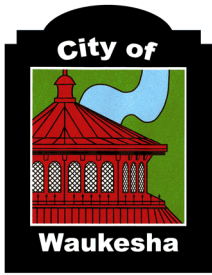
Project Name: Hawthorne Elementary School

Engineering Design Firm: Kapur Inc. - Civil Engineers

Muermann Engineering - Electrical Engineers

Checklist Items	CSM	Preliminary Plat	Final Plat	Property Survey for Bldg Permit	Storm Water Plan	Erosion Control Plan	Site, Grading, Drainage Plan	Street Plan	Utility Plan	Landscape Plan	Traffic Control Plan	Traffic Impact Analysis	Conditional Use or Home Indus.	PUD or Developer's Ag.	Minor site or Arch. Change	Conditional Use	Rezoning & Comp. Plan Change
Followed Construction Drawing Sheet Layout standards in Development Handbook						Yes	Yes	N.A.	N.A.	Yes							
Followed Development Handbook and Storm Water Ordinance standards for Erosion control plans						Yes											
Obtained geotechnical evaluation for storm water and pavement design					N.A.		N.A.	N.A.	N.A.								
Followed Development Handbook standards, and Wisconsin Administrative Code for Property Survey				N.A.													
Verified proposed basement floor elevation is at least 1 foot above the highest seasonal high water table elevation				N.A.													
Followed Development Handbook standards and Ordinance for Preliminary Plat		N.A.															
Followed Site, Grading, and Drainage Plan design standards in Development Handbook and Storm Water Ordinance							Yes						N.A.		N.A.	N.A.	N.A.
Followed Traffic impact analysis standards in Development Handbook												N.A.					
Specifications conform to current City Standard Specifications					N.A.	Yes	Yes	N.A.	N.A.	Yes	N.A.			N.A.			
Followed Lighting Plan standards in Development Handbook																	
Development site contains Contaminated Waste							No										
Followed storm water management requirements in Development Handbook, and Ordinance					N.A.												
Site contains mapped FEMA floodplain or a local 100-year storm event high water limits							N.A.										
Site contains wetlands or Natural Resource limits (ie. Primary, Secondary, Isolated , shoreland limits)							N.A.										
CSM follows standards in Development Handbook, City Ordinance, and State Statutes	N.A.																
Followed Development Handbook standards for Street plans and profiles								N.A.									
Followed Development Handbook standards for utility plans and profiles									N.A.								
Existing sanitary sewer lateral has been televised							N.A.		N.A.				N.A.		N.A.	N.A.	N.A.

Checklist Items	CSM	Preliminary Plat	Final Plat	Property Survey for Bldg Permit	Storm Water Plan	Erosion Control Plan	Site, Grading, Drainage Plan	Street Plan	Utility Plan	Landscape Plan	Traffic Control Plan	Traffic Impact Analysis	Conditional Use or Home Indus.	PUD or Developer's Ag.	Minor site or Arch. Change	Conditional Use	Rezoning & Comp. Plan Change
Development Agreement needed for Public Infrastructure														N.A.			
Followed Development Handbook standards for Landscape plans										Yes							
Followed Development Handbook standards, State Statutes and Ordinance for Final Plat			N.A.														
A-E 2.02(4): Each sheet of plans, drawings, documents, specifications and reports for architectural, landscape architectural, professional engineering, design or land surveying practice should be signed, sealed, and dated by the	N.A.	N.A.	N.A.	N.A.	N.A.	Yes	Yes	N.A.	N.A.	Yes		N.A.	N.A.	N.A.	N.A.	N.A.	N.A.
32.10(e)(12.)H. A cover sheet stamped and signed by a professional engineer registered in the State of Wisconsin indicating that all plans and supporting documentation have been reviewed and approved by the engineer and certifying that they have read					N.A.												
City, DNR, County or State Permits are needed					N.A.		N.A.	N.A.	N.A.		N.A.						
Complete and submit Plan Sheet and Submittal Specific checklists in Development Handbook	N.A.	N.A.	N.A.	N.A.	N.A.	Yes	Yes	N.A.	N.A.	Yes		N.A.					
Proposed easements needed are shown.	N.A.		N.A.		N.A.		N.A.	N.A.	N.A.								
All Existing easements are shown	N.A.	N.A.	N.A.	N.A.	N.A.	N.A.	N.A.	N.A.	N.A.	N.A.			N.A.	N.A.	N.A.	N.A.	N.A.



City of Waukesha
 Department of Public Works
 130 Delafield Street
 Waukesha, WI 53188
 Waukesha-wi.gov

Engineering Plan Checklist

Attachment B
 (Rev 12/18)

Project Name: Hawthorne Elementary School

Engineering & Design Firm: Kapur Inc. - Civil Engineers

General Information

Plans shall include the seal and signature of the Wisconsin licensed professional engineer responsible for the preparation of the construction plans on the cover sheet or on each sheet

YES	NO	N/A	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide a copy of the WisDOT permit for any work in the State of Wisconsin right of way.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide a copy of the Waukesha County Department of Public Works permit for any work in right of way of Waukesha County.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide a copy of Wisconsin Department of Natural Resources Water Resources Application for Project Permits (WRAPP) for all sites greater than one acre.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide a copy of US Army Corps of Engineers 404 permit.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide cross access agreements for use of entrances.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide off-site utility easements.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide hydraulic gradeline calculations for all storm sewer pipes signed and sealed by a professional engineer licensed in the State of Wisconsin.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide a storm water management plan and calculations signed and sealed by a professional engineer licensed in the State of Wisconsin.

All Plan Sheets

YES	NO	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Plans prepared on sheets measuring 11" high by 17" wide or no larger than 24" high by 36" wide.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Sanitary Sewer, watermain and storm sewer system plans for the entire development are included.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A profile view is located below a plan view on plan and profile sheets and both views are aligned by stationing whenever possible. In general, stationing is from left to right.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Plan and profile sheets start and terminate at match lines.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	The assumed bearing base, control monuments and stationing reference line(s)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Right-of-way limits and easement limits
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Edge of pavement or flange, face and back of curb
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Name of each existing, proposed, and future roadway and any intersecting roadways
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Lot lines, lot and block numbers
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Addresses and names of Owners for existing parcels

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	All obstructions located within the project limits including, but not limited to: trees, signs, utilities, fences, light poles, structures, etc.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A note warning that underground utilities must be located by "Diggers Hotline" prior to start of construction
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Legend (relevant to each sheet) showing all special symbols, line types and hatch used
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Title block includes at a minimum, the following information: Name and address of engineering (design) firm and owner/developer Date of the drawing and last revision Scale Plan sheet number (# of #) Name and location description of development
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	North to the top or right of the sheet and shown by a north arrow, clearly shown without intrusion.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Scale of the plans 1" = 40' horizontally and 1" = 8' vertically for 11" by 17" plan sheets and 1" = 20' horizontally and 1" = 4' vertically for 22" by 34" sheets. Partial site plans have a scale of 1" = 20' or larger. The scale of details is such that the detail is clearly shown. The scale is shown with a line scale and text.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Existing surface objects indicated with screened lines and clearly labeled.

Cover Sheet

YES	NO	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Project title.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location Map (Proximity to two main streets minimum).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Index of all plan sheets
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	For large or phased subdivisions, a key map of layout and phases.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A minimum of two (2) current SEWRPC reference benchmarks. Survey documentation of tie to Wisconsin State Plane Coordinate System, South Zone (horizontal) and City of Waukesha datum (vertical) provided. Elevations shown based on City of Waukesha datum.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	All permanent or temporary benchmarks and elevations.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A description of the locations of the benchmarks; and the basis or origin of the vertical control network.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Date of plan preparation and applicable revision date(s)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	The following statement: " <i>All site improvements and construction shown on the plans shall conform to the City of Waukesha <u>Development Handbook & Infrastructure Specifications</u>. Where the plans do not comply, it shall be the sole responsibility and expense of the Developer to make revisions to the plans and/or constructed infrastructure to comply.</i> "

Roadway

YES	NO	N/A	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	For all new streets, a site specific geotechnical evaluation and pavement design submitted with the plans.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A separate detail sheet showing typical cross-sections for each roadway standard width and cul-de-sac if applicable.

Plan View

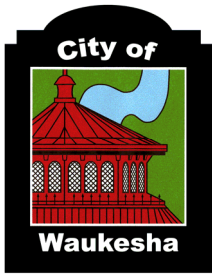
YES	NO	N/A	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	The assumed bearing base, control monuments and stationing reference line along the centerline of the roadway, including cul-de-sacs.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	At least one clearly labeled benchmark or control point per sheet.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Pavement and median dimensions.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Final grade elevations at 25' intervals at the right-of-way including at the edge of pavement for rural sections or at the flange of curb for urban sections.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Final grade elevations for cul-de-sacs at 25' intervals at the right-of-way including at the edge of pavement for rural sections or at the flange of curb for urban sections.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Label all PVC's, PVT's, and PC's, PT's for vertical and horizontal curves. Radii of all intersections (edge of pavement or flange of curb, with note indicating which is referenced).
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Driveways for all lots adjacent to storm inlets and intersections.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Sidewalks labeled and dimensioned.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Existing, proposed, future streets and drives labeled and dimensioned.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	All roadside ditch locations, flowline elevations at 50' intervals of the ditches.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Slope intercepts.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Invert profile for 200' downstream for any existing ditches receiving flow from a proposed road or street.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Limits of any areas which need special stabilization techniques.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Specific details of all existing connected roadways. Pavement, shoulders, ditches, curb alignment, and grades shall be shown as needed to adequately make the transition.

Intersection Details

YES	NO	N/A	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Radii of all intersections (edge of pavement or flange of curb, with note indicating which is referenced).
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Sidewalks and accessible ramps labeled and dimensioned.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Right of way corner clips and sight visibility easements.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Spot grades as necessary to ensure proper drainage and compliant ADA slopes.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Spot grades shall be shown at end of radius for all curb and gutter and the end radius for all back of sidewalk.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Drainage clarified by flow arrows, high points, sags, ridges, etc. Slope intercepts shall be clearly labeled by station, elevation to the nearest 0.1', and offset distance (left or right) from the reference line.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Invert elevation of ditches (for rural roadway).
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Final subgrade elevation at the centerline of the street or roadway.

Cross Sections

YES	NO	N/A	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Right of way limits.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Slope intercepts clearly labeled.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Elevations to the nearest 0.01'.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Offset distance (left or right) from the reference line.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Final grade elevations at back of walk, face of walk, top of curb, flange elevation (edge of pavement for rural section), and the centerline of the street or roadway.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Cross slope of sidewalk, terrace area, and roadway.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Invert elevation of ditches (for rural section)



City of Waukesha
 Department of Public Works
 130 Delafield Street
 Waukesha, WI 53188
 Waukesha-wi.gov

Site, Grading and Drainage Plan Conditional Use Permit Checklist

Attachment C
 (Rev 12/18)

Project Name: Hawthorne Elementary School

Engineering & Design Firm: Kapur Inc. - Civil Engineers

General Requirements

YES	NO	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Applicant's name
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Name and location of development
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Scale and north arrow
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Date of original and revisions noted
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	License number and professional seal
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Digital Drawings in AutoCAD format of the site layout & building plan layout
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Pay impact fees

Building Plans

YES	NO	N/A	
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Contact Community Development Department

Site Plans

YES	NO	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Dimensions of development site
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location, footprint, and outside dimensions
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Existing and proposed pedestrian access points
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Existing and proposed vehicular access points
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Parking lots, driveways shown
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Front, side and rear yard setbacks shown and labeled
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Location, identification and dimensions of all existing or planned easements
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Identification of all land to be dedicated
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Location, elevation, and dimensions of walls and fences
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location of outdoor lighting with lighting design plan and calculations
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Sign complies with City Code Book
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location of existing and proposed signs

Site Access

YES	NO	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Legal description or certified survey of property
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Development compatible with its zoning district
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Sidewalks to be shown
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Site entrance drive dimensions
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Individual development vehicular entrances at least 125 feet apart
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Adjacent development share driveway where possible
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	At least one vehicular and pedestrian access point to each adjoining site granted by cross easements
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Cross access to be provided with minimum paved width of 24 feet
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Design detail for all new public streets

Parking/Traffic

YES	NO	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	5-foot wide (min) paved walkway to building entrance
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	7-foot parking separation from front of building
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Minimum parking spaces provided
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Service truck parking in designated service areas
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Parking spaces and layout dimensioned
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Lot paved with HMA or concrete
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Handicap parking provided
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Minimum required stacking distance
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Concrete curb and gutter around parking lot

Grading and Drainage Plans

YES	NO	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Show existing tree lines and any obstructions (fences, structures, power poles, etc.) within the project limits.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	All proposed lot lines and lot numbers or addresses
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Lot line dimensions
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Outline of buildable areas for each lot
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Typical setbacks of buildable area to front, side and back lot lines
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	All existing buildings, structures and foundations
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	All existing drainage channels and watercourses
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Emergency overflow routes
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Drainage clarified by flow arrows, high points, sags, ridges, and valley gutters
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Proposed retaining wall locations with top and bottom of wall elevations at key locations
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	100-year flood plain limit (both pre-and post-project)
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	100-year storm water surface elevation
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Wetlands. Wetland limits labeled with bearings and distances and dimensioned to lot lines. Bearings and distances may be shown in tabulated format.

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	All environmental corridors, & or environmentally sensitive areas as required by DNR
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	All existing and proposed easements.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Existing topography of the site and all areas within 50 feet of the site shown at a one foot contour interval using City of Waukesha datum. Existing contours shown as thin, dashed screened or grey lines with a readily discernable heavier line used for the 5-foot contour intervals.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Proposed grading shown at a contour interval of 1 foot using City of Waukesha datum. Proposed contour lines shown as solid medium lines, with a discernible heavier line use for the 5-foot contour intervals.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	The yard grade and first floor elevation of proposed building and any existing buildings located within 150 feet of the parcel boundary.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Proposed road(s), curb and gutter, all storm sewer grates and storm sewer manholes (or cross-culverts for open ditches). Show any off-road storm inlets and discharge locations with surface entry elevations.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Spot grades as necessary to ensure proper drainage and compliant ADA slopes and routing where applicable.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	At front setback line show a typical house shell on each lot and the proposed yard grade to the nearest tenth of a foot (assumed to be 0.7' below the top of block) for each building. Show proposed finished elevations to the nearest tenth of a foot at all lot corners and alongside lot lines adjacent to the front and back corners of the typical house. Show proposed finished elevations to the nearest tenth of a foot at high and low points along any side or back lot lines, and at high and low points if roads to demonstrate proposed drainage.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	The grading plan for any house that will require special design due to topography, clearly show separate grades for the garage and yard grade if extra steps are needed. Separate spot finish elevations shown for rear or side exposure or walkout.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indicate minimum finished floor elevations adjacent to floodplains, ponds, creeks/channels, etc.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Proposed storm inlets shown on each grading plan. Each plan also includes specific details on all applicable retention/detention basins, ponds, overflows, etc. Separate sheets or notes as required.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Locations of existing and proposed streets, drives, alleys, easements, right-of-way, parking as required, vehicular and pedestrian access points, and sidewalks
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Outline of any development stages
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Location and details on any required emergency access roads
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Soil characteristics
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Existing and proposed topography shown for the site and or adjacent properties
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Floodplain, shore land, environmental and wetlands shown
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Location and dimensions of on-site storm water drainage facilities
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location and footprint of all existing buildings
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Locations and species of existing trees
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Berm detail
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Lot grades and swales shown
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Drainage calculations provided

Erosion Control

YES	NO	N/A	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location Map
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Soils Survey Map
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Existing Land Use Mapping
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Predeveloped Site Conditions
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"> Existing contours
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"> Property lines
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"> Existing flow paths and direction
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<ul style="list-style-type: none"> Outlet locations
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<ul style="list-style-type: none"> Drainage basin divides and subdivides
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<ul style="list-style-type: none"> Existing drainage structures on and adjacent to the site
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<ul style="list-style-type: none"> Nearby watercourses
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<ul style="list-style-type: none"> Lakes, streams, wetlands, channels, ditches, etc.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<ul style="list-style-type: none"> Limits of the 100-year floodplain
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Practice location/layout/cross sections
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Construction Details
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Name of receiving waters
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Site description/Nature of construction activity
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Sequence of construction
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Estimate of site area and disturbance area
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Pre- and post-developed runoff coefficients
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Description of proposed controls, including
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<ul style="list-style-type: none"> Interim and permanent stabilization practices
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<ul style="list-style-type: none"> Practices to divert flow from exposed soils
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<ul style="list-style-type: none"> Practices to store flows or trap sediment
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<ul style="list-style-type: none"> Any other practices proposed to meet ordinance
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Existing topography of the site and all areas within 50 feet of the site shown at a one foot contour interval using City of Waukesha datum. Existing contours shown as thin, dashed screened or grey lines with a readily discernable heavier line used for the 5-foot contour intervals.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Proposed grading shown at a contour interval of 1 foot using City of Waukesha datum. Proposed contour lines shown as solid medium lines, with a discernible heavier line use for the 5-foot contour intervals.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	List the total disturbed acreage including offsite areas.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide free survey in accordance with City Erosion Control Ordinance
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Proposed limits of disturbance including proposed tree cutting areas.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Location and dimensions of all temporary topsoil and dirt stockpiles.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location and dimensions of all appropriate best management practices (BMP).
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Phasing of BMP's with the construction activities listed / described.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Schedule of anticipated starting and completion date of each land disturbing and land developing activity, including the installation of the BMP measures that are needed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Location of all channels, pipes, basins or other conveyances proposed to carry runoff to the nearest adequate outlet, including applicable design assumptions and computations.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Areas to be sodded or seeded and mulched or otherwise stabilized with vegetation, describing the type of final vegetative cover.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Areas of permanent erosion control (other than vegetation).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Boundaries of the construction site
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Drainage patterns/slopes after grading activities
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Areas of land disturbance
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Locations of structural and nonstructural controls
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Drainage basin delineations and outfall locations

Optional Submittals as Determined by Review Authority

YES	NO	N/A	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Traffic impact analysis
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Environmental impact statement
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Soil and Site Evaluation Report per DNR Technical Standard 1002
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Plot of effect of exterior illumination on site and adjacent properties
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Description of any unusual characteristics
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Street perspectives showing view corridors
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Historic site
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Economic feasibility study
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Contaminated Waste Site

I hereby certify that I have reviewed the City ordinances and provided one (1) full-sized set of all required information along with all the required reduced copies of plans.

Applicant's Signature: _____



City of Waukesha
 Department of Public Works
 130 Delafield Street
 Waukesha, WI 53188
 Waukesha-wi.gov

Landscape Plan Checklist

Attachment I
 (Rev 04/18)

Project Name: Hawthorne Elementary School

Engineering & Design Firm: Kapur Inc. - Civil Engineers

Contact Community Development Department for Requirements

Listed below are general design considerations only:

YES	NO	N/A	
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Show easements
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location and footprint of any and all buildings
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Dimensions of development site along property line
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Existing and proposed streets
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Pedestrian and vehicular access points
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Location and dimensions of parking lots, etc.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Location and dimensions of all existing or planned easements
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Location and dimensions of snow removal and storage areas
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location and dimensions of outdoor lighting fixtures
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Interior parkway provided
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Parkway provided
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Buffer strip provided
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Dumpster enclosure details
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Parking lot landscaping
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Utility/mechanical equipment screened
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Service area screened
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Location of freestanding signs
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Walls and fences shown
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Location of utilities
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Existing and proposed contours and grades, including berm elevations
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location, name and size of proposed plant materials
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Specifications of all types of all proposed ground cover, i.e., seed, sod, etc.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location, species, and size of existing trees
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Clear identification of trees to be removed
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Square footage of parking lot area
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Tree protection plan