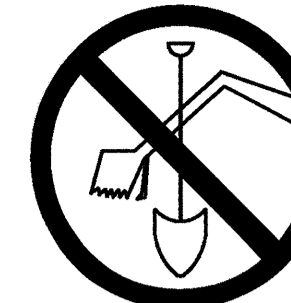


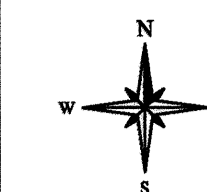
AEROSHADE REDEVELOPMENT

TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN



CALL DIGGERS HOTLINE
811 OR 1-800-242-8511 TOLL FREE
WIS STATUTE 182.0175(1974) REQUIRES MIN. 3
WORK DAYS NOTICE BEFORE YOU EXCAVATE
MILW. AREA 1-414-298-1181

NOTE: The location and size of the underground structures and utilities shown hereon have been located to a reasonable degree of accuracy, but the Engineer and/or Surveyor does not guarantee their exact location or the location of others not shown. Contact Diggers Hotline, Inc., Etc.



DRAWN BY: K.D. | CHECKED BY: P.J. J.F. | JOB NUMBER: 22-9605 | DATE: 04-08-2020
711 WEST MORELAND BOULEVARD, WAUKESHA, WISCONSIN 53188
PHONE #: (262) 542-5797 - EMAIL: SURVEY@JAHNKEANDJAHNKE.COM
WEBSITE: JAHNKEANDJAHNKE.COM

LEGEND:

- | | | | |
|--|---------------------------|--|--------------------------|
| | BENCHMARK | | EX. STORM MANHOLE |
| | EX. PK NAIL | | EX. CATCH BASIN ROUND |
| | EX. IRON PIPE | | EX. CATCH BASIN SQUARE |
| | EX. MONUMENT | | EX. INVERT |
| | EX. FLAG POLE | | EX. ELECTRIC METER |
| | EX. BOLLARD | | EX. ELECTRIC PEDESTAL |
| | EX. WATER MANHOLE | | EX. AIR CONDITIONER |
| | EX. HYDRANT | | EX. ELECTRIC TRANSFORMER |
| | EX. WATER VALVE | | EX. ELECTRIC MANHOLE |
| | EX. SPRINKLER VALVE | | EX. LIGHTPOLE |
| | PROP. SAW CUT | | EX. POWER POLE |
| | EX. RETAINING WALL | | EX. PULL BOX |
| | EX. UNDERGROUND WATER | | EX. GUY WIRE |
| | EX. STORM SEWER | | EX. TELEPHONE MANHOLE |
| | EX. SANITARY LINE | | EX. TELEPHONE PEDESTAL |
| | EX. UNDERGROUND GAS | | EX. UTILITY MANHOLE |
| | EX. OVERHEAD WIRE | | EX. GAS METER |
| | EX. UNDERGROUND ELECTRIC | | EX. GAS VALVE |
| | EX. FIBER OPTIC CABLE | | EX. CLEAN OUT |
| | EX. UNDERGROUND TELEPHONE | | EX. SANITARY MANHOLE |
| | EX. CABLE TV UNDERGROUND | | EX. SEPTIC VENT |
| | EX. CONTAMINATED AREA | | |

PART OF THE NW 1/4 OF THE SE 1/4 OF SECTION 2, TOWN 6 NORTH, R 19 EAST
CITY OF WAUKESHA, WAUKESHA COUNTY, WISCONSIN

PROJECT CONTACTS:

OWNER/DEVELOPER: AEROSHADE INC.
ATTN: DAVID DUVALL
P.O. BOX 559
WAUKESHA, WI 53187

ENGINEER/SURVEYOR: JAHNKE AND JAHNKE ASSOCIATES, LLC.
ATTN: JOHN R. STIGLER, R.L.S.
JOHN FERRIS, P.E.
711 MORELAND BOULEVARD
WAUKESHA, WI 53188
TELE: (262) 542-5797
E-MAIL: JFerris@jahnkeandjahnke.com

ALL SITE IMPROVEMENTS AND CONSTRUCTION SHOWN ON THE PLANS SHALL CONFORM TO THE CITY OF WAUKESHA DEVELOPMENT HANDBOOK & INFRASTRUCTURE SPECIFICATIONS. WHERE THE PLANS DO NOT COMPLY, IT SHALL BE THE SOLE RESPONSIBILITY AND EXPENSE OF THE DEVELOPER TO MAKE REVISIONS TO THE PLANS AND/OR CONSTRUCTED INFRASTRUCTURE TO COMPLY.

REFERENCE BEARING: THE WEST LINE OF THE SE 1/4, SEC. 2-6-19 HAS A BEARING OF N00°42'53"E BASED ON THE WISCONSIN STATE PLANE COORDINATE SYSTEM (SOUTH ZONE, NAD-27)

REFERENCE BENCHMARK: THE CENTER OF SECTION 2-6-19, AKA NW CORNER OF THE SE 1/4 OF SECTION 2 CONCRETE MONUMENT WITH SEWRPC BRASS CAP

ELEV = 850.81 (NGVD-29) / 70.25 (CWD)

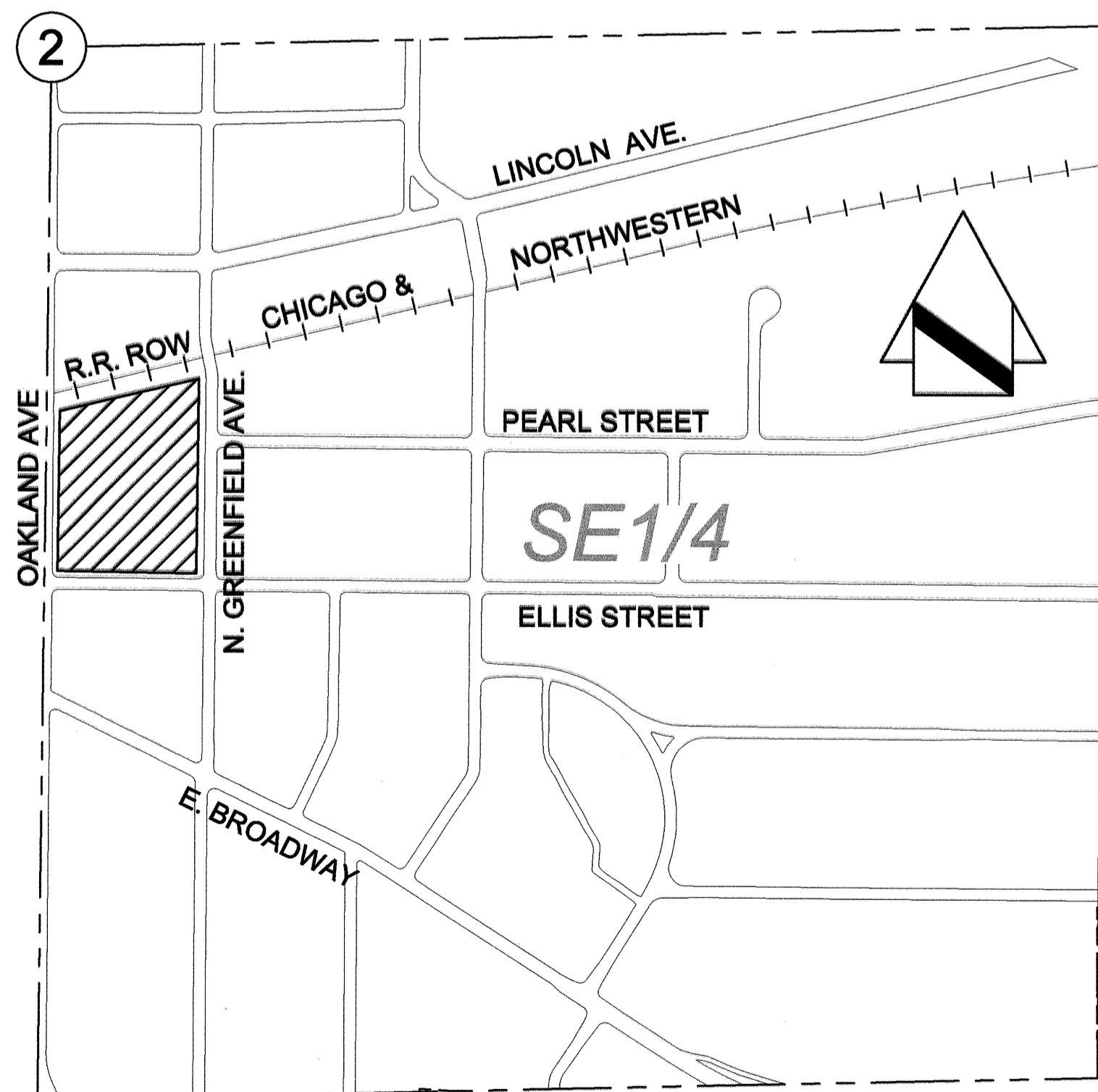
THE SOUTH QUARTER CORNER 2-6-19, AKA SW CORNER OF THE SE 1/4 OF SECTION 2 CONCRETE MONUMENT WITH SEWRPC BRASS CAP

ELEV = 878.31 (NGVD-29) / 97.68 (CWD)

John B. Ferris
JOHN B. FERRIS
E-25763
REG. PROFESSIONAL ENGINEER
4/20/2022

PROJECT ENGINEER

I HAVE REVIEWED AND APPROVE ALL OF THE PLANS AND SUPPORTING DOCUMENTS. I CERTIFY THAT I HAVE READ THE REQUIREMENTS OF THE ORDINANCE AND THAT, TO THE BEST OF MY KNOWLEDGE, THE SUBMITTED COMPLY WITH THE REQUIREMENTS.



VICINITY MAP
SE 1/4 OF SEC. 2, T6N, R19E
SCALE: 1" = 400'

BENCHMARK TABLE

Point Number	Station	Northing	Easting	Elevation	Description
19	1+96.7, 17' LT	3749.70	4971.48	71.601	Oakland Ave. City BM
292	1+39.8, 19.3' RT	3692.47	5007.33	73.403	Oakland Ave. Const Hyd BM
323	4+29.6, 22.2' RT	3982.29	5012.50	71.282	Oakland Ave. Const Hyd BM
5147	5+79.7, 44.3' RT	4132.15	5035.89	69.369	Oakland Ave. PK fnd, on Asph Trail Coring in Pavement
NA	12+58.2, 19.8' LT	3666.24	5447.15	78.581	Ellist St. City BM
66	25+01.6, 17.3' LT	4048.78	5388.31	76.658	N Greenfield Ave. City BM

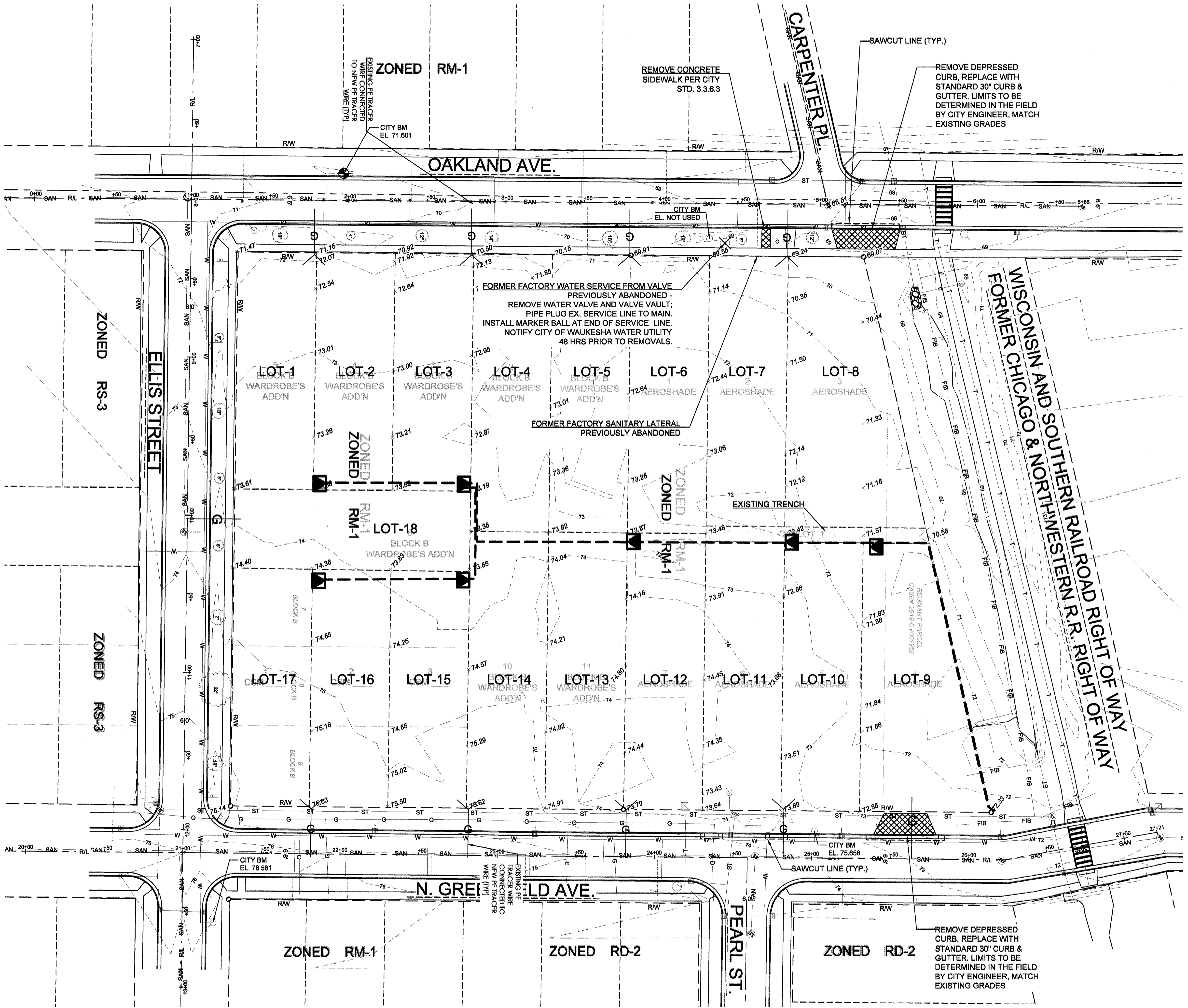
INDEX OF SHEETS

SHEET	
1	COVER SHEET
2	EXISTING SITE & DEMOLITION PLAN
3	SITE PLAN
4	UTILITY PLAN
5	GRADING PLAN
6	EROSION CONTROL PLAN
7	UTILITY PLAN - OAKLAND PLAN & PROFILE
8	UTILITY PLAN - ELLIS PLAN & PROFILE
9	UTILITY PLAN - GREENFIELD PLAN & PROFILE
10	SIDEWALK PLAN
11	CONSTRUCTION DETAILS
12	CONSTRUCTION DETAILS
-	
-	

COVER SHEET

PART OF THE NW 1/4 OF THE SE 1/4 OF SECTION 2,
T6N, R19E
CITY OF WAUKESHA, WAUKESHA COUNTY, WI

REVISIONS



REQUIREMENTS FOR WORK IN CITY RIGHT-OF-WAY

- ALL WORK SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, 2019 EDITION AND THE CITY OF WAUKESHA SPECIFICATIONS PER SECTION 1.3.9 THRU 1.3.9.2.
- ADDITIONAL REQUIREMENTS PER PERMIT, BUT WILL INCLUDE CITY OF WAUKESHA SPECIFICATIONS PER SECTION 1.3.11 THRU 1.3.20.2 FOR GENERAL CONSTRUCTION.

LEGEND:

	EX. MONUMENT FOUND		EX. SANITARY MANHOLE
	EX. IRON PIPE FOUND		EX. UTILITY MANHOLE
	EX. IRON ROD FOUND		EX. CLEAN OUT
	EX. IRON PIPE		EX. ELECTRIC METER
	EX. WOODEN POST		EX. GAS METER
	EX. METAL POST		EX. POWER POLE
	EX. POST		EX. GUY WIRE
	EX. RETAINING WALL		EX. LIGHT POLE
	EX. FENCE		EX. LIGHT
	EX. SANITARY SEWER		EX. WELL
	EX. STORM SEWER		EX. FLAG POLE
	EX. UNDERGROUND GAS LINE		EX. SIGN
	EX. UNDERGROUND WATER MAIN		EX. BASKETBALL HOOP
	EX. UNDERGROUND TELEPHONE		EX. DECIDUOUS TREE
	EX. 1-FOOT CONTOUR		EX. CONIFEROUS TREE
	EX. 5-FOOT CONTOUR		TREE TO BE REMOVED
	ELECTRIC LINE		ELECTRIC TRANSFORMER
	GAS LATERAL		EXISTING TRENCH

REFERENCE BEARING: THE WEST LINE OF THE SE 1/4, SEC. 2-8-19 WAS USED AS THE REFERENCE BEARING AND HAS A BEARING OF N00°42'53"E (SOUTH ZONE, NAD-27)

BENCH MARK: THE CENTER OF SECTION 2-8-19 WAS USED AS THE REFERENCE BENCHMARK AND HAS AN ELEVATION OF 850.81 (NGVD-29) / 70.25 (CVD)



NOTE: The location and size of the underground structures and utilities shown hereon have been located to a reasonable degree of accuracy, but the Engineer and/or Surveyor does not guarantee their exact location or the location of others not shown.

Contact Diggers Hotline, Inc., Etc.

CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

USE PREVIOUS EDITIONS UNLESS SPECIFICALLY NOTICED OTHERWISE

MILW. AREA 259-1181

John B. Ferris
PROFESSIONAL ENGINEER
No. 25783
WISCONSIN
4-11-2022

SCALE IN FEET
0 30

DRAWN BY: KOD CHECKED BY: J.F. JOB NUMBER: 22-9605 DATE: 04-08-2022

JAHNKE & JAHNKE ASSOCIATES, L.L.C.
ENGINEERS - PLANNERS - SURVEYORS
ENGINEERING SOLUTIONS SINCE 1964

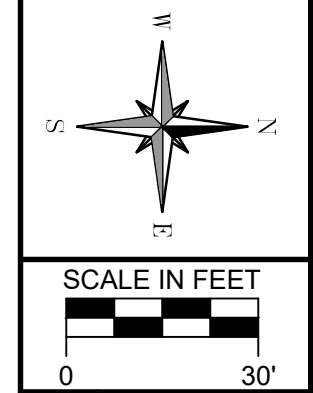
711 WEST MORELAND BOULEVARD, WAUKESHA, WISCONSIN 53188
PHONE #: (262) 542-5797 - EMAIL: SURVEY@JAHNKEANDJAHNKE.COM
WEBSITE: JAHNKEANDJAHNKE.COM

EXISTING SITE PLAN

AEROSHADE REDEVELOPMENT
PART OF THE SE 1/4 OF SECTION 2, T6N, R19E
CITY OF WAUKESHA, WAUKESHA COUNTY, WI.

REVISIONS
REVISED: MAY 5, 2020
REVISED: APRIL 11, 2022
SHEET:
02 OF 12

FILE NAME: S:\projects\22-9605 SD - Aeroshade\DWG\22-960502 CIVIL.DWG



DATE: 04-08-2020
 JOB NUMBER: 22-9605
 CHECKED BY: J.F.
 DRAWN BY: KDD

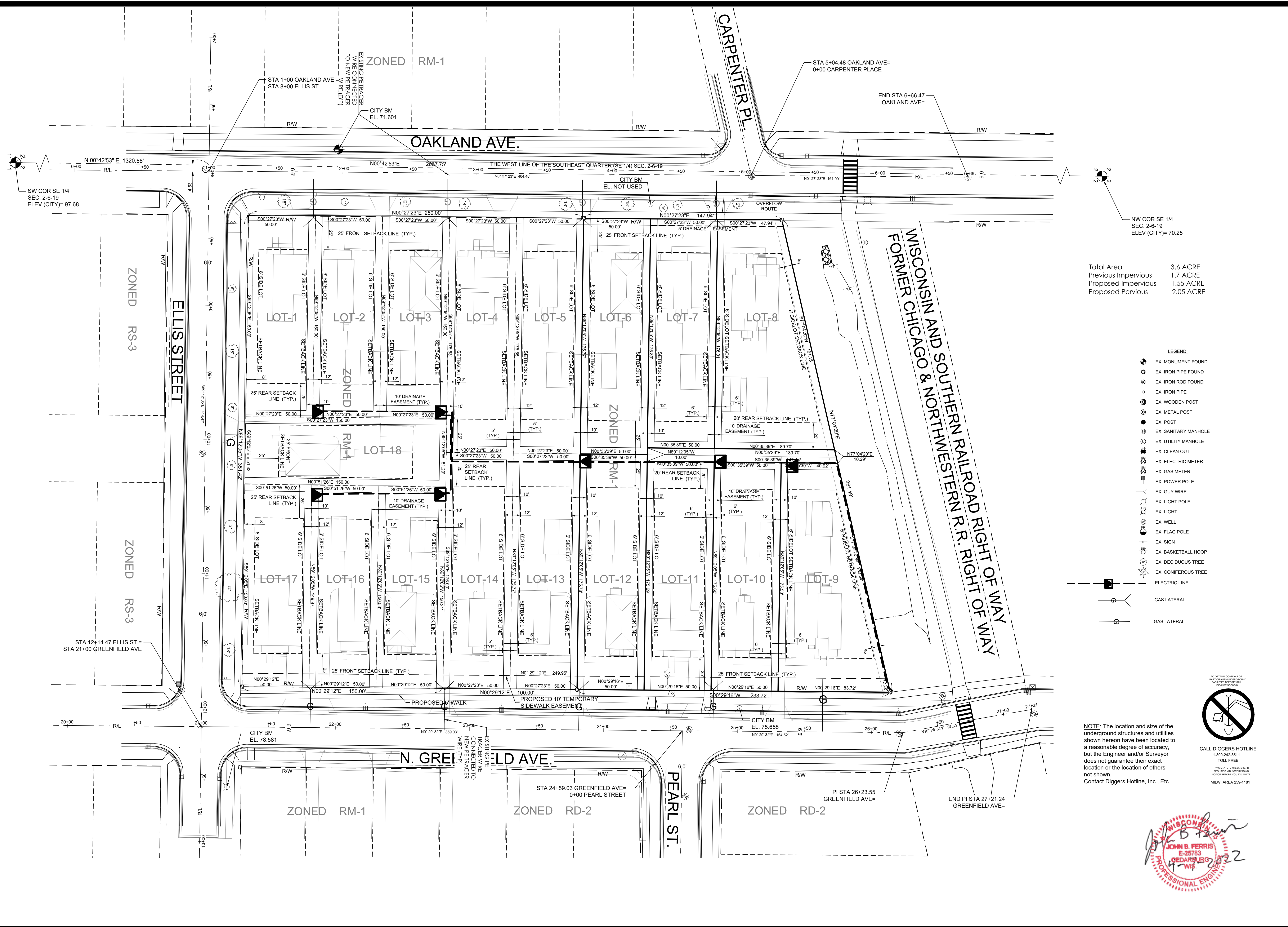
711 WEST MORELAND BOULEVARD, WAUKESHA, WISCONSIN 53188
 PHONE #: (262) 542-5797 · EMAIL: SURVEY@JAHNK&JAHNKE.COM
 WEBSITE: JAHNK&JAHNKE.COM

JAHNKE & JAHNKE ASSOCIATES, L.L.C.
 ENGINEERS-PLANNERS-SURVEYORS
 ENGINEERING SOLUTIONS SINCE 1964

SITE PLAN
 AEROSHADE REDEVELOPMENT
 PART OF THE SE 1/4 OF SECTION 2, T6N, R19E
 CITY OF WAUKESHA, WAUKESHA COUNTY, WI.

REVISIONS
 REVISED: MAY 5, 2020
 REVISED: APRIL 11, 2022

SHEET:
03 OF **12**



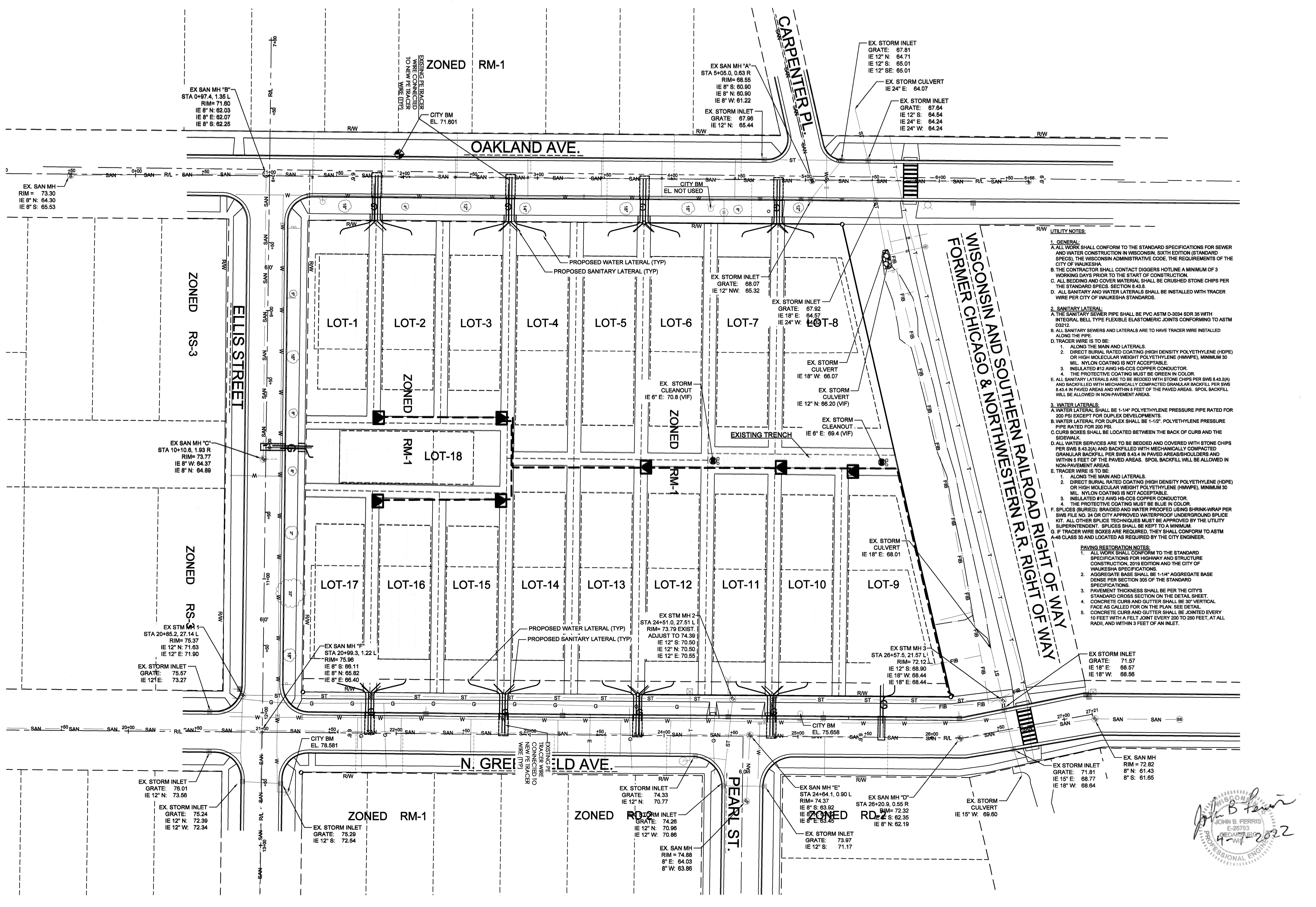
Total Area 3.6 ACRE
 Previous Impervious 1.7 ACRE
 Proposed Impervious 1.55 ACRE
 Proposed Pervious 2.05 ACRE

- LEGEND:**
- EX. MONUMENT FOUND
 - EX. IRON PIPE FOUND
 - EX. IRON PIPE
 - EX. WOODEN POST
 - EX. METAL POST
 - EX. POST
 - EX. SANITARY MANHOLE
 - EX. UTILITY MANHOLE
 - EX. CLEAN OUT
 - EX. ELECTRIC METER
 - EX. GAS METER
 - EX. POWER POLE
 - EX. GUY WIRE
 - EX. LIGHT POLE
 - EX. LIGHT
 - EX. WELL
 - EX. FLAG POLE
 - EX. SIGN
 - EX. BASKETBALL HOOP
 - EX. DECIDUOUS TREE
 - EX. CONIFEROUS TREE
 - ELECTRIC LINE
 - GAS LATERAL
 - GAS LATERAL

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 Contact Diggers Hotline, Inc., Etc.

CALL DIGGERS HOTLINE
 1-800-242-8511
 TOLL FREE
 HAS STATE 160 DITCHING
 REQUIRED BY 1998 DNR
 NOTICE BEFORE YOU EXCAVATE
 MILWAU AREA 298-1181

John B. Ferris
JOHN B. FERRIS
 E-25783
 CEDARSBURG, WI
 PROFESSIONAL ENGINEER





SCALE IN FEET
0 30'

DRAWN BY: KDD	CHECKED BY: J.F.	JOB NUMBER: 22-9605	DATE: 04-08-2020
JAHNKE & JAHNKE ASSOCIATES, LLC. ENGINEERS, PLANNERS, SURVEYORS <small>ENGINEERING SOLUTIONS SINCE 1964</small>			
711 WEST MORELAND BOULEVARD, WAUKESHA, WISCONSIN 53188 PHONE # (262) 549-2400 FAX # (262) 549-2401 WEBSITE: JAHNKEANDJAHNKE.COM			



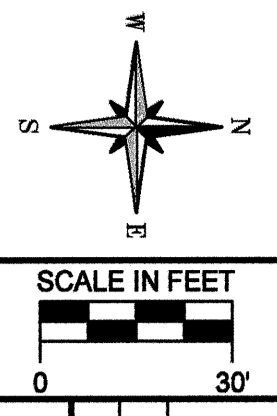
MASTER UTILITY PLAN
AEROSHADE REDEVELOPMENT
 PART OF THE SE 1/4 OF SECTION 2, T6N, R19E
 CITY OF WAUKESHA, WAUKESHA COUNTY, WI.

REVISIONS	REVISED: MAY 5, 2020 REVISED: APRIL 11, 2022
SHEET: 04 OF 12	



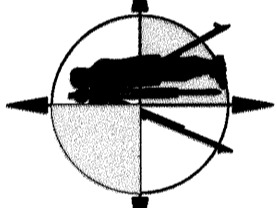
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- UTILITY NOTES:**
- GENERAL:**
 - ALL WORK SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, SIXTH EDITION (STANDARD SPECS), THE WISCONSIN ADMINISTRATIVE CODE, THE REQUIREMENTS OF THE CITY OF WAUKESHA.
 - THE CONTRACTOR SHALL CONTACT DIGGERS HOTLINE A MINIMUM OF 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
 - ALL BEDDING AND COVER MATERIAL SHALL BE CRUSHED STONE CHIPS PER THE STANDARD SPECS, SECTION 8.4.3.
 - ALL SANITARY AND WATER LATERALS SHALL BE INSTALLED WITH TRACER WIRE PER CITY OF WAUKESHA STANDARDS.
 - SANITARY LATERAL:**
 - THE SANITARY SEWER PIPE SHALL BE PVC ASTM D-3034 SDR 35 WITH INTEGRAL BELL TYPE FLEXIBLE ELASTOMERIC JOINTS CONFORMING TO ASTM D2122.
 - ALL SANITARY SEWERS AND LATERALS ARE TO HAVE TRACER WIRE INSTALLED ALONG THE PIPE.
 - TRACER WIRE IS TO BE:
 - ALONG THE MAIN AND LATERALS.
 - DIRECT BURIAL RATED COATING (HIGH DENSITY POLYETHYLENE (HDPE) OR HIGH MOLECULAR WEIGHT POLYETHYLENE (HMWPE), MINIMUM 30 MIL. NYLON COATING IS NOT ACCEPTABLE.
 - INSULATED #12 AWG HS-CCS COPPER CONDUCTOR.
 - THE PROTECTIVE COATING MUST BE GREEN IN COLOR.
 - ALL SANITARY LATERALS ARE TO BE BEDDED WITH STONE CHIPS PER SWS 8.43.2(A) AND BACKFILLED WITH MECHANICALLY COMPACTED GRANULAR BACKFILL PER SWS 8.43.4 IN PAVED AREAS AND WITHIN 5 FEET OF THE PAVED AREAS. SPOIL BACKFILL WILL BE ALLOWED IN NON-PAVEMENT AREAS.
 - WATER LATERALS:**
 - WATER LATERAL SHALL BE 1-1/4" POLYETHYLENE PRESSURE PIPE RATED FOR 200 PSI EXCEPT FOR DUPLEX DEVELOPMENTS.
 - WATER LATERAL FOR DUPLEX SHALL BE 1-1/2" POLYETHYLENE PRESSURE PIPE RATED FOR 200 PSI.
 - CURB BOXES SHALL BE LOCATED BETWEEN THE BACK OF CURB AND THE SIDEWALK.
 - ALL WATER SERVICES ARE TO BE BEDDED AND COVERED WITH STONE CHIPS PER SWS 8.43.2(A) AND BACKFILLED WITH MECHANICALLY COMPACTED GRANULAR BACKFILL PER SWS 8.43.4 IN PAVED AREAS/SIDEWALKS AND WITHIN 5 FEET OF THE PAVED AREAS. SPOIL BACKFILL WILL BE ALLOWED IN NON-PAVEMENT AREAS.
 - TRACER WIRE IS TO BE:
 - ALONG THE MAIN AND LATERALS.
 - DIRECT BURIAL RATED COATING (HIGH DENSITY POLYETHYLENE (HDPE) OR HIGH MOLECULAR WEIGHT POLYETHYLENE (HMWPE), MINIMUM 30 MIL. NYLON COATING IS NOT ACCEPTABLE.
 - INSULATED #12 AWG HS-CCS COPPER CONDUCTOR.
 - THE PROTECTIVE COATING MUST BE BLUE IN COLOR.
 - SPLICES (BURIED): BRAIDED AND WATER PROOFED USING SHRINK-WRAP PER SWS FILE NO. 24 OR CITY APPROVED WATER-PROOF UNDERGROUND SPLICE KIT. ALL OTHER SPLICE TECHNIQUES MUST BE APPROVED BY THE UTILITY SUPERINTENDENT. SPLICES SHALL BE KEPT TO A MINIMUM.
 - IF TRACER WIRE BOXES ARE REQUIRED, THEY SHALL CONFORM TO ASTM A-48 CLASS 30 AND LOCATED AS REQUIRED BY THE CITY ENGINEER.
- PAVING RESTORATION NOTES:**
- ALL WORK SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, 2019 EDITION AND THE CITY OF WAUKESHA SPECIFICATIONS.
 - AGGREGATE BASE SHALL BE 1-1/4" AGGREGATE BASE DENSE PER SECTION 305 OF THE STANDARD SPECIFICATIONS.
 - PAVEMENT THICKNESS SHALL BE PER THE CITY'S STANDARD CROSS SECTION ON THE DETAIL SHEET.
 - CONCRETE CURB AND GUTTER SHALL BE 30" VERTICAL FACE AS CALLED FOR ON THE PLAN. SEE DETAIL.
 - CONCRETE CURB AND GUTTER SHALL BE JOINTED EVERY 10 FEET WITH A FELT JOINT EVERY 200 TO 250 FEET, AT ALL RADII, AND WITHIN 3 FEET OF AN INLET.



DATE: 04-08-2020
 JOB NUMBER: 22-9605
 CHECKED BY: J.F.
 DRAWN BY: KDD
 711 WEST MORELAND BOULEVARD, WAUKESHA, WISCONSIN 53188
 PHONE #: (262) 542-5797 - EMAIL: SURVEY@JAHNKEANDJAHNKE.COM
 WEBSITE: JAHNKEANDJAHNKE.COM

JAHNKE & JAHNKE ASSOCIATES, L.L.C.
 ENGINEERS, PLANNERS, ARCHITECTS, SURVEYORS
 ENGINEERING SOLUTIONS SINCE 1964



MASTER GRADING PLAN
AEROSHADE REDEVELOPMENT
 PART OF THE SE 1/4 OF SECTION 2, T6N, R19E
 CITY OF WAUKESHA, WAUKESHA COUNTY, WI.

REVISIONS
 REVISED: MAY 6, 2020
 REVISED: APRIL 11, 2022
 SHEET:
05 OF 12

MINIMUM BASEMENT ELEVATION TABLE

LOT No.	BORING No.	SHOWN	MIN. ELEV.	BEE ELEV.
W4	7	61.7	62.7	65.2
W3	5	64.0	65.0	65.0
W2	5	64.0	65.0	65.0
W1	3	62.9	63.9	64.2
A1	3	62.9	63.9	63.9
A2	1	61.3	62.3	63.6
A3	1	61.3	62.3	63.8
A4	2	61.0	62.0	66.4
A5	2	61.0	62.0	66.7
A6	4	63.2	64.2	67.2
A7	4	63.2	64.2	67.7
W11	6	63.9	64.9	68.1
W10	6	63.9	64.9	68.1
C3	10	65.8	66.8	68.4
C2	8/10#	62.8/65.8#	66.8	68.7
C1	8	62.8	63.8	68.8
W6	9	65.2	66.2	67.9

* SEASONAL HIGH GROUND WATER ELEVATION
 # CRITICAL / CONTROLLING ELEVATION
 BFE BASEMENT FLOOR ELEVATION
 FFE 0.7 FT ABOVE FINISHED FLOOR ELEVATION
 F/G PAD FINISH GRADE ELEVATION

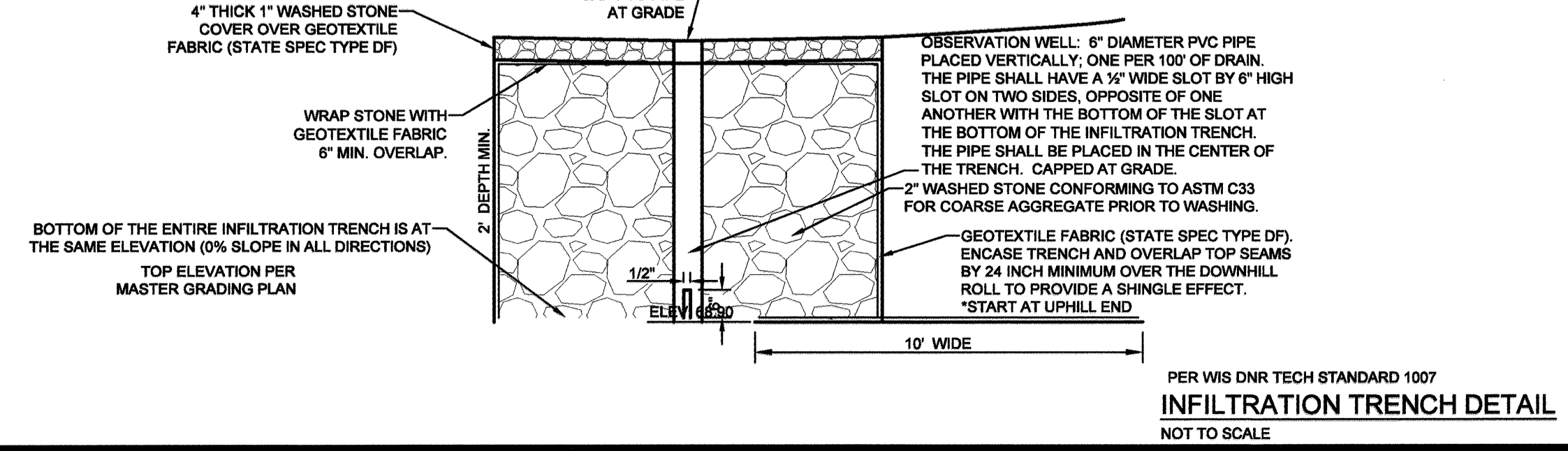
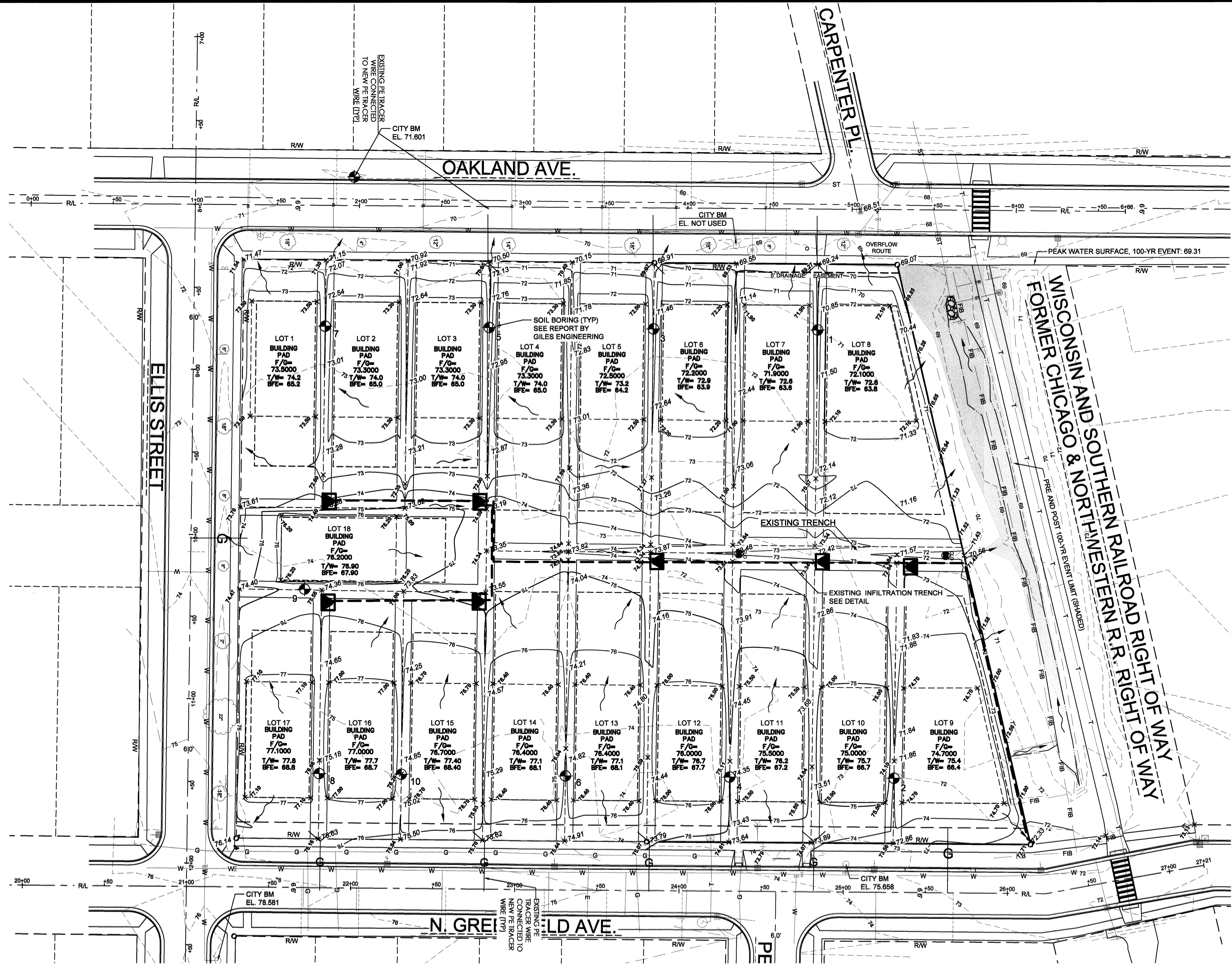
LOT NUMBERS / PLAT:
 A#: AEROSHADE
 W#: WARDROBE'S ADDITION
 C#: CSM

BFE ELEVATION (BASEMENT FLOOR) = F/G + 0.7' - 9'-0"
 BASEMENTS BASED ON THIS MASTER GRADING PLAN.

SEASONAL HIGH GROUND WATER ELEVATIONS PER GILES ENGINEERING ASSOCIATES REPORT 10-1708002, DATED JULY 10, 2017.

- LEGEND:**
- EX. MONUMENT FOUND
 - EX. IRON PIPE FOUND
 - EX. IRON ROD FOUND
 - EX. IRON PIPE
 - EX. WOODEN POST
 - EX. METAL POST
 - EX. POST
 - EX. RETAINING WALL
 - EX. FENCE
 - SAN SAN EX. SANITARY SEWER
 - ST EX. STORM SEWER
 - G EX. UNDERGROUND GAS LINE
 - 121 EX. 1-FOOT CONTOUR
 - 125 EX. 5-FOOT CONTOUR
 - 121 PR. 1-FOOT CONTOUR
 - 125 PR. 5-FOOT CONTOUR
 - EX. SPOT GRADE ELEV.
 - PR. SPOT GRADE ELEV.
 - ELECTRIC LINE
 - GAS LATERAL
 - GAS LATERAL
 - EX. SANITARY MANHOLE
 - EX. UTILITY MANHOLE
 - EX. CLEAN OUT
 - EX. ELECTRIC METER
 - EX. GAS METER
 - EX. POWER POLE
 - EX. GUY WIRE
 - EX. LIGHT POLE
 - EX. LIGHT
 - EX. WELL
 - EX. FLAG POLE
 - EX. SIGN
 - EX. BASKETBALL HOOP
 - EX. DECIDUOUS TREE
 - EX. CONIFEROUS TREE
 - EX. BORING LOCATION
 - OBSERVATION WELL

NOTE: The location and size of the underground structures and utilities shown hereon have been located to a reasonable degree of accuracy, but the Engineer and/or Surveyor does not guarantee their exact location or the location of others not shown.
 Contact Diggers Hotline, Inc., Etc.



HOME OWNERS ASSOCIATION NOTIFICATION:
 The Home Owners Association (HOA) and/or its agents, employees or independent contractors shall have the right to enter upon any lot, at any time following at least twenty four (24) hours advance written notice, for the purpose of inspection for compliance with the City Master Grading Plan. In the event a lot is not in compliance with the City Master Grading Plan, then the HOA shall give written notice to the owner of the non-compliant lot. If the owner of the non-compliant lot has not brought the lot into compliance with the City Master Grading Plan within thirty (30) days, then the HOA may enter onto the lot for the purposes of bringing such lot into compliance with the City Master Grading Plan, and may charge the lot owner for the necessary costs of such work, and may have a lien against the lot for the same. In the event that the HOA is not in existence or otherwise fails to act then any lot owner who is aggrieved by a failure to comply with the City Master Grading Plan may independently enforce this section by bringing an action in the Waukesha County Circuit Court, and the prevailing party in any such action will be entitled to recover its reasonable costs and attorney fees.

CONSTRUCTION SEQUENCE

1. INSTALL SILT FENCE, DITCH CHECKS, INLET PROTECTION AND TRACKING PAD. CONTINUOUS INSPECTIONS THROUGHOUT THE PROJECT. THE BUILDER SHALL INSPECT EROSION AND SEDIMENT CONTROL PRACTICES WEEKLY, AND WITHIN 24 HOURS AFTER EVERY RAIN EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE IN A 24 HOUR PERIOD. WRITTEN DOCUMENTATION OF EACH INSPECTION SHALL BE MAINTAINED AT THE CONSTRUCTION SITE AND SHALL INCLUDE THE TIME, DATE AND LOCATION OF INSPECTION, THE PHASE OF LAND DISTURBANCE AT THE CONSTRUCTION SITE, PERSON CONDUCTING THE INSPECTION, ASSESSMENT OF CONTROL PRACTICES, AND DESCRIPTION OF ANY EROSION OR SEDIMENT CONTROL MEASURE INSTALLATION OR MAINTENANCE PERFORMED IN RESPONSE TO THE INSPECTION. USE WISCONSIN DNR REPORT FORM 3400-187. REMEDY/REPAIR ANY ISSUE WITHIN 48 HOURS.
2. CLEAR AND GRUB SITE. TREES AND STUMPS SHALL BE REMOVED FROM SITE.
3. DEMOLISH BUILDING AND PARKING LOT IMMEDIATELY AND RESTORE DISTURBED AREAS WITH TEMPORARY SEEDING.
4. STRIP TOPSOIL AND GRADE SITE.
5. INSTALL INFILTRATION TRENCH AND IMMEDIATELY PROTECT IT WITH SEDIMENT LOG UPSTREAM.
6. INSTALL SIDEWALK.
7. FINISH GRADE SITE AND IMMEDIATELY RESTORE ALL DISTURBED AREAS WITH TOPSOIL, SEED AND EROSION MAT.
8. CONTRACTOR TO REMOVE AND DISPOSE OF ALL TEMPORARY EROSION CONTROL MEASURES ONCE THE SITE IS STABILIZED.

ESTIMATED START DATE: JUNE 2020
 ESTIMATED COMPLETION DATE: JUNE 2021
 ESTIMATED DISTURBED AREA = 3.558 ACRE
 ESTIMATED NEW IMPERVIOUS AREA = 1.293 ACRE

CONSTRUCTION SEQUENCE

THERE ARE TWO (2) PHASES TO THE AEROSHADE REDEVELOPMENT PROJECT. PHASE 1 IS THE INSTALLATION OF THE WATER, SEWER AND SIDEWALK INFRASTRUCTURE THAT WILL BE NEEDED TO SUPPORT THE DEVELOPMENT OF THE 18 RESIDENTIAL LOTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PHASE 1 CONSTRUCTION ACTIVITIES, INCLUDING EROSION CONTROL. PHASE 2, THE CONSTRUCTION OF THE INDIVIDUAL HOMES, WILL BE COMPLETED OVER A THREE (3) YEAR PERIOD. THE BUILDER OF EACH LOT SHALL BE RESPONSIBLE FOR PHASE 2 CONSTRUCTION ACTIVITIES, INCLUDING EROSION CONTROL. EROSION CONTROL PRACTICES TO BE INSTALLED DURING PHASE 1 AND PHASE 2 ARE AS FOLLOWS.

PHASE 1

1. CONTRACTOR SHALL INSTALL SILT FENCE, DITCH CHECKS AND INLET PROTECTION.
 - a. CONTRACTOR SHALL CONDUCT CONTINUOUS INSPECTIONS THROUGHOUT PHASE 1 AND PHASE 2. THE CONTRACTOR SHALL INSPECT EROSION AND SEDIMENT CONTROL PRACTICES WEEKLY, AND WITHIN 24 HOURS AFTER EVERY RAIN EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE IN A 24 HOUR PERIOD. WRITTEN DOCUMENTATION OF EACH INSPECTION SHALL BE MAINTAINED AND A DESCRIPTION OF MAINTENANCE PERFORMED IN RESPONSE TO THE INSPECTION.
2. INSTALL WATER AND SEWER UTILITIES.
3. INSTALL SIDEWALK.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR SWEEPING STREETS DAILY TO KEEP THEM CLEAN OF ACCUMULATED SOIL AND DEBRIS.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING EROSION CONTROL PRACTICES ONCE THE LOT HAS 70% OR MORE VEGETATED COVER.

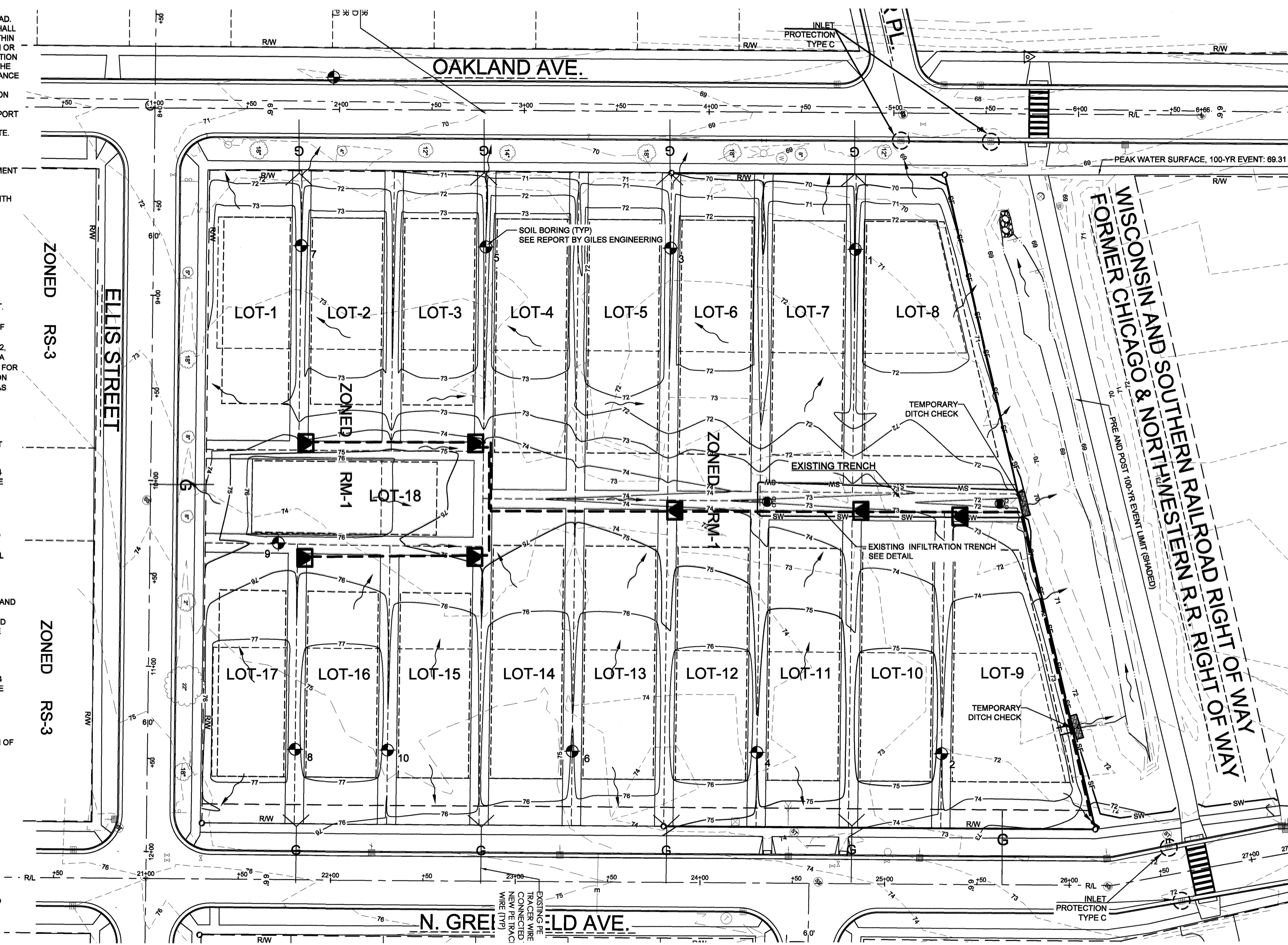
PHASE 2

1. EACH BUILDER OF EACH LOT SHALL BE RESPONSIBLE EROSION CONTROL AND GRADING OF THEIR LOT.
2. EROSION CONTROL PRACTICES WILL TYPICALLY INCLUDE, BUT NOT LIMITED TO, SILT FENCE SURROUNDING THE LOT AND A TRACKING PAD ALONG THE ALIGNMENT OF THE DRIVEWAY.
 - a. BUILDER SHALL BE RESPONSIBLE FOR CONTINUOUS INSPECTIONS THROUGHOUT PHASE 2. THE BUILDER SHALL INSPECT EROSION AND SEDIMENT CONTROL PRACTICES WEEKLY, AND WITHIN 24 HOURS AFTER EVERY RAIN EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE IN A 24 HOUR PERIOD. WRITTEN DOCUMENTATION OF EACH INSPECTION SHALL BE MAINTAINED AND A DESCRIPTION OF MAINTENANCE PERFORMED IN RESPONSE TO THE INSPECTION.
 - b. BUILDER SHALL SEED SOIL STOCKPILES WITH A COVER CROP OF ANNUAL RYE GRASS OR SUITABLE ALTERNATIVE.
3. BUILDER SHALL BE RESPONSIBLE FOR FINAL GRADING AND STABILIZATION OF THEIR LOT IN ACCORDANCE WITH THE PLAN.
4. BUILDER SHALL BE RESPONSIBLE FOR REMOVING EROSION CONTROL PRACTICES ONCE THE LOT HAS 70% OR MORE VEGETATED COVER.

ESTIMATED START DATE: JUNE 2022
 ESTIMATED COMPLETION DATE: JUNE 2025
 ESTIMATED DISTURBED AREA: 3.55 ACRE
 ESTIMATED NEW IMPERVIOUS AREA: 1.29 ACRE
 ESTIMATED NEW IMPERVIOUS PHASE 1 = 0.8 ACRES
 PHASE 2 = 1.25 ACRES

GRADING & EROSION CONTROL NOTES:

- A. ALL CONSTRUCTION PRACTICES TO COMPLY WITH THE CITY OF WAUKESHA AND THE WISCONSIN DNR TECHNICAL STANDARDS.
- B. ALL DISTURBED AREAS ON SITE SHALL BE TOPSOILED (4" THICK), SEEDED AND STABILIZED WITH ANCHORED MULCH FOR SLOPES FLATTER THAN 4:1. SLOPES OF 4:1 OR GREATER AND THE CHANNEL IN THE RAILROAD ROW SHALL BE STABILIZED WITH EROSION MAT CLASS II TYPE B.
- C. TEMPORARY STABILIZATION IS REQUIRED FOR ANY AREA LEFT INACTIVE FOR MORE THAN SEVEN DAYS. TOPSOIL AND SOIL STOCKPILES SHALL BE SEEDED AND MULCHED WITHIN 7 DAYS OF LAYUP USING AGRICULTURAL RYE WITH A SEEDING RATE OF 3 LBS/1000 SQUARE FEET. INSTALL SILT FENCE ON THE DOWNSLOPE SIDE OF THE PILE TO REDUCE SEDIMENT RUNOFF.
- D. ALL CONSTRUCTION TRAFFIC IS TO ENTER/EXIT THE SITE OVER THE TRACKING PAD. ALL PUBLIC AND PRIVATE STREETS ARE TO BE KEPT CLEAN AT ALL TIMES. THE STREETS ARE TO BE SWEEPED CLEAN, ONCE A DAY, AT A MINIMUM OR AS REQUIRED BY CITY.
- E. THE PERMANENT SEED MIXTURE SHALL BE WIS DOT SEED MIXTURE NO. 40 AND SOWN AT THE RATE OF 4 LBS/1000 SQ. FT. SEED MIXTURE NO. 40 CONSISTS OF 35% KENTUCKY BLUEGRASS, 20% RED FESCUE, 20% HARD FESCUE AND 25% IMPROVED FINE PERENNIAL RYEGRASS. THE TEMPORARY SEED MIX SHALL BE WINTER WHEAT.
- F. FERTILIZE SOIL WITH 10 LBS/1000 SQ. FT. OF 20-10-10 FERTILIZER.
- G. ANY DEWATERING THAT MAYBE REQUIRED DUE TO UTILITY CONSTRUCTION SHALL BE COMPLETED SO THAT THE WATER IS PUMPED INTO A TYPE II GEOTEXTILE BAG CONFORMING TO DNR TECHNICAL STANDARD 1081. THE GEOTEXTILE BAG SHALL BE PLACED ON VEGETATED/STABILIZED GROUND AND DISCHARGED TO A SEDIMENT BASIN OR TRAP. FILTER NO BASIN EXIST, THE GEOTEXTILE BAG SHALL BE PLACED ON FILTER FABRIC AND SURROUNDED BY A SEDIMENT BALE BARRIER CONFORMING TO WDNR TECHNICAL STANDARDS 1055.
- H. ALL BUILDING AND WASTE MATERIAL SHALL BE DISPOSED OF OFF SITE TO PREVENT RUNOFF OF MATERIAL INTO THE STORM SEWER SYSTEM.
- I. DUST CONTROL SHOULD BE ADDRESSED PER DNR TECHNICAL STANDARD 1088. AT A MINIMUM USE WATER. USE POLYMERS, TACKIFIER AND SOIL STABILIZERS IF NEEDED. INSPECT DAILY TO DETERMINE THE NEED TO IMPLEMENT A CONTROL.
- J. DITCH CHECKS SHALL BE CONSTRUCTED OUT OF SEDIMENT LOGS. SEDIMENT LOGS MAY ALSO BE SUBSTITUTED FOR SILT FENCE.



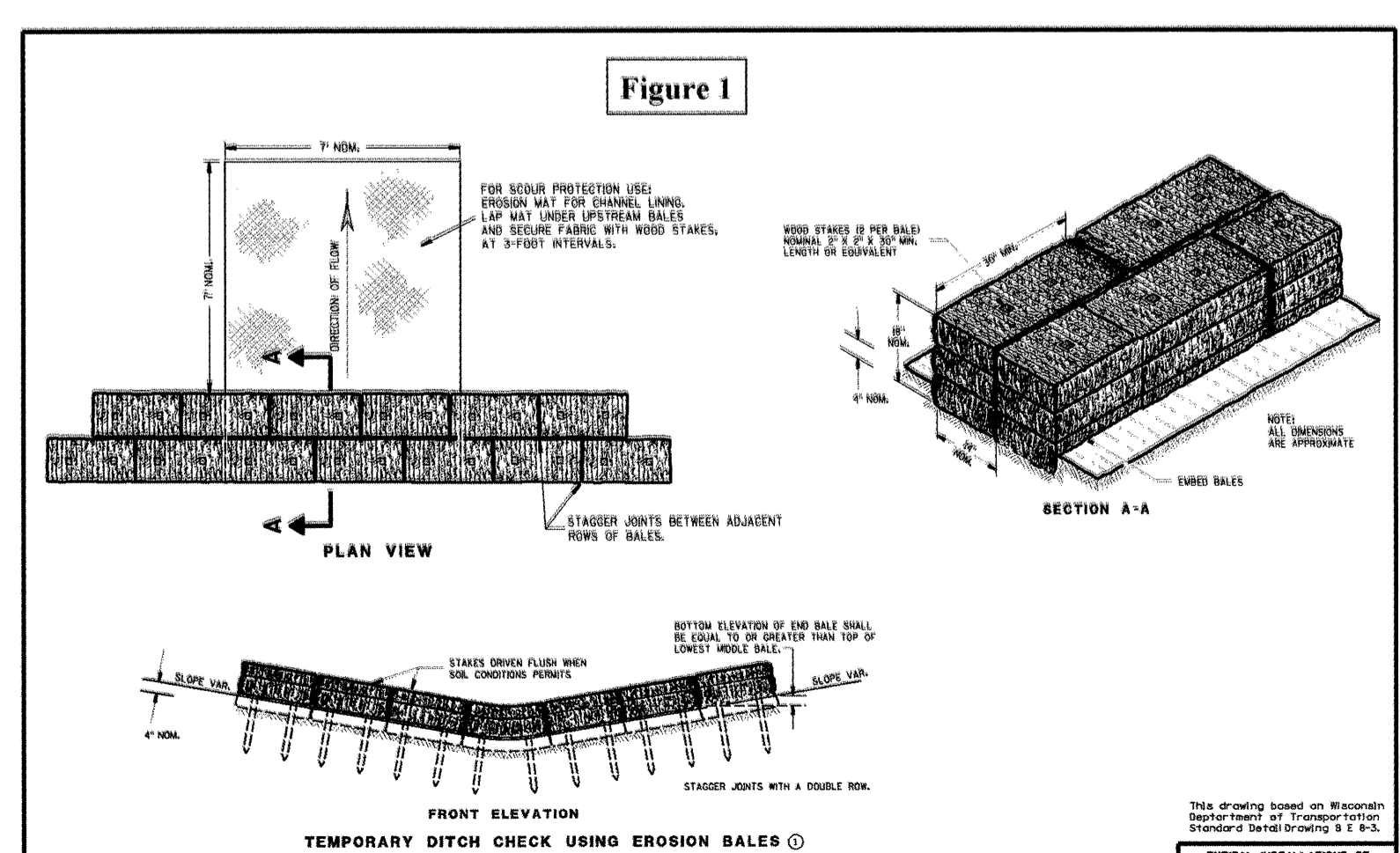
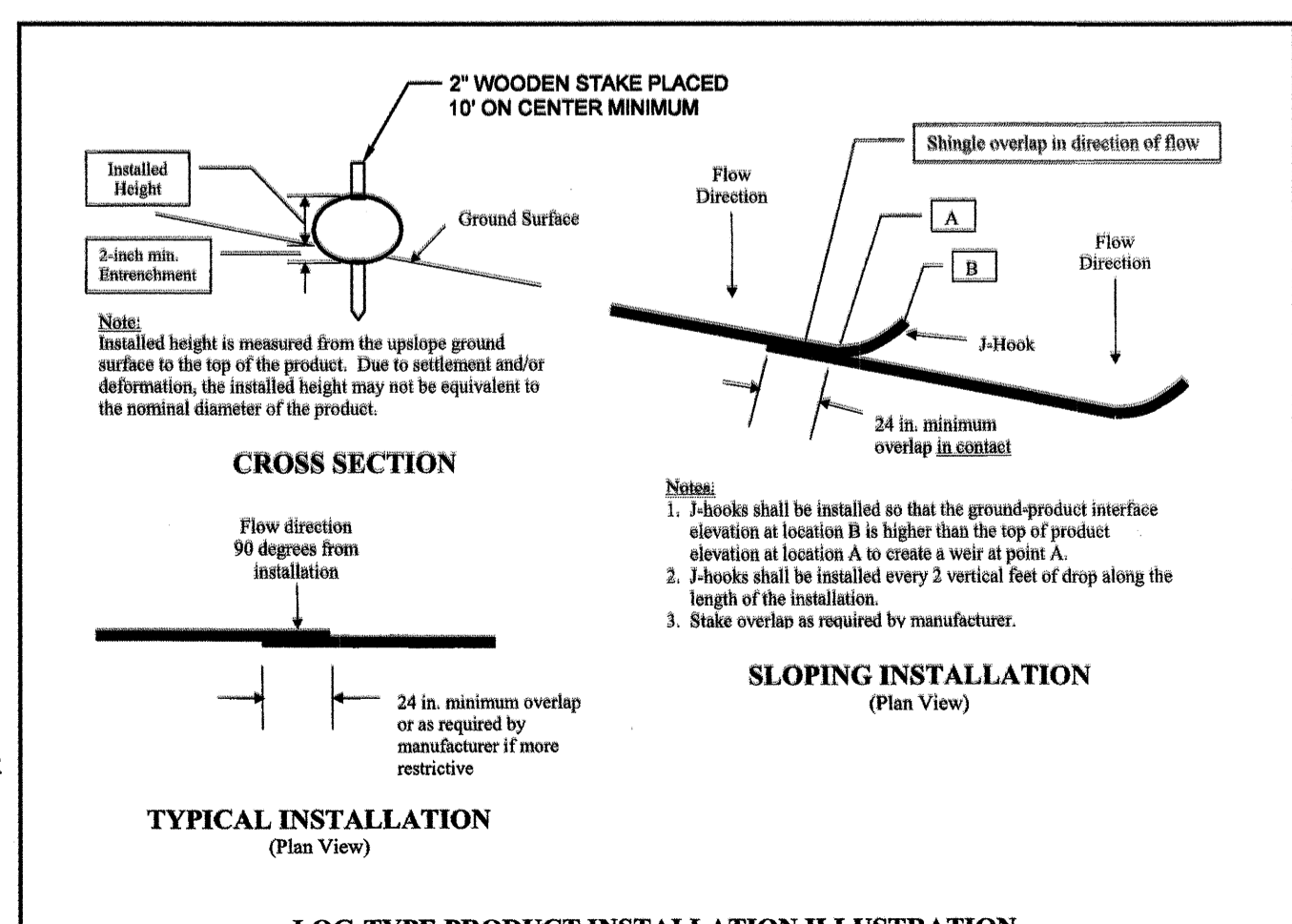
CALL DIGGERS HOTLINE
 1-800-242-6511
 TOLL FREE
 WE STATE OUR OFFERING
 REQUIRES AN APPROVED
 NOTICE BEFORE YOU SIGNATURE
 MILWAU AREA 259-1181

DATE: 04-08-2020
 JOB NUMBER: 22-9805
 CHECKED BY: J.F.
 DRAWN BY: KOD
 711 WEST MORELAND BOULEVARD, WAUKESHA, WISCONSIN 53188
 PHONE #: (262) 542-5797 - EMAIL: SURVEY@JAHNKEANDJAHNKE.COM
 WEBSITE: JAHNKEANDJAHNKE.COM

JAHNKE & JAHNKE ASSOCIATES, L.L.C.
 ENGINEERS-PLANNERS-SURVEYORS
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EROSION CONTROL PLAN
 AEROSHADE REDEVELOPMENT
 PART OF THE SE 1/4 OF SECTION 2, T6N, R19E
 CITY OF WAUKESHA, WAUKESHA COUNTY, WI.

REVISIONS
 REVISED: MAY 15, 2022
 REVISED: APRIL 11, 2022
 SHEET:
06 OF 12



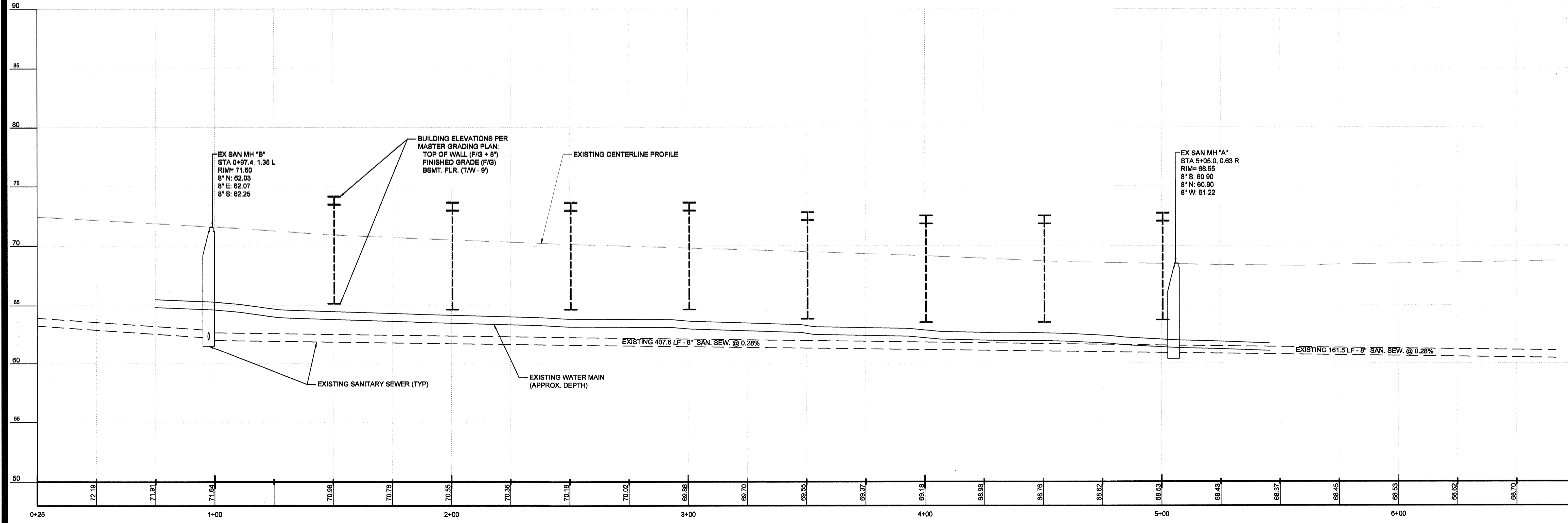
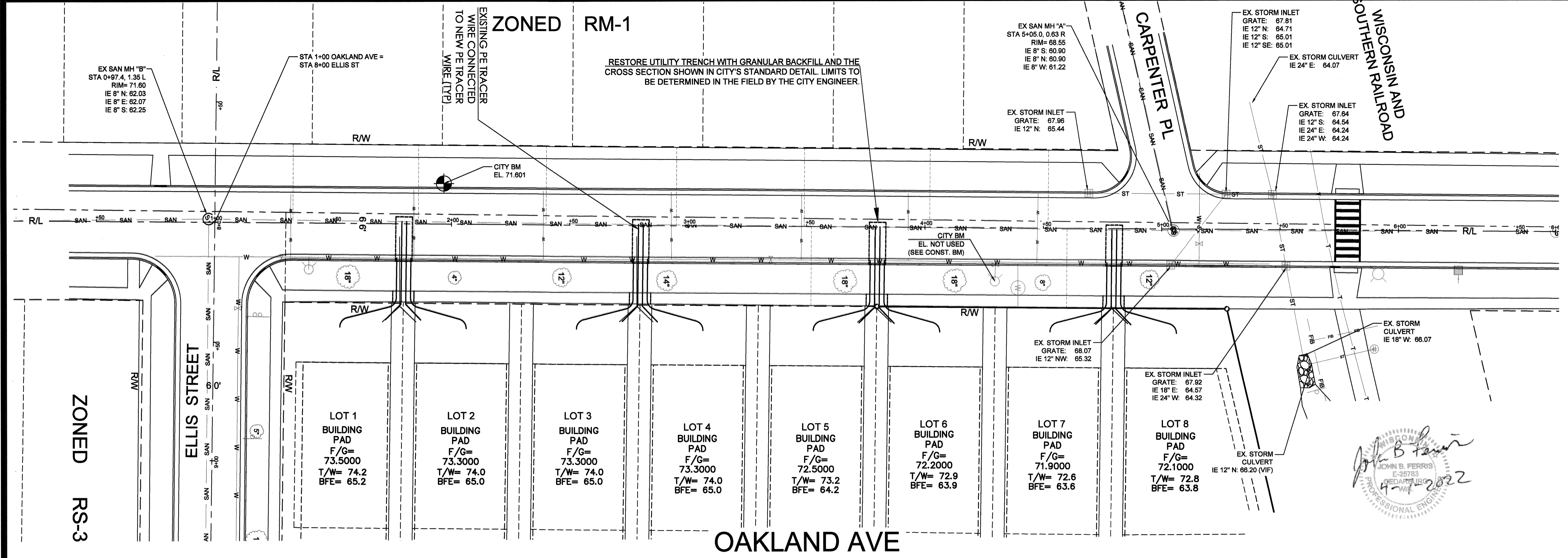
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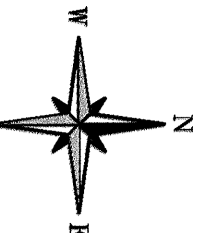
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○	EX. IRON PIPE FOUND	⊕	EX. UTILITY MANHOLE
⊕	EX. IRON ROD FOUND	⊕	EX. CLEAN OUT
○	EX. IRON PIPE	⊕	EX. ELECTRIC METER
⊕	EX. WOODEN POST	⊕	EX. GAS METER
⊕	EX. METAL POST	⊕	EX. POWER POLE
⊕	EX. POST	⊕	EX. GUY WIRE
⊕	EX. RETAINING WALL	⊕	EX. LIGHT POLE
X	EX. FENCE	⊕	EX. LIGHT
SAN	EX. SANITARY SEWER	⊕	EX. WELL
ST	EX. STORM SEWER	⊕	EX. FLAG POLE
G	EX. UNDERGROUND GAS LINE	⊕	EX. SIGN
—12'—	EX. 1-FOOT CONTOUR	⊕	EX. BASKETBALL HOOP
—12'—	EX. 5-FOOT CONTOUR	⊕	EX. DECIDUOUS TREE
—SF—	PR. 1-FOOT CONTOUR	⊕	EX. CONIFEROUS TREE
—SW—	PR. 5-FOOT CONTOUR	⊕	EX. BORING LOCATION
—SF—	PR. SILT FENCE	⊕	GAS LATERAL
—SW—	PR. STRAW WATTLE	⊕	GAS LATERAL
—	TEMPORARY DITCH CHECK	⊕	ELECTRIC LINE
—	ELECTRIC LINE		

REFERENCE BEARING: THE WEST LINE OF THE SE 1/4, SEC. 2-6-19 WAS USED AS THE REFERENCE BEARING AND HAS A BEARING OF N00°42'53"E (SOUTH ZONE, NAD-27)
 BENCHMARK: THE CENTER OF SECTION 2-6-19 WAS USED AS THE REFERENCE BENCHMARK AND HAS AN ELEVATION OF 850.81 (NGVD-29) / 70.25 (CWD)

NOTE: The location and size of the underground structures and utilities shown hereon have been located to a reasonable degree of accuracy, but the Engineer and/or Surveyor does not guarantee their exact location or the location of others not shown.
 Contact Diggers Hotline, Inc., Etc.

John B. Ferris
 JOHN B. FERRIS
 E-25783
 4-11-2022
 PROFESSIONAL ENGINEER






SCALE IN FEET
0 20

DATE: 04-08-2020
JOB NUMBER: 22-9605
CHECKED BY: J.F.
DRAWN BY: KOD

711 WEST MORELAND BOULEVARD, WAUKESHA, WISCONSIN 53188
PHONE #: (262) 942-9397 - EMAIL: SALES@JAHNKEANDJAHNKE.COM
WEBSITE: JAHNKEANDJAHNKE.COM

JAHNKE & JAHNKE ASSOCIATES, LLC.
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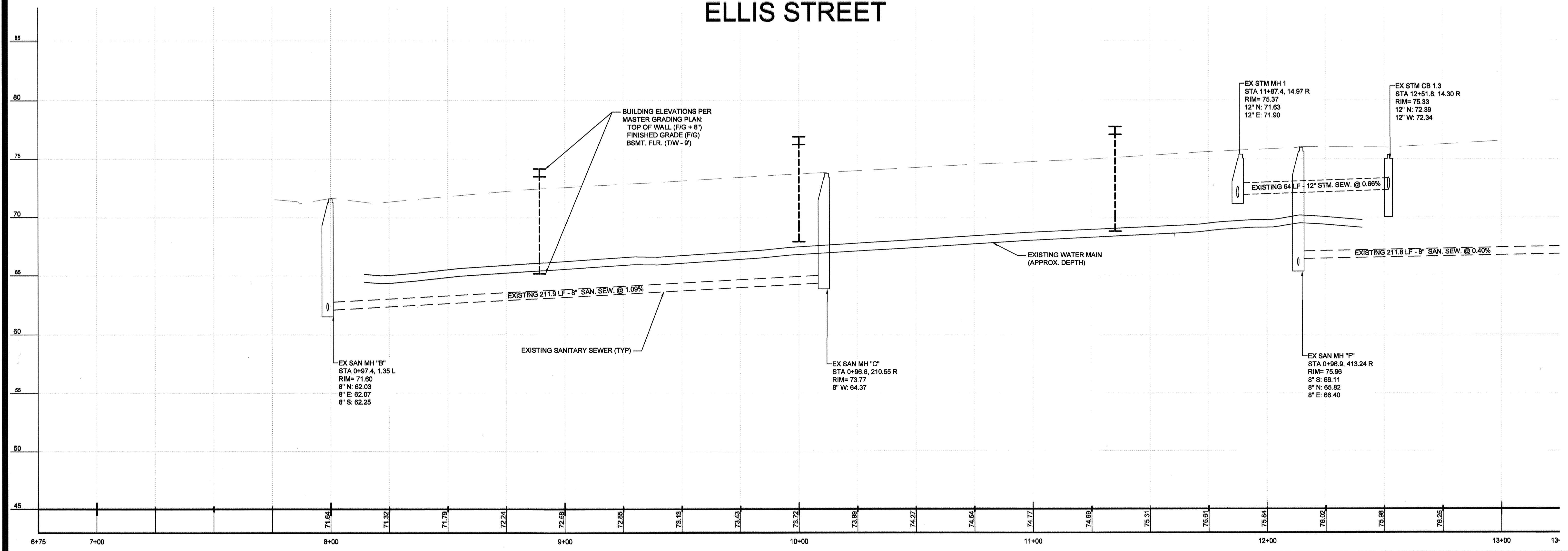
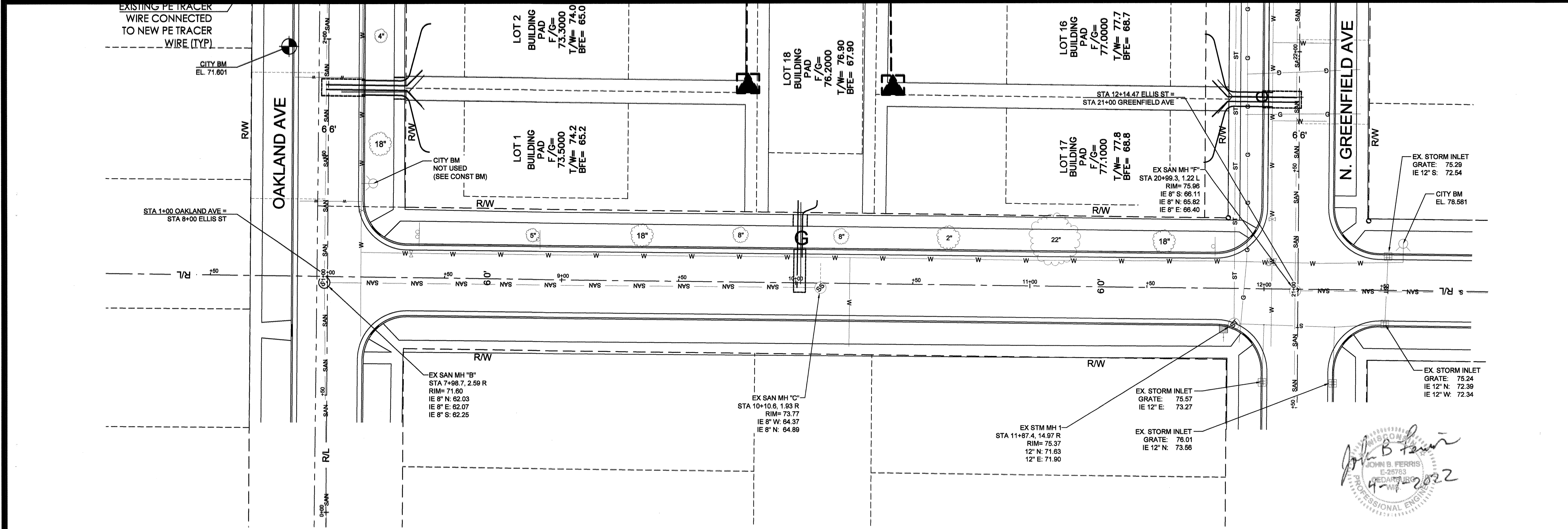


REVISIONS
REVISED, MAY 4, 2020
REVISED, APRIL 11, 2022

UTILITY PLAN - OAKLAND AVE
AEROSHADE REDEVELOPMENT
PART OF THE SE 1/4 OF SECTION 2, T6N, R19E
CITY OF WAUKESHA, WAUKESHA COUNTY, WI.

SHEET:
07 OF 12

FILE NAME: S:\projects\22-9605 SD - Aeroshade\DWG\22-960502 CIVIL.dwg



North Arrow

SCALE IN FEET

1" = 20'

DRAWN BY: KOD CHECKED BY: J.F. DATE: 04-08-2020

JOB NUMBER: 22-8605

711 WEST MORELAND BOULEVARD, WAUKESHA, WISCONSIN 53188
PHONE #: (262) 542-5797 - EMAIL: SURVEY@JAHNKEANDJAHNKE.COM
WEBSITE: JAHNKEANDJAHNKE.COM

JAHNKE & JAHNKE ASSOCIATES, L.L.C.
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Professional Engineer Seal: JOHN B. FERRIS, E-25783, WISCONSIN, 4-11-2022

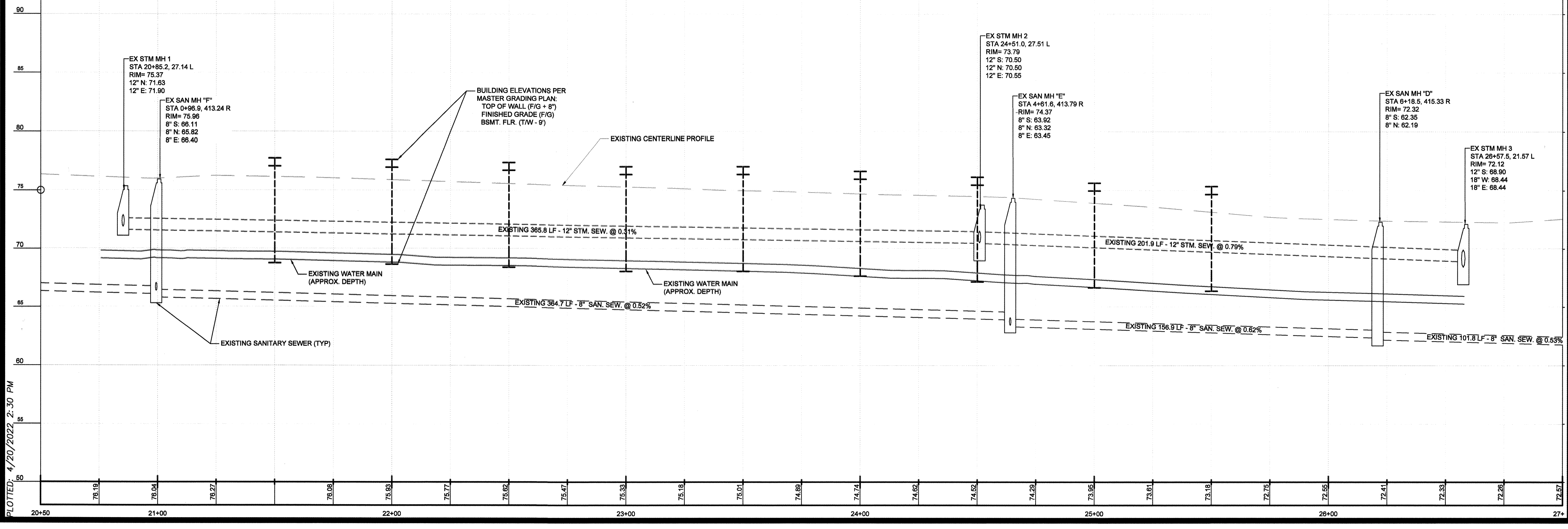
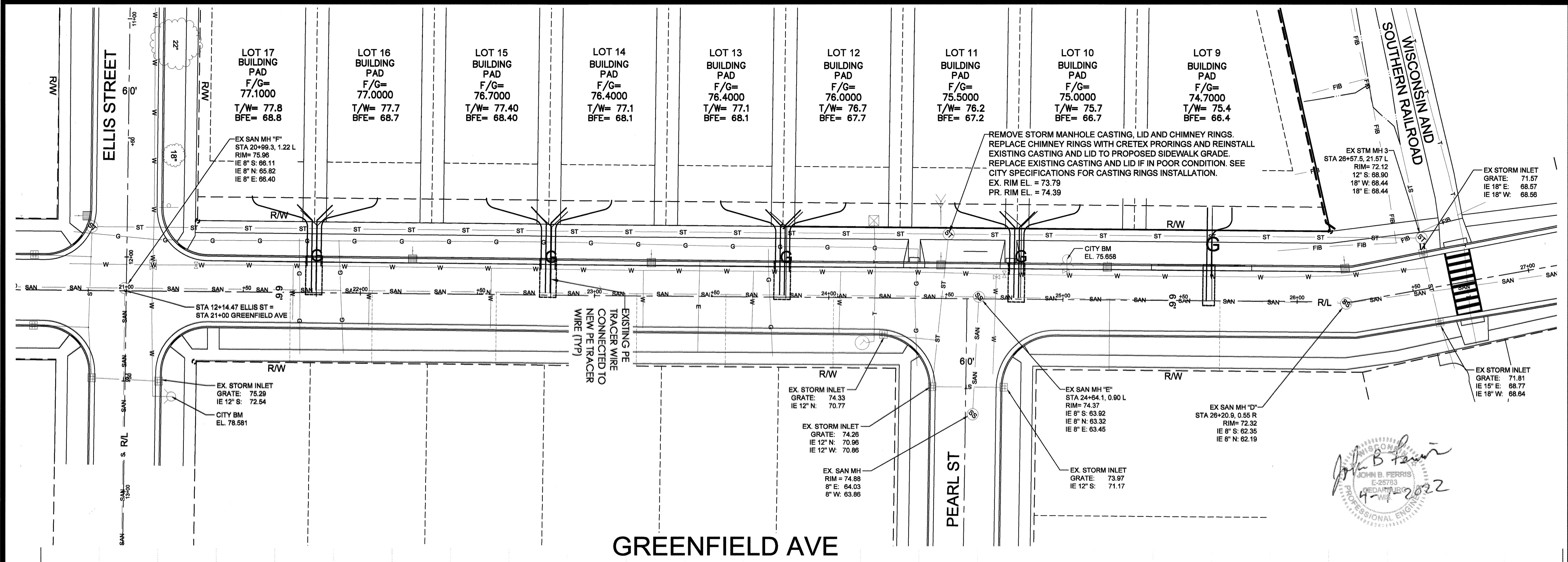
UTILITY PLAN - ILLES ST

AEROSHADE REDEVELOPMENT
PART OF THE SE 1/4 OF SECTION 2, T6N, R19E
CITY OF WAUKESHA, WAUKESHA COUNTY, WI.

REVISIONS
REVISED: MAY 5, 2020
REVISED: APRIL 11, 2022

SHEET: 08 OF 12

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DRAWN BY: J.F.	JOB NUMBER: 22-9805	DATE: 04-08-2020
<p>JAHNKE & JAHNKE ASSOCIATES, LLC. ENGINEERS-PLANNERS-SURVEYORS ENGINEERING SOLUTIONS SINCE 1964</p>		
<p>711 WEST MORELAND BOULEVARD, WAUKESHA, WISCONSIN 53088 PHONE # (262) 542-5727 FAX # (262) 542-5728 WEBSITE: JAHNKEANDJAHNKE.COM</p>		



JOHN B. FERRIS
E-25783
WISCONSIN PROFESSIONAL ENGINEER
4-11-2022

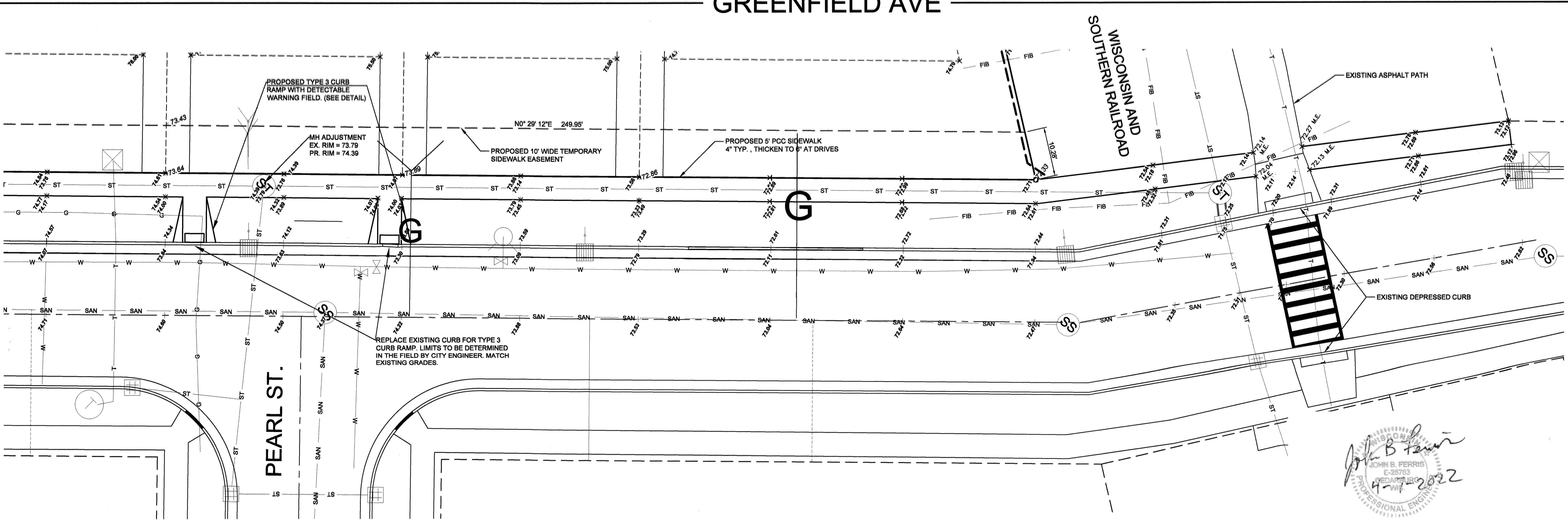
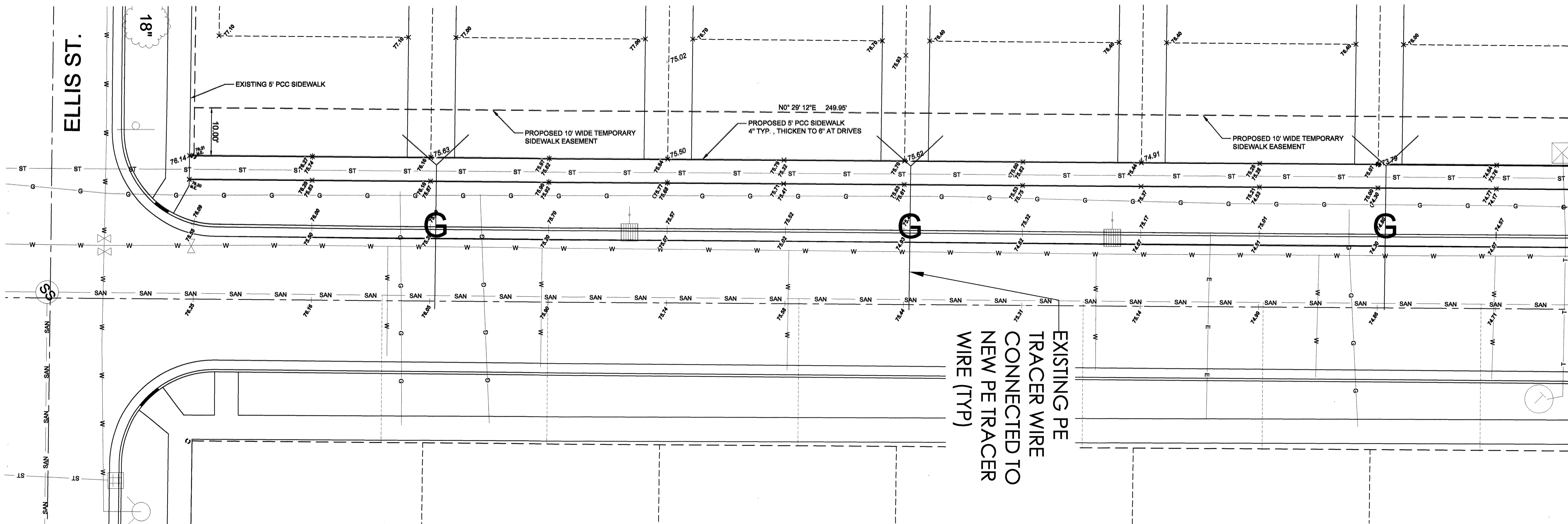
UTILITY PLAN - GREENFIELD AVE
AEROSHADE REDEVELOPMENT
PART OF THE SE 1/4 OF SECTION 2, T6N, R19E
CITY OF WAUKESHA, WAUKESHA COUNTY, WI.

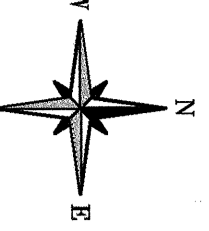
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		REVISED: APRIL 11, 2022

9/15/2020

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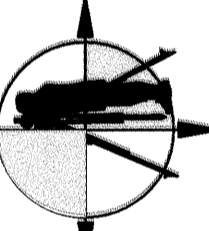




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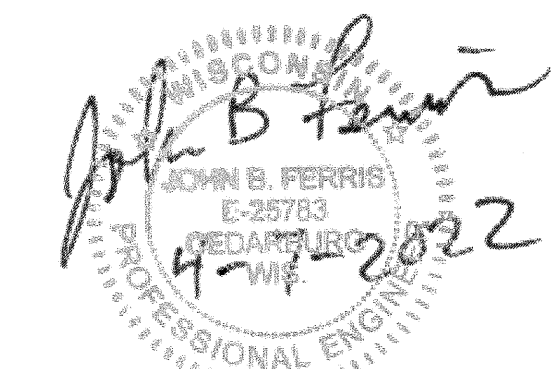
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711 WEST MORELAND BOULEVARD, WAUKESHA, WISCONSIN 53188			
PHONE #: (262) 542-9787 - EMAIL: SURV@JAHNKEANDJAHNKE.COM			
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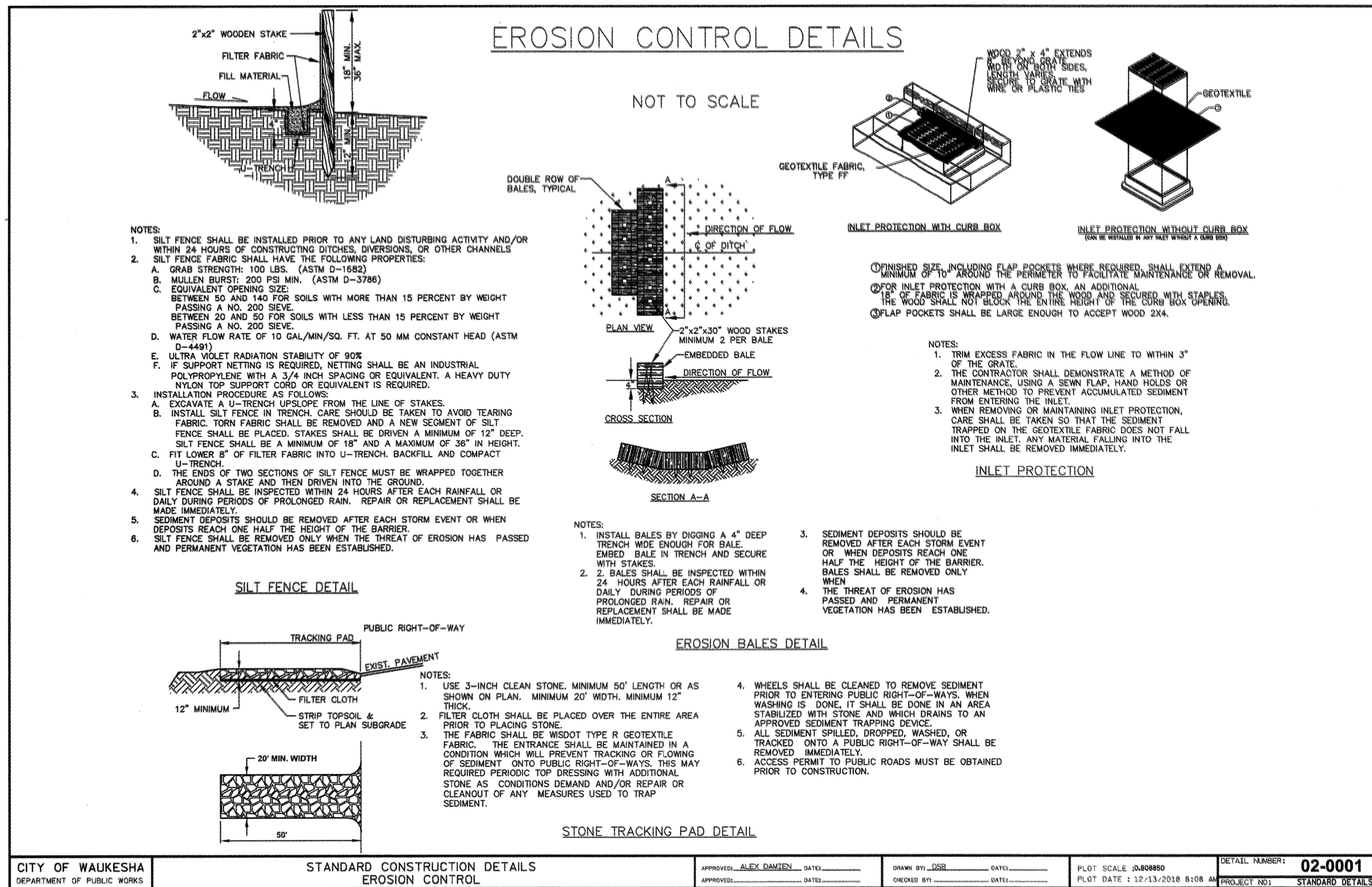


SIDEWALK PLAN
AEROSHADE REDEVELOPMENT PART OF THE SE 1/4 OF SECTION 2, T6N, R19E CITY OF WAUKESHA, WAUKESHA COUNTY, WI.

REVISIONS				
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REVISED, APRIL 11, 2022				
SHEET: 10 OF 12				



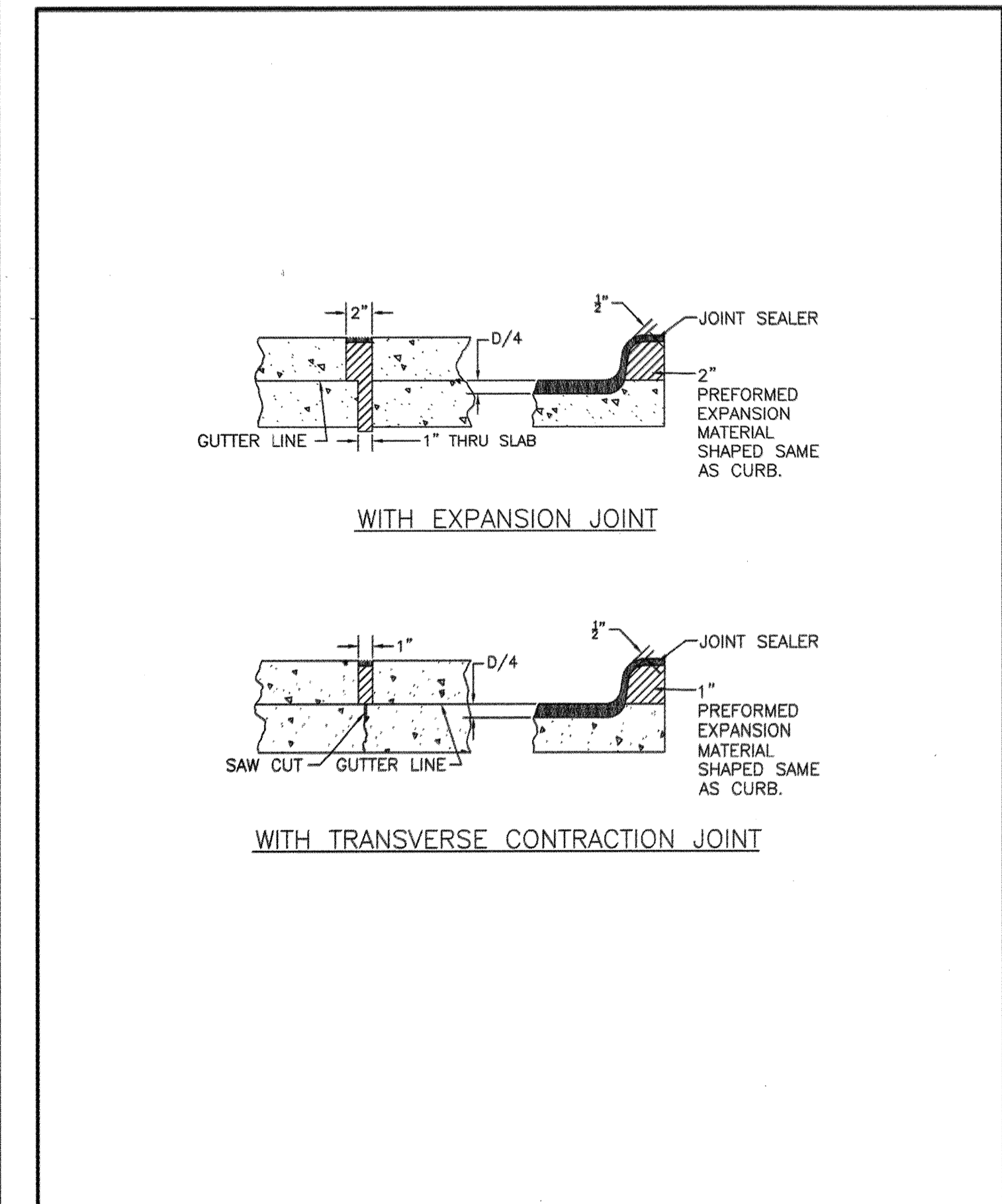
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CITY OF WAUKESHA DEPARTMENT OF PUBLIC WORKS STANDARD CONSTRUCTION DETAILS EROSION CONTROL

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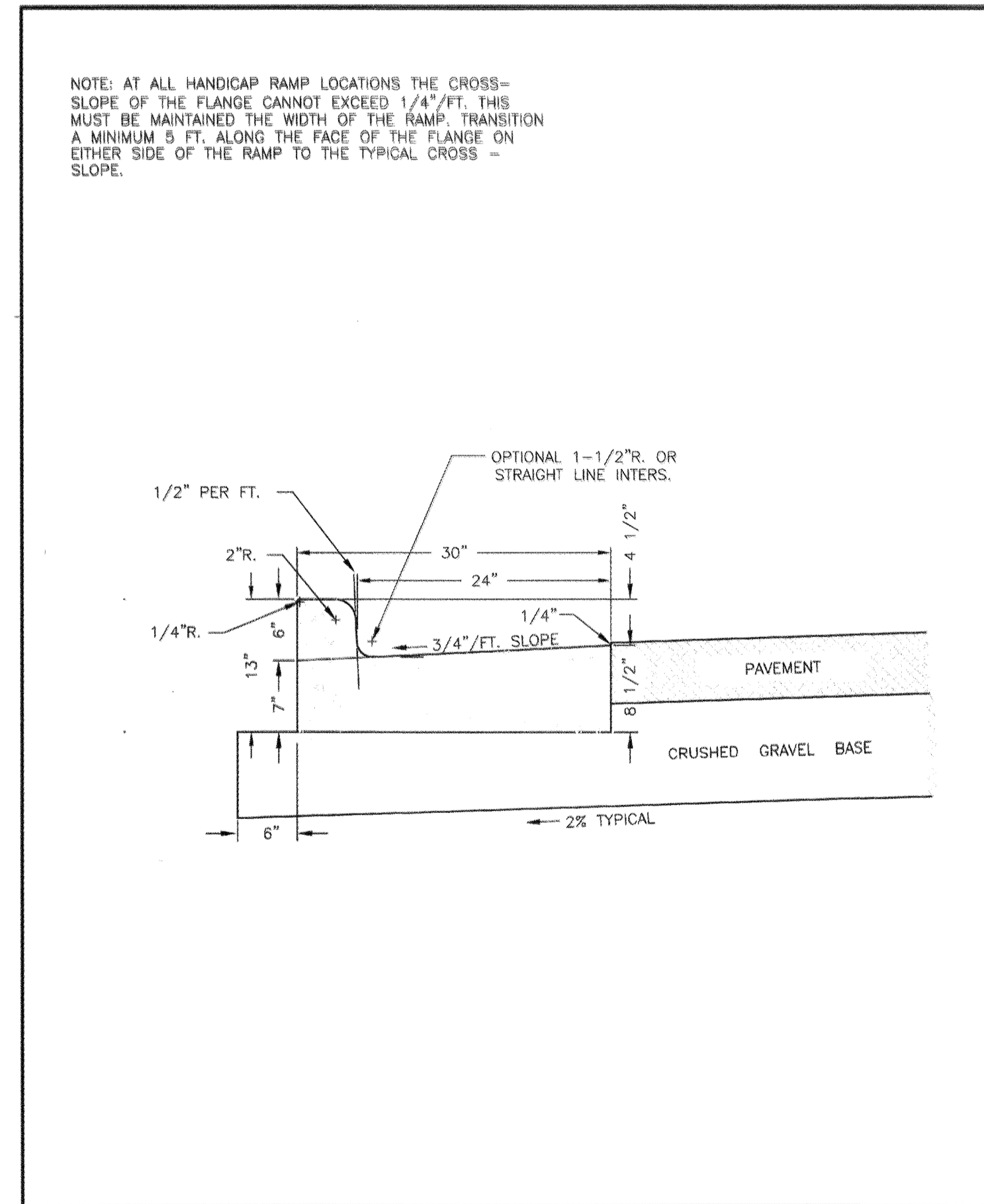
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CITY OF WAUKESHA DEPARTMENT OF PUBLIC WORKS STANDARD CONSTRUCTION DETAILS CURB JOINT

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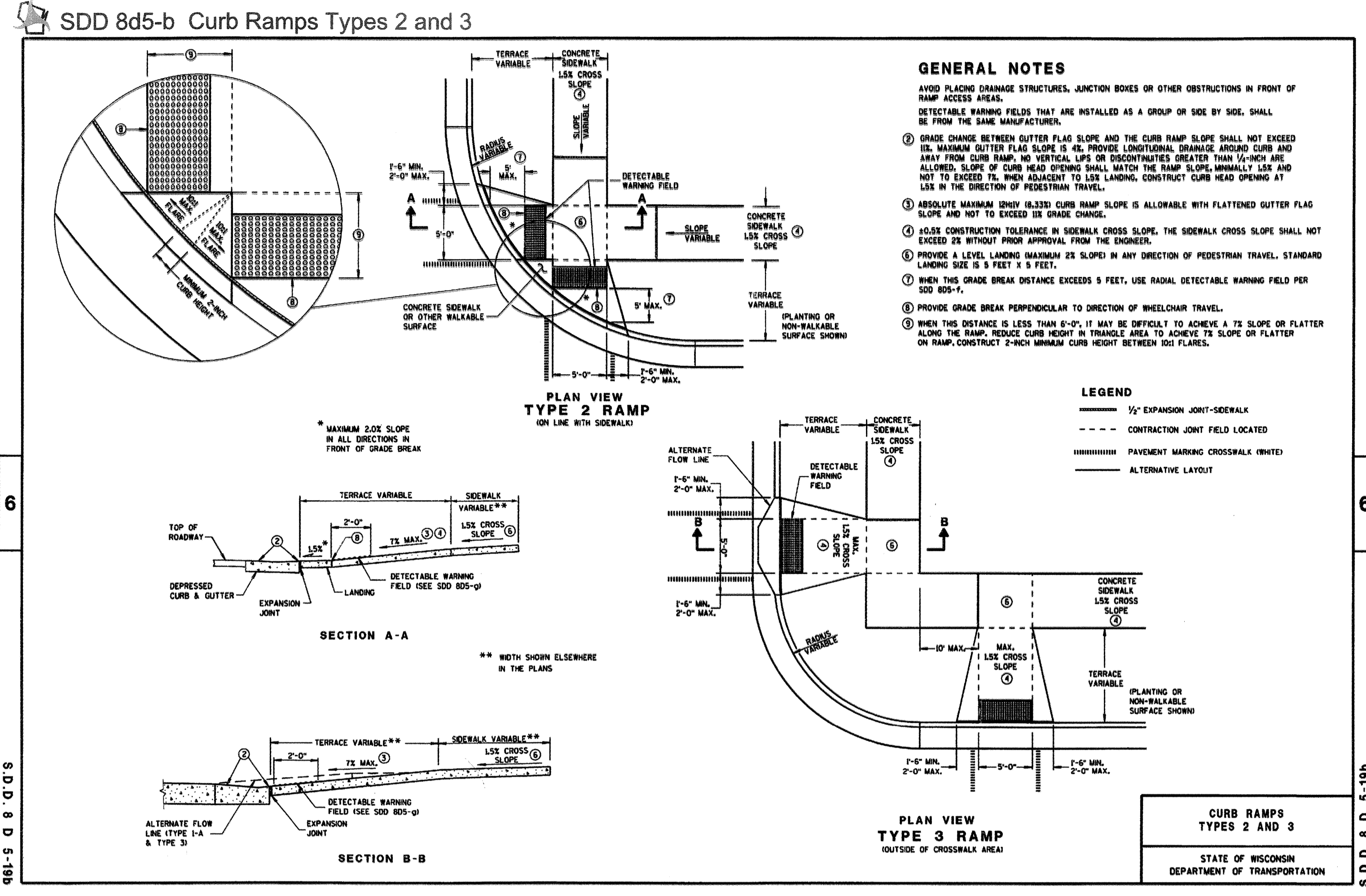
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CITY OF WAUKESHA DEPARTMENT OF PUBLIC WORKS STANDARD CONSTRUCTION DETAILS 30-INCH TYPE A HMA

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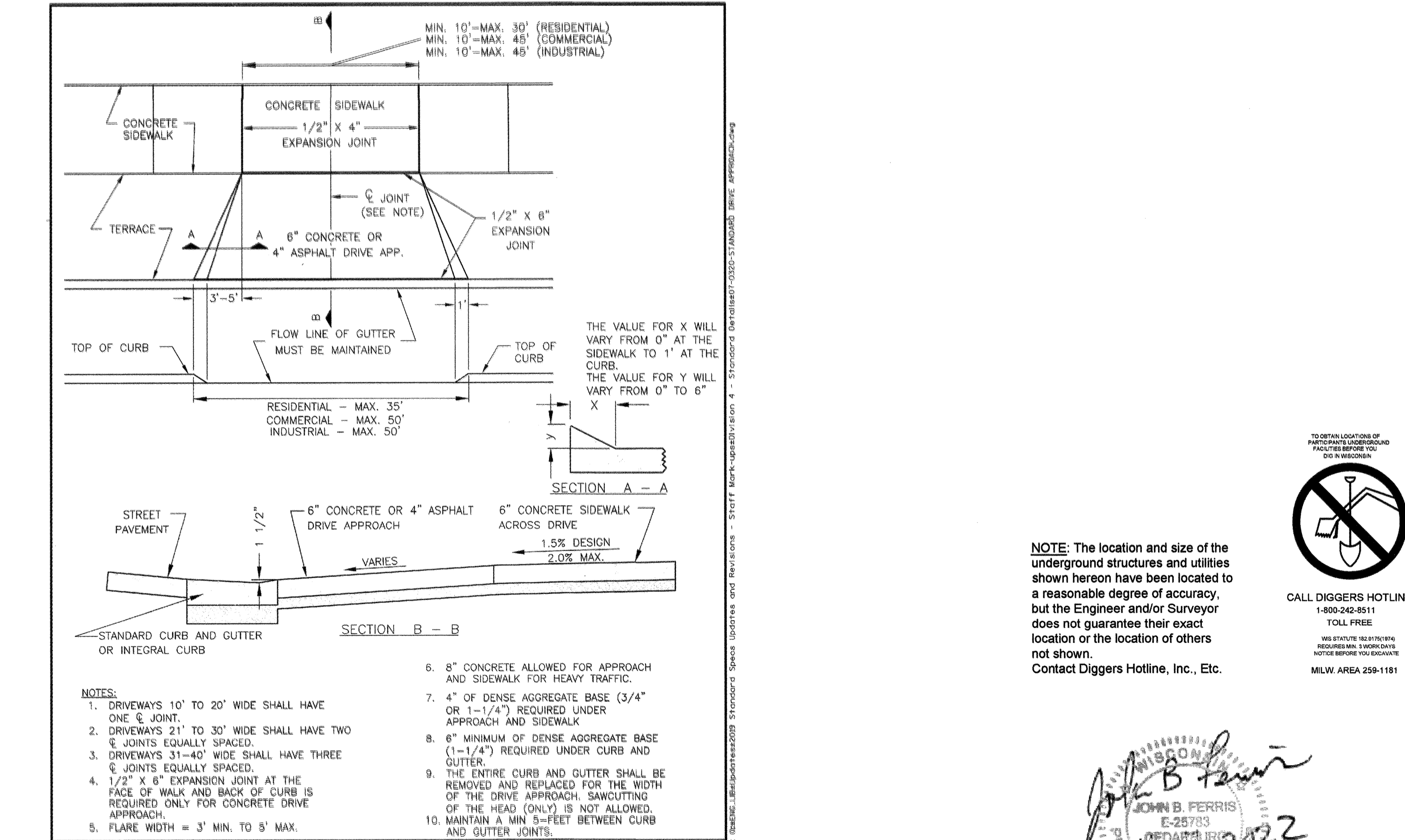
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CITY OF WAUKESHA DEPARTMENT OF PUBLIC WORKS STANDARD CONSTRUCTION DETAILS CURB RAMP

APPROVED: ALEX DANEN DATE: _____ DRAWN BY: JSS DATE: _____ PLOT SCALE: 3/8"=1'-0" DETAIL NUMBER: 07-0320

APPROVED: _____ DATE: _____ CHECKED BY: _____ DATE: _____ PLOT DATE: 1-11-2019 9:18 AM PROJECT NO: 07-0320



CITY OF WAUKESHA DEPARTMENT OF PUBLIC WORKS STANDARD CONSTRUCTION DETAILS STANDARD DRIVE APPROACH

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APPROVED: _____ DATE: _____ CHECKED BY: _____ DATE: _____ PLOT DATE: 1-11-2019 9:18 AM PROJECT NO: 07-0320

DATE: 04-08-2020
 JOB NUMBER: 22-9605
 CHECKED BY: J.F.
 DRAWN BY: JSS

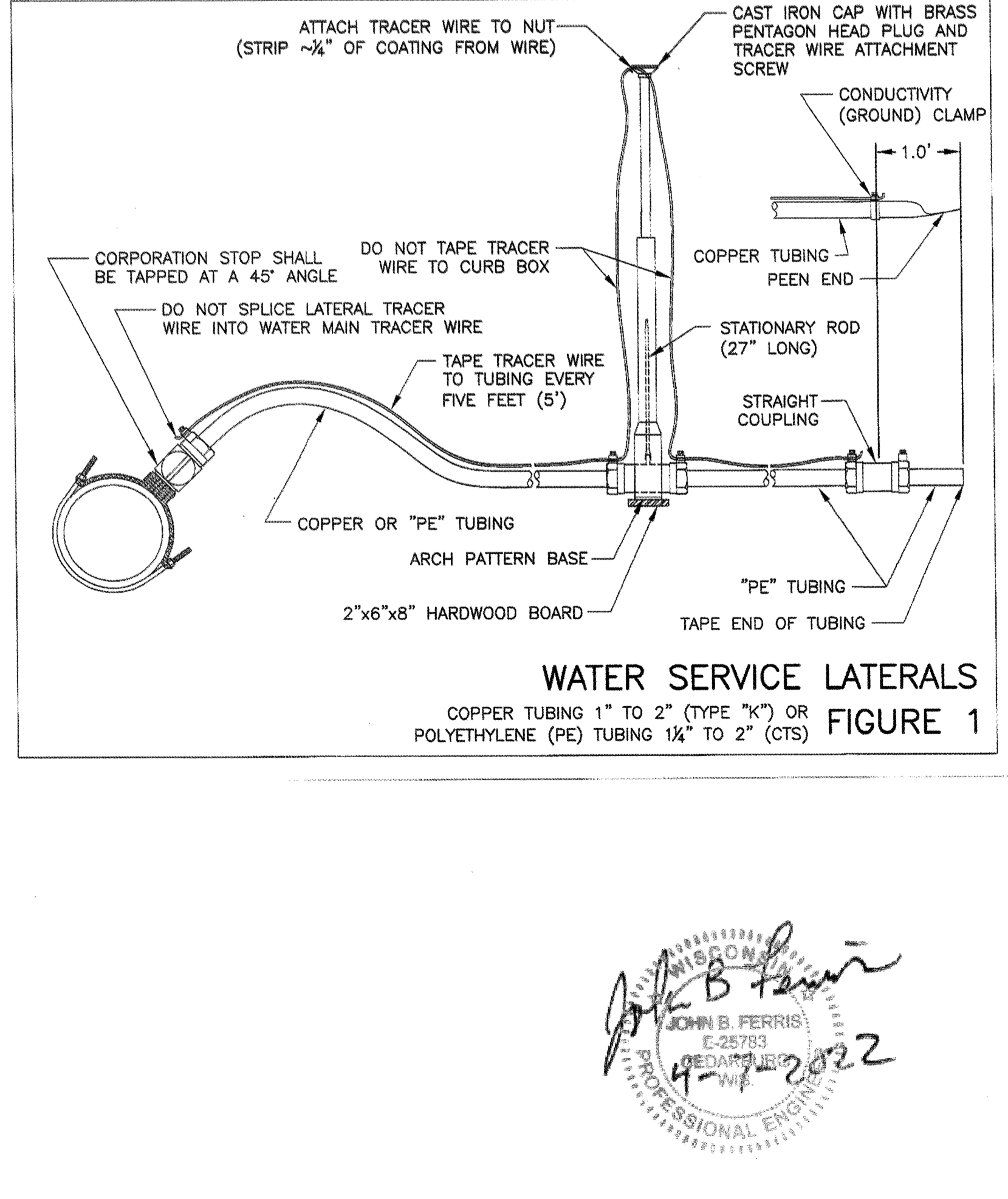
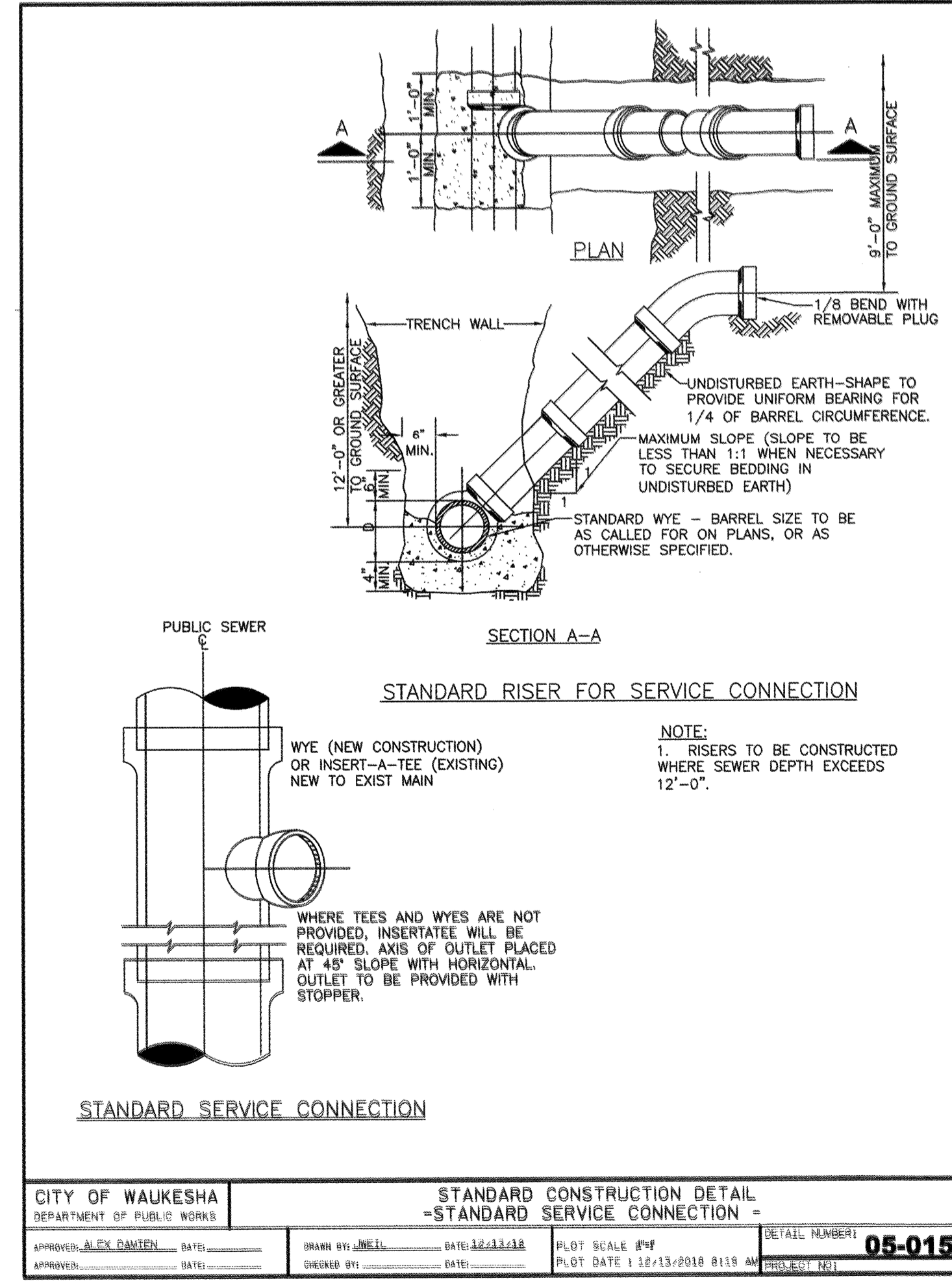
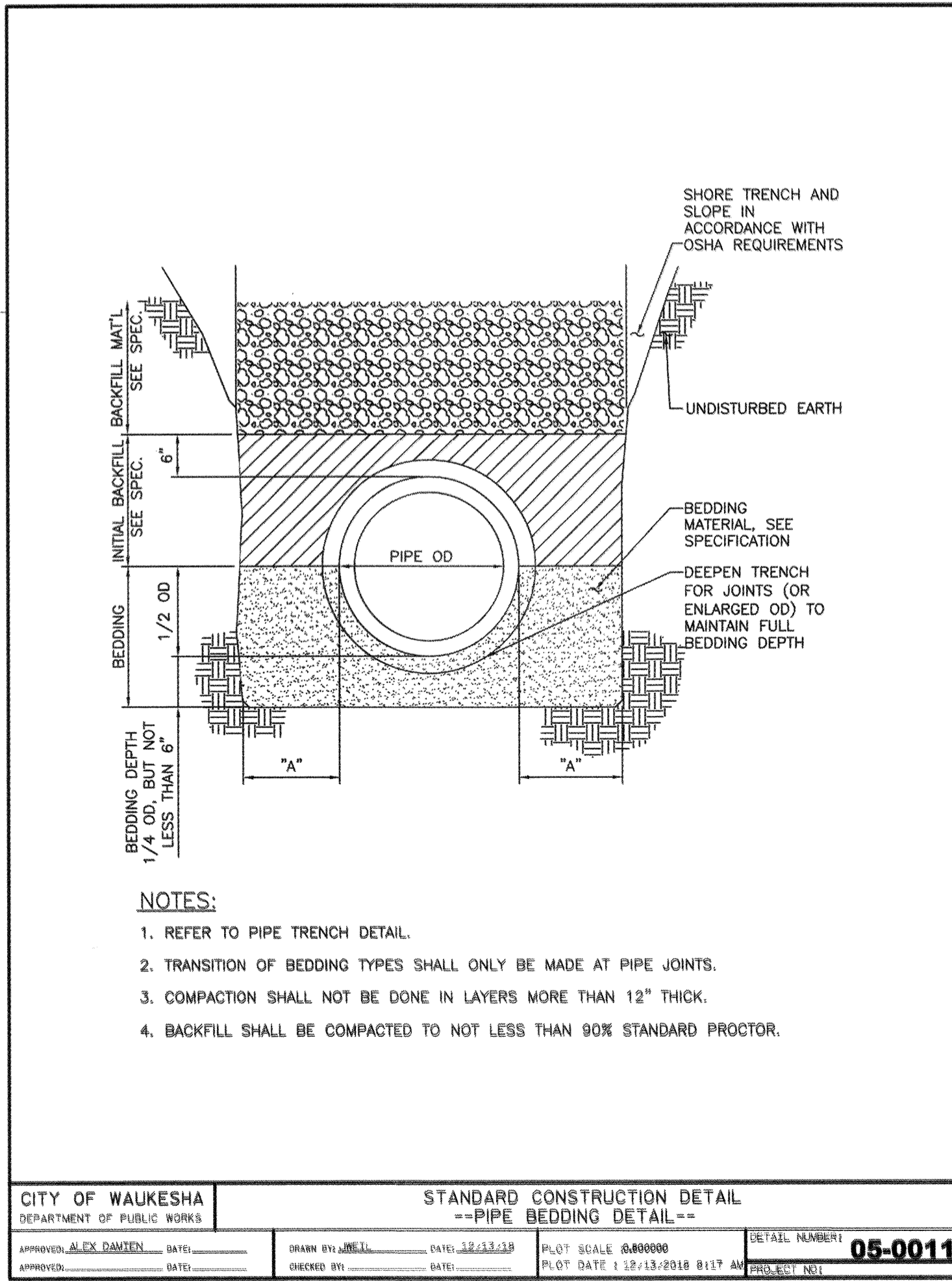
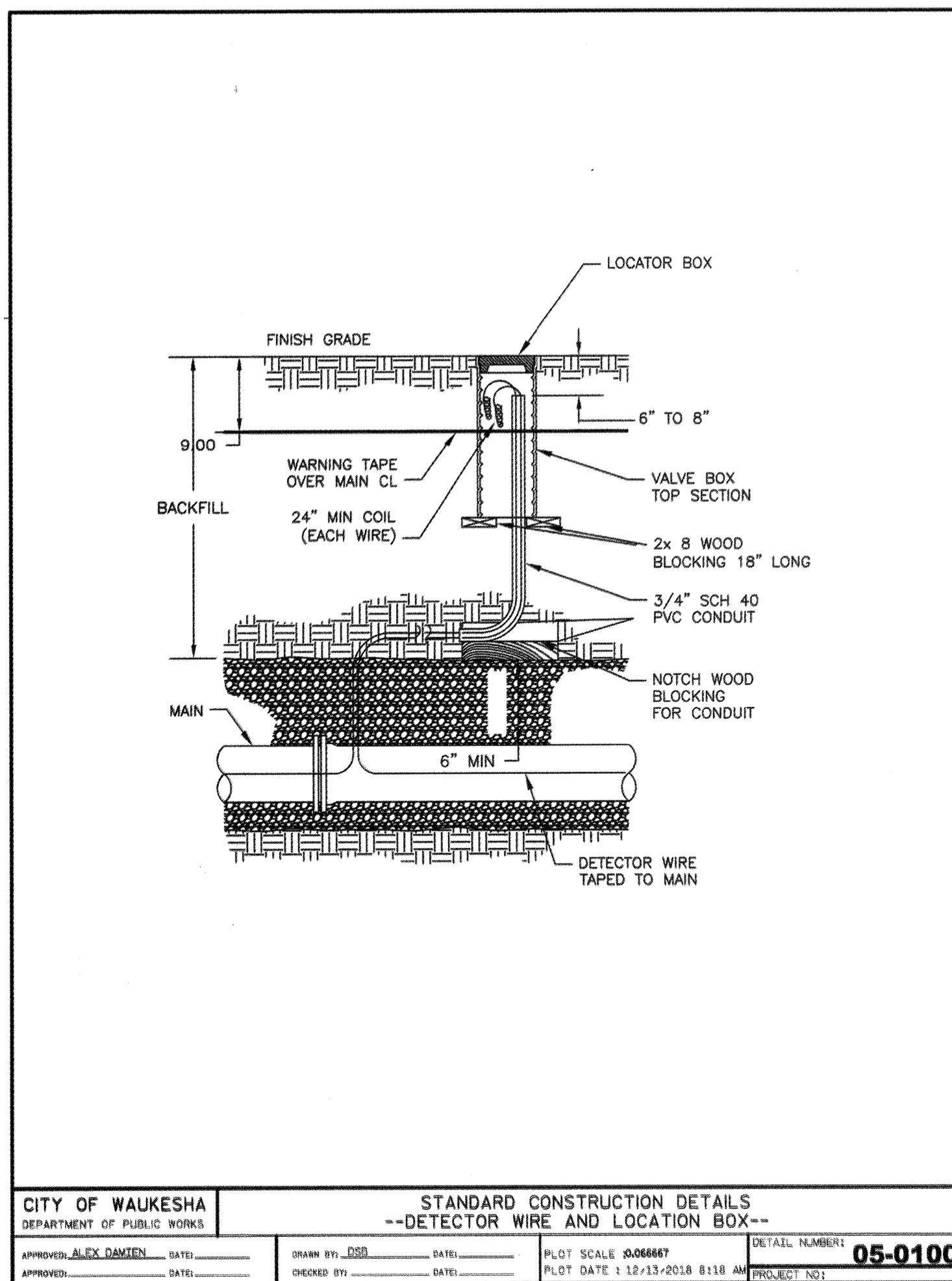
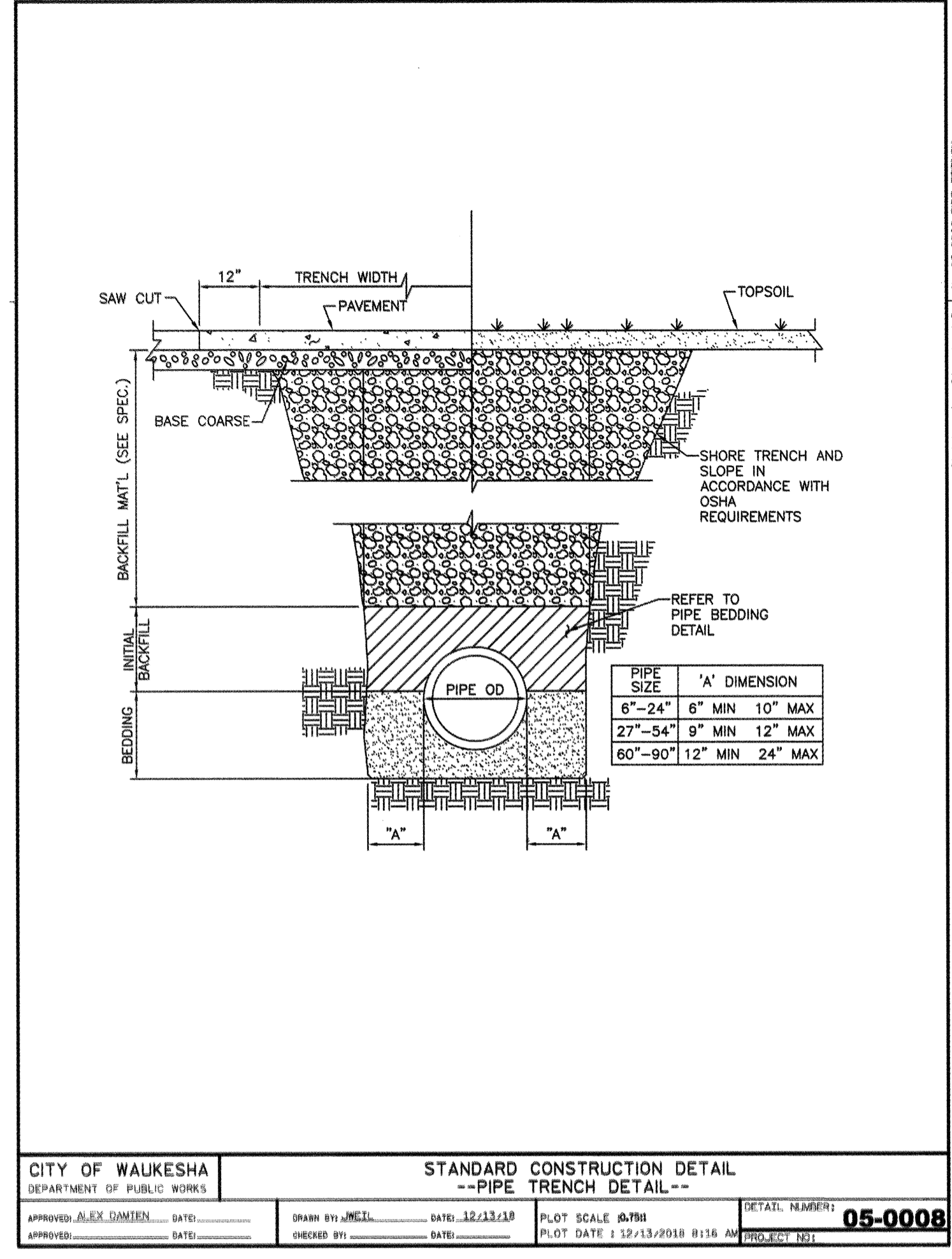
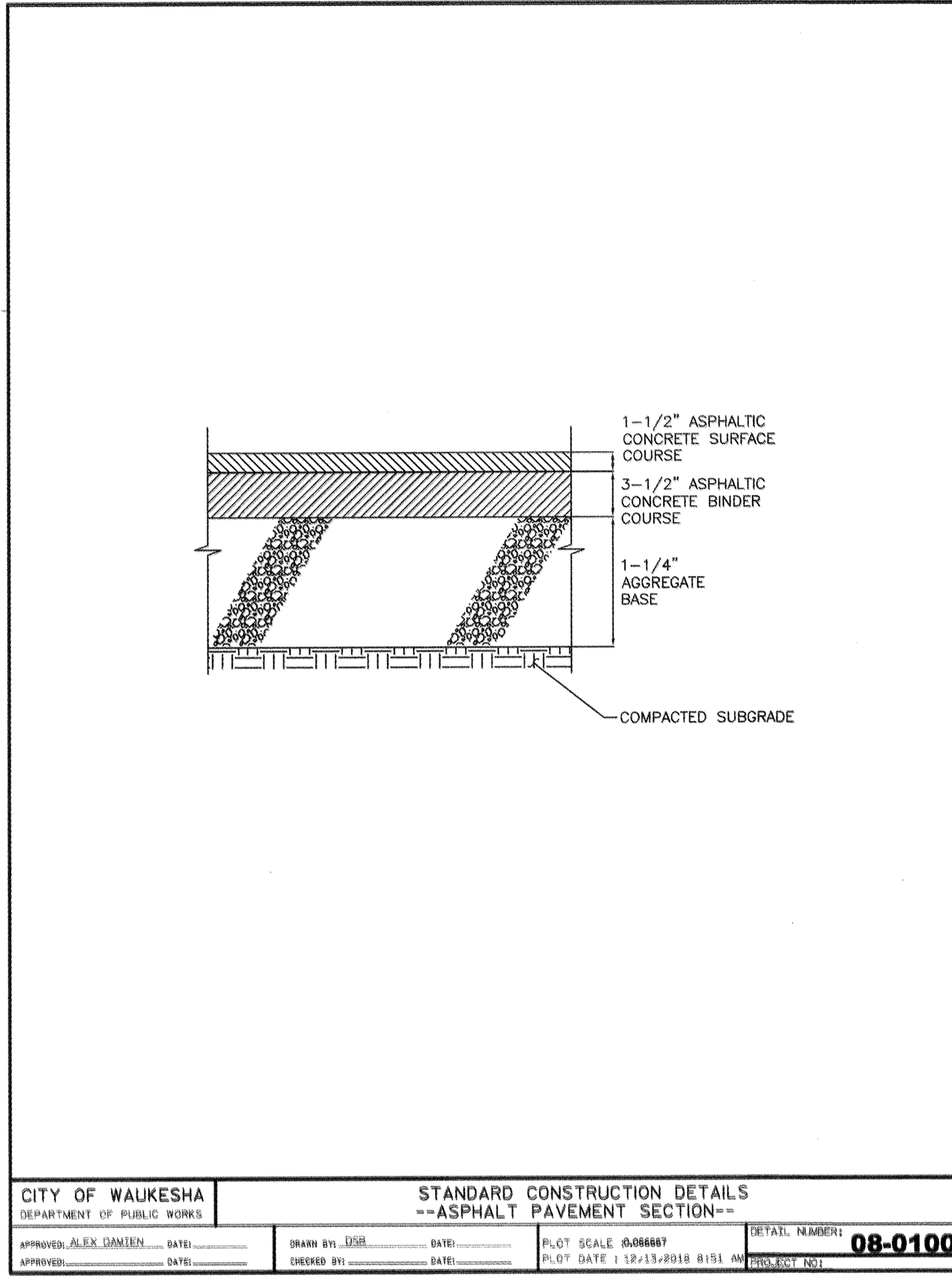
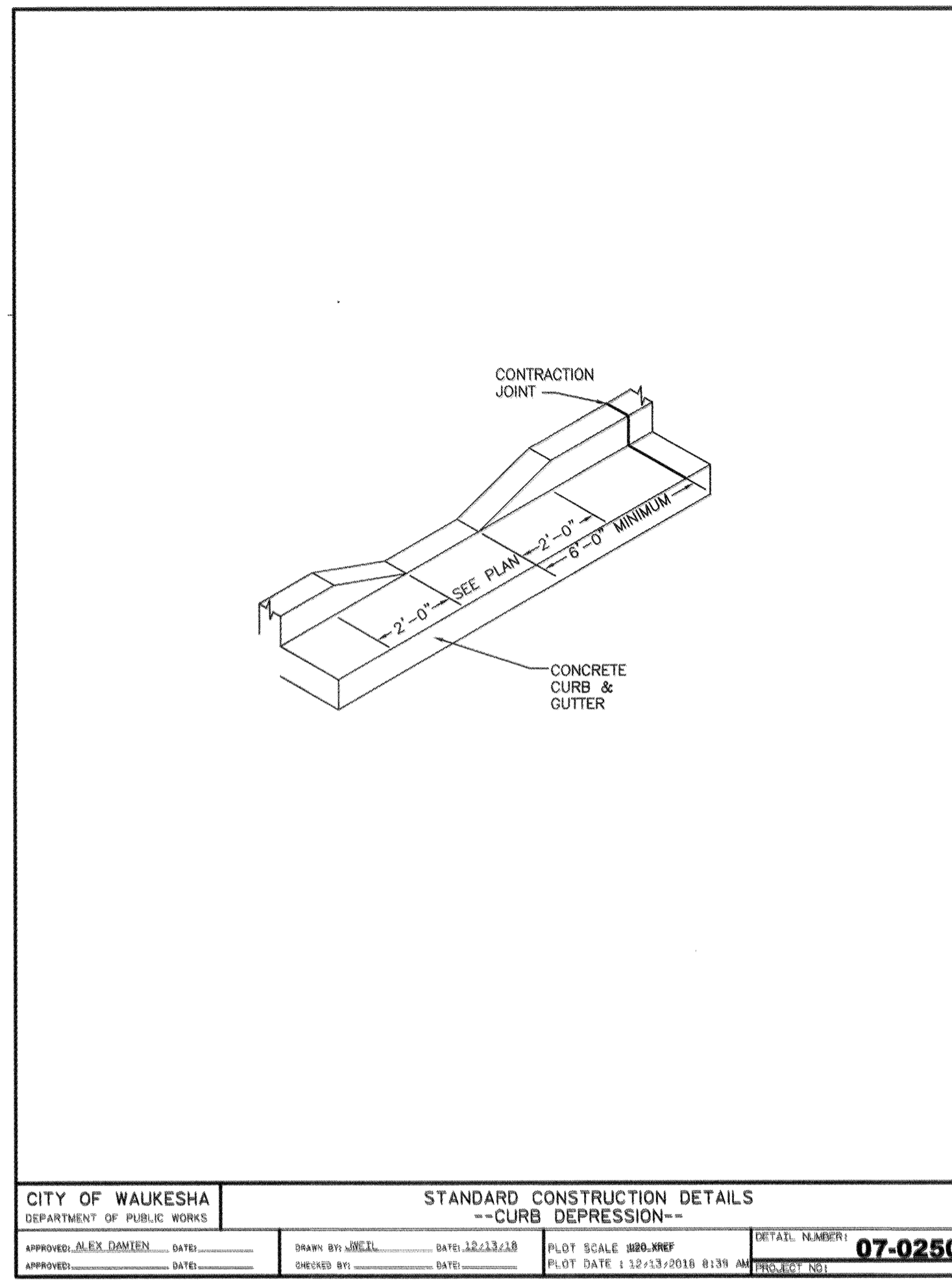
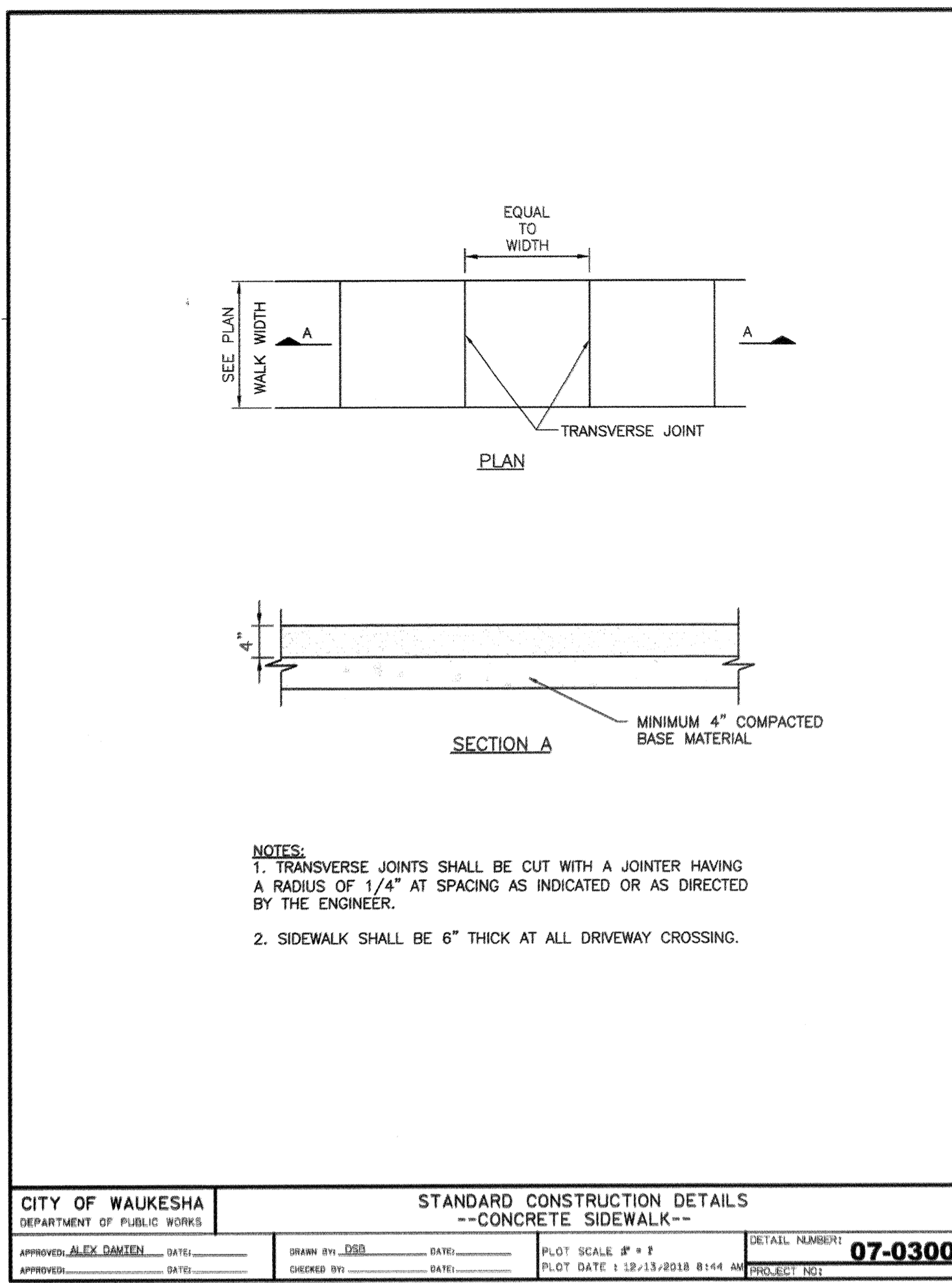
711 WEST MORELAND BOULEVARD, WAUKESHA, WISCONSIN 53188
 PHONE #: (262) 542-5797 - EMAIL: SURVEY@JAHNKEANDJAHNKE.COM
 WEBSITE: JAHNKEANDJAHNKE.COM

JAHNKE & JAHNKE ASSOCIATES, LLC
 ENGINEERS - PLANNERS - SURVEYORS
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CONSTRUCTION DETAIL
 AEROSHADE REDEVELOPMENT
 PART OF THE SE 1/4 OF SECTION 2, T6N, R19E
 CITY OF WAUKESHA, WAUKESHA COUNTY, WI.

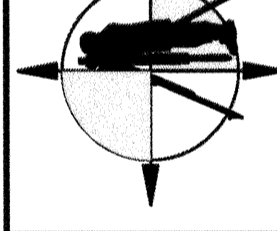
REVISIONS
 REVISED: MAY 5, 2020
 REVISED: APRIL 11, 2022

SHEET: 11 OF 12



DRAWN BY: KDD
 CHECKED BY: J.F.
 JOB NUMBER: 22-9605
 DATE: 04-08-2020

JAHNKE & JAHNKE ASSOCIATES, L.L.C.
 ENGINEERS-PLANNERS-SURVEYORS
 ENGINEERING SOLUTIONS SINCE 1964



CONSTRUCTION DETAILS
 AEROSHADE REDEVELOPMENT
 PART OF THE SE 1/4 OF SECTION 2, T6N, R19E
 CITY OF WAUKESHA, WAUKESHA COUNTY, WI.

REVISIONS
REVISED MAY 15, 2020
REVISED APRIL 11, 2022